

THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 020793

This is to certify that A & M Partners Llc/Applica
has permission to Install elevator; Upgrade Satays; Repair Windows; Instal orium Floor
AT 59 Washington Ave 013 I043001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is laid or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 8/12/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED	
Permit No: 02-07033 AUG	Issue Date: 3 2002
CBL: 013 I043001	

Location of Construction: 59 Washington Ave	Owner Name: A & M Partners Llc	Owner Address: 120 Congress St CITY OF PORTLAND	Phone: 775-2100
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-4

Past Use: Bakery/Office/Retail Space	Proposed Use: Bakery/Office/Retail Space	Permit Fee: \$1,423.00	Cost of Work: \$200,000.00	CEO District: 1
Proposed Project Description: Install elevator; Upgrade Satirways; Replace Windows; Install Atrium Floor		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 2C 8/10/02 Signature: [Signature]	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 07/17/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/7/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official shall have the authority to enter all areas covered by such permit at any reasonable time.

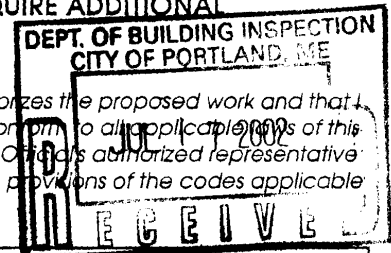
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>59 WASHINGTON AVE</u>		
Total Square Footage of Proposed Structure <u>EXISTING - 152,635 SF</u>	Square Footage of Lot <u>131,978 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>I 43</u> Lot# <u>1</u>	Owner: <u>A+M PARTNERS, LLC</u>	Telephone: <u>775 2100</u>
Lessee/Buyer's Name (if Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>SAME</u>	Cost Of Work: \$ <u>200,000</u> Fee: \$ <u>1,423.00</u>
Current use: <u>BAKER/DISTRIBUTION/OFFICE/RETAIL</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>NO CHANGES / BUILDING UPGRADES</u>		
Project description: <u>INSTALL ELEVATOR, UPGRADES STAIRWAYS, REPLACE WINDOWS, INSTALL ATRIUM FLOOR</u>		
Contractor's name, address & telephone: <u>SAME</u>		
Who should we contact when the permit is ready: <u>LOU WOOD / 874 6959</u>		
Mailing address: <u>120 EXETER ST. PORTLAND, ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable provisions of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature of applicant: <u><i>Michael Smith</i></u>	Date: <u>7/14/02</u>
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This is NOT a permit, you may not commence ANY work until the -
If you are in a Historic District you may be -

Application Number: 2-0793

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

[Redacted]

Approval Date: 08/12/2002

Given On: 07/30/2002



Name: Mike Nugent

Date: 08/12/2002

Project:

Individual tenant fit up permits are required, prior to commencement of construction of those spaces.

Create Date: 07/17/2002

By: gg

Update Date: 08/12/2002

By: mjn

Application ID Number: 2-0793

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 59 Washington Ave

Approval Date: 07/22/2002

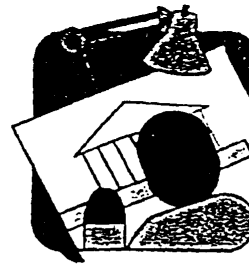
Given On Date: 07/19/2002

OK to Issue Permit Name: Marge Schmuckal Date: 07/22/2002 Date 2:

Conditions Section:

Please note that separate permits are required for any future change of uses and/or tenant fit-ups. This permit is not reflecting nor approving any change of uses.

Create Date: 07/17/2002 By: gg Update Date: 07/22/2002 By: mes



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Archetype, P.A.

48 Union Wharf Portland ME 04101

DATE: 7-16-02

Job Name: Renovations to former Nissen Bakery

Address of Construction: Washington Ave.

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 99 Use Group Classification(s) B

Type of Construction 2C Bldg. Height 43'-9" +/- Bldg. Sq. Footage 55K +/-

Seismic Zone 2 (AU=1, AA=1) Group Class 1

Roof Snow Load Per Sq. Ft. 42 PSF Dead Load Per Sq. Ft. 50 +/- PSF

Basic Wind Speed (mph) 85 mph Effective Velocity Pressure Per Sq. Ft. PE = 18.5 PSF

Floor Live Load Per Sq. Ft. 50 PSF office + 80 PSF corridor

Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project.



CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: Archetype, P.A.

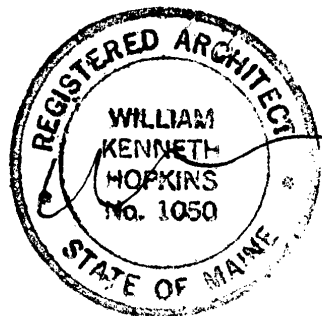
Address of Project Washington Ave. Portland ME

Nature of Project Renovations to parking lot
and Building

Date 7-16-02

The technical submissions covering the proposed construction work as described above have been have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



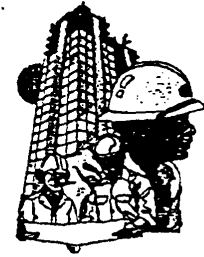
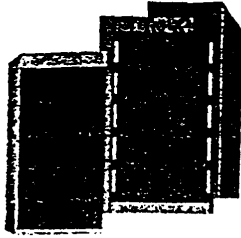
Signature [Handwritten Signature]

Title Architect

Firm Archetype, PA.

Address 48 Union Wharf
Portland, ME

Telephone 207 772 6022



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Archetype, P.A.

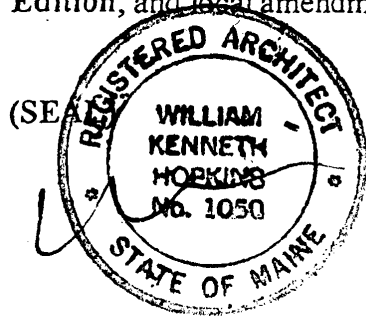
RE: Certificate of Design

DATE: 7-16-02

These plans and/or specifications covering construction work on:

Parking lot and building renovations

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Handwritten Signature]

Title Architect

Firm Archetype P.A.

Address 48 Union Wharf
Portland, ME 04101

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



Not
Reviewed
for Barrier
Free

State of Maine
Department of Public Safety
Construction Permit



Sprinkled
Sprinkler Supervised

12488

FORMER NISSEN'S BAKERY
Located at: 59 WASHINGTON AVE.
PORTLAND
Occupancy/Use: BUSINESS

Permission is hereby given to:
AIM PARTNERS

120 EXCHANGE STREET
PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.
no departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provisions
of Title 25, Chapter 317, Section 2448 .

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or
other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 01 th of Decemb 2002

Dated the 01 st day of June A.D. 2002

Commissioner

Copy-2 Architect

Comments:

ARCHETYPE

48 UNION WHARF
PORTLAND, ME 04101



Portland Maine:
 This Ordinance applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 and the National Electrical Code and the following specifications:

LOCATION: 59 West Ripston Av. METER MAKE & # _____
 CMP ACCOUNT # 3rd fl. OWNER _____
 TENANT _____ PHONE # _____

Date 12/18/02
 Permit # 5002-5051
 CBL# 013 I 043

						TOTAL EACH FEE	
OUTLETS	Receptacles		Switches		Smoke Detector		.20
FIXTURES	Incandescent	200	Fluorescent	100	Strips		.20
SERVICES	Overhead	90	Underground		TTL AMPS	<800	15.00
	Overhead		Underground			>800	25.00
Temporary Service	Overhead		Underground		TTL AMPS		25.00
METERS	(number of)						25.00
MOTORS	(number of)						25.00
RESID/COM	Electric units						1.00
HEATING	oil/gas units						2.00
APPLIANCES	Ranges		Interior		Exterior		1.00
	Insta-Hot		Cook Tops		Wall Ovens		1.00
	Dryers		Water heaters		Fans		
	Compactors		Disposals				
	Others (denote)		Spa				
	Air Co						
MISC. (number of)							

~~30.00~~
 26.00
 38.00

PLUMBING APPLICATION

Department of Human Sciences
Division of Health Engineering

2003-8001

PROPERTY ADDRESS

Town or Plantation: Portland Me.
Street Subdivision Lot #: 97 Washington Ave

PROPERTY OWNERS NAME

Last: A+M Partners L.L.C. First:
Applicant Name: George Anderson
Mailing Address of Owner/Applicant (If Different): Apex Plumbing Heating L.L.C., 240 Hills Beach Rd, Biddeford Me. 04005

Date Permit Issued: 10/21/03
Local Plumbing Inspector Signature: [Signature]
\$ 119.12/101d FEE Charged
L.P.I. # 06810
013 I 043

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 12-03

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: _____

PERMIT INFORMATION

This Application is for

1. NEW PLUMBING
2. RELOCATED PLUMBING

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING
2. MODULAR OR MOBILE HOME
3. MULTIPLE FAMILY DWELLING
4. OTHER - SPECIFY OFFICE

Plumbing To Be Installed By:

1. MASTER PLUMBER
2. OIL BURNERMAN
3. MFG'D. HOUSING DEALER/MECHANIC
4. PUBLIC UTILITY EMPLOYEE
5. PROPERTY OWNER
LICENSE # 12656

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Type of Fixture		Column 1 Type of Fixture	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Sillcock		Bathtub (and Shower)
	7	Floor Drain	2	Shower (Separate)
OR	1	Urinal	1	Sink
	1	Drinking Fountain	10	Wash Basin
HOOK-UP: to an existing subsurface wastewater disposal system.		Indirect Waste	7	Water Closet (Toilet)
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
OR		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
TRANSFER FEE [\$6.00]	1	Other: <u>JUNIOR SINK</u>	2	Water Heater
		Fixtures (Subtotal) Column 2	22	Fixtures (Subtotal) Column 1
		9	Fixtures (Subtotal) Column 2	
		31	Total Fixtures	
			Fixture Fee	
			Transfer Fee	
			Hook-Up & Relocation Fee	
			Permit Fee (Total)	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

1512 1517

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

February 19, 2003

Mr. Louis Wood
A & M Partners LLC
120 Exchange Street
Portland, Maine 04101

Subject: Former Nissen's Building, 59 Washington Avenue
(ID # 2002-0164)(CBL# 013-I-043)

Dear Mr. Wood:

Thank you for your submittal of the photometric plan pertaining to the former Nissen's building at 59 Washington Avenue. This photometric plan was requested because changes to the approved lighting locations have been performed. Upon review of the plan, it appears that this lighting configuration does not meet our lighting standards. In particular, there appears to be light trespass that exceeds the maximum limits. The areas of most concern are to the north of the site where residential buildings are located adjacent to your site.

For these reasons, it appears the lighting configuration will have to be modified in some fashion in order to be in compliance with City standards.

Also, the Planning Department had requested an as-built site plan that reflects the other field changes that I had discussed with yourself, and approved in the field.

Please respond to this letter at your earliest convenience to discuss these items. I can be reached at (207) 874-8632.

Sincerely,

Jay Reynolds
Development Review Coordinator

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2003-0194

Application I. D. Number

09/18/2003

Application Date

A & M Partners Llc

Applicant

120 Exchange St, Portland, ME 04101

Applicant's Mailing Address

Nissen's Business Complex

Project Name/Description

Consultant/Agent

Applicant Ph: (207) 775-2100 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

59 - 59 Washington Ave, Portland, Maine

Address of Proposed Site

013 1043001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units

Acreage of Site

B4

Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$1,000.00** Subdivision _____ Engineer Review _____ Date **09/22/2003**

Zoning Approval Status:

Reviewer

Marge Schmeckee

Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

Scanned

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: 59-75 WASHINGTON AVE		Zone: B4
Total Square Footage of Proposed Structure: EXISTING = 152,635 SF		Square Footage of Lot: 131,978 SF
Tax Assessor's Chart, Block & Lot: Chart# Block# Lot# 13 I43 1		Property owner's mailing address: ATM PARTNERS, LLC 120 EXCHANGE ST. PORTLAND, ME 04101
		Telephone #: 775 2100
Consultant/Agent, mailing address, phone # & contact person: SAME	Applicant's name, mailing address, telephone #/Fax#/Pager#: SAME	Project name: BUSINESS WISSENY OFFICE COMPLEX
<p>Proposed Development (check all that apply)</p> <p> <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Office <input checked="" type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____ </p> <p>Major Development (more than 10,000 sq. ft.)</p> <p> <input type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input checked="" type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee) </p> <p>Minor Site Plan Review</p> <p> <input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee) </p> <p>Plan Amendments</p> <p> <input type="checkbox"/> Planning Staff Review (\$250.00) <input type="checkbox"/> Planning Board Review (\$500.00) </p>		
- Please see next page -		

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

SAME AS OWNER

Submittals shall include (9) separate folded packets of the following:

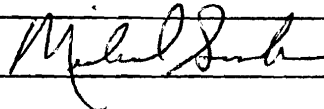
- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11)
you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date: 9/18/03

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

A & M PARTNERS, INC.

REAL ESTATE DEVELOPMENT/MANAGEMENT

120 EXCHANGE STREET PORTLAND, MAINE 04101



(207) 879-1358

9/16/03

Sarah Hopkins
Development Review Program Manager
Planning Department
City Hall
389 Congress Street
Portland, Maine 04101

Dear Sarah:

Please accept this letter and application for a major site review for the Nissen's office complex at 59-75 Washington Avenue. This request is for a change of use of up to 61,910 SF of space to business use. Previously this space was used for industrial/manufacturing (37,707 SF) and warehouse storage (24,203 SF).

The complete conversion of all 61,910 SF would be the worst case scenario as far as parking demand, however as with most redevelopments we have experienced, you can never be sure of the final mix of uses until the re-tenanting is complete. The existing parking available after the occupancy of the third floor by Casey Family Services is 122 spaces. Assuming conversion of all remaining spaces to business (office) use, this would service an additional 48,800 SF of build-out. The numbers would be somewhat different if part or all of the space went retail. At the maximum practical retail component of 20,000 SF our required parking would be 225 spaces (41,910 SF/400 SF + 20,000-2,000/150SF). If the end use were all office, the required parking would be 155 spaces (61,910/400 SF). Our final actual requirement might be substantially less if some or most of the available space remains warehouse or manufacturing. The 122 surplus spaces we currently control might, in fact, satisfy our total parking requirement. As we discussed in our recent meeting, it seems to make the most sense to review the building for the worst case scenario.


The approvals we seek under this application therefore would be for a change of use of a total maximum area of 61,910 SF, which would include a maximum potential retail component of 20,000 SF.

As a condition of board approval we would suggest that the planning staff be permitted to approve subsequent phases of the re-tenanting if the final parking requirements exceed the existing parking space availability. This would ensure that adequate parking is

provided by either additional leased parking areas or acquisition of new parking areas. Also attached for your review is a narrative summary of the technical aspects of this site review.

If I can provide any additional information regarding this project please feel free to contact me at 775-2100.

Sincerely,

A handwritten signature in cursive script that reads "Michael Scarks". The signature is written in black ink and is positioned above the printed name.

Michael Scarks, President
A & M Partners, LLC

A & M Partners, LLC
Written Statement – Change of Use for 59-75 Washington Avenue

- ITEM # 34 The current uses include warehousing/distribution, office, and light manufacturing. Potential future uses could also include retail.
- ITEM # 35 There is no residential use proposed
- ITEM # 36 The total area of the site is 132,000 +/- SF
- ITEM # 37 The total ground coverage of the building footprint is 80,500 +/- SF
- ITEM # 38 All existing easements are shown on the survey previously submitted. There are no new easements anticipated at this time.
- ITEM # 39 Solid waste is currently handled by the use of an 8 yd dumpster serviced by a local contractor.
- ITEM # 40 All existing off-site utilities formerly served the present structure. The change from manufacturing to mixed use has decreased demand for all existing utilities as well as traffic impact.
- ITEM # 41 We anticipate no problems with topography or drainage. We have already made substantial improvements through minor site review approvals.
- ITEM # 42 We hope to complete the “lease-up” of the entire property within 24 months, depending as always on prevailing market conditions.
- ITEM # 43 There are no State or Federal approvals being sought to complete the project.
- ITEM # 44 There are no pending applications for this project.
- ITEM # 45 N/A
- ITEM # 46 Previously provided
- ITEM # 47 Previously provided

REFERENCES

- 1) Portion of Property made for John J. Nissen Co. by Titcomb Associates, dated November 2, 1982, not recorded.
- 2) Plan of Property 101 Washington Ave., made for John J. Nissen Co. by Titcomb Associates, dated February 21, 1983, not recorded.
- 3) Standard Boundary Survey 120 Sheridan St. made for Thomas J. Reidy III and Pamela A. Reidy by Daniel J. Dalfonso, dated July 6, 1996, recorded in Plan Book 198, Page 18.
- 4) Plat Plan Showing Property of Walter A. Garry by Varney Engineering Co., dated October 8, 1946, recorded in Plan Book 32, Page 28.
- 5) Revaluation plans of Portland dated 1882, recorded in Plan Book 5, Pages 12 and 13.
- 6) Plan of Land in Portland made for John J. Nissen Baking Co. by E.C. Jordan, dated May 1945, not recorded.
- 7) Plan of Property at Portland made for John J. Nissen Baking Co. by H.I. & E.C. Jordan, dated March 1951, not recorded.
- 8) Plan of Property in Portland made for John J. Nissen Baking Co. by H.I. & E.C. Jordan, dated December 17, 1956, not recorded.
- 9) Plan of Property in Portland made for John J. Nissen Baking Co. by H.I. & E.C. Jordan, dated June 25, 1963, not recorded.
- 10) Plan of Land belonging to William Boyd by Charles H. Howe, dated June 1854, recorded in Plan Book 4, Page 44.
- 11) Plan Number 6 in the Partition of the Estate of Robert Boyd recorded January 29, 1841, in Book 169, Page 497.
- 12) Plan #173 of Lorch Street and Plans #46 & #47 of Sheridan Street on file in the office of the City Engineer in Portland, Maine.
- 13) Plan of Property in Portland made for Shell Oil Company by H.I. & E.C. Jordan, dated February 7, 1963, not recorded.
- 14) Plan #473/4 of Washington Avenue dated June 14, 1940, on file in the office of the City Engineer in Portland, Maine.
- 15) Plan of Division of Land conveyed by Elijah Kellogg to Sylvanus Cook et al. March 3, 1803, recorded in Book 51, Page 297.
- 16) Plans of Poplar Street (now Sheridan Street) dated 1854 and 1860, on file in the office of the City Engineer of Portland, Maine, Plan #370/53 and #370/55.

EASEMENTS and ENCUMBRANCES

- 1) The property is subject to the following easements to Central Maine Power Company and New England Telephone and Telegraph Company:
 - a) Book 3796, Page 181
 - b) Book 3199, Page 606
 - c) Book 3126, Page 749
 - d) Book 2977, Page 90
 - e) Book 2977, Page 309
 - f) Book 2064, Page 203
 - g) Book 3796, Page 182
- 2) The property is subject to a sewer easement between Romasco Lane and Washington Avenue as shown. No record of this was found.
- 3) The property is subject to a 12-foot wide right of way as shown. See Book 295, Page 128.
- 4) The property benefits from a 9-foot wide easement as shown. See Book 298, Page 297 and Book 8914, Pages 17 and 18.
- 5) The property may be subject to rights of the public in vacated streets (Linden Street and Linden Lane).

NOTES

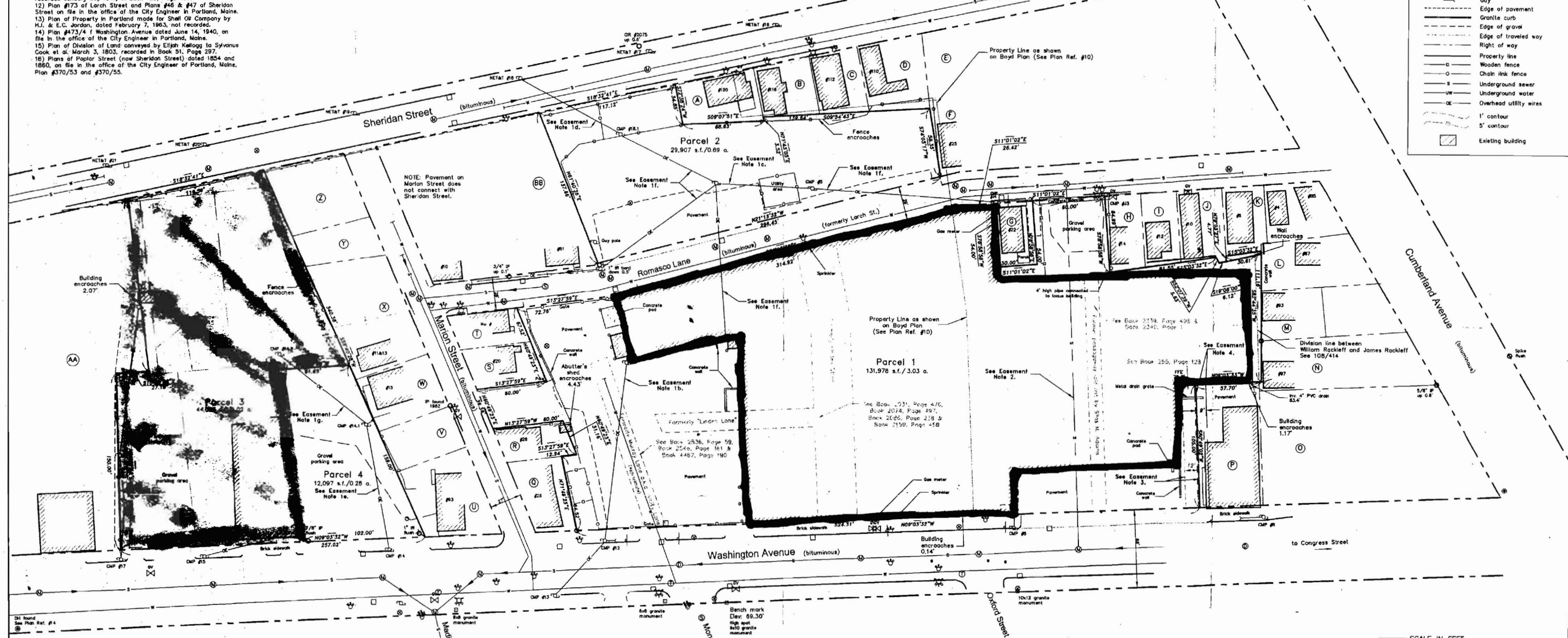
- 1) Bearings are based on Magnetic North 2002.
- 2) Book and Page references are to the Cumberland County Registry of Deeds.
- 3) Elevations are based on the City of Portland datum. Benchmark: granite monument at the southwest corner of Washington Avenue and Monroe Street. Elevation: 69.30'
- 4) Utility information shown on this plan is approximate, based on field information, locations marked by others and information contained on plans and drawings. Prior to any excavation or construction, the appropriate utilities should be contacted.
- 5) Fee in Murray Lane (a.k.a. Amity Lane) may reside in the heirs of Michael Murray.

OWNERS OF RECORD

Parcel 1, 2 & 4	A & M Partners, LLC Book 14681, Page 99	
Parcel 3	A.G. Car Co., Inc. Book 13507, Page 328	
AREA		
Parcel 1	131,976 s.f.	3.03 a.
Parcel 2	28,907 s.f.	0.66 a.
Parcel 4	12,097 s.f.	0.28 a.
Subtotal	173,982 s.f.	4.00 a.
Parcel 3	44,593 s.f.	1.02 a.
Total	218,575 s.f.	5.02 a.

LEGEND

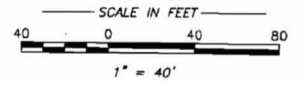
- Iron pin found
- ⊙ Monument found
- ⊖ Drill hole
- ⊕ Catch basin
- ⊗ Sewer manhole
- ⊘ Telephone manhole
- ⊙ Manhole (unknown type)
- ⊕ Water shaft
- ⊗ Fire hydrant
- ⊘ Utility pole
- ⊙ Gas valve
- ⊘ Valve (unknown type)
- ⊙ Ballast
- ⊖ PK nail found
- ⊙ Sign
- ⊖ Guy
- ⊘ Edge of pavement
- ⊙ Granite curb
- ⊘ Edge of gravel
- ⊙ Edge of traveled way
- ⊘ Right of way
- ⊙ Property line
- ⊘ Wooden fence
- ⊙ Chain link fence
- ⊘ Underground sewer
- ⊙ Underground water
- ⊘ Overhead utility wires
- ⊙ 1' contour
- ⊘ 5' contour
- ⊙ Existing building



ADJUTERS

(A) N/F Louis M. Garrison 10589/3 13-J-5 N/F	(F) N/F Joseph A. Saraco & Judith L. Saraco 8023/163 13-J-13 N/F	(K) N/F Joseph J. Cormier 8702/282 13-J-23 N/F	(P) N/F Yarmouth Trading Co. 17386/764 12-P-22 N/F
(B) N/F Timothy P. Carolan 13036/199 13-J-8 N/F	(G) N/F Gerard A. Myatt 4627/47 13-J-11 N/F	(L) N/F Robert J. Fontaine, Sr. & Frances H. Fontaine 2749/248 13-J-26 N/F	(Q) N/F Jared H. Larracey, Sr. & Bertha C. Larracey 11731/58 13-J-1 N/F
(C) N/F Frances A. Brown 13862/286 13-J-10 N/F	(H) N/F Antonio J. Romasco & Alice F. Romasco 3360/77 13-J-16 N/F	(M) N/F Kristine McCarthy 16851/279 13-J-20 N/F	(R) N/F George H. Larracey, Jr. 16036/248 13-J-2 N/F
(D) N/F Beverly A. Grant 4844/70 13-J-11 N/F	(I) N/F David W. Fontaine & Laura J. Fontaine 4509/21 13-J-18 N/F	(N) N/F Robert A. Arnold & Theresa Arnold 3287/149 13-J-4 N/F	(S) N/F Donato J. Ferrante & Elna J. Ferrante 2789/478 13-J-4 N/F
(E) N/F Deborah A. Ball 4059/205 13-J-12 N/F	(J) N/F David W. Fontaine & Laura J. Fontaine 11974/241 13-J-22 N/F	(O) N/F Tracy Guld & Jean Ann Marvin 14217/269 13-J-30 N/F	(T) N/F Matthew W. Fontaine, Anthony Ferrante & Doreen L. Ball 11222/74 13-J-4 N/F

LEASED PARKING
OWNED PARKING
LIMIT OF BUILDING FOOTPRINT



CERTIFICATION

This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors except as noted:

Exceptions:
(1) No pins set on of plan date
(2) No descriptions written

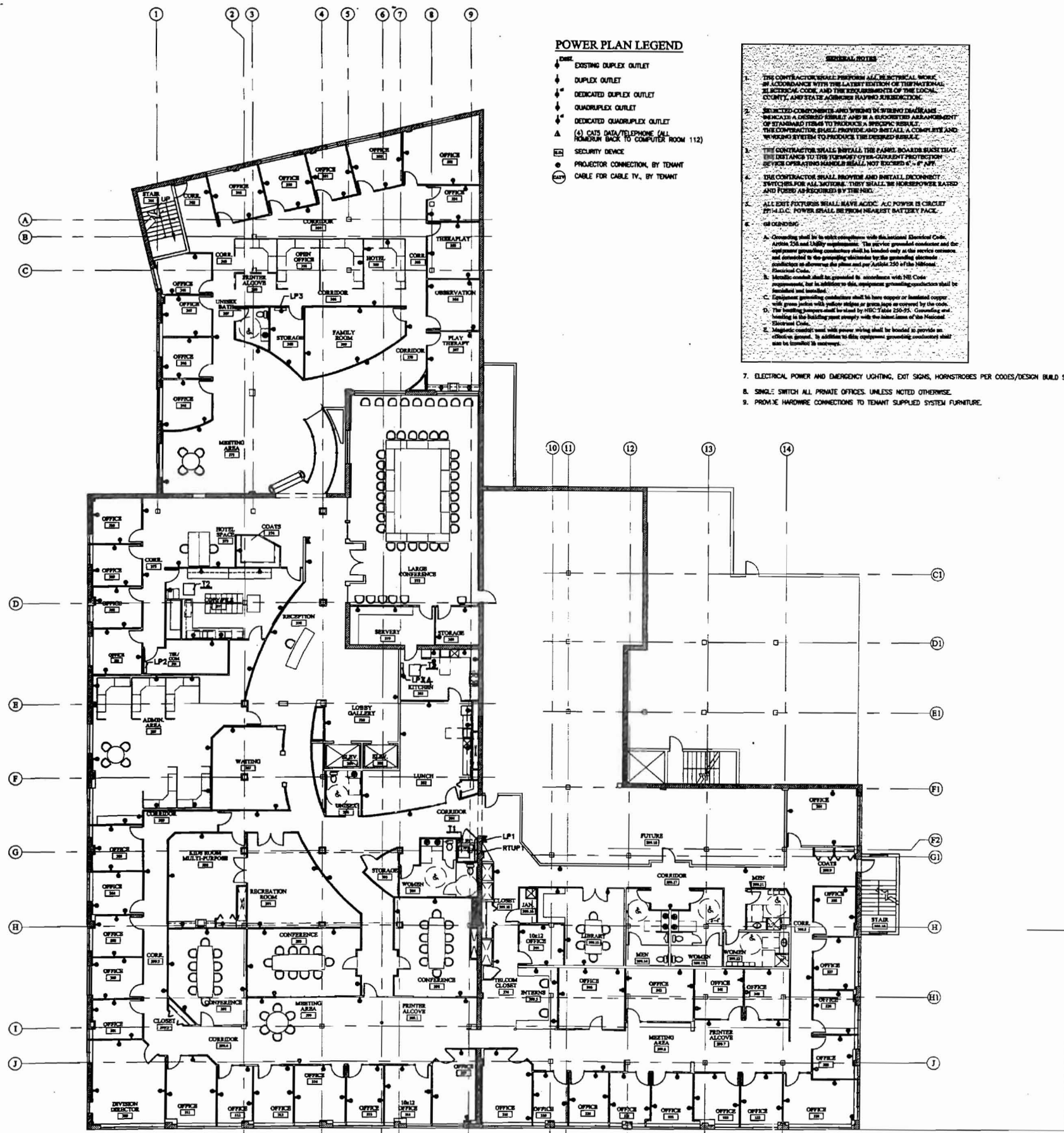
John N. Soule
John N. Soule PLS #2320
Dated: June 19, 2002

Plan of Property
(Former J.J. Nissen Bakery)
Washington Avenue, Romasco Lane,
Sheridan Street & Marion Street
Portland, Maine

MADE FOR
Neptune Properties, Inc.
120 Exchange Street
Portland, Maine

JOB# 202048 DATE: June 19, 2002 SCALE: 1" = 40'
BOOK# 677
202048.dwg
FILE# 8500

Titcomb Associates
133 Gray Road
Falmouth, Maine 04105



POWER PLAN LEGEND

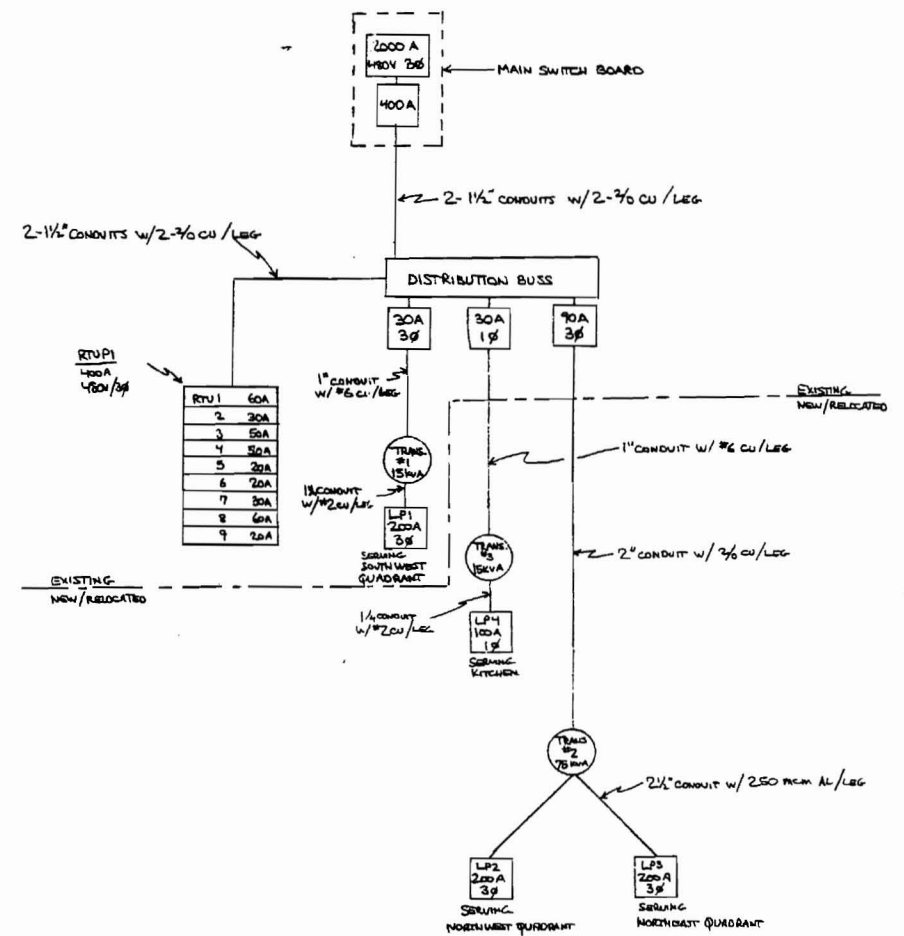
- ◻ EXISTING DUPLEX OUTLET
- ◻ DUPLEX OUTLET
- ◻ DEDICATED DUPLEX OUTLET
- ◻ QUADRUPLUX OUTLET
- ◻ DEDICATED QUADRUPLUX OUTLET
- ◻ (A) CATS DATA/TELEPHONE (ALL HOMERUN BACK TO COMPUTER ROOM 112)
- ◻ SECURITY DEVICE
- ◻ PROJECTOR CONNECTION, BY TENANT
- ◻ CABLE FOR CABLE TV., BY TENANT

GENERAL NOTES

- THE CONTRACTOR SHALL PERFORM ALL ELECTRICAL WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, AND THE REQUIREMENTS OF THE LOCAL, COUNTY, AND STATE AGENCIES HAVING JURISDICTION.
- SELECTED COMPONENTS AND WIRING IN SWIRING DRAWINGS SHALL BE A CHECKED RESULT AND IN A SUBORDINATE ARRANGEMENT OF STANDARDS TO PROVIDE A SPECIFIC RESULT. THE CONTRACTOR SHALL PROVIDE AND INSTALL A COMPLETE AND WORKING SYSTEM TO PRODUCE THE DESIRED RESULT.
- THE CONTRACTOR SHALL INSTALL THE PANEL BOARDS SUCH THAT THE DISTANCE FROM THE FRONT OF THE PANEL TO THE CENTER OF THE MAIN SWITCH SHALL NOT EXCEED 4'-0" AFF. SEVER OPERATING HAZARDS SHALL NOT EXCEED 4'-0" AFF.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL DISCONNECT SWITCHES FOR ALL MOTORS. THEY SHALL BE HORSEPOWER RATED AND FUSED AS REQUIRED BY THE NEC.
- ALL EXISTING FEEDERS SHALL HAVE A GFCI A/C POWER DISCONNECT AT EACH END. POWER SHALL BE FROM NEAREST METER FACE.
- OR GROUNDING:
 - Grounding shall be in strict accordance with the National Electrical Code, Article 250 and 252. The system grounded conductor and the equipment grounding conductors shall be bonded only at the service entrance and at the grounding electrode by the grounding electrode conductor as shown on the plan and as detailed in the National Electrical Code.
 - Isolated conductors shall be grounded in accordance with NEC Code requirements, but in addition to this, equipment grounding conductors shall be bonded and installed.
 - Equipment grounding conductors shall be bare copper or tinned copper with green jacket with yellow stripes or green/yellow as covered by the code.
 - The bonding jumper shall be sized by NEC Table 250.25. Grounding and bonding in the building shall comply with the latest issue of the National Electrical Code.
 - Magnetic conductors used with power wiring shall be bonded to provide an effective ground. In addition to this, equipment grounding conductors shall also be bonded to the system.
- ELECTRICAL POWER AND EMERGENCY LIGHTING, EXIT SIGNS, HORNSTROBES PER CODES/DESIGN BUILD SYSTEMS.
- SINGLE SWITCH ALL PRIVATE OFFICES, UNLESS NOTED OTHERWISE.
- PROMOTE HARDWARE CONNECTIONS TO TENANT SUPPLIED SYSTEM FURNITURE.

POWER PLAN
SCALE: 3/32" = 1'-0"

POWER RIGER DIAGRAM



10/14/11 11:01 Casey Family Services - Portland 3-Connection Drawing/01/01/11/11/11 AM



GAWRON ARCHITECTS
29 Black Point Road
Scarborough, ME 04074
www.gawron.com
Tel. 207. 883. 6307
Fax. 207. 883. 0361

CASEY FAMILY SERVICES
Nissen Building
Portland, Maine
Washington Ave.

REVISIONS	
#	DESCRIPTION

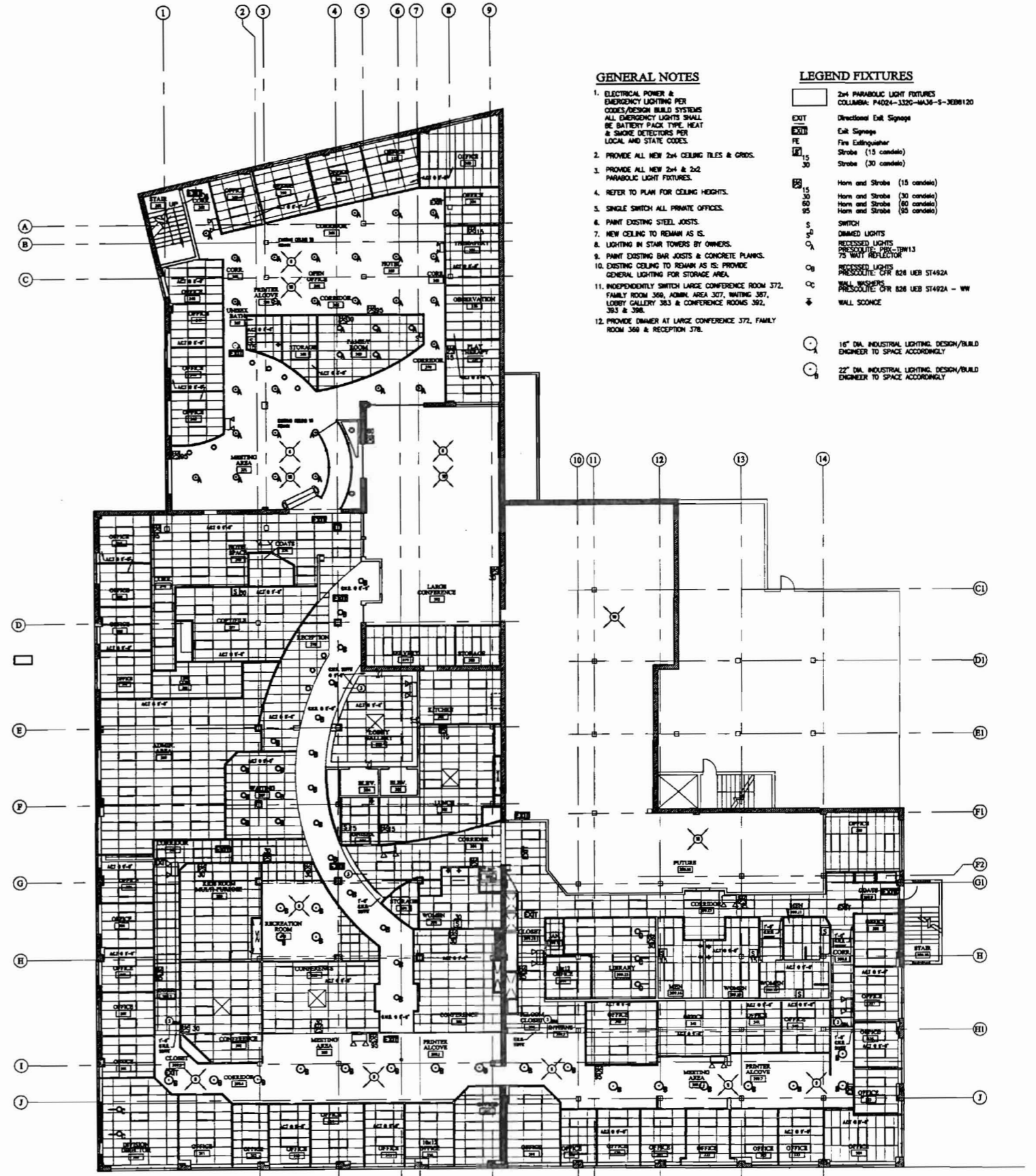
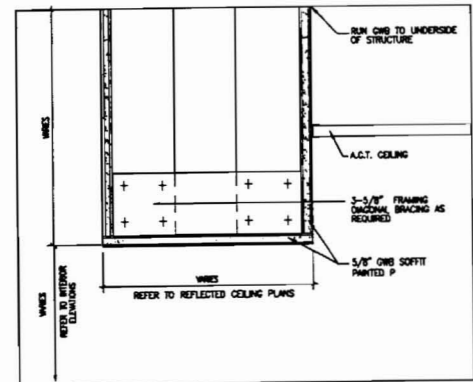
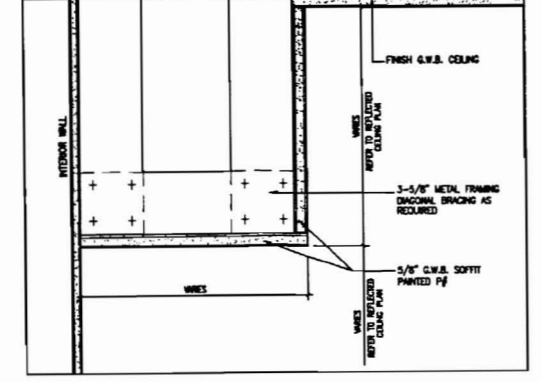
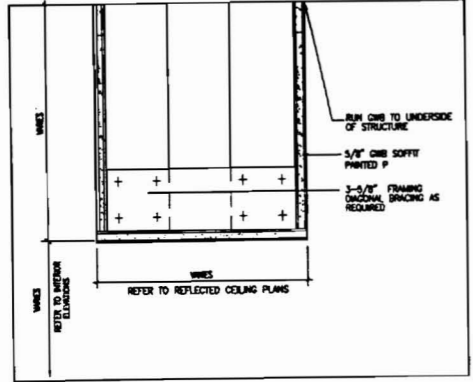
DATE: 08/04/11
PROJECT #: 041301
DRAWN BY: DLP
CHECKED BY: MBT
DRAWING SCALE: 1/2"=1'-0"

SHEET TITLE
POWER PLAN

A301

FOR CONSTRUCTION

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THIS DOCUMENT IS UNCLASSIFIED



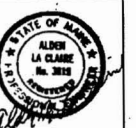
GENERAL NOTES

- ELECTRICAL POWER & EMERGENCY LIGHTING PER CODES/DESIGN BUILD SYSTEMS. ALL EMERGENCY LIGHTS SHALL BE BATTERY PACK TYPE, HEAT & SMOKE DETECTORS PER LOCAL AND STATE CODES.
- PROVIDE ALL NEW 2x4 & 2x2 PARABOLIC LIGHT FIXTURES.
- REFER TO PLAN FOR CEILING HEIGHTS.
- SINGLE SWITCH ALL PRIVATE OFFICES.
- PAINT EXISTING STEEL JOISTS.
- NEW CEILING TO REMAIN AS IS.
- LIGHTING IN STAIR TOWERS BY OWNERS.
- PAINT EXISTING BAR JOISTS & CONCRETE PLANKS.
- EXISTING CEILING TO REMAIN AS IS. PROVIDE GENERAL LIGHTING FOR STORAGE AREA.
- INDEPENDENTLY SWITCH LARGE CONFERENCE ROOM 372, FAMILY ROOM 368, ADMN. AREA 307, WAITING 387, LOBBY GALLERY 383 & CONFERENCE ROOMS 392, 393 & 398.
- PROVIDE OWNER AT LARGE CONFERENCE 372, FAMILY ROOM 368 & RECEPTION 378.

LEGEND FIXTURES

- 2x4 PARABOLIC LIGHT FIXTURES
COLUMN: P4024-3320-4434-5-308120
- EXIT
- FE
- 15
- 30
- 15
- 30
- 95
- SWITCH
- DIMMED LIGHTS
- RECESSED LIGHTS
- PRESCOTT: PFC-100113
- 75 WATT REFLECTOR
- RECESSED LIGHTS
- PRESCOTT: CFR 826 UEB ST492A
- RECY. INSULATED
- PRESCOTT: CFR 826 UEB ST492A - WW
- WALL SCONCE
- 16" DIA. INDUSTRIAL LIGHTING DESIGN/BUILD ENGINEER TO SPACE ACCORDINGLY
- 22" DIA. INDUSTRIAL LIGHTING DESIGN/BUILD ENGINEER TO SPACE ACCORDINGLY

REFLECTED CEILING PLAN
SCALE: 3/32" = 1'-0"
NOT FOR CONSTRUCTION
PROGRESS PRINT



GAWRON ARCHITECTS
29 Black Point Road
Scarborough, ME 04074
www.gawron.com
Tel. 207. 883. 6307
Fax. 207. 883. 0361

CASEY FAMILY SERVICES
Nissen Building
Washington Ave.
Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION

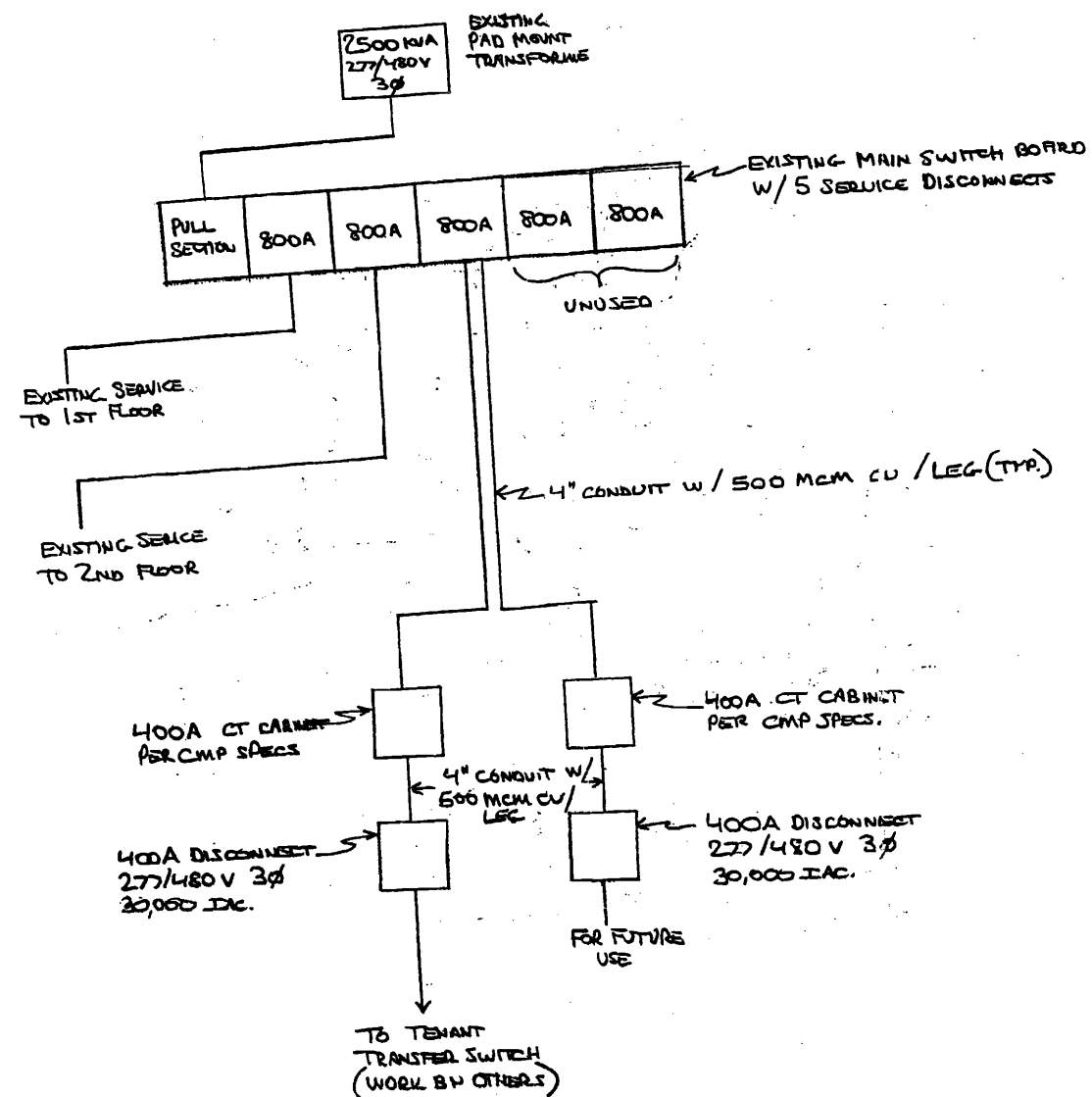
DATE	19/00/02
PROJECT #	041001
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE	3/32"=1'-0"

SHEET TITLE
REFLECTED CEILING PLAN

A201

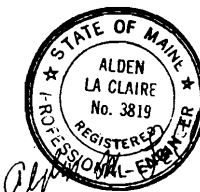
© COPYRIGHT 1983-2001
Gawron Architects
1000 Main Street
Portland, ME 04101

POWER RISER DIAGRAM



GENERAL NOTES

1. THE CONTRACTOR SHALL PERFORM ALL ELECTRICAL WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, AND THE REQUIREMENTS OF THE LOCAL, COUNTY, AND STATE AGENCIES HAVING JURISDICTION.
2. SELECTED COMPONENTS AND WIRING IN WIRING DIAGRAMS INDICATE A DESIRED RESULT AND IS A SUGGESTED ARRANGEMENT OF STANDARD ITEMS TO PRODUCE A SPECIFIC RESULT. THE CONTRACTOR SHALL PROVIDE AND INSTALL A COMPLETE AND WORKING SYSTEM TO PRODUCE THE DESIRED RESULT.
3. THE CONTRACTOR SHALL INSTALL THE PANEL BOARDS SUCH THAT THE DISTANCE TO THE TOPMOST OVER-CURRENT PROTECTION DEVICE OPERATING HANDLE SHALL NOT EXCEED 6' - 6" AFF.
4. THE CONTRACTOR SHALL PROVIDE AND INSTALL DISCONNECT SWITCHES FOR ALL MOTORS. THEY SHALL BE HORSEPOWER RATED AND FUSED AS REQUIRED BY THE NEC.
5. ALL EXIT FIXTURES SHALL HAVE AC/DC. A.C POWER IS CIRCUIT PPE-1.D.C. POWER SHALL BE FROM NEAREST BATTERY PACK.
5. GROUNDING
 - A. Grounding shall be in strict compliance with the national Electrical Code, Article 250 and Utility requirements. The service grounded conductor and the equipment grounding conductors shall be bonded only at the service entrance and connected to the grounding electrodes by the grounding electrode conductors as shown on the plans and per Article 250 of the National Electrical Code.
 - B. Metallic conduit shall be grounded in accordance with NE Code requirements, but in addition to this, equipment grounding conductors shall be furnished and installed.
 - C. Equipment grounding conductors shall be bare copper or insulated copper with green jacket with yellow stripes or green tape as covered by the code.
 - D. The bonding jumpers shall be sized by NEC Table 250-95. Grounding and bonding in the building must comply with the latest issue of the National Electrical Code.
 - E. Magnetic conduit used with power wiring shall be bonded to provide an effective ground. In addition to this, equipment grounding conductors shall also be installed in raceways.



340 ASSOCIATES, LLC		
SCALE: N/A	APPROVED BY	DRAWN BY
DATE: 12/12/02		
120 EXCHANGE ST., PORTLAND, ME, 04101		
ELEC. SERVICE FOR "GWI" (3075)		DRAWING NUMBER

NEW ELEVATORS, NEW ATRIUM FLOOR, STAIRWAY RENOVATIONS, AND WINDOW REPLACEMENT TO THE FORMER NISSEN BAKERY

WASHINGTON AVENUE, PORTLAND ME

OWNER:
A&M Properties, LLC
120 Exchange Street
Portland, ME 04101

ARCHITECT:
Archetype
48 Union Wharf
Portland, Maine 04101
(207) 772-6022

BOCA CODE 1999

EXIST AREA	
1ST FLOOR	55,865
2ND FLOOR	55,065
3RD FLOOR	35,200
4TH FLOOR	6505
TOTAL	152,635

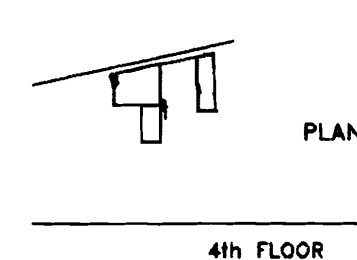
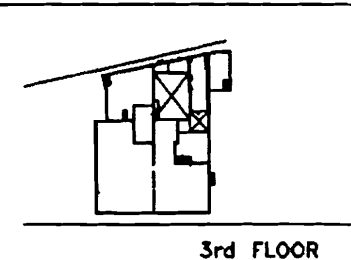
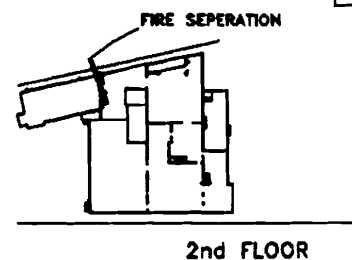
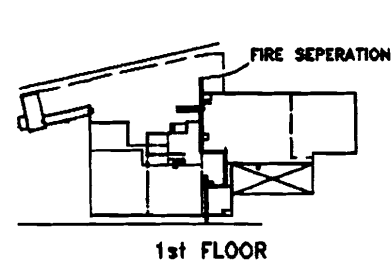
FORMER USE; INDUSTRIAL
INTENDED NEW USE; BUSINESS
PREDOMINANT CONSTRUCTION TYPE 2C

AREA ANALYSIS--

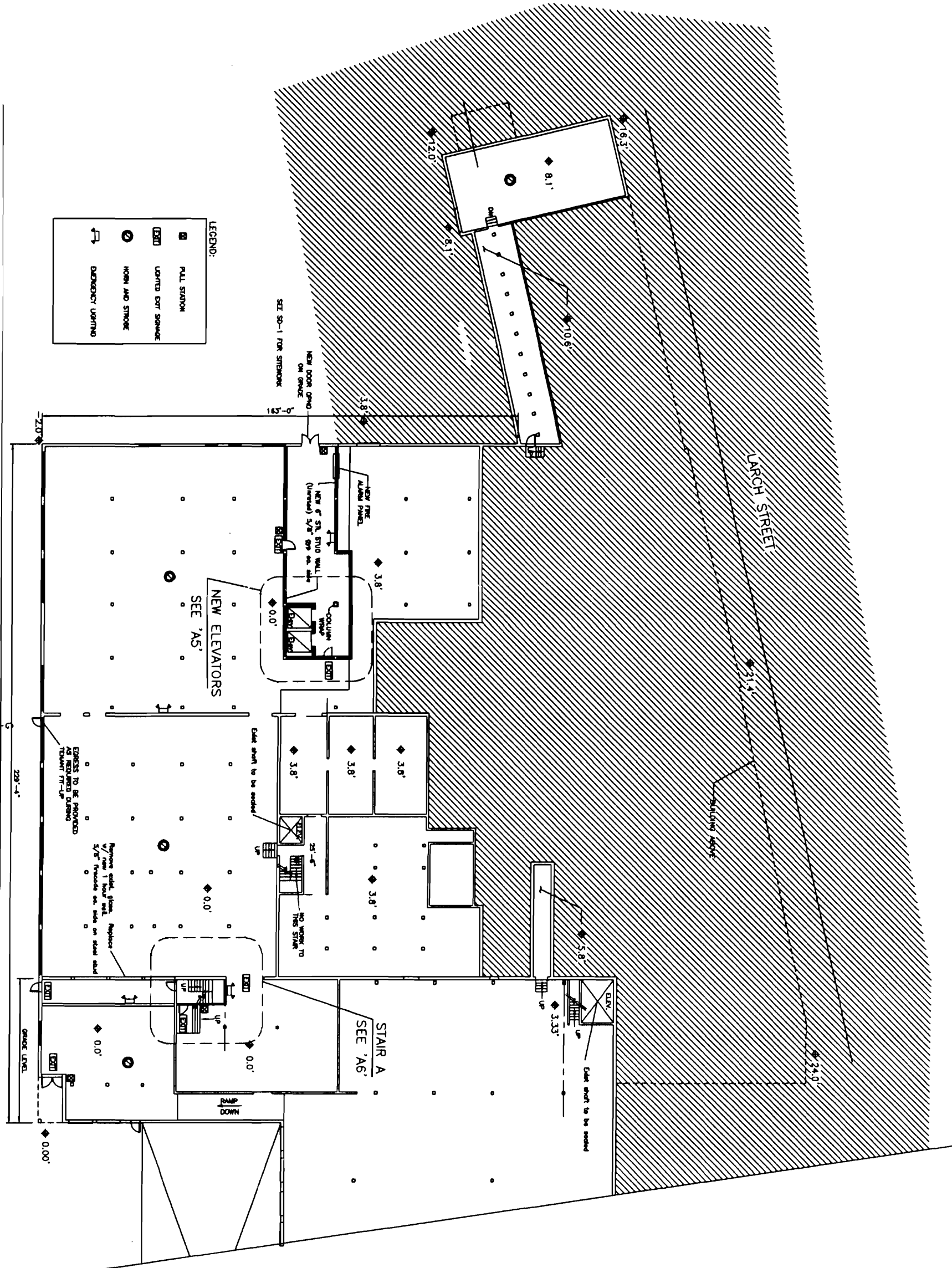
2c BUSINESS ALLOWABLE 14400 sq ft & 35T
 $14400 - 20\% = 11520$
 $11520 + 100\% \text{ (sprinkler)} = 23040$
 $23040 + 75\% = 41300 \text{ ALLOWABLE AREA}$

LIST OF DRAWINGS

A1	FIRST FLOOR PLAN
A2	2ND FLOOR PLAN
A3	3RD FLOOR PLAN
A4	4TH FLOOR PLAN
A5	ELEVATOR DETAILS
A6	STAIR 'A'
A7	STAIR 'B' & DOOR SCHEDULE



PLANS FOR DIAGRAM USE ONLY



LEGEND:

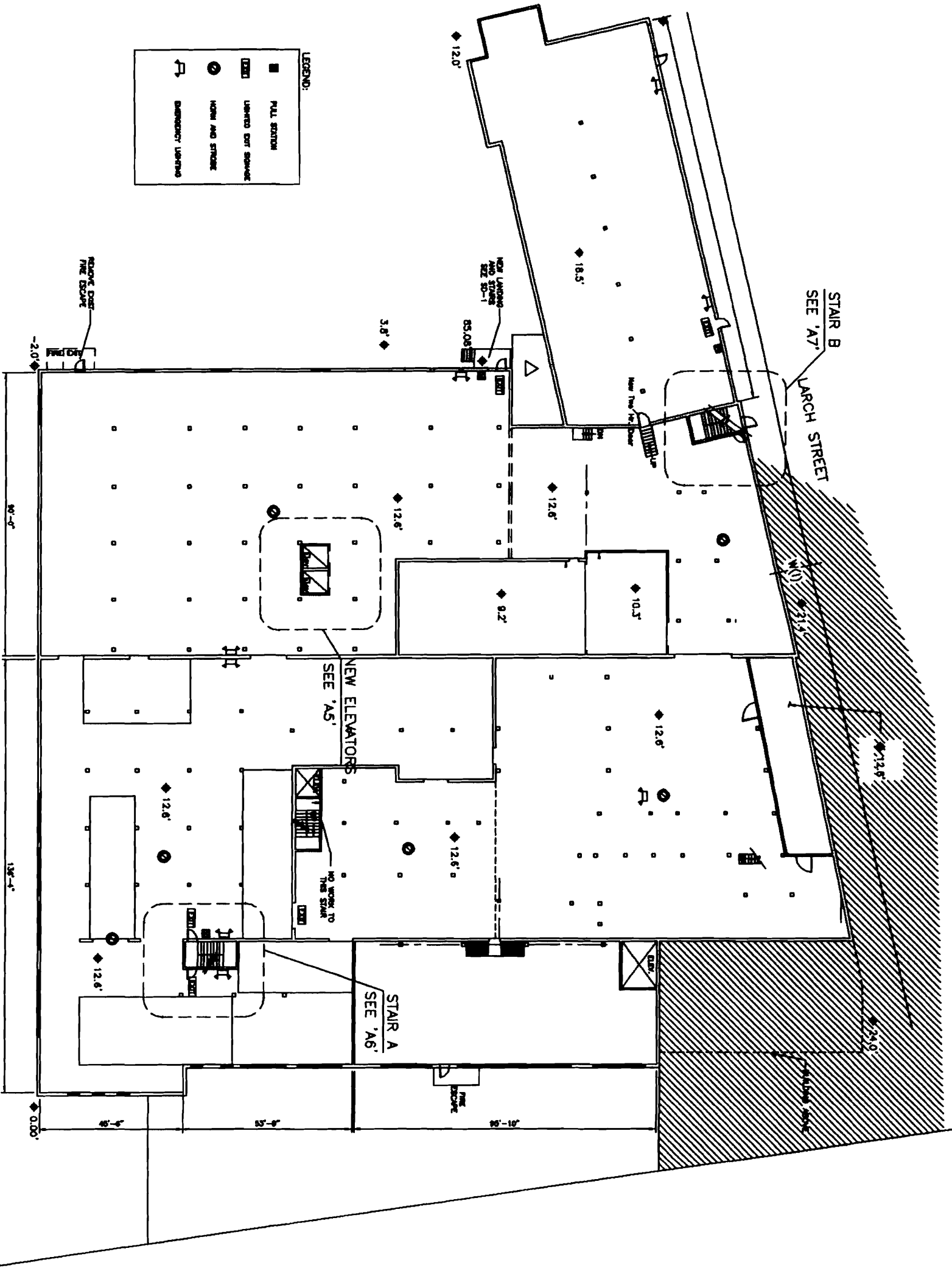
	FALL STATION
	LIMITED EXIT SIGNAGE
	HORN AND STROBE
	EMERGENCY LIGHTING

FLOOR PLAN - LEVEL 1
Scale: 1/16"=1'-0"

A1	Drawing FIRST FLOOR PLAN	Date 15 May, 2002	Scale 1/16" = 1'-0"	ARCHETYPE, P.A. ARCHITECTS	Project: Elevator Addition, New Atrium Floor Stairway Renovation and Window Replacement The Former Nussen Bakery Washington Ave., Portland	Owner: A&M Properties, LLC 120 Exchange Street Portland, ME 04101
		Drawn By: Revisions: SUBMISSION TO M.S.F.M	Checked By:			

LEGEND:

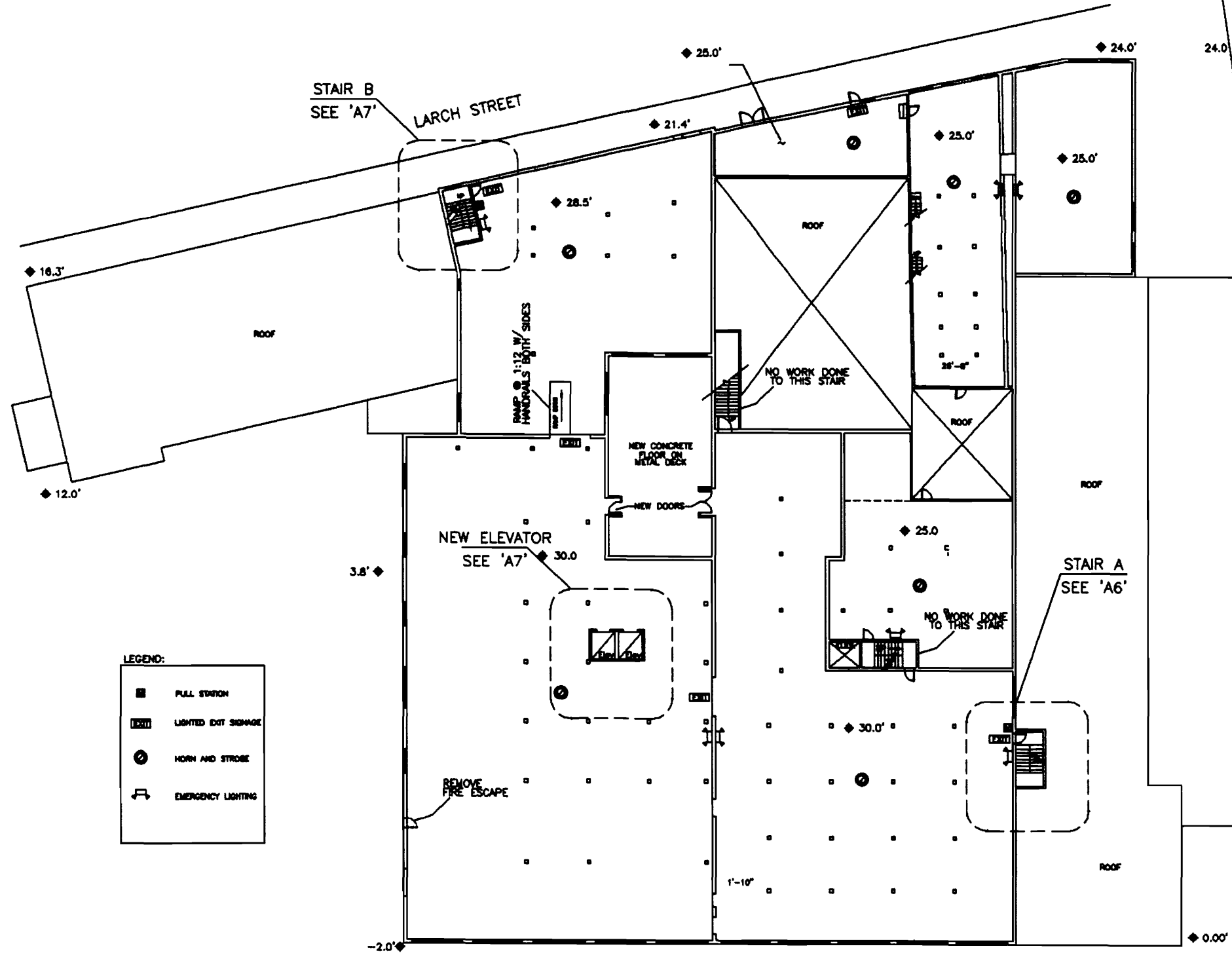
	FALL SECTION
	LIMITED EXIT SIGNAGE
	HORN AND STROKE
	EMERGENCY LIGHTING



FLOOR PLAN - LEVEL 2
 Scale: 1/16" = 1'-0"

WASHINGTON AVENUE

A2	Drawing SECOND FLOOR PLAN	Date 10 JUNE, 2002	Scale 1/16" = 1'-0"	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6622 Fax (207) 772-4056	Project: Elevator Addition, New Atrium Floor Stairways Replacements and Window Replacement to The Former Nissen Bakery Washington Ave., Portland	Owner: A&M Properties, LLC 120 Exchange Street Portland, ME 04101
		Drawn By: Revisions: SUBMISSION TO M.E.P.M.	Checked By:			



FLOOR PLAN - LEVEL 3
Scale: 1/16"=1'-0"

WASHINGTON AVENUE

Client:
A&M Properties, LLC
120 Exchange Street
Portland, ME 04101

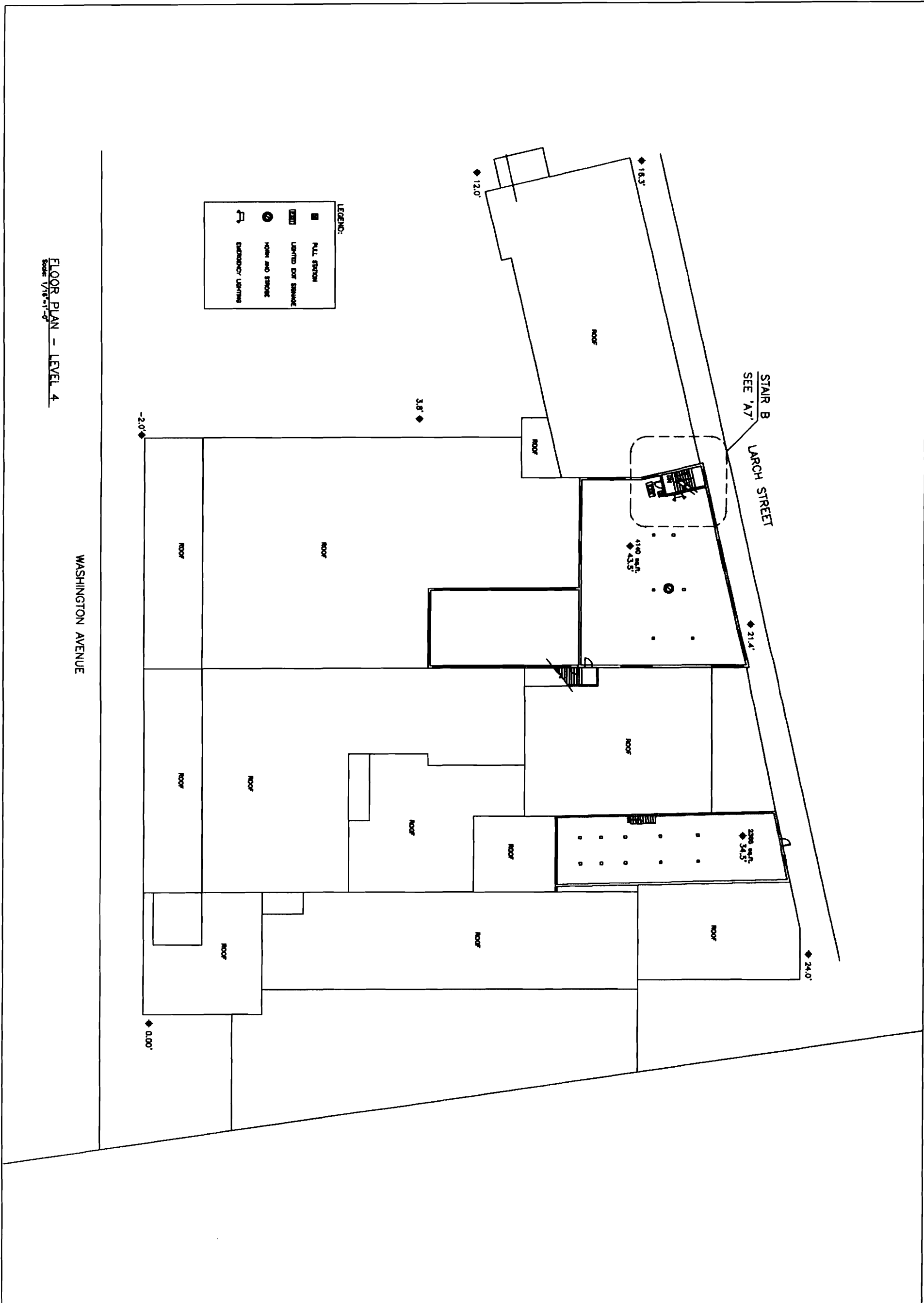
Project:
Elevator Addition, New Atrium Floor
& Stairway Renovation to
The Former Nissen Bakery
Washington Ave., Portland

ARCHETYPE, P.A.
ARCHITECTS
48 Union Street Portland, Maine 04101
(207) 772-6023 Fax (207) 772-4056

Date:	13 May, 2002
Drawn By:	TO M.S.B.M.
Checked By:	
Scale:	1/16" = 1'-0"

THIRD FLOOR PLAN

A3



FLOOR PLAN - LEVEL 4
Scale: 1/16" = 1'-0"

WASHINGTON AVENUE

STAIR B
SEE 'A7'

LARCH STREET

LEGEND:

	FULL ELEVATION
	LIGHTED COR SERVICE
	ROOM AND STORAGE
	EMERGENCY LIGHTING

A4

Drawing
FOURTH FLOOR PLAN

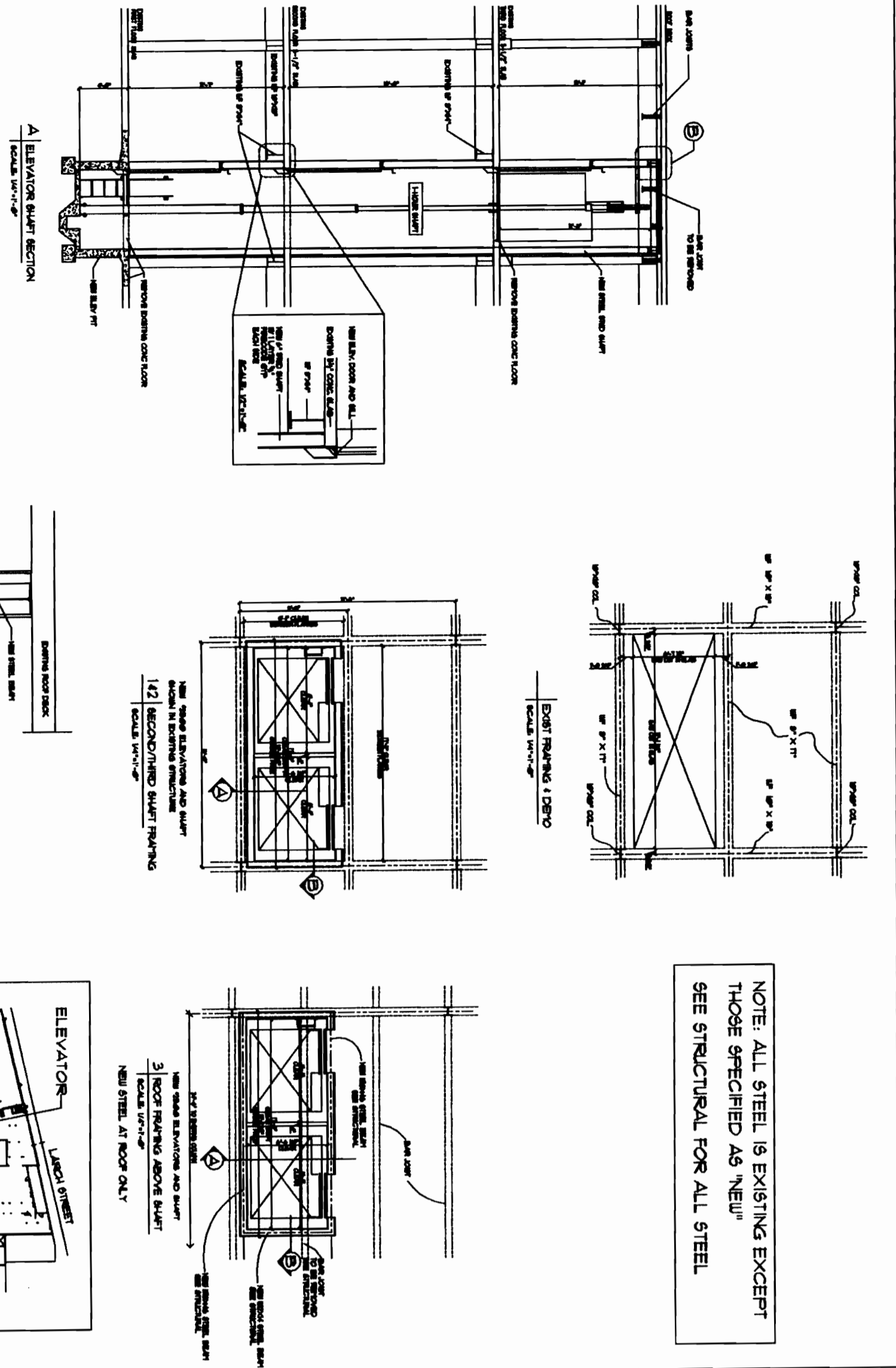
Date: 15 May, 2002
Drawn By:
Checked By:
Revisions:

**ARCHETYPE, P.A.
ARCHITECTS**

48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

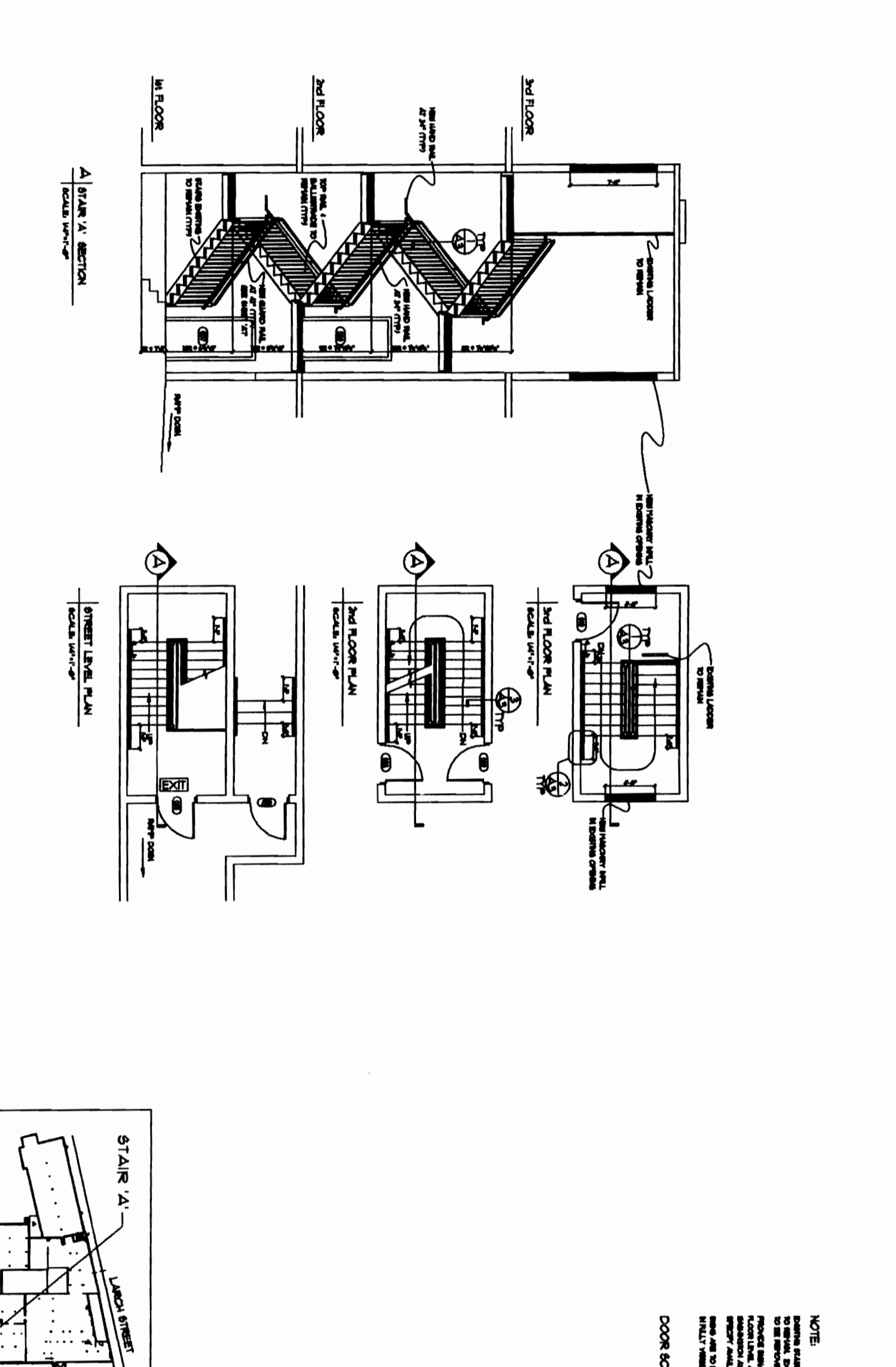
Project:
Elevator Additions, New Atrium Floor
Window Replacement
and Stairway Renovation to
The Former Nissen Bakery
Washington Ave., Portland

Owner:
A&M Properties, LLC
120 Exchange Street
Portland, ME 04101



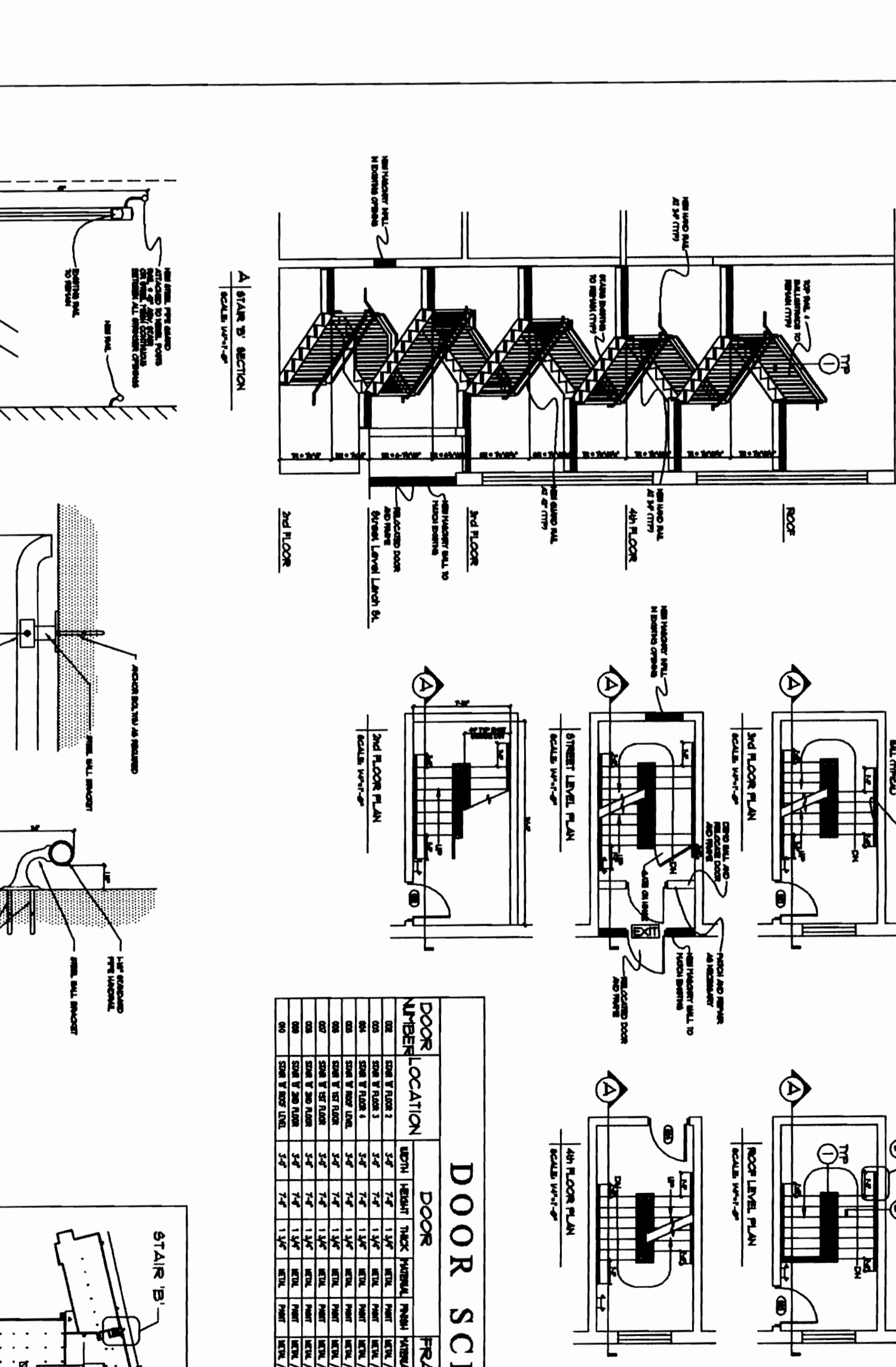
NOTE: ALL STEEL IS EXISTING EXCEPT THOSE SPECIFIED AS "NEW"
SEE STRUCTURAL FOR ALL STEEL

A5	<p>Architect: ARCHETYPE, P.A. ARCHITECTS 48 Union Street Portland, Maine 04101 (207) 773-6822 Fax (207) 773-4556</p>	<p>Project: Elevator Addition, New Atrium Floor Window Replacement and Stairway Renovation to The Former Niessen Bakery Washington Ave., Portland</p>	<p>Owner: A&M Properties, LLC 120 Exchange Street Portland, ME 04101</p>
	<p>Date: 10 Jun, 2002 Drawn By: [Name] Reviewed By: [Name]</p>	<p>Scale: 1/4" = 1'-0"</p>	<p>Revision: SUBMISSION TO M&PM</p>
	<p>Client: [Name]</p>		
	<p>Drawing: NEW ELEVATOR DETAILS</p>		



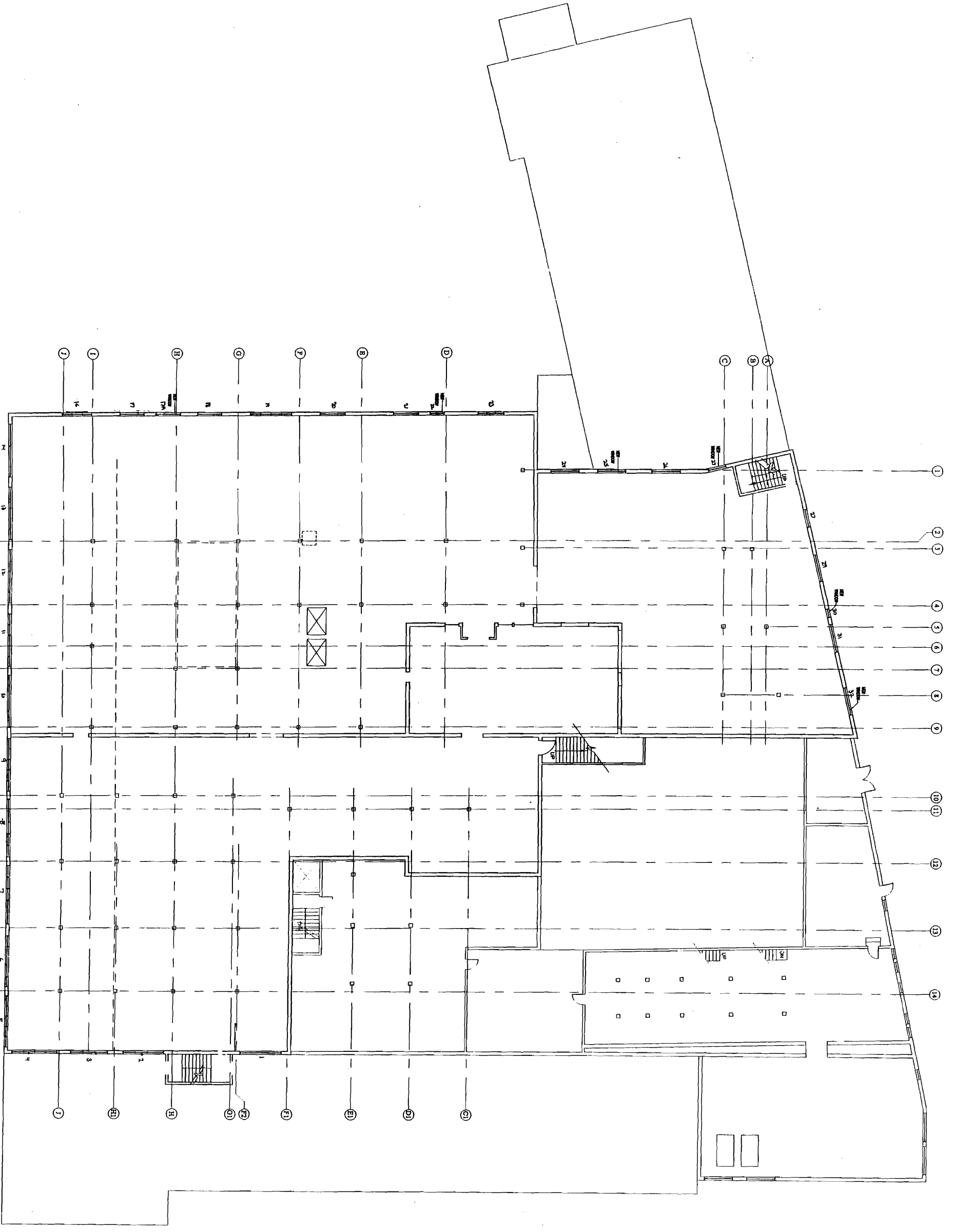
NOTE: [Text regarding door schedule and structural details]

A6	<p>Architect: ARCHETYPE, P.A. ARCHITECTS 48 Union Street Portland, Maine 04101 (207) 773-6822 Fax (207) 773-4556</p>	<p>Project: Elevator Addition, New Atrium Floor Window Replacement and Stairway Renovation to The Former Niessen Bakery Washington Ave., Portland</p>	<p>Owner: A&M Properties, LLC 120 Exchange Street Portland, ME 04101</p>
	<p>Date: 15 May, 2002 Drawn By: [Name] Reviewed By: [Name]</p>	<p>Scale: 1/4" = 1'-0"</p>	<p>Revision: SUBMISSION TO M&PM</p>
	<p>Client: [Name]</p>		
	<p>Drawing: STAIR 'A'</p>		



NOTE: [Text regarding door schedule and structural details]

A7	<p>Architect: ARCHETYPE, P.A. ARCHITECTS 48 Union Street Portland, Maine 04101 (207) 773-6822 Fax (207) 773-4556</p>	<p>Project: Elevator Addition, New Atrium Floor Window Replacement and Stairway Renovation to The Former Niessen Bakery Washington Ave., Portland</p>	<p>Owner: A&M Properties, LLC 120 Exchange Street Portland, ME 04101</p>
	<p>Date: 10 Jun, 2002 Drawn By: [Name] Reviewed By: [Name]</p>	<p>Scale: 1/4" = 1'-0"</p>	<p>Revision: SUBMISSION TO M&PM</p>
	<p>Client: [Name]</p>		
	<p>Drawing: STAIR 'B' AND DOOR SCHEDULE</p>		



3RD FLOOR WINDOW PLAN
 NISSEN'S OFFICE COMPLEX

NOTE: ALL EXISTING AND NEW WINDOWS TO BE GRAPES AND 18" HIGH LANTERN
 TO 34-3/4" ABOVE FINISH FLOOR.
 6 NEW WINDOWS TO BE INSTALLED AS SHOWN
 SEE SILL DETAIL ON S-8

SCHEMATIC FLOOR PLAN

REFERENCES

- 1) Portion of Property made for John J. Nissen Co. by Titcomb Associates, dated November 2, 1982, not recorded.
- 2) Plan of Property 101 Washington Ave. made for John J. Nissen Co. by Titcomb Associates, dated February 21, 1983, not recorded.
- 3) Standard Boundary Survey 120 Sheridan St. made for Thomas J. Reilly II and Pamela A. Reilly by Daniel J. Dufosse, dated July 6, 1990, recorded in Plan Book 106, Page 18.
- 4) Plat Plan Showing Property of Walter A. Gerry by Varney Engineering Co., dated October 8, 1946, recorded in Plan Book 32, Page 28.
- 5) Revaluation plans of Portland dated 1882, recorded in Plan Book 5, Pages 12 and 13.
- 6) Plan of Land in Portland made for John J. Nissen Baking Co. by E.C. Jordan, dated May 1945, not recorded.
- 7) Plan of Property at Portland made for John J. Nissen Baking Co. by H.I. & E.C. Jordan, dated March 1951, not recorded.
- 8) Plan of Property in Portland made for John J. Nissen Baking Co. by H.I. & E.C. Jordan, dated December 17, 1956, not recorded.
- 9) Plan of Property in Portland made for John J. Nissen Baking Co. by H.I. & E.C. Jordan, dated June 25, 1963, not recorded.
- 10) Plan of Land belonging to William Boyd by Charles H. Howe, dated June 1864, recorded in Plan Book 4, Page 44.
- 11) Plan Number 5 in the Partition of the Estate of Robert Boyd recorded January 29, 1841, in Book 169, Page 497.
- 12) Plan #173 of Larch Street and Plans #48 & #47 of Sheridan Street, on file in the office of the City Engineer in Portland, Maine.
- 13) Plan of Property in Portland made for Shell Oil Company by H.I. & E.C. Jordan, dated February 7, 1963, not recorded.
- 14) Plan #473/4 of Washington Avenue dated June 14, 1940, on file in the office of the City Engineer in Portland, Maine.
- 15) Plan of Division of Land conveyed by Elijah Kellogg to Sylvanus Cook et al. March 3, 1803, recorded in Book 51, Page 297.

EASEMENTS and ENCUMBRANCES

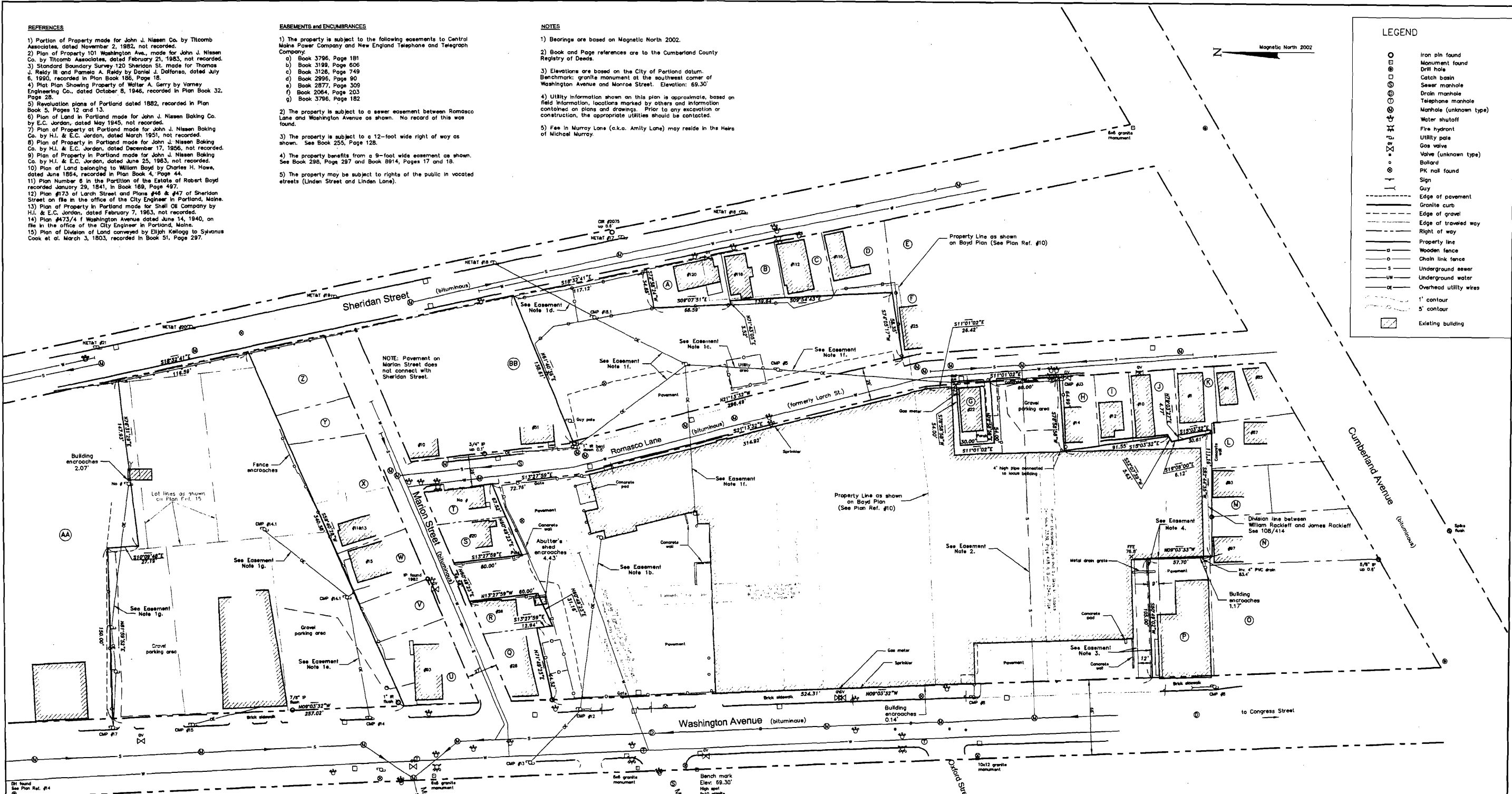
- 1) The property is subject to the following easements to Central Maine Power Company and New England Telephone and Telegraph Company:
 - a) Book 3796, Page 181
 - b) Book 3198, Page 606
 - c) Book 3128, Page 749
 - d) Book 2996, Page 60
 - e) Book 2877, Page 309
 - f) Book 2064, Page 203
 - g) Book 3796, Page 182
- 2) The property is subject to a sewer easement from Romasco Lane and Washington Avenue as shown. No record of this was found.
- 3) The property is subject to a 12-foot wide right of way as shown. See Book 255, Page 128.
- 4) The property benefits from a 9-foot wide easement as shown. See Book 296, Page 297 and Book 8914, Pages 17 and 18.
- 5) The property may be subject to rights of the public in vacated streets (Linden Street and Linden Lane).

NOTES

- 1) Bearings are based on Magnetic North 2002.
- 2) Book and Page references are to the Cumberland County Registry of Deeds.
- 3) Elevations are based on the City of Portland datum. Benchmark: granite monument at the southwest corner of Washington Avenue and Monroe Street. Elevation: 69.30'
- 4) Utility information shown on this plan is approximate, based on field information, locations marked by others and information contained on plans and drawings. Prior to any excavation or construction, the appropriate utilities should be contacted.
- 5) Fax in Murray Lane (a.k.a. Amity Lane) may reside in the care of Michael Murray.

LEGEND

- Iron pin found
- Monument found
- Drill hole
- Catch basin
- Sewer manhole
- Drain manhole
- Telephone manhole
- Manhole (unknown type)
- Water shutoff
- Fire hydrant
- Utility pole
- Gas valve
- Valve (unknown type)
- Ballard
- PK nail found
- Sign
- Guy
- Edge of pavement
- Granite curb
- Edge of gravel
- Edge of traveled way
- Right of way
- Property line
- Wooden fence
- Chain link fence
- Underground sewer
- Underground water
- Overhead utility wires
- 1' contour
- 5' contour
- ▭ Existing building



ABUTTERS

(A) N/F Laura M. Gorrivan 10568/3 13--5	(F) N/F Joseph A. Seneco & Judith L. Seneco 8025/183 13--13	(K) N/F Joseph J. Cormier 8702/282 13--23	(P) N/F Yarmouth Trading Co. 17396/164 13--20	(U) N/F Stephen J. Ryder 8081/43 12--22	(Z) N/F Richard G. Creighton & Raymond H. Creighton, Jr. 6386/339 12--28
(B) N/F Timothy P. Corolan 13036/199 13--8	(G) N/F Garard A. Nyatt 4627/47 13--11	(L) N/F Robert J. Fontaine, Jr. & Frances H. Fontaine 2749/246 13--26	(Q) N/F Bertha C. Laracey, Sr. & George C. Laracey 11731/56 13--11	(V) N/F Richard Hagan & Nancy Hagan 6972/221 12--23	(AA) N/F Richard G. Creighton & Raymond H. Creighton, Jr. 6388/339 12--7
(C) N/F Frances A. Brown 1382/286 13--10	(H) N/F Antonio J. Romasco & Alice E. Romasco 1356/7 13--16	(M) N/F Kristina A. McCarthy 18651/278 13--40	(R) N/F George H. Laracey, Jr. 18036/246 13--4	(W) N/F Loretta Dobson 13496/310 12--24	(BB) N/F Jon F. DiMauro 10569/16 13--5
(D) N/F Dewey W. Grant 4644/70 13--11	(I) N/F David W. Fontaine & Laura J. Fontaine 18409/21 13--19	(N) N/F Robert A. Arnold & Thuong Arnold 3287/149 13--25	(S) N/F Donato J. Ferrante & Ethel J. Ferrante 2769/476 13--25	(X) N/F Loretta Dobson 13224/335 12--25	
(E) N/F Deborah J. Bell 4059/205 13--12	(J) N/F David W. Fontaine & Laura J. Fontaine 11974/241 13--22	(O) N/F Tracy Guild & Jean Glen Marvin 4621/299 13--30	(T) N/F Matthew W. Ferrante, Anthony Ferrante & Doreen L. Bell 11227/74 13--4	(Y) N/F Edward F. Cogswell & Elizabeth L. Cogswell 2310/307 12--27	

CERTIFICATION

This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors except as noted:

- (1) No pins set as of plan date
- (2) No report written
- (3) No descriptions written

Judith N. Soule PLS #2320
Dated: June 19, 2002

PROPERTY SURVEY
Existing Conditions Survey
(Former J.J. Nissen Bakery)
Washington Avenue, Romasco Lane,
Sheridan Street & Marion Street
Portland, Maine

MADE FOR
Neptune Properties, Inc.
120 Exchange Street
Portland, Maine

JOB# 202048	DATE: June 19, 2002	SCALE: 1" = 40'
BOOK# 677		
202048.dwg		
FILE# 8500		

Titcomb Associates
133 Gray Road
Falmouth, Maine 04105

8/14/02 3rd floor. The wood paneling
on the window walls has not yet been
ok. - good. - patches ok to
four sites - (D)

1/6/03 - 1 window / glass still under
repair. floor finished - ok (D)