

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 030881

Please Read Application And Notes, if Any, Attached

This is to certify that Graham John M /M & M Industries

has permission to Rehab attic space for fourth floor usage.

AT 85 Cumberland Ave

013 1027001

Permit Application has expired & abandoned 1/7/08

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in progress must be reported before this building or part thereof is occupied or services used-in. HOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. *[Signature]*

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0881	Date Applied For: 07/23/2003	CBL: 013 I027001
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Location of Construction: 85 Cumberland Ave	Owner Name: Graham John M	Owner Address: 85 Cumberland Ave # 2	Phone: 207-491-1660
Business Name: n/a	Contractor Name: M & M Industries	Contractor Address: 90 Pearl St. #1 So. Portland	Phone: (207) 329-4875
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Commercial	

Proposed Use: Multi Family / Rehab attic space for fourth floor usage.	Proposed Project Description: Rehab attic space for fourth floor usage.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/07/2003
Note: 08/07/03 received fax to confirm that this is not a change of use. The building will remain a 3 family dwelling. **Ok to Issue:**
 unit. The new attic area will go with the 3rd floor unit.

- 1) This dormer allowance maximizes the one time 50% upward expansion allowed under 14-436.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** Mike Nugent **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 07/31/2003
Note: **Ok to Issue:**

- 1) smoke detectors shall be installed in accordance with NFPA 101
- 2) the boiler shall be seperated with a one hour fire rating or smoke protected with a domestic sprinkler
- 3) vertical openings shall be fire rated with a minimum of one hour rating

Comments:
 08/13/2003-mjn: Preliminary review revealed that the attic would become a 4th floor which is not allowed with type 5A construction, (Table 503 BOCA) Owner will research options and get back to me. MJN

Application has expired & been abandoned, 11/7/08

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0881	Issue Date:	CBL: 013 I027001
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Location of Construction: 85 Cumberland Ave	Owner Name: Graham John M	Owner Address: 85 Cumberland Ave # 2	Phone: 207-491-1660
Business Name: n/a	Contractor Name: M & M Industries <i>mark</i>	Contractor Address: 90 Pearl St. #1 So. Portland	Phone: 2073294875
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: <i>R6</i>

Past Use: Multi Family / 3 Unit	Proposed Use: Multi Family / Rehab attic space for fourth floor usage. <i>New Dormer</i>	Permit Fee: \$156.00	Cost of Work: \$15,000.00	CEO District: 1	<i>1905 #</i>
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Proposed Project Description: Rehab attic space for fourth floor usage.	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>1/1/08</i>		
Signature: <i>[Signature]</i>		Date:

Permit Taken By: gg	Date Applied For: 07/23/2003	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>50% expansion ok under 14-436</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision <i>3 D.U. only</i></p> <p><input checked="" type="checkbox"/> Site Plan <i>extension to planing</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK with conditions</i></p> <p>Date: <i>8/7/03</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0881	Date Applied For: 07/23/2003	CBL: 013 1027001
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Dept: Building **Status:** Pending **Reviewer:** **Approval Date:** **Note:** **Ok to Issue:** **Dept:** Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 07/31/2003 **Note:** **Ok to Issue:**

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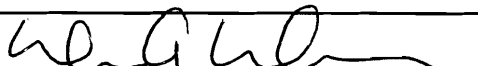
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

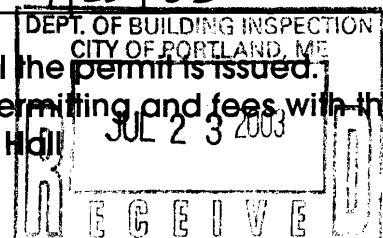
Location/Address of Construction: <u>85 CUMBRILLAND AVE</u>		
Total Square Footage of Proposed Structure <u>500</u> \square FT	Square Footage of Lot <u>1,985</u> \square FEET	
Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>I</u> Lot# <u>21</u>	Owner: <u>JOHN GRAHAM</u> <u>85 CUMBRILLAND AVE #2</u> <u>PORTLAND, ME 04102</u>	Telephone: <u>491-1660</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>MEM INDUSTRIES</u> <u>33 CHAPEL ST #1</u> <u>SOUTH PORTLAND, ME 04106</u>	Cost Of Work: <u>\$ 15,000</u> Fee: \$
Current use: <u>UNFINISHED ROOM</u> <u>Multi Family 3 UNIT</u> <u>3 UNIT</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>STUDY / LIVING ROOM / DECK. 3 unit</u>		
Project description: <u>PENAC ATTIC SPACE</u>		
Contractor's name, address & telephone: <u>MARK MAWHINRY: MEM INDUSTRIES</u> <u>33 CHAPEL ST #1 SOUTH PORTLAND, 04106</u>		
Who should we contact when the permit is ready: <u>AS ABOVE: MARK</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 329-4875		

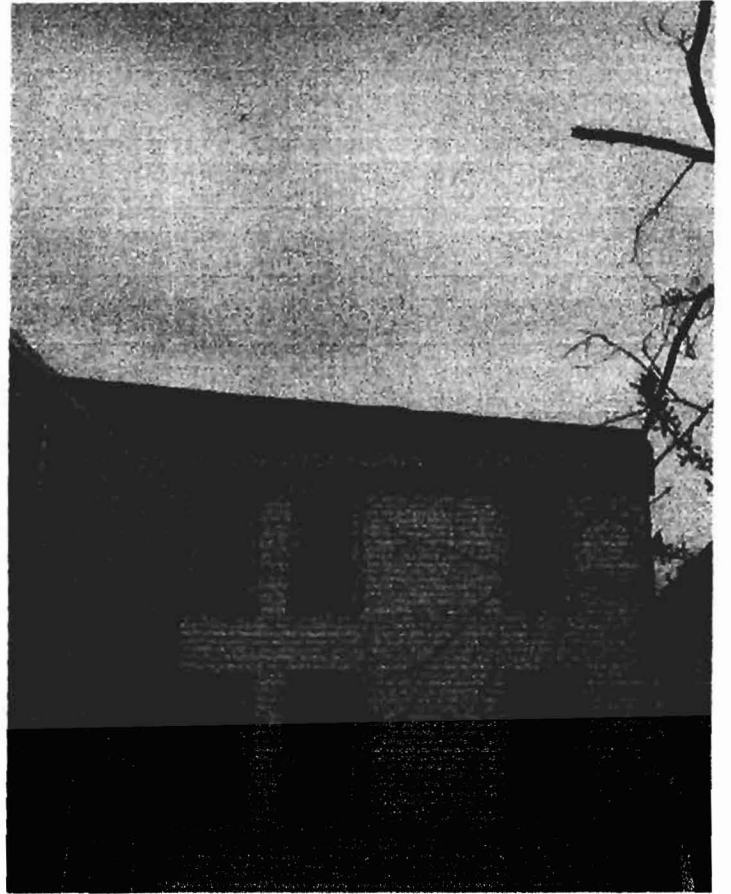
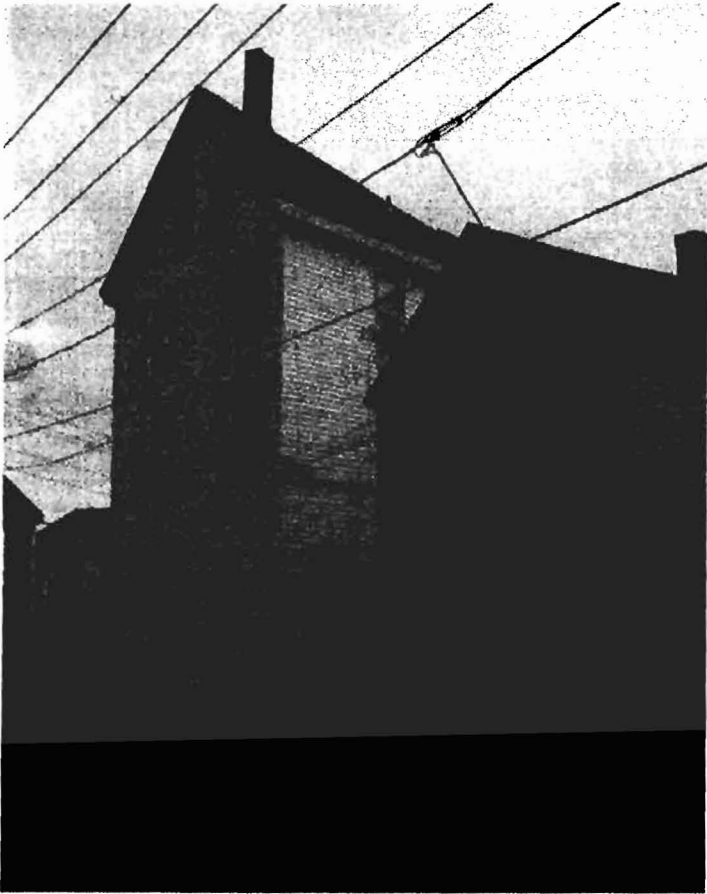
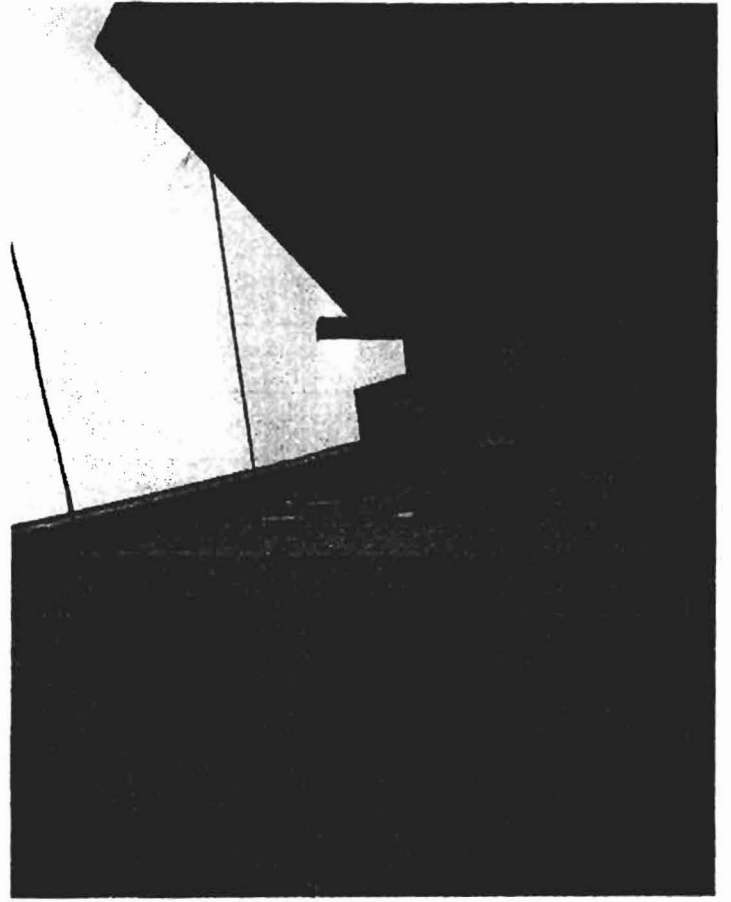
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>7/23/03</u>
---	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall





THIS MAP IS

SCALE 3/0" = 1'

MAP 13

BLOCK CHART I

LOT 17

ALL CONSTRUCTION IS WITHIN FOOTPRINT OF HOUSE

EA

25'

30' APPOINTEE

18'

EXISTING HOUSE

45'

11' APPOINTEE

16'

26'

JOHN GRANTING
BS CONSERVAND AVE.
POZUCAND NIE

6'6"

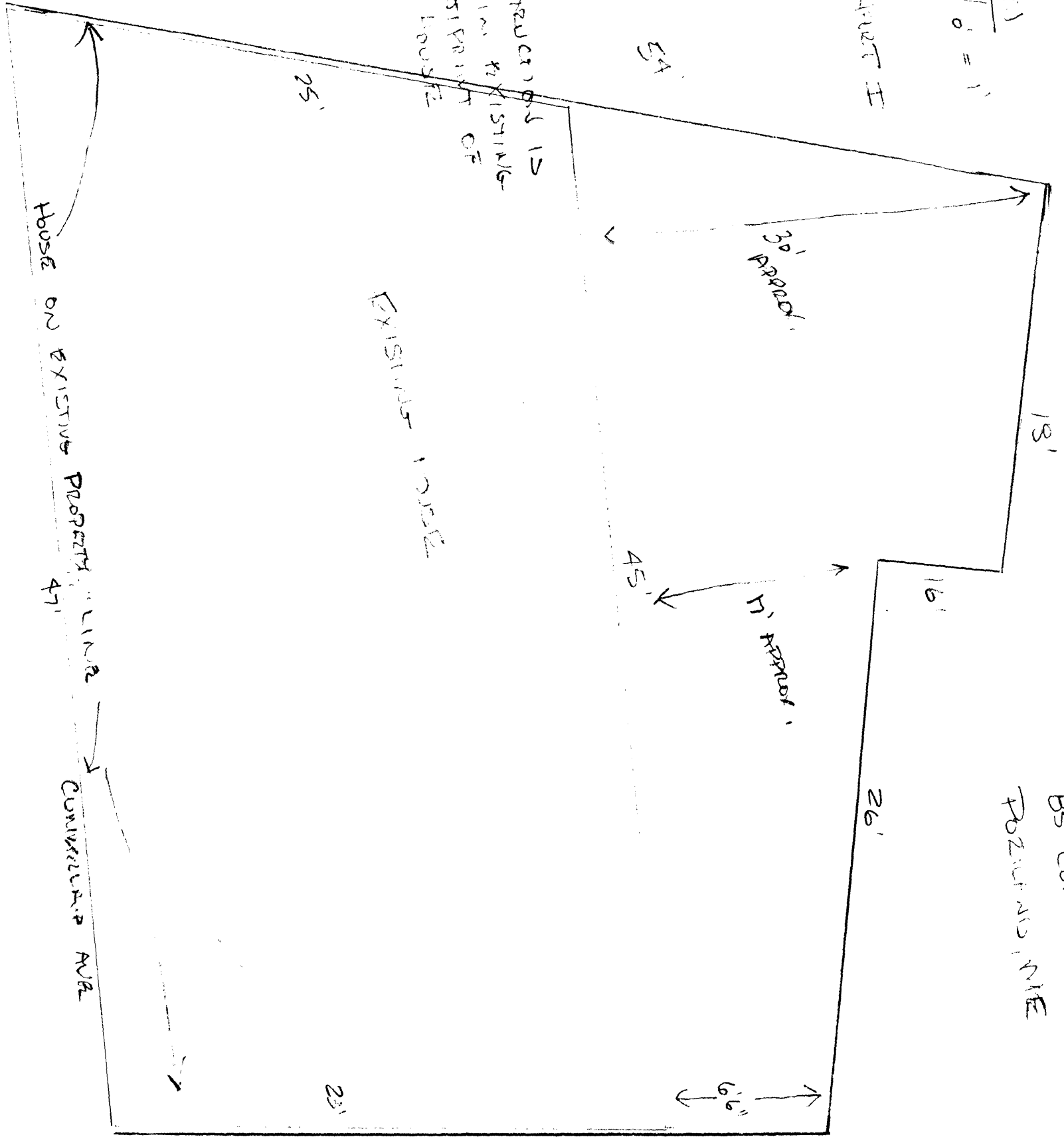
ROMANCO LAKE

29'6"

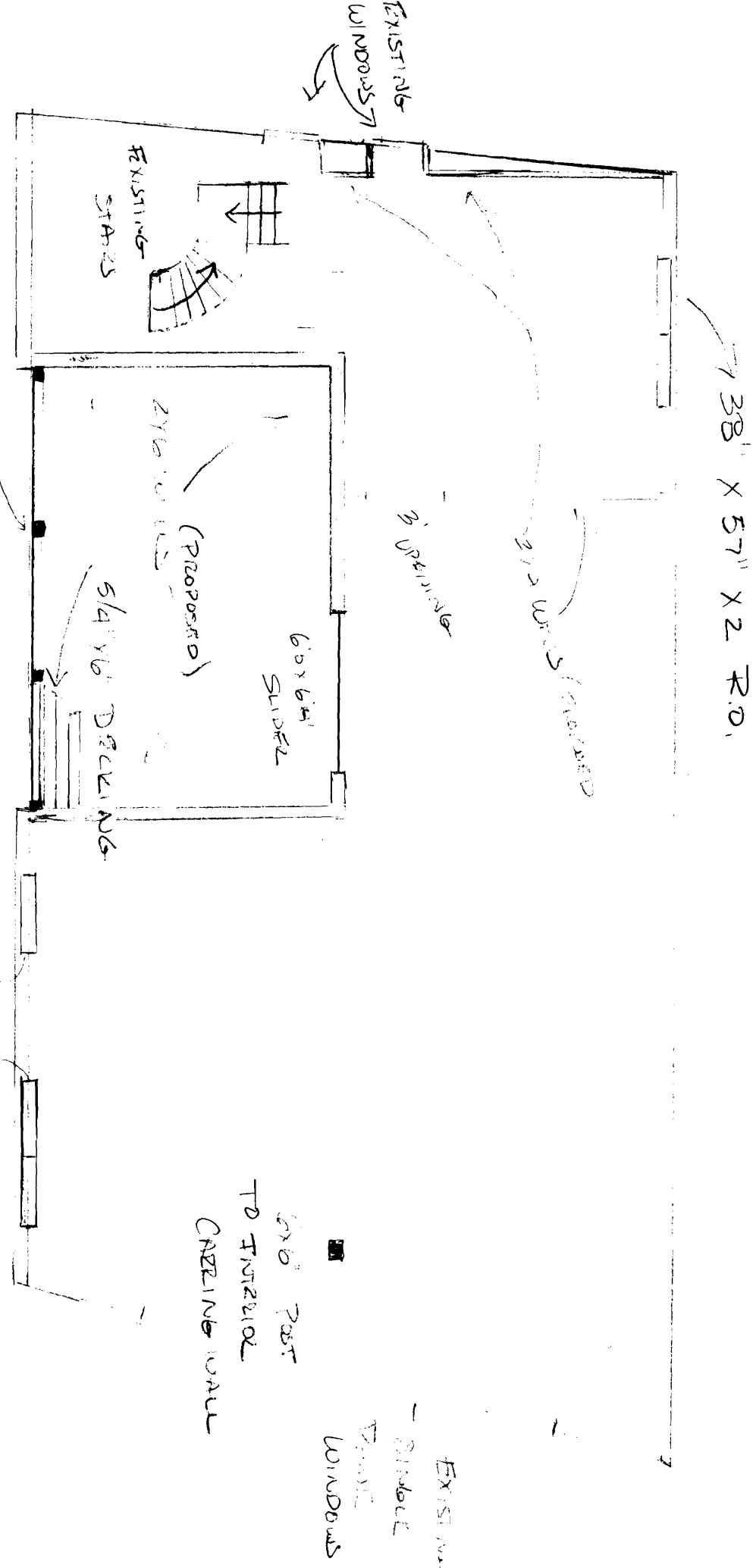
23'

HOUSE ON EXISTING PROPERTY LINE 47'

CONSERVAND AVE



Proposed Plan



INTERIOR FRAMING / EXTERIOR FRAMING

SCALE 3/16" = 1'

JOINS GO TOWARD
85 COLUMBIA AVENUE
PORTLAND, ME

JOHN BATHAM

BS CULBERTSONS AVE.

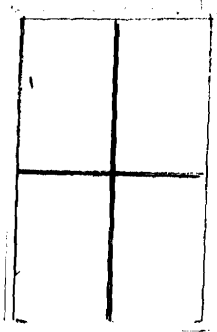
POB LANS, MR

SCALE 1/4" = 1"

FIRST ELEVATION 4th FLOOR

EXISTING ROOF

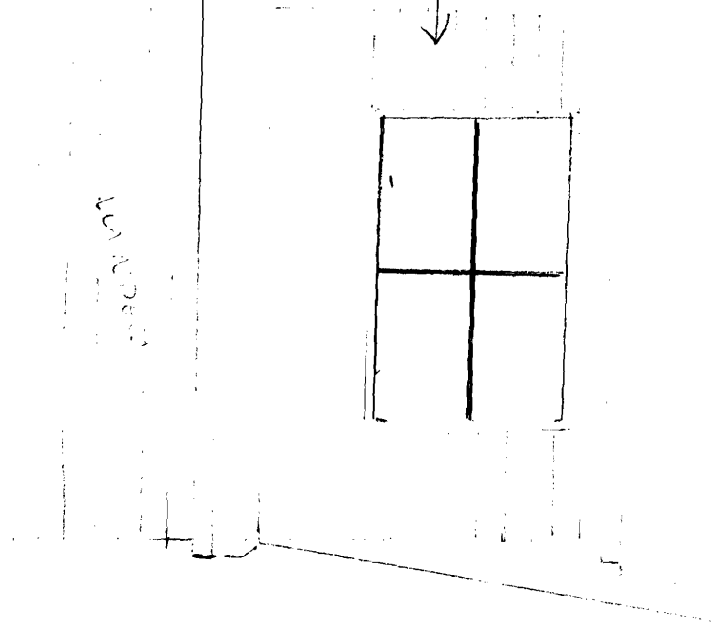
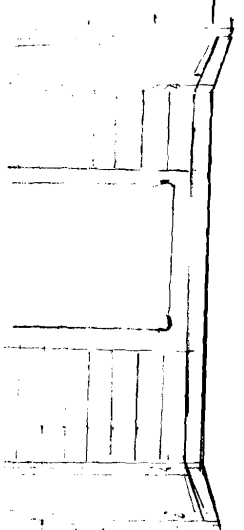
SIDE TO
WATCH
EXISTING



WINDOWS

WINDOWS

WINDOWS



BRICK WALL

PORTLAND CEMENT
SAND 1/4" FT



REAR ELEVATION 4TH FLOOR

MISC NOTES

BRICK WALL

REMOVE EXISTING SUB FLOOR OVER 16' SPAN

INSTALL NEW 2X12 JOISTS 12" OC WITHIN

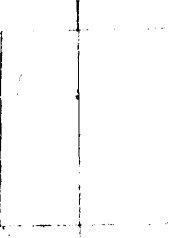
EXISTING CEILING JOIST SYSTEM. JOIST TO

BE TAPERED 2" FROM END TO FIRST FOR

DETHROG

INSTALL 3/4" DT Plywood AND 1/2" OSB

MEMBER ROOFING SYSTEM



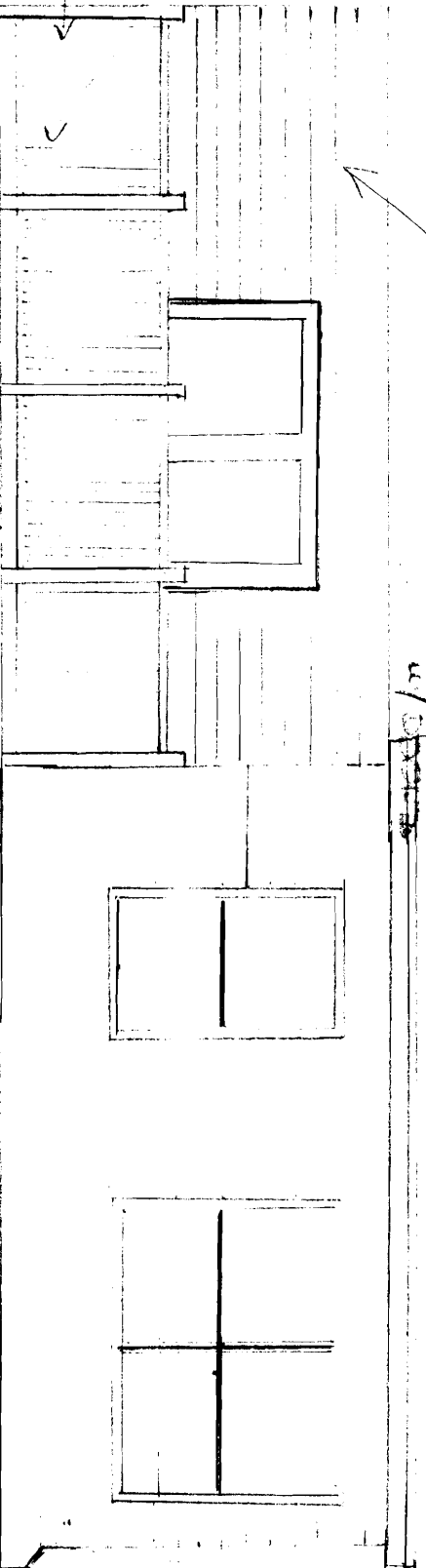
EXIST. SUB FLOOR

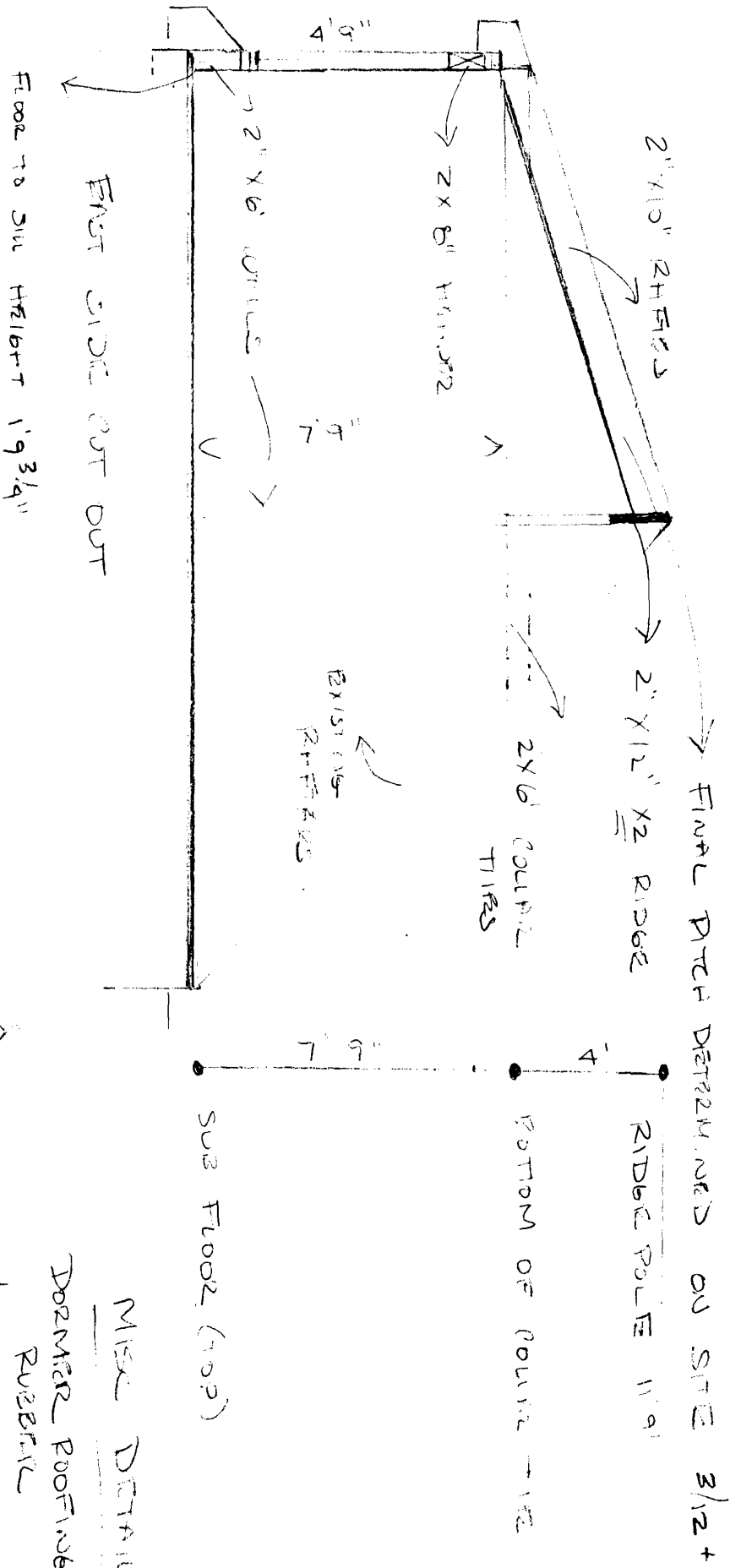
SIDING TO MATCH

u/d

FLOATING DECK
SYSTEM

PT RAFTERS
& DRILLING
SYSTEM TO CORR

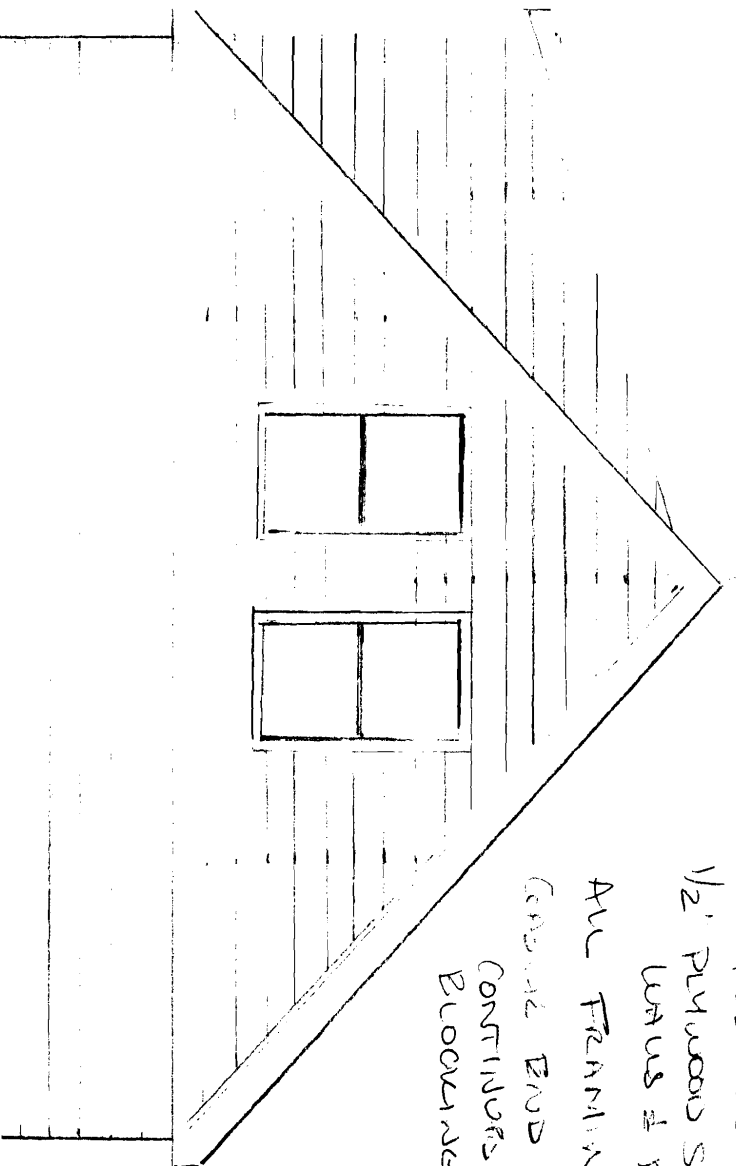




MISC DETAILS

- DORMER ROOFING - 3/8" RUBBER
- 1/2" PLYWOOD SHEATHING
- ALL FRAMING 1 1/2" O.C.
- CONCRETE END WALL CONTIGUES RIDGE BLOCKING

BS CURBRAND AND
 EAST SIDE ELEVATION
 FIRST DORMER
 SCALE 1/4" = 1'



AREA = SQUARE FOOTING FOOT PRINT = 1046.49 SQ FT

DORMER (FRONT) = 125.13 SQ FT

DECK = 182.08 SQ FT

DORMER (REAR) = ~~209.68~~ SQ FT

TOTAL ADDITIONAL DORMER (CHANGE USE) = 499.71 SQ FT (less than 50%)

45' max 14.436

Allowed 50% max

11' x 11' (approx.)

DECK

REAR DORMER
11' x 11' (approx.)

RIDGE IS 39.67' FROM GROUNDS

2" x 6" WALL

2" x 4" WALL

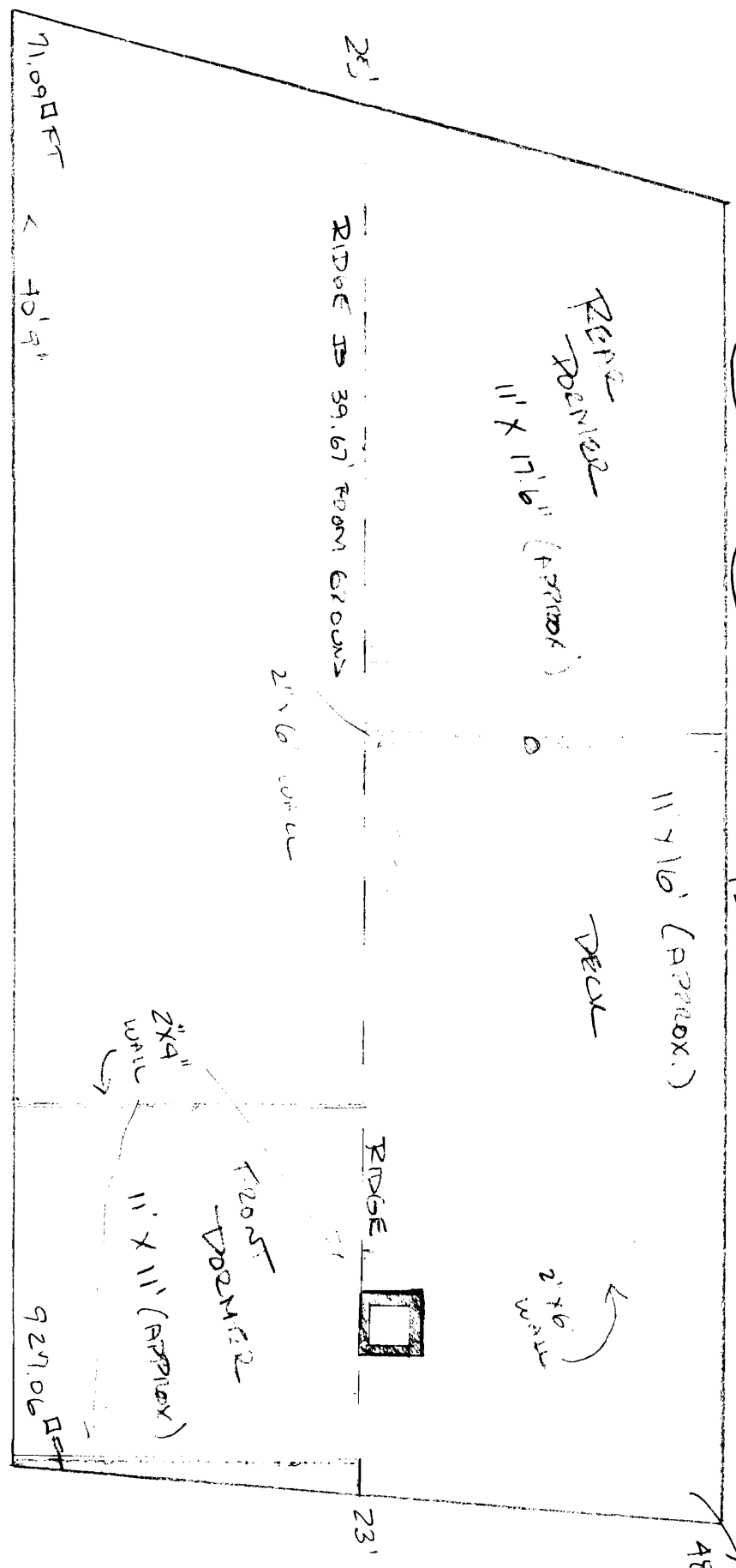
FRONT DORMER

11' x 11' (approx.)

RIDGE



2" x 6" WALL



CUMBERLAND AVE →

PROPOSED ATT'D FLOOR USAGE: DECK (32' FROM)
SCALE 3/16" = 1'

JOHN GRAHAM

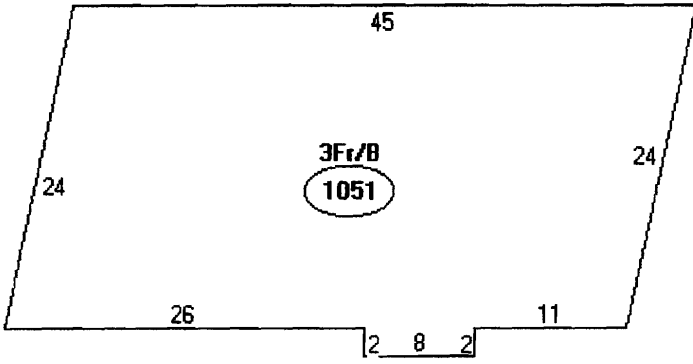
BS CUMBERLAND AVE.

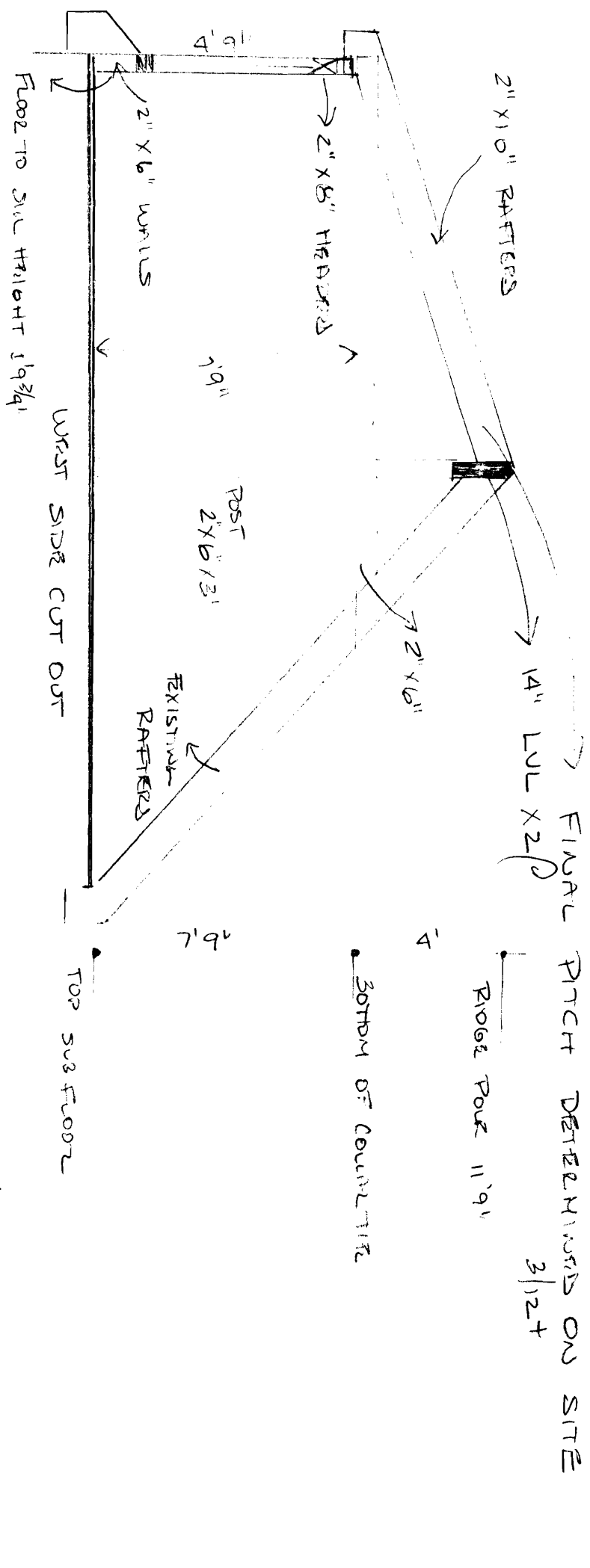
DORMERS, etc

mark 8/5/23
He talked to get a change of use -
this area is for bedrooms
this area will be bedrooms
for rezoning from APT's -
for rezoning from APT's
skys such

Descriptor/Area

A: 3Fr/B
1051 sqft





FINAL PITCH DETERMINED ON SITE
3/12+

RIDGE POLE 11'9"

BOTTOM OF COUNTERSILL

W/ST SIDE CUT OUT

TOP SUB FLOOR

MISC. DETAILS

POUNDER ROOFING, DEO MIL

RUBBER

1/2" PLYWOOD SHEATHING

W/ST & ROOF

ALL FRAMING - 16" OC

LVL SUPPORTED BY

TIMBER FRAMING AND POST

EXTERIOR DETAILS

CONTINUOUS HOUSING

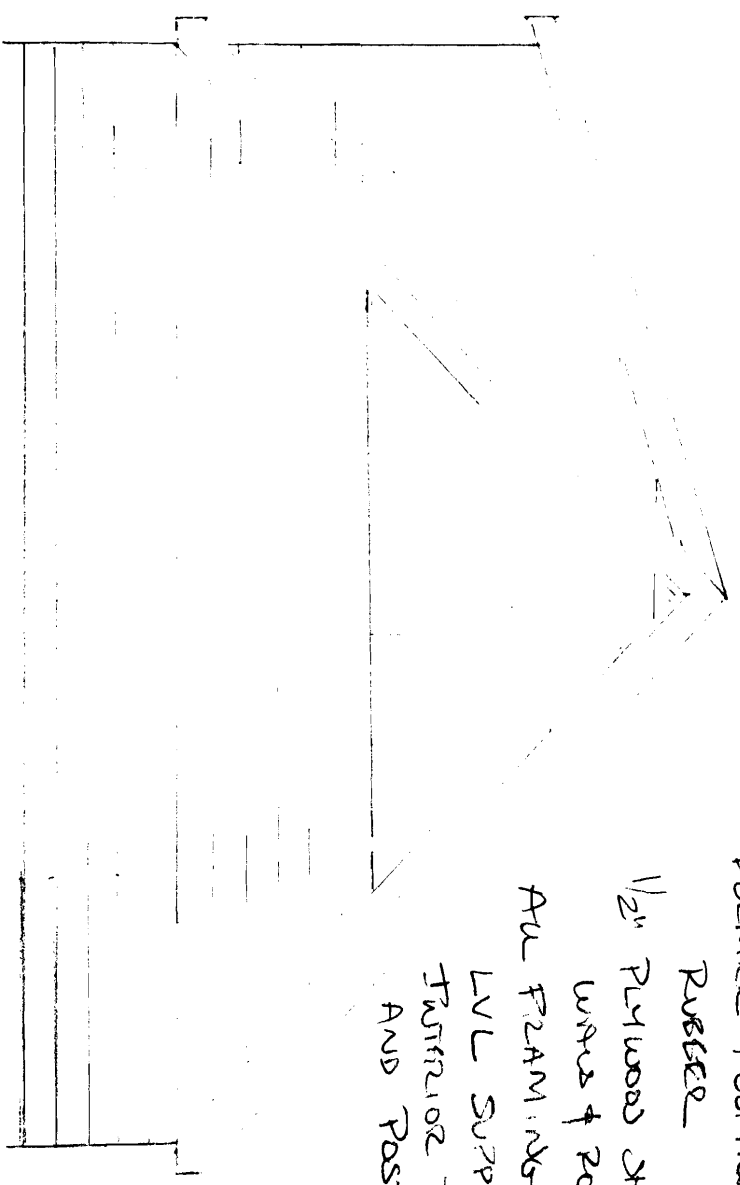
SIDING TO MATCH EXISTING

BS CONSIDER AND AUC

W/ST SIDE FEELINGS

SIDE DOOR

W/ST SIDE FEELINGS



required shall be determined from the following table, except that on the islands in Casco Bay, such variation as shall be approved by the health officer may be permitted in the minimum required lot areas:

<i>Standard Percolation Test Rate of Percolation (minutes)</i>	<i>Lot Area Required (square feet)</i>
2	7,800
3	8,400
4	8,800
5	9,100
10	10,500
15.....	11,800
30	13,800
45	15,500

(Code 1968, § 602.19.N)

Sec. 14-436. Building extensions.

Existing non-residential and residential principal structures which are nonconforming as to any area and/or yard requirements may be enlarged within the existing footprint subject to the following

provisions:

- (a) *For principal structures lawfully nonconforming as to land area per dwelling unit as of July 19, 1988:* The floor area of the expansion shall be limited to no more than fifty (50) percent of the first floor footprint. The additional floor area shall be created in the uppermost floor by the use of dormers, turrets or similar structures needed to provide the minimum height required for habitable space while preserving the existing roof configuration to the maximum extent possible.
- (b) *For residential principal structures conforming as to land area per dwelling unit as of July 19, 1988, but lawfully nonconforming as to any yard setback or nonresidential principal structures that are lawfully nonconforming as to any yard setback:* The floor area of the expansion shall be limited to no more than eighty (80) percent of the first floor footprint. The additional floor area shall be created by raising the existing roof configuration the minimum amount required to create an additional story of habitable space, or by the use of dormers, turrets or similar structures.

Building expansions under this section may occur only once during the lifetime of an existing structure.

(Ord. No. 61-97, 8-18-97; Ord. No. 284-99, §3, 5-17-99, enacted as an emergency to take effect immediately pursuant to Article II, Sec. 8 of the Portland City Charter)

***Editor's note**--Ord. No. 61-97, adopted Aug. 18, 1997, repealed former § 14-436 and enacted similar new provisions as herein set out. Formerly, such section derived from § 602.19.0 of the 1968 Code as amended by Ord. No. 92-88, adopted July 19, 1988.

Sec. 14-437. Setback reductions.

(a) *Authority.* The zoning administrator may grant setback reductions to the extent provided by this section.

(b) *Procedure.* Application for a setback reduction shall be submitted to the building inspections division. A payment of a nonrefundable application fee, as established from time to time by

- 2 stories 10 feet
- 3 stories 10 feet
- 4 stories 12 feet
- 5 stories 15 feet

The width of one (1) side yard may be reduced one (1) foot for every foot that the other side yard is correspondingly increased, but no side yard shall be less than ten (10) feet. In the case of a lot of record existing as of June 5, 1957, and held under separate and distinct ownership from adjacent lots, the required side yard may be reduced in order to provide a buildable width of up to twenty-four (24) feet, but in no case shall the resulting side yards be less than ten (10) feet.

b. Detached accessory structures with ground coverage of one hundred (100) square feet or less: Five (5) feet. Setbacks for swimming pools shall be as provided for in section 14-432 (swimming pools) of this article.

4. *Side yard on side streets:*

a. Principal or accessory structures: Ten (10) feet.

(e) *Maximum lot coverage:* Forty (40) percent of lot area for lots which contain twenty (20) or more dwelling units; fifty (50) percent for lots which contain fewer than twenty (20) dwelling units.

(f) *Minimum lot width:* Fifty (50) feet.

(g) *Maximum structure height:*

Principal and attached accessory structure: Forty-five (45) feet.

Accessory detached structure: Eighteen (18) feet.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	013 I027001
Location	85 CUMBERLAND AVE
Land Use	THREE FAMILY
Owner Address	GRAHAM JOHN M 85 CUMBERLAND AVE # 2 PORTLAND ME 04101
Book/Page	18466/264
Legal	13-I-27 CUMBERLAND AVE 85-87 ROMASCO LN 2 1985 SF

Valuation Information

Land	Building	Total
\$25,830	\$86,210	\$112,040

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1886	Old Style	3	3153	0.046	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
9	3		14	Unfin	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
11/01/2002	LAND + BLDING	\$250,000	18466-264
04/22/2002	LAND + BLDING		17553-241
10/31/2001	LAND + BLDING	\$160,000	16902-111
10/01/1991	LAND + BLDING	\$106,000	09752-262
12/05/1990	LAND + BLDING	\$70,000	09408-192

Picture and Sketch

<u>Picture</u>	<u>Sketch</u>
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[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!

M & M Industries
33 Chapel Street #1
South Portland, Me 04106
207-329-4875

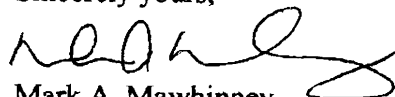
August 4, 2003

Marge Schmuckal
City of Portland
Zoning Enforcement

Re: 85 Cumberland Ave.

The work at this address is to finish off the fourth floor/attic space in order to join it to the third floor owner occupied apartment. The space will be used as an additional bedroom, a family room/study area , and a deck.

Sincerely yours,


Mark A. Mawhinney

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
AUG - 7 2003

M & M Industries
33 Chapel Street #1
South Portland, Me 04106
207-329-4875

July 22, 2003

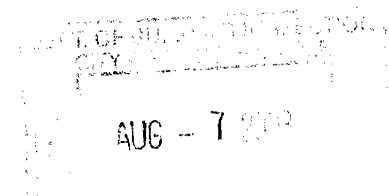
John Graham
85 Cumberland Avenue
Portland, Maine 04101

Specifications for Work

Walls around the deck, and any other exterior walls will be 2 x 6 construction and be spaced 16" oc.
Interior walls will be 2 x 4 construction and spaced 16" oc.
The floor will be supported under the deck by adding 2 x 12's 12" oc. The initial deck will be 3/4" plywood.
All rubber roofing will be .060 and will be installed over 1/2" poly board. Aluminum edging will be used.
The deck will consist of 2 x 4 joist resting on the rubber roof and 5/4 x 6 decking. Deck rails will be 36" in height and the balusters will be square stock 4" oc.
The roof joists will be 2 x 10 and the collar ties 2 x 6. These will also be 16" oc.
All sheathing will be 1/2" plywood.
Patched roofing will match as close as possible
Windows will Anderson Narrowline and all will meet egress code.
Siding will match existing.

Sincerely yours


Mark A. Mawhinney





APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Mark Mauchinsky - Mark Industries

8/7/03

Applicant

Application Date

33 Chapel Street #1 - South Portland, ME 04106

85 Cumberland Ave

Applicant's Mailing Address

Project Name/Description

329-4875

85 Cumberland Ave

Consultant/Agent/Phone Number

Address of Proposed Site

CBL: 013-I-027

Description of Proposed Development:

Rehab office space for existing unit on third floor
Add Terrace - less than 50% of floor below

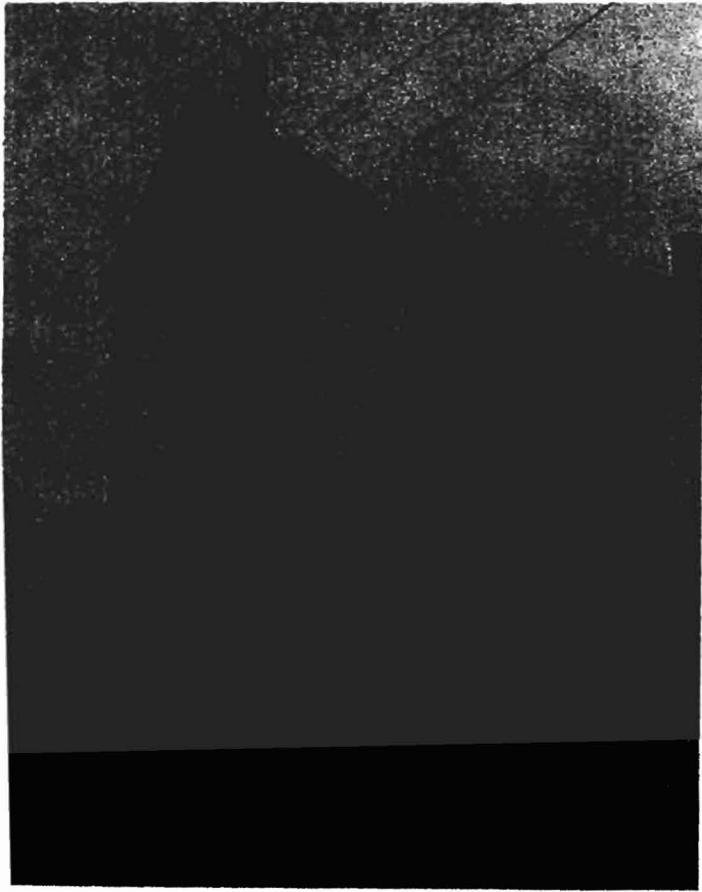
Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓



PLOT PLAN

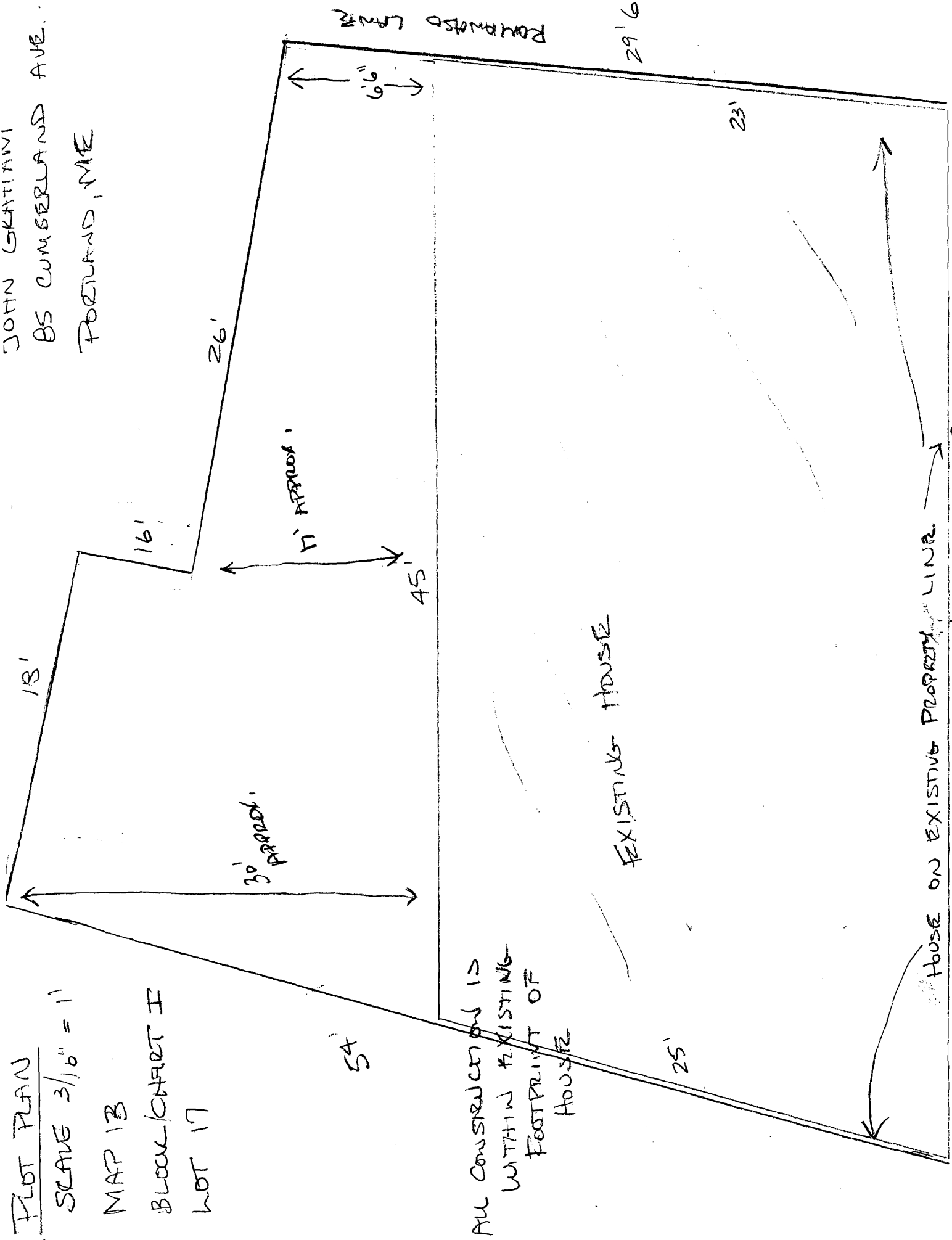
SCALE 3/16" = 1'

MAP 13

BLOCK/CHARTER I

LOT 17

JOHN GRATIAMI
85 CUMBERLAND AVE.
PORTLAND, ME



ALL CONSTRUCTION IS
WITHIN EXISTING
FOOTPRINT OF
HOUSE

EXISTING HOUSE

HOUSE ON EXISTING PROPERTY LINE

AREA = SQUARE FOOTAGE FOOTPRINT = 1046.49 H.T.

DORMER (FRONT) = 125.13 SQ FT

DECK = 182.08 SQ FT

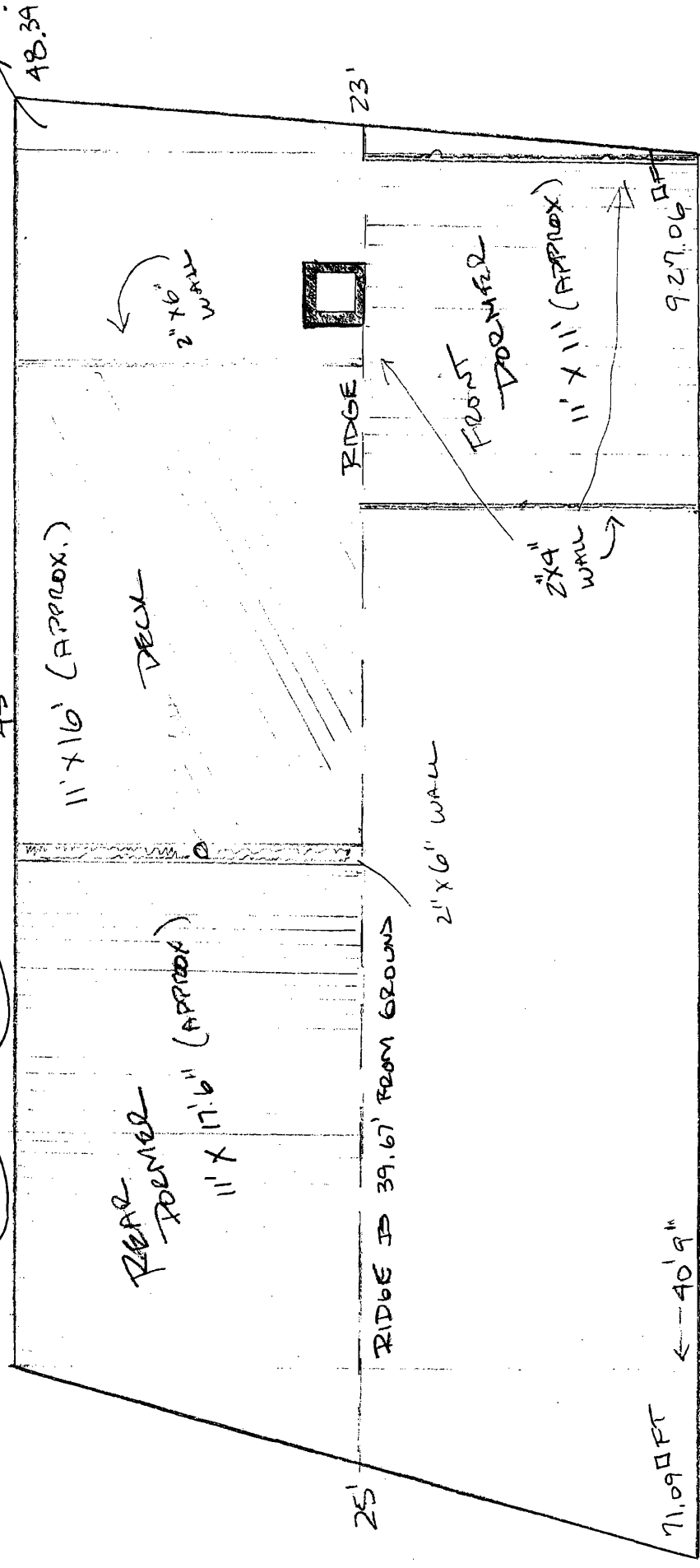
DORMER (REAR) = 209.16 SQ FT

TOTAL ADDITION/DORMER/CHANGE USE = 499.71 SQ FT

AS SHOWN 14.436

Allowed 506 sq ft

I talked to Mark 8/5/03
This area is NOT a change of use
This area will be bedrooms -
for the 3rd floor APTS -
for the 3rd floor we'd stat
for all 8% (less than 9%) saying sue



47'

CUMBERLAND AVE



JOHN GRATHAM

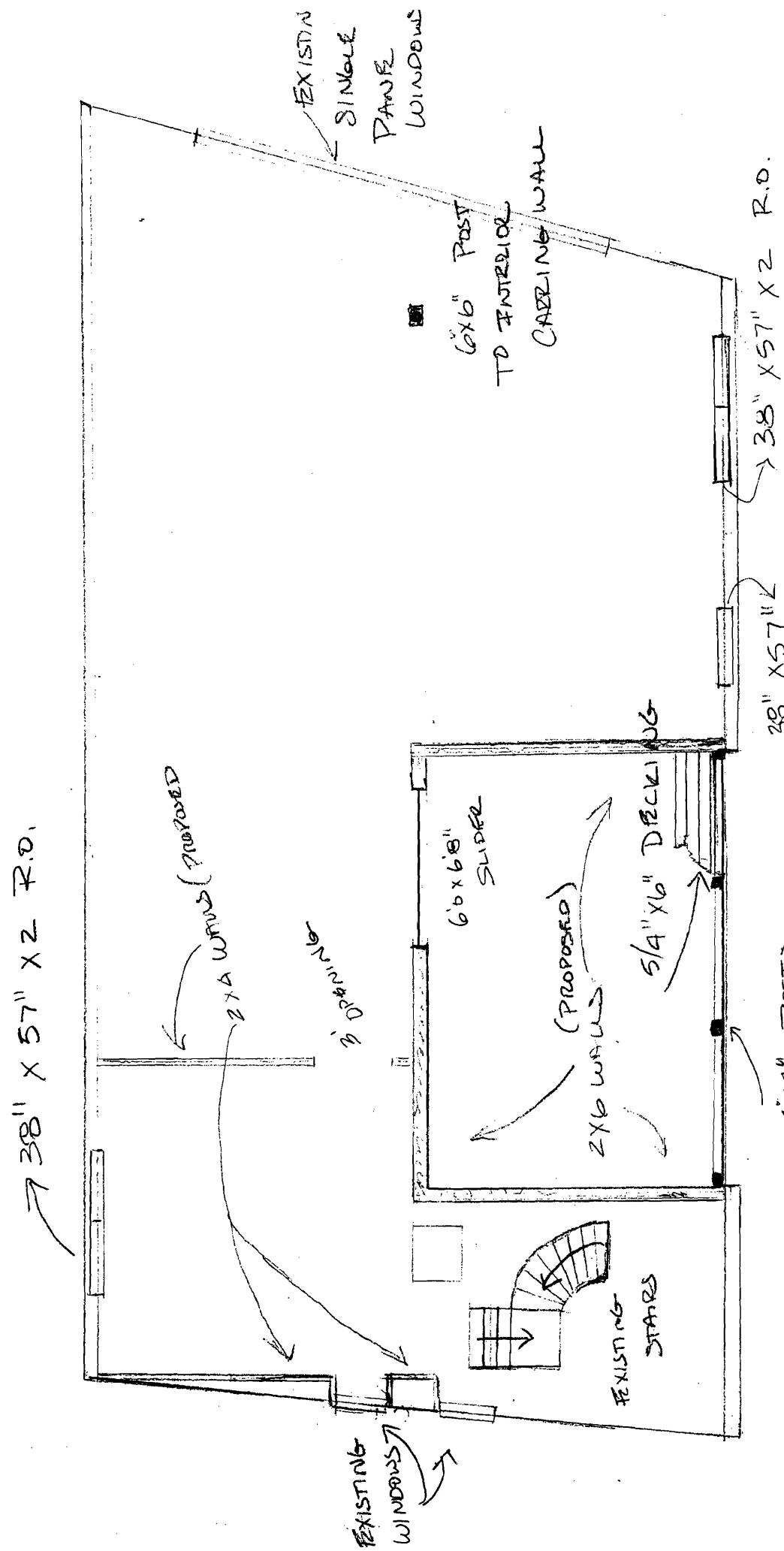
85 CUMBERLAND AVE.

PROPOSED 4th FLOOR USAGE: DECK | BEDROOM

SCALE 3/16" = 1'

PORTLAND, ME

Proposed 4th Floor



4x4 POSTS WITH RAILING SYSTEM
42" HIGH BALUSTERS 4" OC

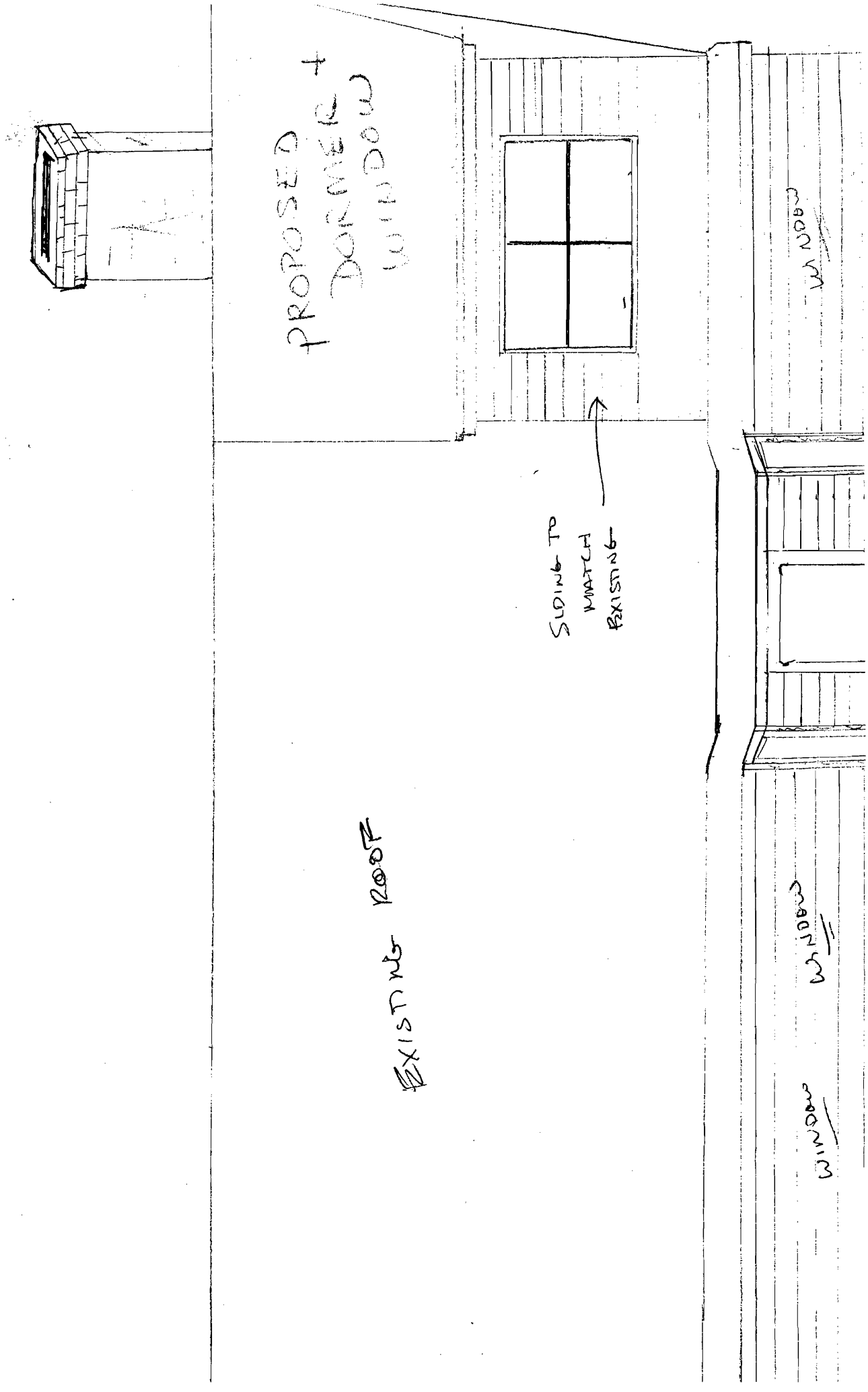
INTERIOR FRAMING / EXTERIOR FRAMING

SCALE 3/16" = 1'

JOHN GRAHAM
85 CUMBERLAND AVE.
PORTLAND, ME

FRONT ELEVATION 4TH FLOOR

JOHN WATKINS
85 CUMBERLAND AVE.
PORTLAND, ME
SCALE 1/4" = 1"



PROPOSED
DORMER +
WINDOW

SIDING TO
MATCH
EXISTING

EXISTING ROOF

WINDOW

WINDOW

WINDOW

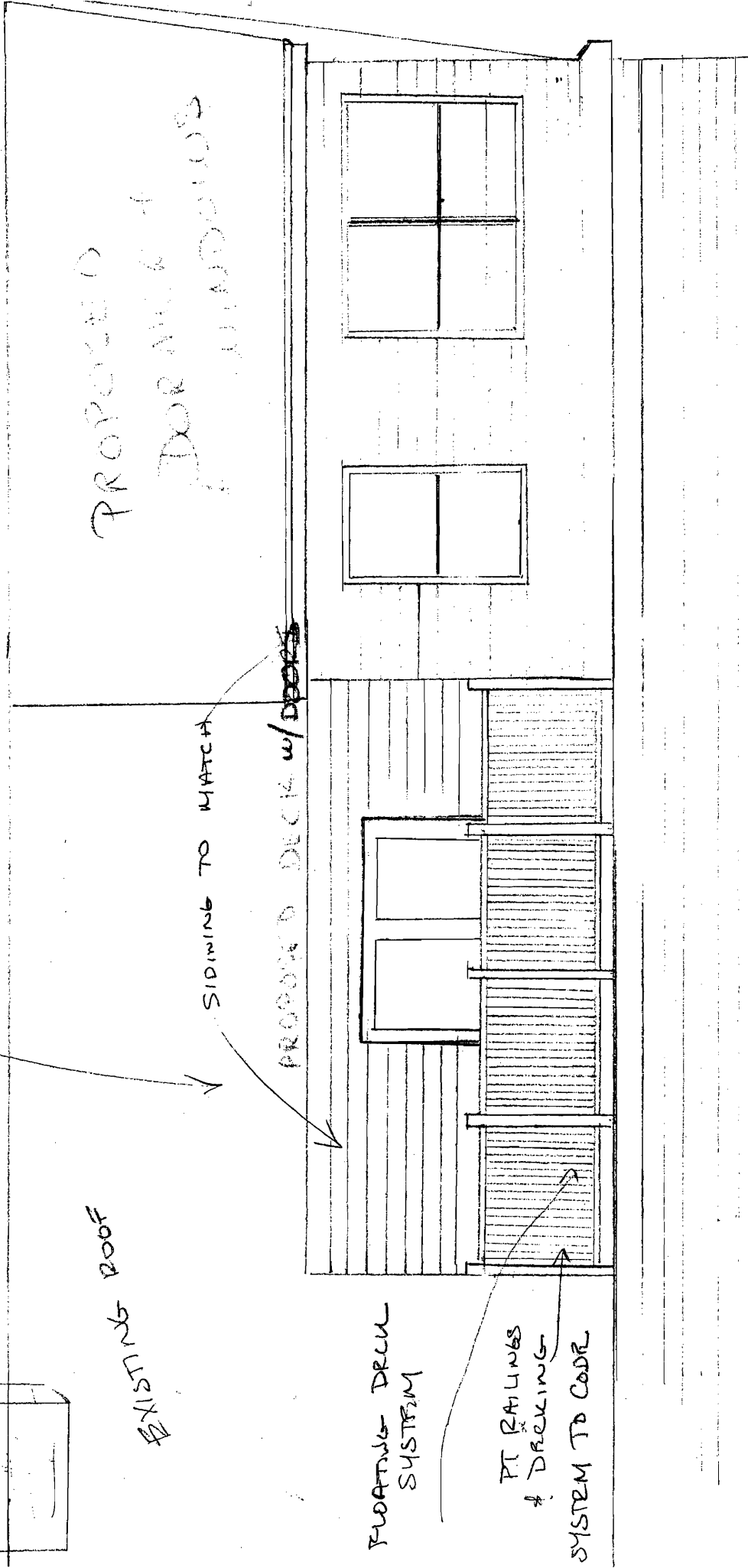
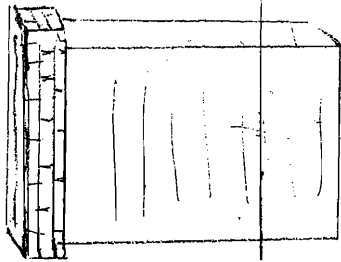
JULIAN WILKINSON
85 CUMBERLAND AVE.
PORTLAND, ME
SCALE 1/4" = 1'

REAR ELEVATION 4TH FLOOR

DECK STRUCTURAL!

MISC NOTES

- REMOVE EXISTING SUB FLOOR OVER 16' SPAN
- INSTALL NEW 2X12 JOISTS 12" OC WITHIN EXISTING CEILING JOIST SYSTEM. JOIST TO BE TAPERED 2" FROM BACK TO FRONT FOR DRAINAGE
- INSTALL 3/4" PT PLYWOOD AND .060 RUBBER MEMBRANE ROOFING SYSTEM



EXISTING ROOF

SIDING TO MATCH

PROPOSED DECK w/ DOORS

PROPOSED
WINDOWS

FLOATING DECK
SYSTEM

PT RAILINGS
& DRAINING
SYSTEM TO CODE

FINAL PITCH DETERMINED ON SITE 3/12 +

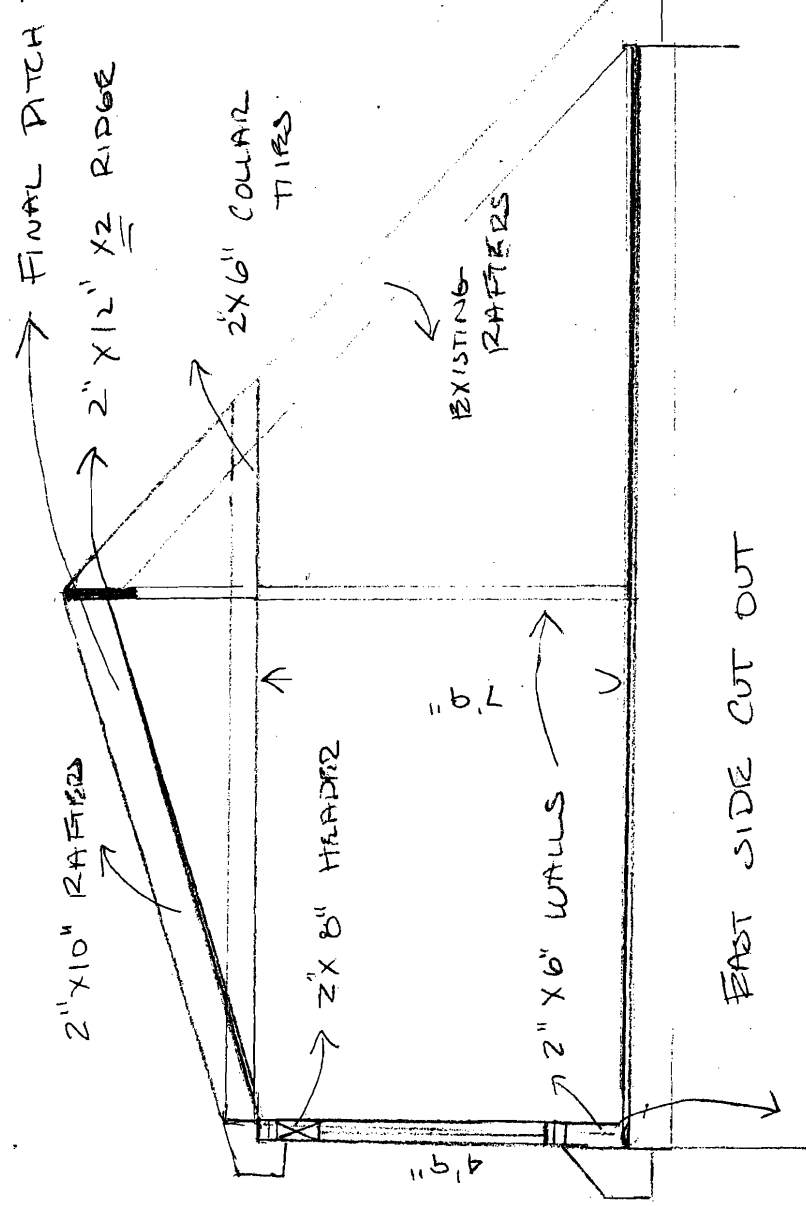
RIDGE POLE 11'9"

BOTTOM OF COLLAR TIE

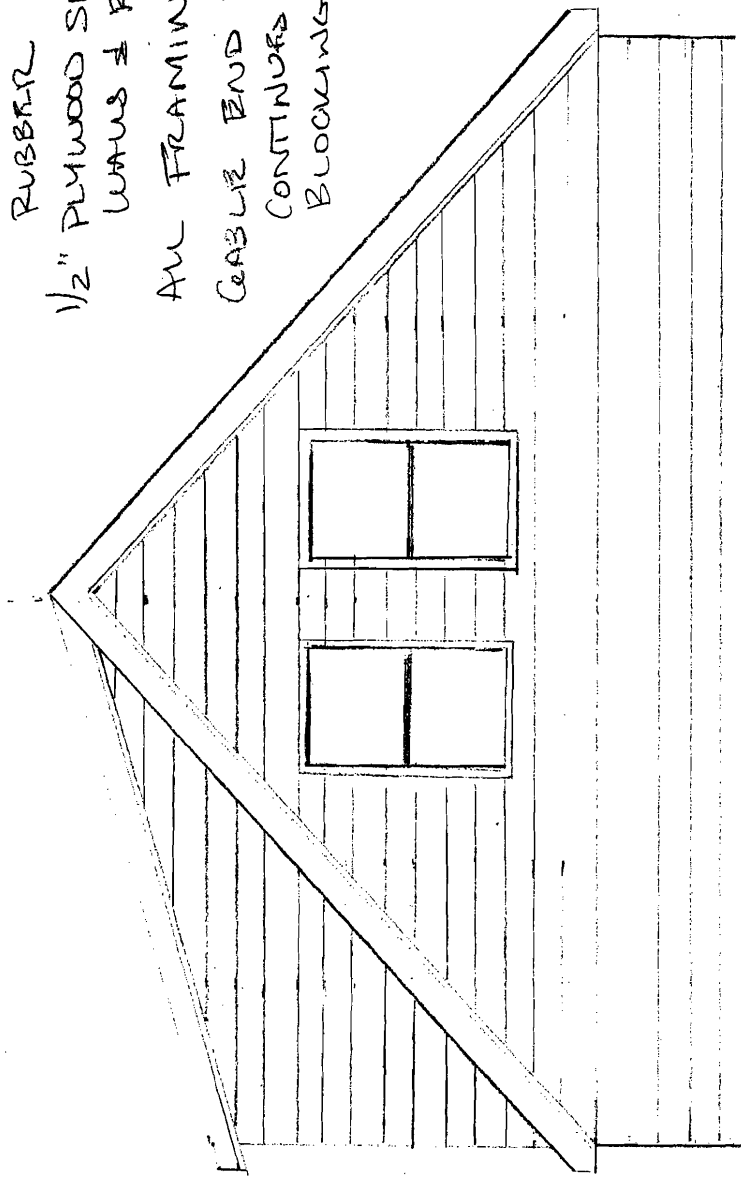
SUB FLOOR (TOP)

MISC DETAILS

- DORMER ROOFING - 0.600" RUBBER
- 1/2" PLYWOOD SHEATHING WAUUS ± ROOF
- AU FRAMING 16" O.C
- CEASURE END WALL CONTINUOUS RIDGE BLOCKING

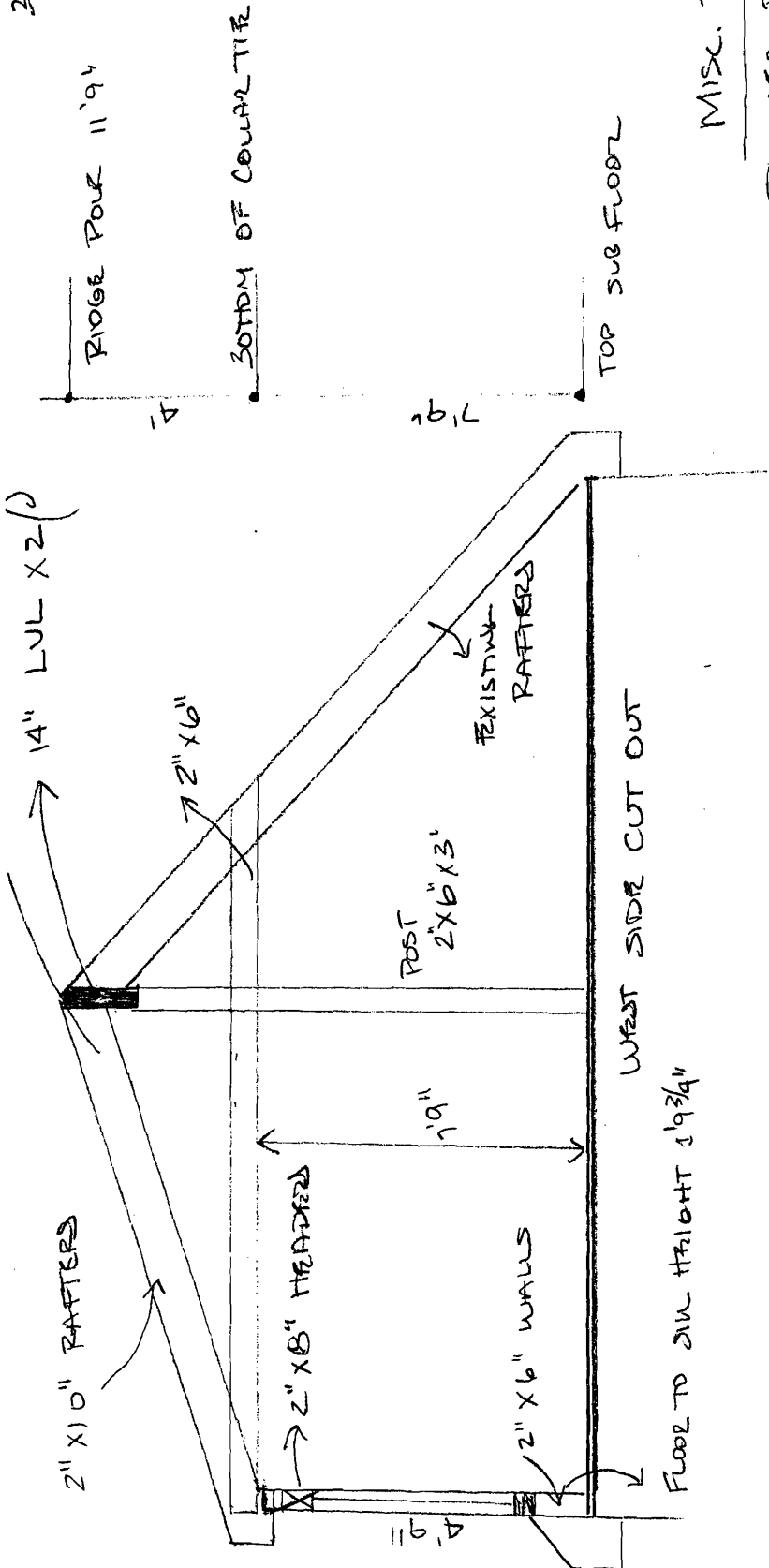


FLOOR TO SILL HEIGHT 1'9 3/4"



85 CUMBERLAND AVE
 EAST SIDE ELEVATION
 FRONT DORMER
 SCALE 1/4" = 1'

3/12 +



RIDGE POOR 11'9"

BOTTOM OF COLLAR TIE

TOP SUB FLOOR

14" LVL X 2'

2" X 6"

EXISTING RAFTERS

POST 2" X 6" X 3'

WEST SIDE CUT OUT

2" X 8" HEADERS

1'9"

2" X 6" WALLS

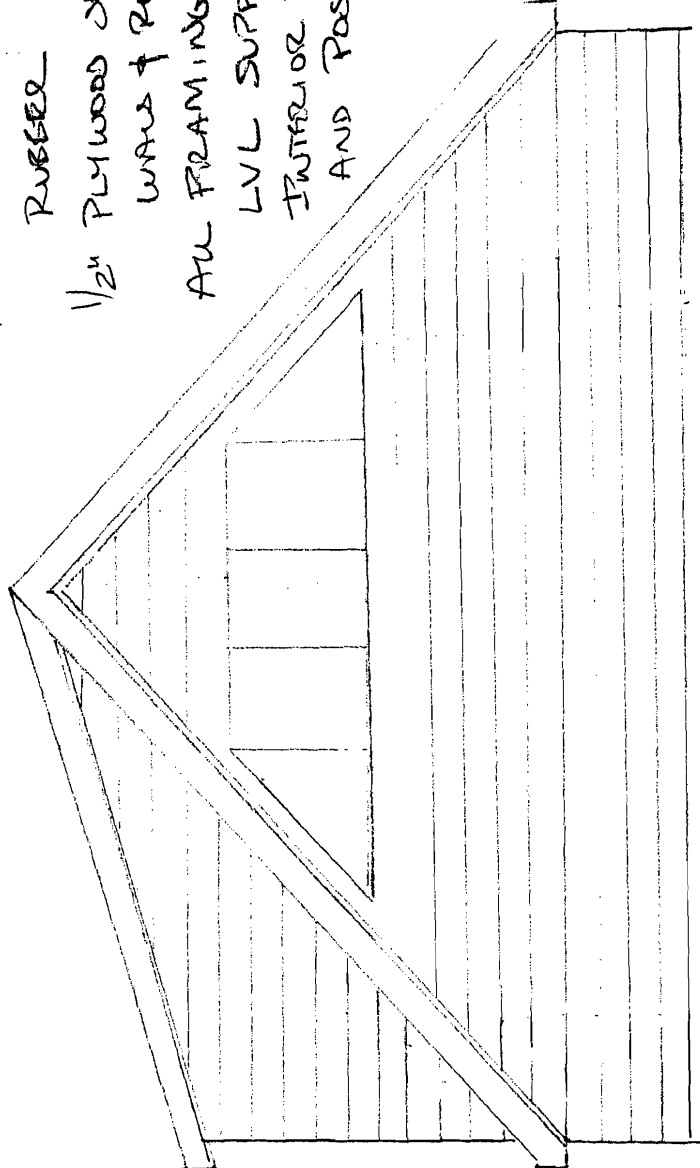
FLOOR TO SIM HEIGHT 1'9 3/4"

MISC. DETAILS

FORMER ROOFING - 0.60 MIL RUBBER

1/2" PLYWOOD SHEATHING WAHS + ROOF

ALL FRAMING - 16" OC LVL SUPPORTED BY INTERIOR FRAMING AND POST



EXTERIOR DETAILS

CONTINUOUS HOUSEWRAP SIDING TO MATCH EXISTING

OS CONCRETE AND AUC WEST SIDE ELEVATION

SIDE DORMER

SCALE 1/4" = 1"