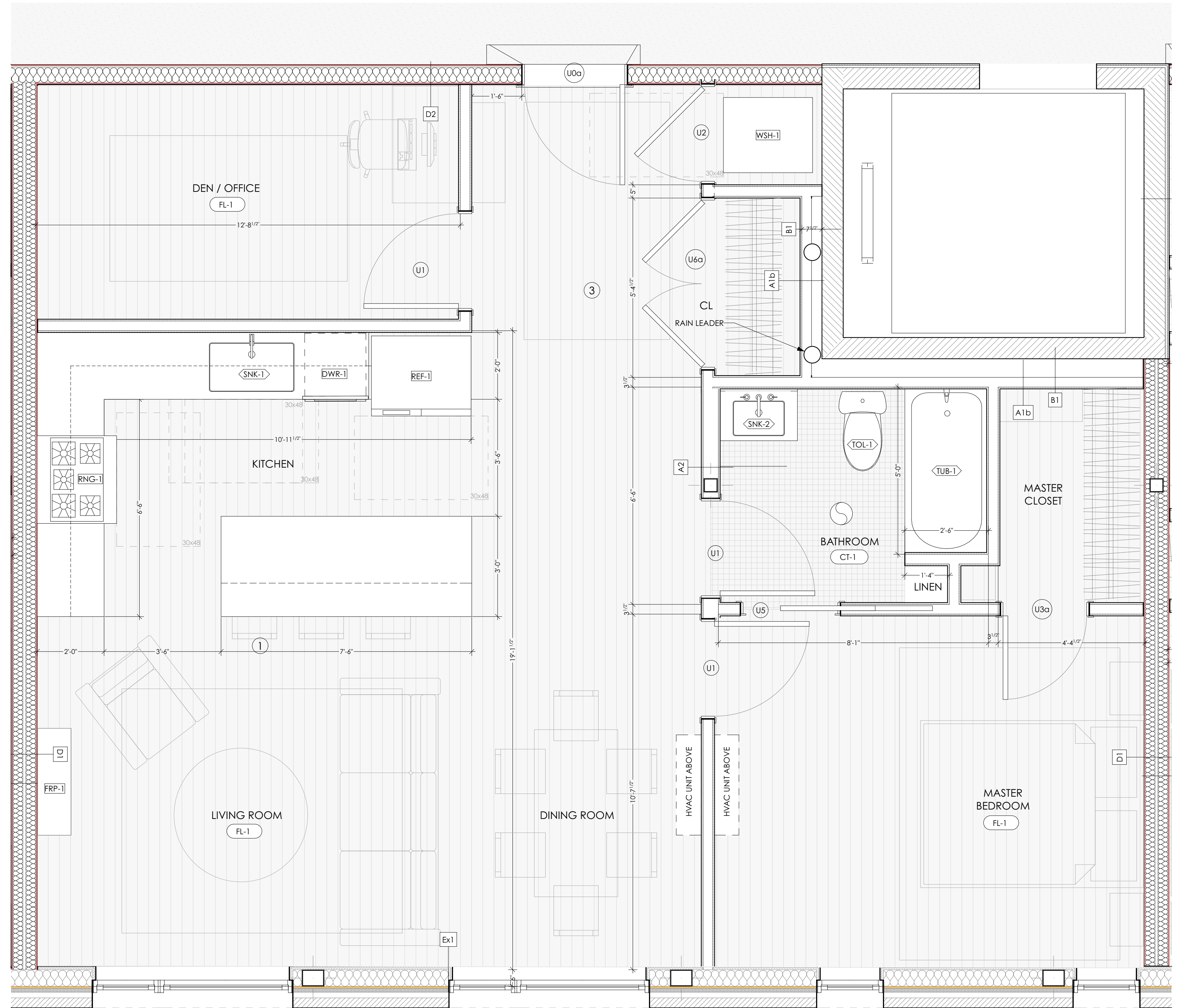
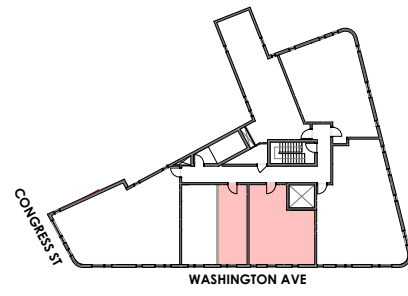


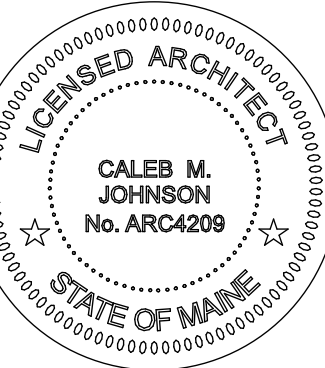
UNIT FLOOR PLAN ENLARGEMENT GENERAL NOTES

1. These Drawings constitute a design progress set. Additional information, dimensions and specifications will be provided by the Architect and/or Owner at a later date or as requested with estimate for clarification.
2. Dimensions on these 1/2" scale floor plans are from stud-to-stud, UNO.
3. Project Specifications. Refer to Project Manual for project specifications, where discrepancies exist between specifications and Drawings, consult with Architect for clarification.
4. MEP: Mechanical, Electrical and Plumbing work is to be design build by the Contractor. The Architect and Mechanical Engineer consultant have provided design-build performance specifications and has made basic assumptions for size and space requirements and locations for incoming service. Contractor is to review and bring to the Architect's attention if additional information is required.
5. Automatic Sprinkler System: New NFPA 13 sprinkler system is design-build by the sprinkler subcontractor. Refer to specifications for more information.
6. Fire alarms systems, emergency lighting, smoke detection, etc are design-build by the subcontractor and/or fire alarm subcontractor, refer to Life Safety sheets, locations TBD, quantities by FA subcontractor. Drawings show Architect's intent. Refer to specifications for additional information.
7. Gas Fireplace, typical all units.
8. All showers to receive glass surround.
9. Built-in Linen closets to have five adjustable painted MDF shelves.
10. Finishes: See Finish Schedule on sheet A-0.6.
11. Closets to receive wood rod and painted MDF shelf UNO.

KEY PLAN



1 UNIT 4B LAYOUT
SCALE: 1/2" = 1'-0"



PERMIT SET

DRAFTER: Patrick Boehme, AIA
JOHN JACQUES
DATE OF ISSUE: 7/21/17
PROJECT STATUS: Permit Set

221 Congress Street
Hay Runner Block
221 BLOCK, LLC
221 Congress Street Portland ME 04101