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229 Congress St  
Apartments

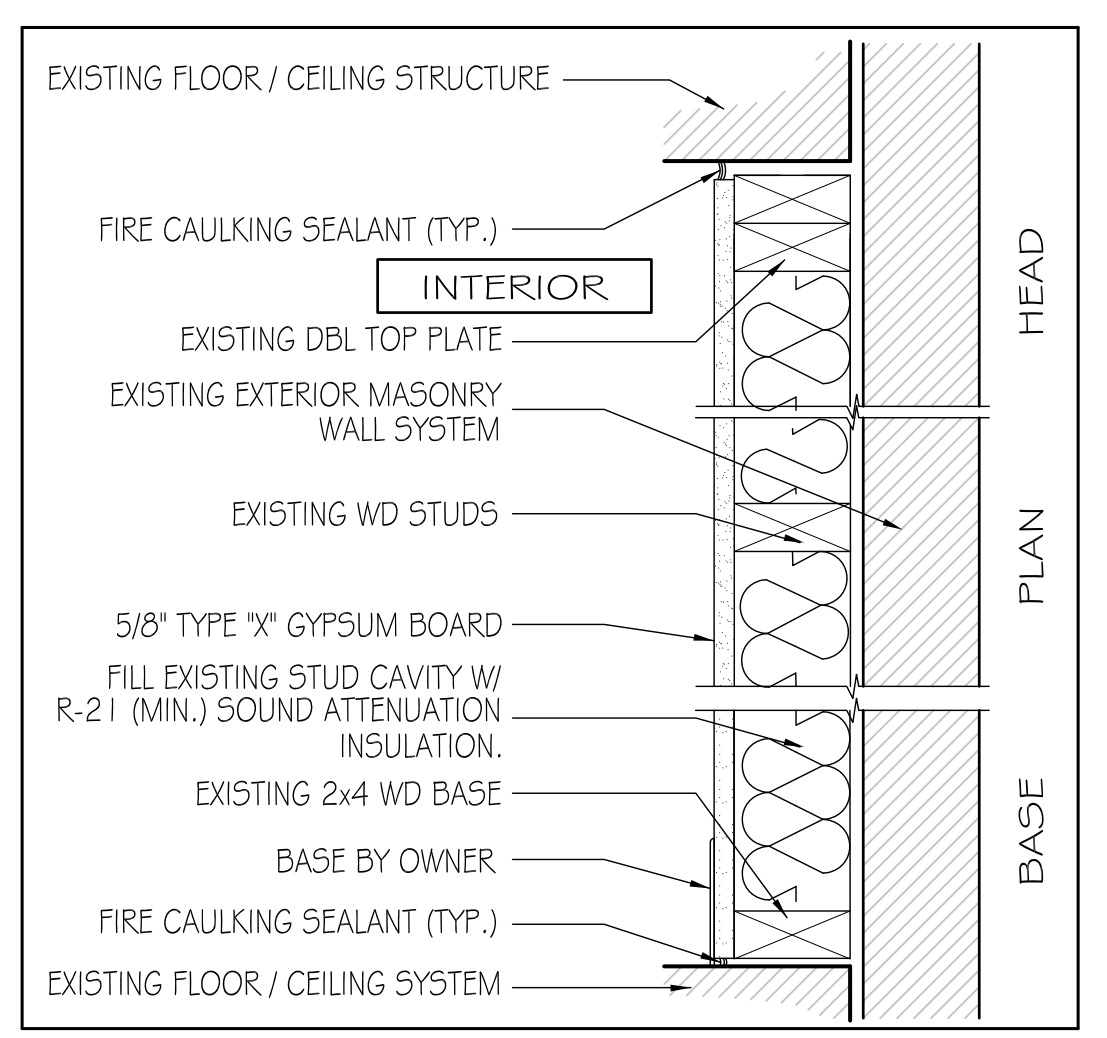
Portland,  
Maine

REVISIONS		
#	DATE	DESCRIPTION
1	8-5-13	FOR PERMIT
2	11-20-13	REVISION 1

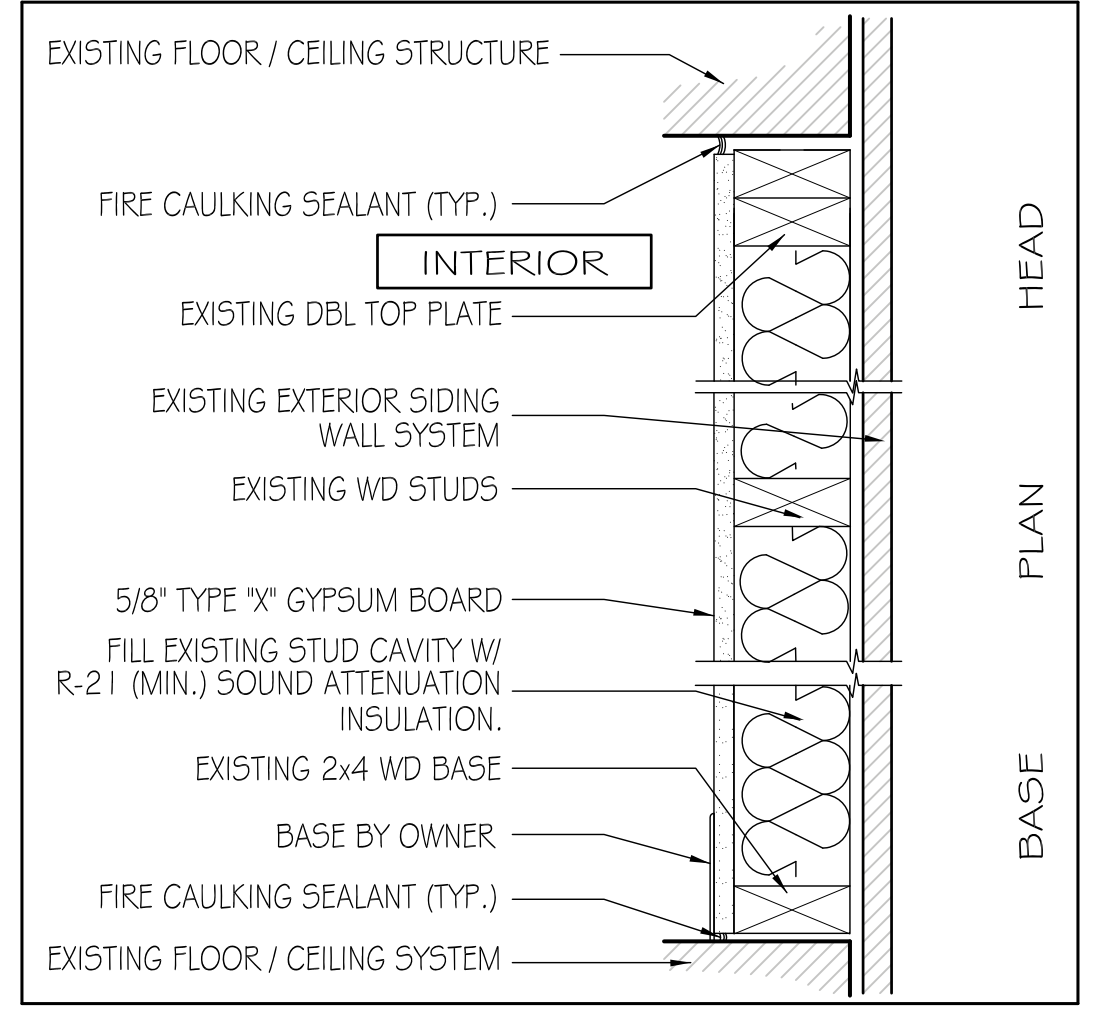
Date Issued Nov 20, 2013  
Project Number 13116  
Drawing Scale AS NOTED  
SHEET NAME

**FLOOR PLANS**

Drawn By MC  
Checked By ACH  
**A1.1**

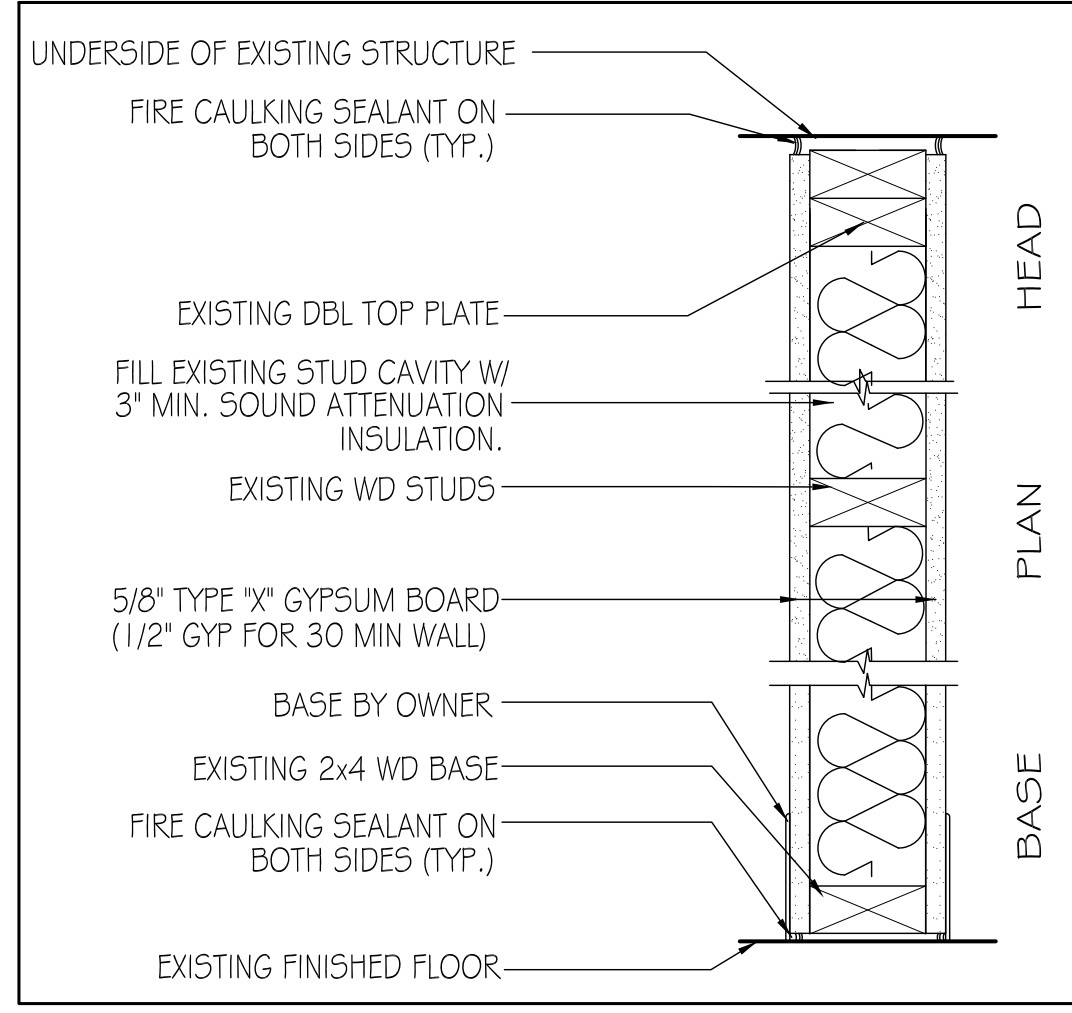


EXTERIOR WALL (MOD. BRICK W/ 2 x 4 WD. STUD BACK-UP) BB



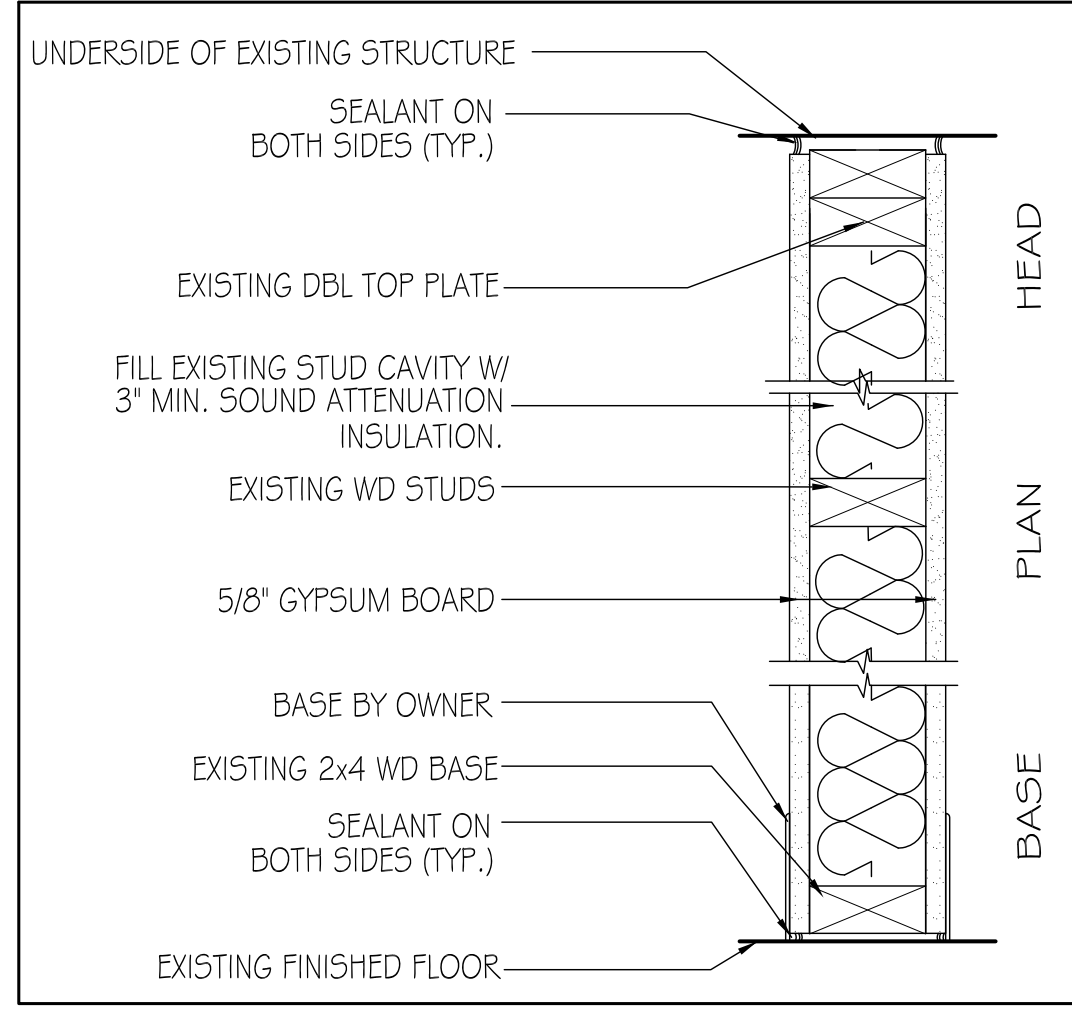
EXTERIOR WALL (EXTERIOR SIDING W/ 2 x 4 WD. STUD BACK-UP) DD

**WALL TYPES**



INTERIOR WALL (2 x 4 WD STUD) U.L. #U305 (1-HR. RATED, BRG. WALL) AA

INTERIOR WALL (2 x 4 WD STUD) U.L. #U319 (30-MIN. RATED, BRG. WALL) AB



INTERIOR WALL (2 x WD STUD) (WALL NOT REQ'D. TO BE FIRE-RATED) CC

**GENERAL NOTES**

- ON THE FIRST FLOOR RETAIL SPACE, MOST OF THE FINISHES ARE STILL IN PLACE. HOWEVER SOME PORTIONS OF THE EXISTING WALLS NEED TO BE REPLACED OR FIXED. PLEASE REFER TO THE WALL TYPES ON THE PLAN FOR HOW THE WALLS SHOULD BE REPAIRED AND/OR UPDATED. (NOTE: IT IS THE UPPER FLOORS WHERE ALL FINISHES HAVE BEEN REMOVED).
- BATH 105 AND 101 ARE FOR EMPLOYEE USE ONLY AND NOT INTENDED FOR PUBLIC USE.
- ALL BATHROOMS TO HAVE MOISTURE-RESISTANT GYP BOARD.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- FLOOR/CEILING ASSEMBLIES BETWEEN RETAIL AREAS AND APARTMENT UNITS (IN OFFICE AREA 104, VESTIBULE 104A, AND BATH 105, THAT CURRENTLY HAVE THE CEILING REMOVED) ARE TO BE 1-HOUR RATED. SEE DETAIL 3, SHEET A12 FOR TOP OF INTERIOR WALL DETAIL. THE RATED FLOOR/CEILING ASSEMBLY SHALL BE SIMILAR TO U.L. DESIGN 4L513 AND APPROVED BY THE AUTHORITY HAVING JURISDICTION. CEILING IN THE RETAIL AREAS ARE EXISTING AND SHALL REMAIN.
- ALL HANDRAILS TO MEET IBC SECTION 1012.
- ALL UNITS ARE TO BE SEPARATED FROM EACH OTHER WITH 30-MINUTE FIRE-SEPARATIONS (WALLS AND FLOOR/CEILINGS). WALLS SHALL HAVE 1/2" GYP BOARD ON EACH SIDE OF THE WALL (U.L. #U319). FLOOR/CEILING SHALL HAVE 1/2" GYP BOARD ATTACHED TO THE UNDERSIDE OF THE FLOOR JOISTS. ALL ASSEMBLIES SHALL BE FIRE-CAULKED AS REQUIRED.
- SEE STRUCTURAL DRAWINGS FOR ITEMS TO BE REBUILT, REPAIRED, OR STRENGTHENED AS REQUIRED.
- EXISTING MASONRY CHIMNEY TO REMAIN PROTECT AS REQUIRED. PER SECTION 1082 - EXCEPTION 6 (2009 IBC), A SHAFT ENCLOSURE IS NOT REQUIRED. THE ANNULAR SPACE BETWEEN THE MASONRY AND THE WALL SURROUNDING THE CHIMNEY SHALL BE FIRE-BLOCKED AS REQUIRED PER SECTION 1112.5 AT EACH FLOOR/CEILING LEVEL.
- INDICATED SPACE IS NOT A CHASE AND DOES NOT REQUIRE A SHAFT ENCLOSURE. THIS SPACE IS SEPARATED AT EACH FLOOR LEVEL WITH THE TYPICAL FLOOR/CEILING ASSEMBLY. ANY PENETRATIONS THROUGH THE FLOOR/CEILING WILL REQUIRE TO BE FIRE-BLOCKED WITH THE USE OF SEALANTS, BARRIER DEVICES, COLLARS, OR OTHER PRODUCTS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

**KEYED NOTES**

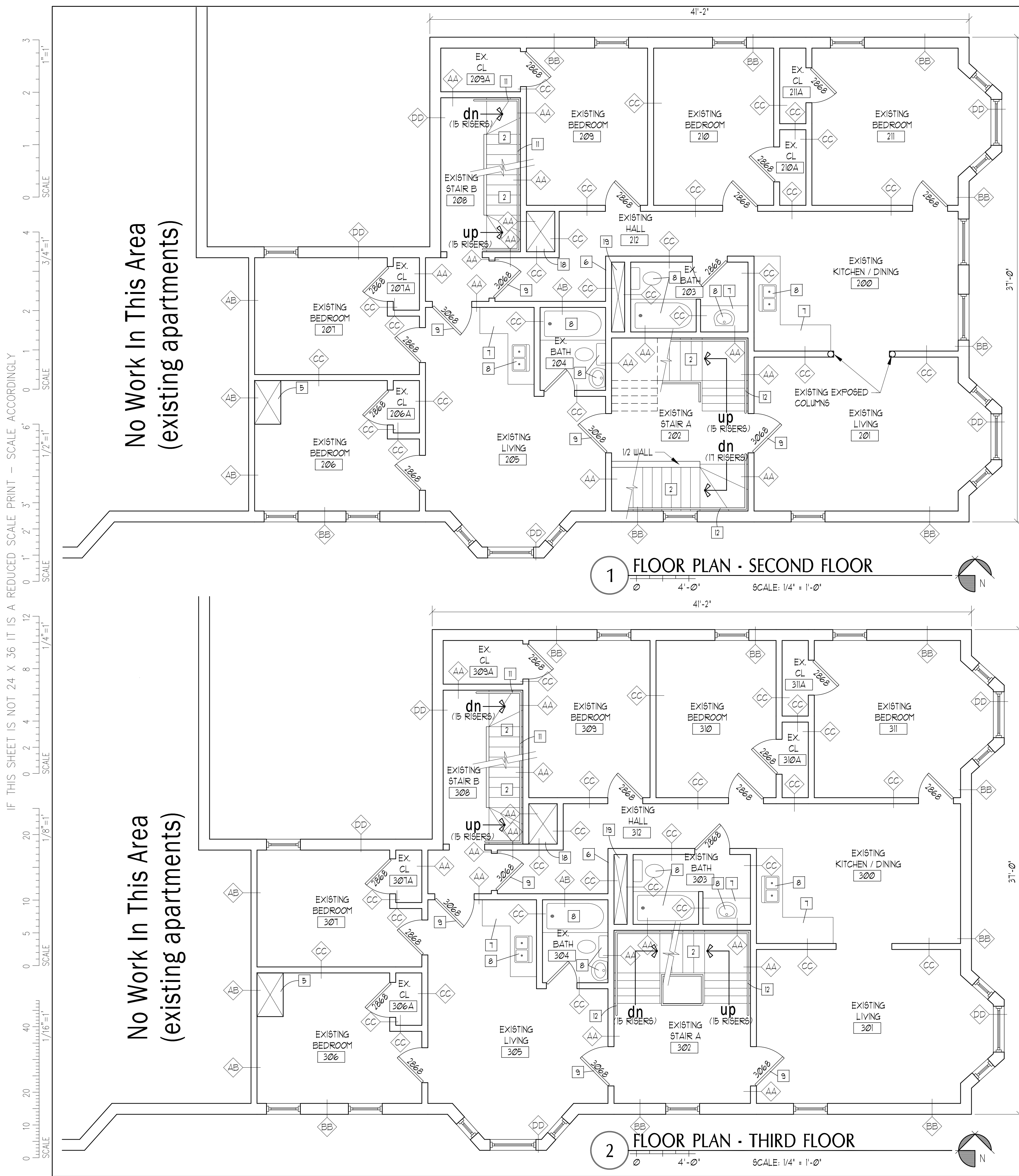
- EXISTING ACCESS DOOR IN FLOOR TO BASEMENT
- EXISTING STAIR TO REMAIN.
- EXISTING FINISH FLOOR OF THIS UNIT IS APPROX. 5" HIGHER THAN THE VESTIBULE FINISH FLOOR.
- EXISTING PLUMBING FIXTURE TO REMAIN (PROTECT AS REQUIRED)
- EXISTING MASONRY CHIMNEY IS INACTIVE AND SHALL BE REMOVED DUE TO STRUCTURAL INTEGRITY ISSUES. THE FLOOR/CEILING SYSTEM SHALL BE INSTALLED AT EACH LEVEL TO ELIMINATE THE CHASE LEFT BY THE REMOVED CHIMNEY.
- EXISTING ELECTRICAL PANEL TO REMAIN
- MILLWORK BY OWNER
- PLUMBING FIXTURE BY OWNER
- DOOR TO BE 1-HOUR (60 MINUTE) FIRE-RATED
- APPROX. LOCATION OF EXISTING STL. COLUMN
- PROVIDE AND INSTALL HANDRAIL AS SHOWN PER DETAIL 3, SHEET A12. NOTE: THE HANDRAIL ON THIS SIDE OF THE STAIR WAS REMOVED AND IS BEING REPLACED. THERE IS HANDRAIL AND BALLUSTER SYSTEM ON THE OTHER SIDE OF THE STAIR THAT IS EXISTING AND IS NOT BEING REMOVED.
- PROVIDE AND INSTALL HANDRAIL AS SHOWN PER DETAIL 3, SHEET A12
- PROVIDE AND INSTALL NEW WD. STUD WALL AS SHOWN IN APPROX LOCATION OF EXISTING STUD WALL THAT WAS REMOVED
- PROVIDE AND INSTALL HANDRAIL / GUARDRAIL (SEE 3, SHT A12, S1M) NOTE: THE HANDRAIL ON THIS SIDE OF THE STAIR WAS REMOVED AND IS BEING REPLACED. THERE IS A HALF-WALL ON THE OTHER SIDE OF THE STAIR THAT IS EXISTING AND IS NOT BEING REMOVED. THE GYP BOARD ON THE HALF-WALL HAS BEEN REMOVED AND IS BEING REPLACED. THERE WAS NO EXISTING HANDRAIL ON THE EXISTING HALF-WALL.
- OWNER TO CONFIRM EXISTING DOOR IS 60 MIN RATED (MIN). REPLACE IF REQUIRED.
- INFILL MASONRY FOUNDATION WALL TO MATCH EXISTING
- PROVIDE AND INSTALL 5/8" TYPE "X" GYP OVER EXISTING FLOOR JOISTS AS REQUIRED TO PROVIDE A 1-HOUR FIRE SEPARATION FROM THE APARTMENT USE ABOVE. ASSEMBLY TO BE U.L. L513 (SEE 3, SHT A12).

**1 FLOOR PLAN - SECOND FLOOR**  
SCALE: 1/4" = 1'-0"

**2 FLOOR PLAN - THIRD FLOOR**  
SCALE: 1/4" = 1'-0"

No Work In This Area  
(existing apartments)

No Work In This Area  
(existing apartments)



IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

SCALE 1"=1'  
0 1 2 3

SCALE 3/4"=1'  
0 1 2 3 4

SCALE 1/2"=1'  
0 1 2 3 4 5 6

SCALE 1/4"=1'  
0 1 2 3 4 5 6 7 8 9 10 12

SCALE 1/16"=1'  
0 10 20 40