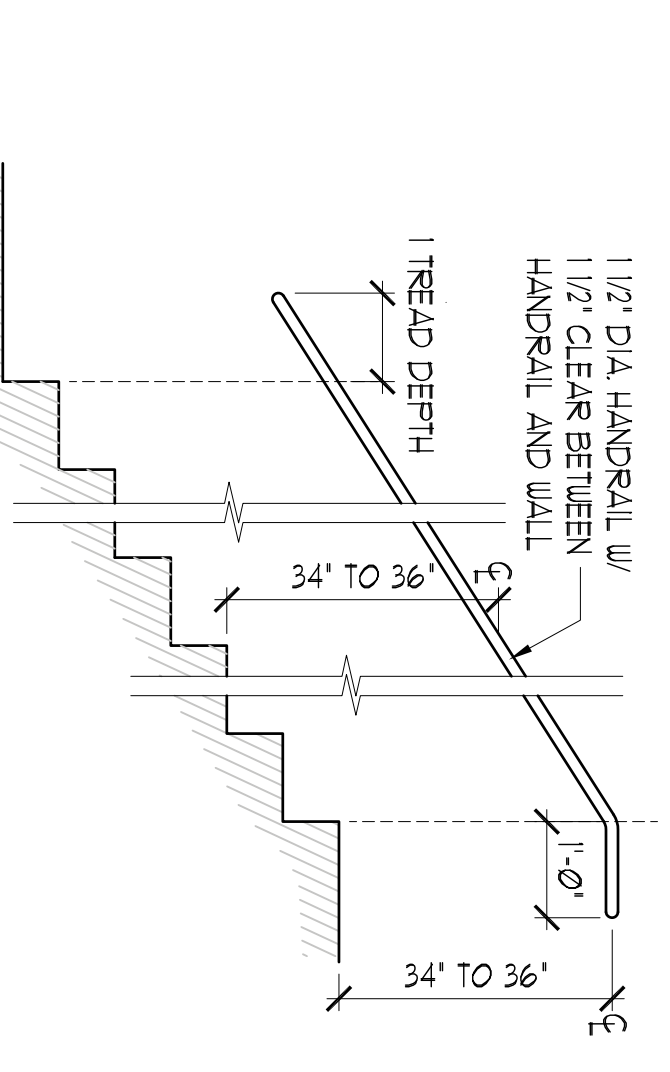
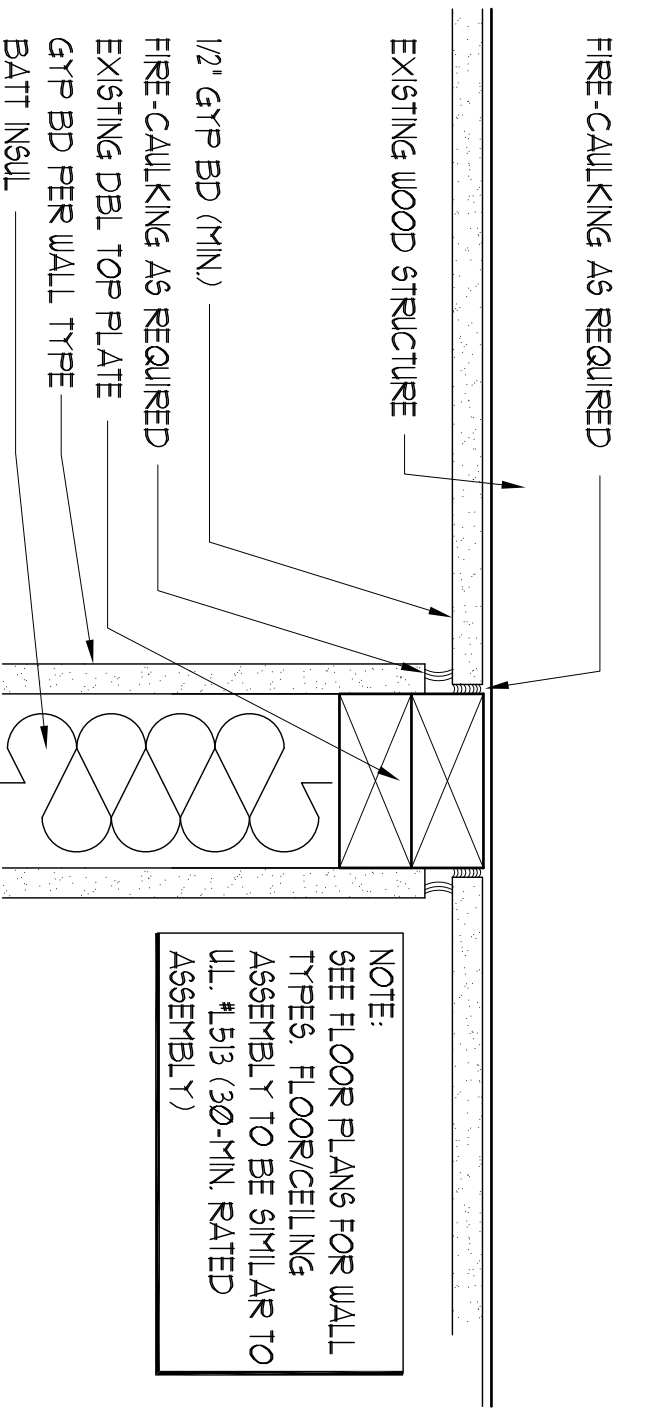


1 FLOOR PLAN - FOURTH FLOOR  
SCALE: 1/4" = 1'-0"

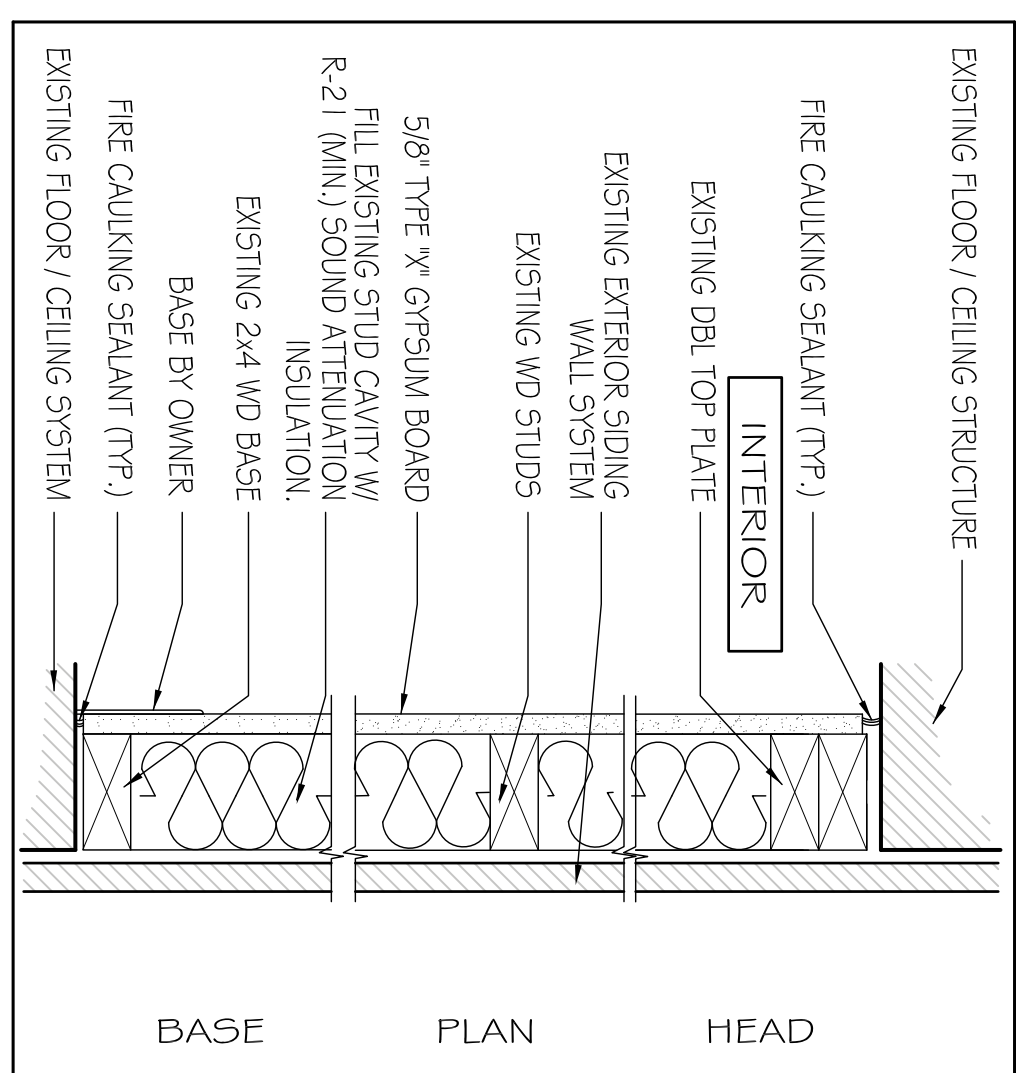
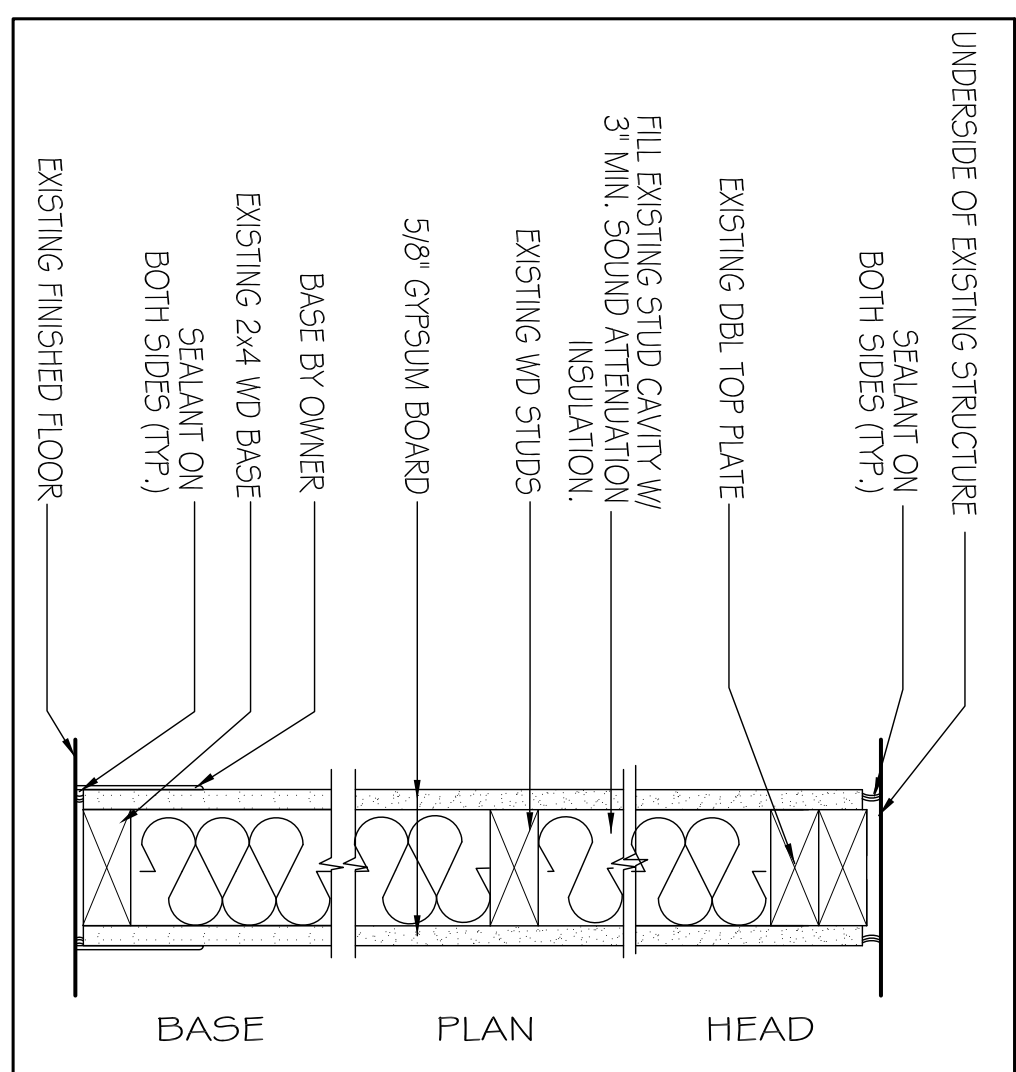
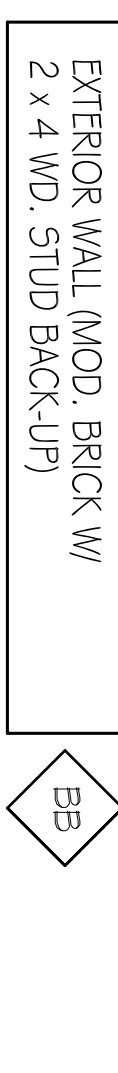
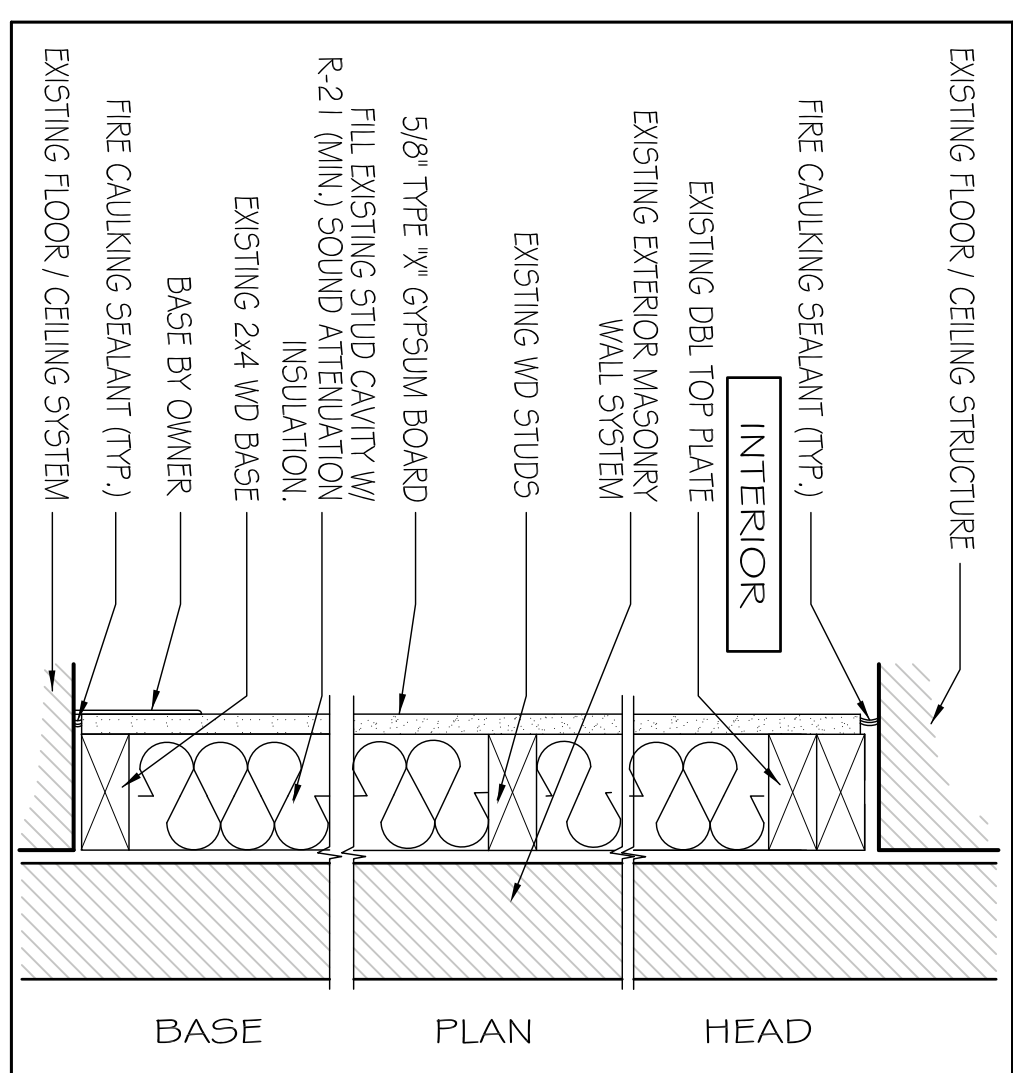
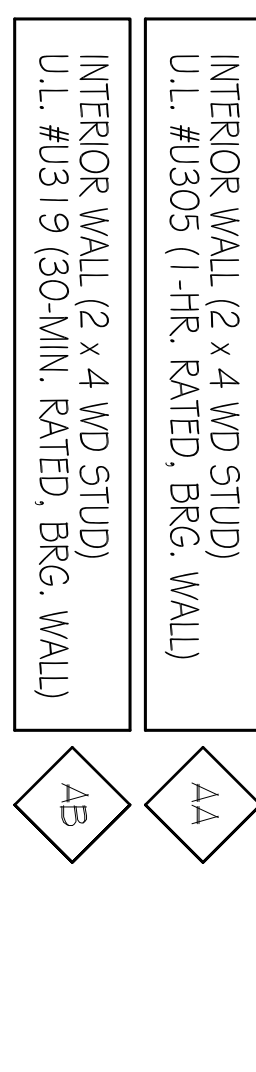
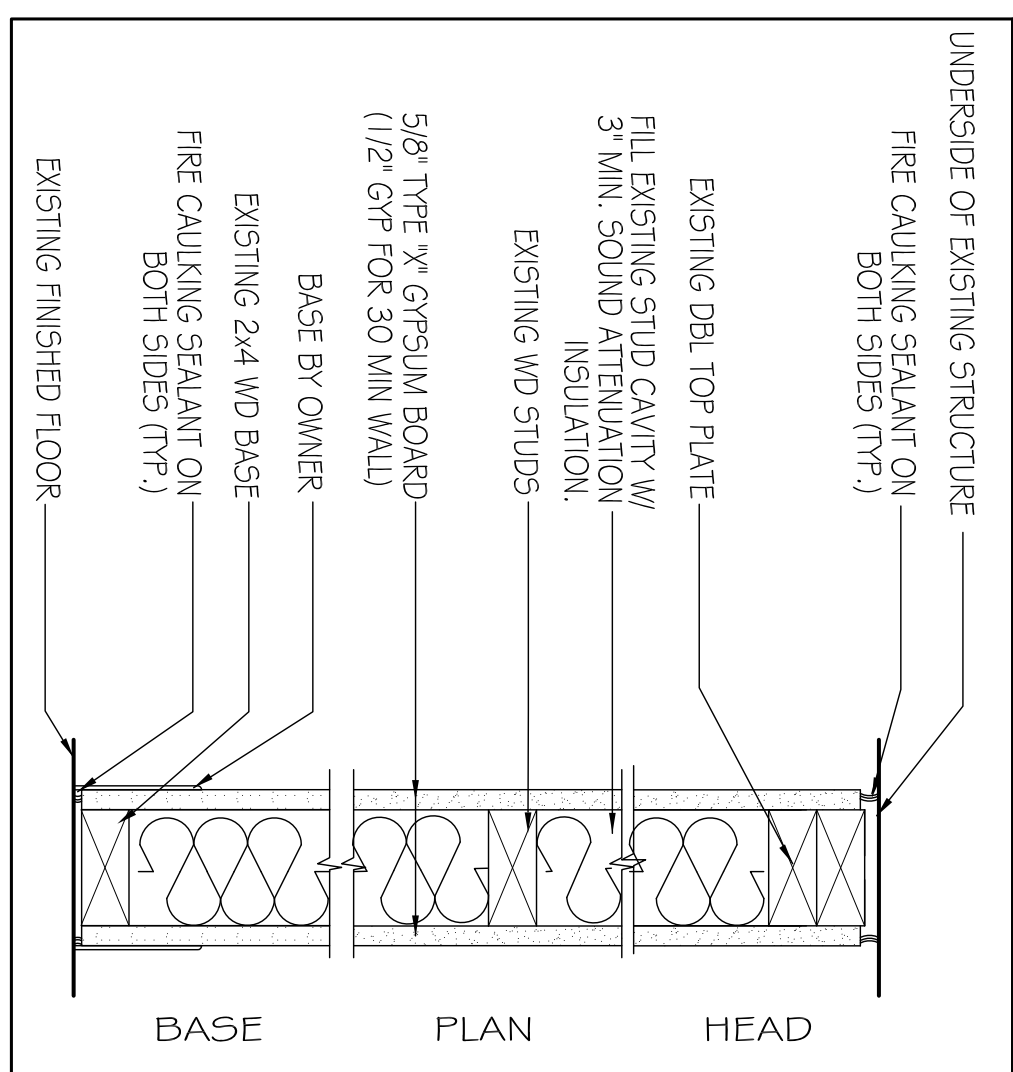


2 HANDRAIL DETAILS  
SCALE: 1" = 1'-0"



3 FLOOR / CEILING DETAIL  
SCALE: 1" = 1'-0"

**WALL TYPES**



**KEYED NOTES**

- 1 EXISTING ACCESS DOOR N FLOOR TO BASEMENT
- 2 EXISTING STAIR TO REMAIN
- 3 EXISTING FINISH FLOOR OF THIS UNIT IS APPROX. 3\"/> HIGHER THAN THE VESTIBLE FINISH FLOOR
- 4 EXISTING MASONRY CHIMNEY TO REMAIN (PROTECT AS REQUIRED)
- 5 EXISTING ELECTRICAL PANEL TO REMAIN
- 6 MILLWORK BY OWNER
- 7 FLOORING BY OWNER
- 8 DOOR TO BE 1-HOUR (60 MINUTE) FIRE-RATED
- 9 APPROX. LOCATION OF EXISTING STL. COLUMN
- 10 PROVIDE AND INSTALL HANDRAIL AS SHOWN PER DETAIL 3 SHEET A12. NOTE: THE HANDRAIL ON THIS SIDE OF THE STAIR WAS REMOVED AND IS BEING REPLACED. THERE IS HANDRAIL AND BALUSTER SYSTEM ON THE OTHER SIDE OF THE STAIR THAT IS EXISTING AND IS NOT BEING REMOVED.
- 11 PROVIDE AND INSTALL HANDRAIL AS SHOWN PER DETAIL 3 SHEET A12. NOTE: THE HANDRAIL ON THIS SIDE OF THE STAIR WAS REMOVED AND IS BEING REPLACED. THERE IS A HALF-WALL ON THE OTHER SIDE OF THE STAIR THAT IS EXISTING AND IS NOT BEING REMOVED. THE GYP BOARD ON THE HALF-WALL HAS BEEN REMOVED AND IS BEING REPLACED. THERE WAS NO EXISTING HANDRAIL ON THE EXISTING HALF-WALL.
- 12 PROVIDE AND INSTALL NEW WD. STUD WALL AS SHOWN IN APPROX. LOCATION OF EXISTING STUD WALL THAT WAS REMOVED
- 13 PROVIDE AND INSTALL HANDRAIL / GUARDRAIL (SEE 3, 9HT A12, 9HT) REQUIRED.
- 14 OWNER TO CONFIRM EXISTING DOOR IS 60\"/> MIN. RATED (MIN. REPLACE IF REQUIRED).
- 15 FILL MASONRY FOUNDATION WALL TO MATCH EXISTING
- 16 PROVIDE AND INSTALL 5/8\"/> TYPE 'X' GYP OVER EXISTING FLOOR JOISTS AS REQUIRED TO PROVIDE A 1-HOUR FIRE-SEPARATION FROM THE APARTMENT USE ABOVE. ASSEMBLY TO BE U.L. L513 (SEE 3, 9HT A12).

**GENERAL NOTES**

- ON THE FIRST FLOOR RETAIL SPACE MOST OF THE FINISHES ARE STILL IN PLACE HOWEVER SOME PORTIONS OF THE EXISTING WALLS NEED TO BE REPLACED OR FIXED. PLEASE REFER TO THE WALL TYPES ON THE PLAN FOR HOW THE WALLS SHOULD BE REPAIRED AND/OR UPDATED. (NOTE: IT IS THE UPPER FLOORS WHERE ALL FINISHES HAVE BEEN REMOVED).
- BATH 105 AND 107 ARE FOR EMPLOYEE USE ONLY AND NOT INTENDED FOR PUBLIC USE.
- ALL BATHROOMS TO HAVE NO-SMUDGE-RESISTANT GYP BOARD.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- FLOOR/CEILING ASSEMBLIES BETWEEN RETAIL AREAS AND APARTMENT UNITS (IN OFFICE AREA 104, VESTIBLE 104A, AND BATH 105, THAT CURRENTLY HAVE THE CEILING REMOVED) ARE TO BE 1-HOUR RATED. SEE DETAIL 3 SHEET A12 FOR TOP OF INTERIOR WALL DETAIL. THE RATED FLOOR/CEILING ASSEMBLY SHALL BE SIMILAR TO U.L. DESIGN #133 AND APPROVED BY THE AUTHORITY HAVING JURISDICTION. CEILING IN THE RETAIL AREAS ARE EXISTING AND SHALL REMAIN UNCHANGED.
- ALL HANDRAILS TO MEET IBC SECTION 107.
- ALL UNITS ARE TO BE SEPARATED FROM EACH OTHER WITH 30-MINUTE FIRE SEPARATIONS (WALLS AND FLOOR/CEILING). WALLS SHALL HAVE 1/2\"/> GYP BOARD ON EACH SIDE OF THE WALL U.L. #133. FLOOR/CEILING SHALL HAVE 1/2\"/> GYP BOARD ATTACHED TO THE UNDERSIDE OF THE FLOOR JOISTS. ALL ASSEMBLIES SHALL BE FIRE-CALLED AS REQUIRED.
- SEE STRUCTURAL DRAWINGS FOR ITEMS TO BE REBUILT, REPAIRED, OR STRENGTHENED AS REQUIRED.

**229 Congress St Apartments**

Portland, Maine

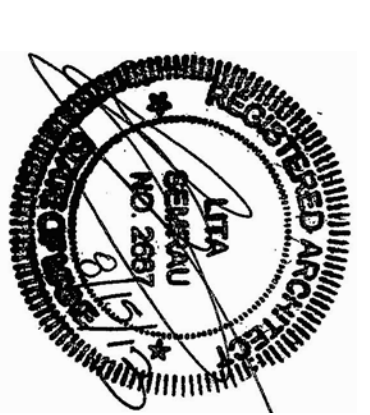
REVISIONS

#	DATE	DESCRIPTION
1	8-5-13	FOR PERMIT

Date Issued	Aug 5, 2013
Project Number	1316
Drawing Scale	AS NOTED
SHEET NAME	FLOOR PLANS

**FLOOR PLANS**

Drawn By  
MC  
Checked By  
ACH  
**A1.2**



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