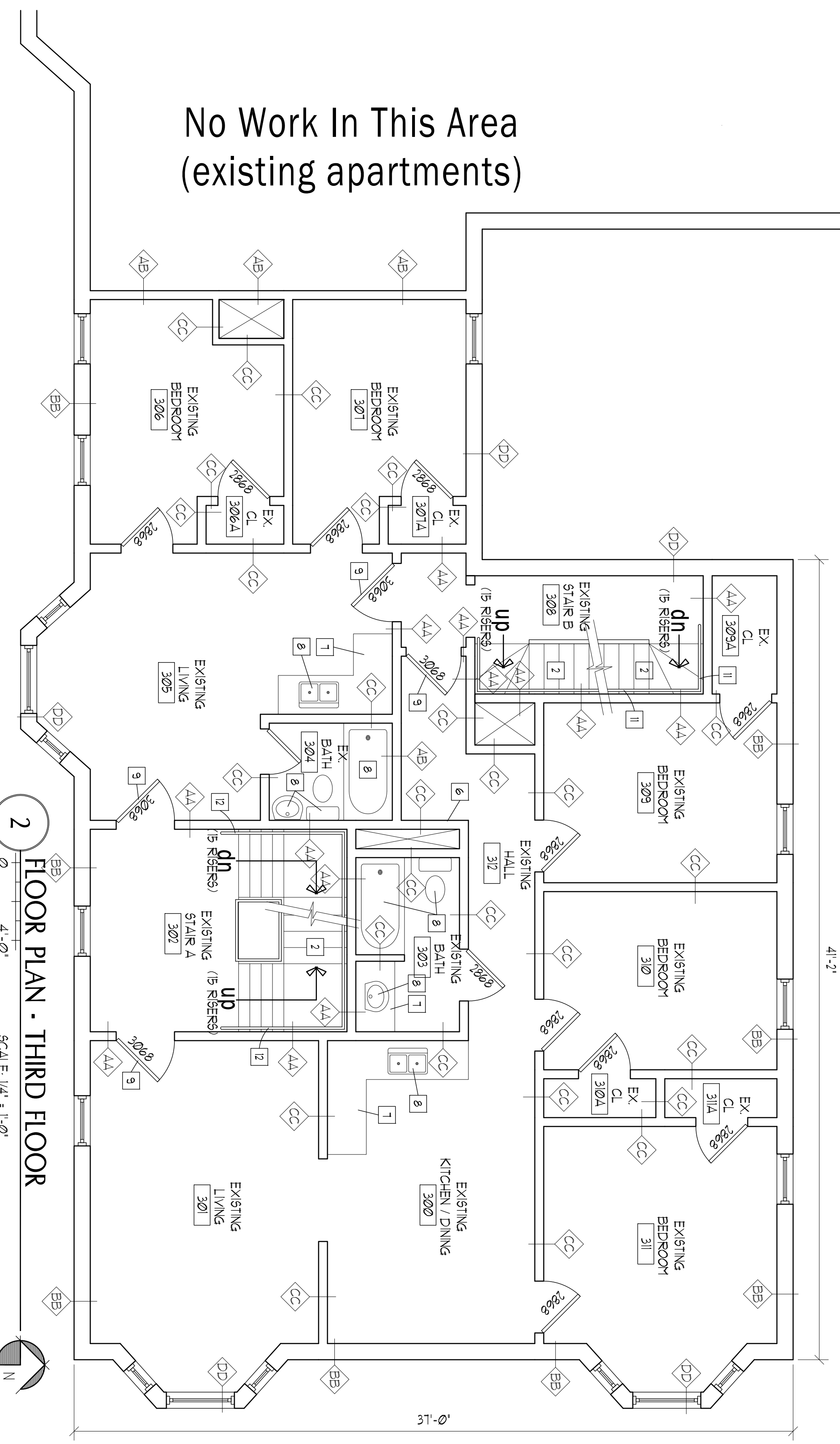
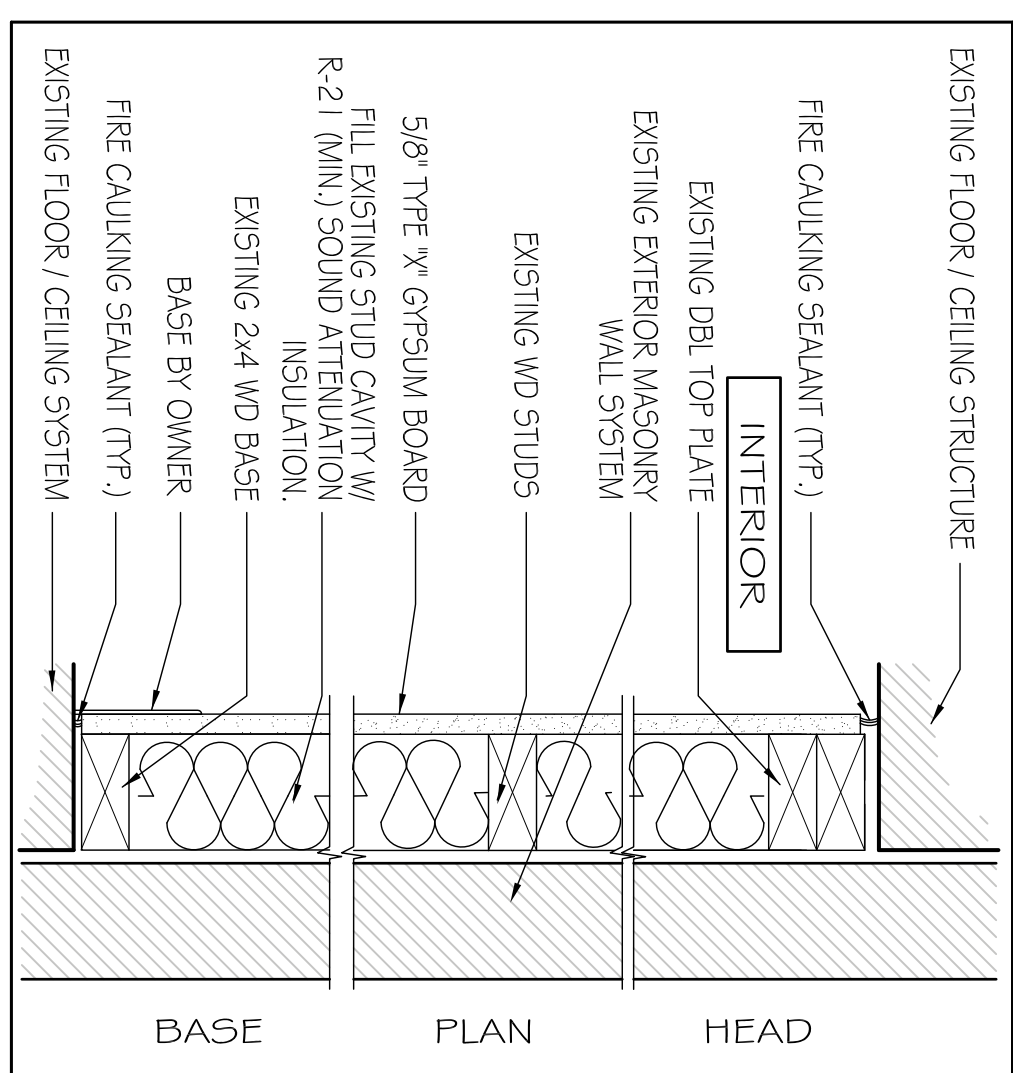
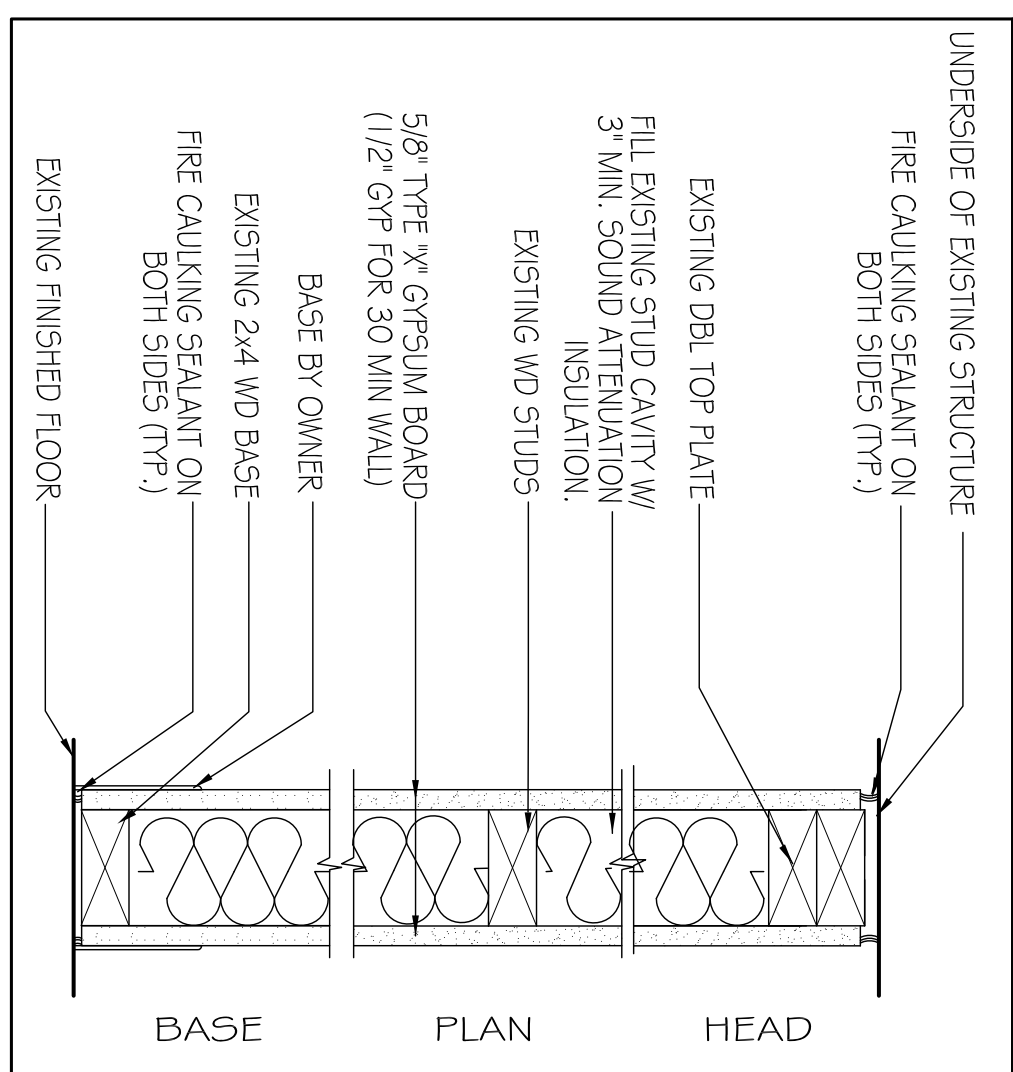


1 FLOOR PLAN - SECOND FLOOR
SCALE: 1/4" = 1'-0"
41'-2"



2 FLOOR PLAN - THIRD FLOOR
SCALE: 1/4" = 1'-0"
41'-2"

WALL TYPES



UNDERSIDE OF EXISTING STRUCTURE
SEALANT ON BOTH SIDES (TYP.)

EXISTING DBL. TOP PLATE

FILL EXISTING STUD CAVITY W/ 3 MIN. SOUND ATTENUATION INSULATION.

EXISTING WD STUDS

5/8" TYPE X GYPSUM BOARD (1/2" GYP FOR 30 MIN WALL)

BASE BY OWNER

EXISTING 2x4 WD BASE

FIRE CAULKING SEALANT ON BOTH SIDES (TYP.)

EXISTING FINISHED FLOOR

EXISTING FLOOR / CEILING STRUCTURE

FIRE CAULKING SEALANT (TYP.)

INTERIOR FIRE CAULKING SEALANT (TYP.)

EXISTING EXTERIOR MASONRY WALL SYSTEM

EXISTING WD STUDS

5/8" TYPE X GYPSUM BOARD

FILL EXISTING STUD CAVITY W/ 1/2" GYP FOR 30 MIN WALL

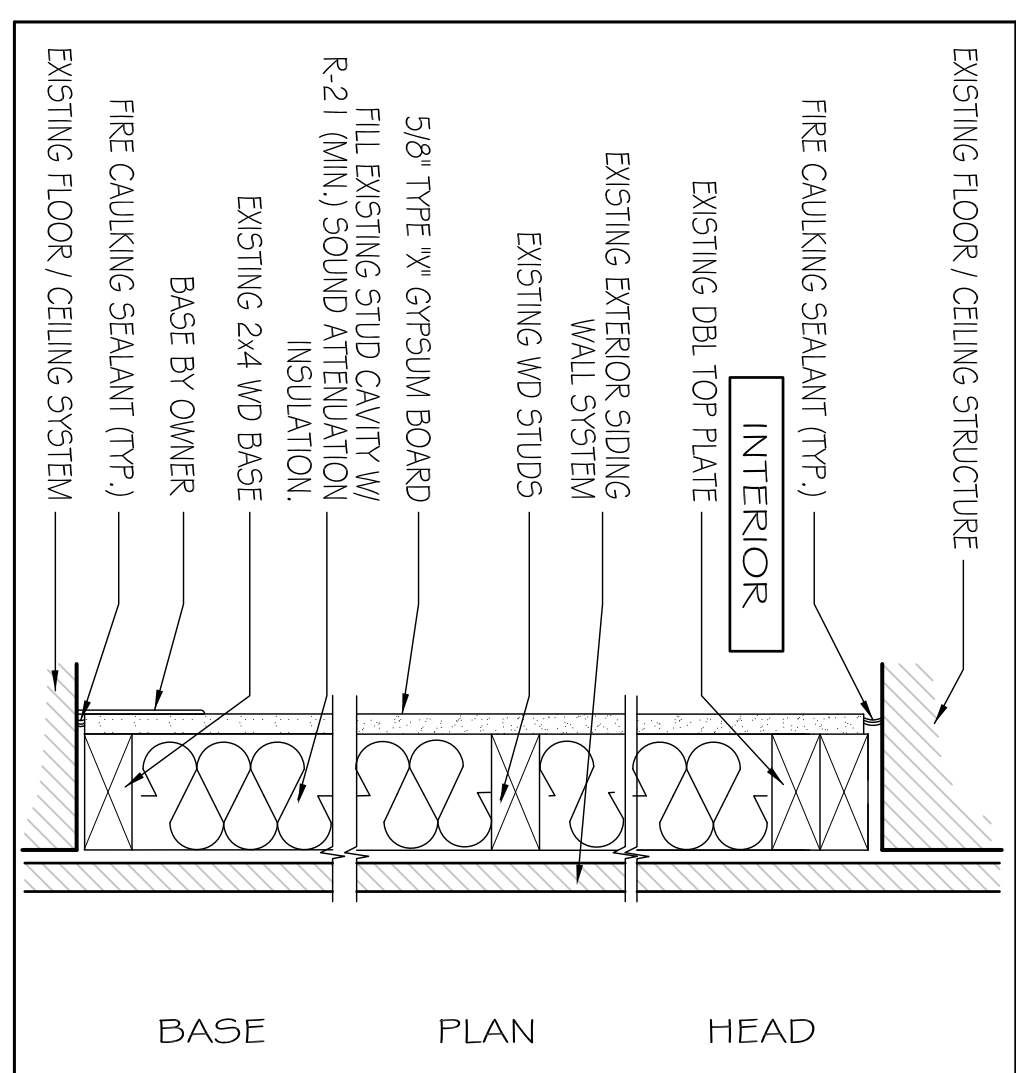
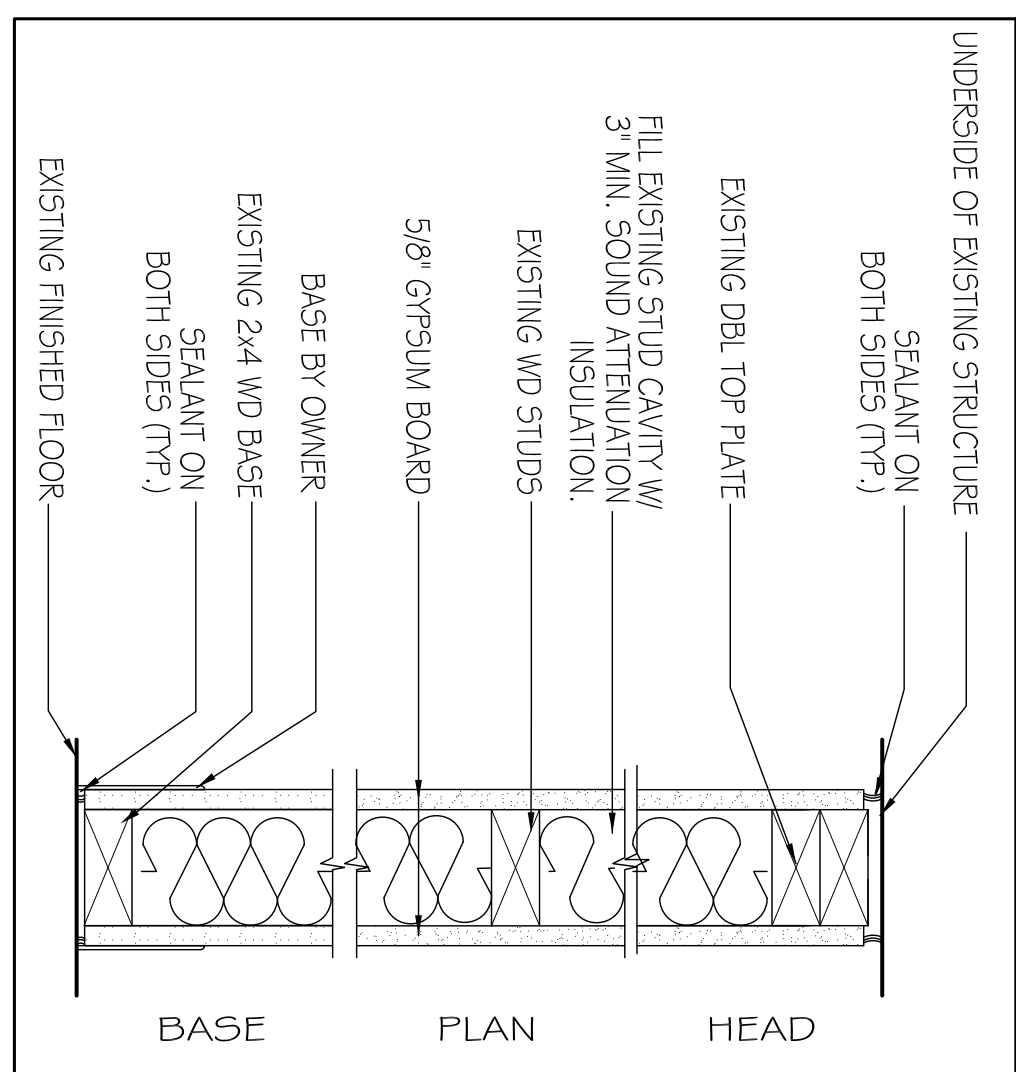
EXISTING 2x4 WD BASE

BASE BY OWNER

EXISTING 2x4 WD BASE

FIRE CAULKING SEALANT (TYP.)

EXISTING FLOOR / CEILING SYSTEM



INTERIOR WALL (2 x 4 WD STUD) WALL NOT RED, TO BE FIRE-RATED)

UNDERSIDE OF EXISTING STRUCTURE

SEALANT ON BOTH SIDES (TYP.)

EXISTING DBL. TOP PLATE

FILL EXISTING STUD CAVITY W/ 3 MIN. SOUND ATTENUATION INSULATION.

EXISTING WD STUDS

5/8" GYPSUM BOARD

BASE BY OWNER

EXISTING 2x4 WD BASE

SEALANT ON BOTH SIDES (TYP.)

EXISTING FINISHED FLOOR

EXISTING FLOOR / CEILING STRUCTURE

FIRE CAULKING SEALANT (TYP.)

INTERIOR FIRE CAULKING SEALANT (TYP.)

EXISTING EXTERIOR SIDING WALL SYSTEM

EXISTING DBL. TOP PLATE

EXISTING WD STUDS

5/8" TYPE X GYPSUM BOARD

FILL EXISTING STUD CAVITY W/ R-2 (MIN.) SOUND ATTENUATION INSULATION.

EXISTING 2x4 WD BASE

BASE BY OWNER

FIRE CAULKING SEALANT (TYP.)

EXISTING FLOOR / CEILING SYSTEM

KEYED NOTES

- EXISTING ACCESS DOOR IN FLOOR TO BASEMENT
- EXISTING STAIR TO REBAIN
- EXISTING FINISH FLOOR OF THIS UNIT IS APPROX. 5" HIGHER THAN THE VESTIBULE FINISH FLOOR
- EXISTING PLUMBING FIXTURE TO REMAIN (PROTECT AS REQUIRED)
- EXISTING MASONRY CHIMNEY TO REMAIN (PROTECT AS REQUIRED)
- EXISTING ELECTRICAL PANEL TO REMAIN
- MILLOCK BY OWNER
- PLUMBING FIXTURE BY OWNER
- DOOR TO BE 1-HOUR 60 MINUTE FIRE-RATED
- APPROX. LOCATION OF EXISTING STL. COLUMN
- NOTE: THE HANDRAIL ON THIS SIDE OF THE STAIR WAS REMOVED AND IS BEING RE-INSTALLED. THERE IS HANDRAIL AND BALUSTER SYSTEM ON THE OTHER SIDE OF THE STAIR THAT IS EXISTING AND IS NOT BEING REMOVED. PROVIDE AND INSTALL HANDRAIL AS SHOWN PER DETAIL 3 SHEET A12
- NOTE: THE HANDRAIL ON THIS SIDE OF THE STAIR WAS REMOVED AND IS BEING REPLACED. THERE IS A HALF-WALL ON THE OTHER SIDE OF THE STAIR THAT IS EXISTING AND IS NOT BEING REMOVED. THE GYP BOARD ON THE HALF-WALL HAS BEEN REMOVED AND IS BEING REPLACED. THERE WAS NO EXISTING HANDRAIL ON THE EXISTING HALF-WALL.
- PROVIDE AND INSTALL NEW UP. STD. WALL AS SHOWN IN APPROX. LOCATION OF EXISTING STUD WALL THAT WAS REMOVED
- PROVIDE AND INSTALL HANDRAIL / GUARDRAIL (SEE 3 SHEET A12 SHEET 1)
- OWNER TO CONFIRM EXISTING DOOR IS 60 MIN RATED (MIN. REPLACE IF REQUIRED)
- INSTALL MASONRY FOUNDATION WALL TO MATCH EXISTING
- PROVIDE AND INSTALL 5/8" TYPE X GYP OVER EXISTING FLOOR JOISTS AS REQUIRED TO PROVIDE A 1-HOUR FIRE-SEPARATION FROM THE APARTMENT USE ABOVE. ASSEMBLY TO BE U.L. LB13 (SEE 3 SHEET A12)

GENERAL NOTES

- ON THE FIRST FLOOR RETAIL SPACE MOST OF THE FINISHES ARE STILL IN PLACE HOWEVER SOME PORTIONS OF THE EXISTING WALLS NEED TO BE REPLACED OR FIXED. PLEASE REFER TO THE WALL TYPES ON THE PLAN FOR HOW THE WALLS SHOULD BE REPAIRED AND/OR UPGRADED. (NOTE: IT IS THE UPPER FLOORS WHERE ALL FINISHES HAVE BEEN REMOVED)
- BATH 105 AND 107 ARE FOR EMPLOYEE USE ONLY AND NOT INTENDED FOR PUBLIC USE.
- ALL BATHROOMS TO HAVE MOLD-RESISTANT GYP BOARD.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- FLOOR/CEILING ASSEMBLIES BETWEEN RETAIL AREAS AND APARTMENT UNITS (IN OFFICE AREA 104, VESTIBULE 104A, AND BATH 105, THAT CURRENTLY HAVE THE CEILING REMOVED) ARE TO BE 1-HOUR RATED. SEE DETAIL 3 SHEET A12 FOR TOP OF INTERIOR WALL DETAIL. THE RATED FLOOR/CEILING ASSEMBLY SHALL BE SIMILAR TO U.L. DESIGN #133 AND APPROVED BY THE AUTHORITY HAVING JURISDICTION. CEILING IN THE RETAIL AREAS ARE EXISTING AND SHALL REMAIN.
- ALL HANDRAILS TO MEET IBC SECTION 107.
- ALL UNITS ARE TO BE SEPARATED FROM EACH OTHER WITH 30-MINUTE FIRE-SEPARATING WALLS AND FLOOR/CEILING. WALLS SHALL HAVE 1/2" GYP BOARD ON EACH SIDE OF THE WALL U.L. 1393. FLOOR/CEILING SHALL HAVE 1/2" GYP BOARD ATTACHED TO THE UNDERSIDE OF THE FLOOR JOISTS. ALL ASSEMBLIES SHALL BE FIRE-CALLED AS REQUIRED.
- SEE STRUCTURAL DRAWINGS FOR ITEMS TO BE REBUILT, REPAIRED, OR STRENGTHENED AS REQUIRED.

229 Congress St Apartments
Portland, Maine

REVISIONS

#	DATE	DESCRIPTION
1	8-5-13	FOR PERMIT

FLOOR PLANS

Drawn By: M.C.
Checked By: ACH
Project Name: A1.1

