

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
 Application And  
 Notes, If Any,  
 Attached

BUILDING DEPARTMENT

**PERMIT**

PERMIT ISSUED

Permit Number: 070813

AUG 27 2007

This is to certify that MCKENZIE RACHELLE T PAUL R MCKENZIE JTS  
 has permission to Second floor deck for addition means ingress, 14' x 7' deck & establish use of the second & third floor  
 AT 32 WASHINGTON AVE (#34) 013 E018001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is opened or closed-in.  
 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Deanne Banks 8/3/07*  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**CITY OF PORTLAND**  
**DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
Portland, Maine 04101

**INVOICE FOR FEES**

**Owner:** MCKENZIE RACHELLE T & PAUL R MCKENZIE JTS  
**Location:** 34 WASHINGTON AVE  
**CBL:** 013 E018001  
**Invoice Date:** 08/27/2007

<b>Fee Description</b>	<b>Fee Charge</b>
08/03/2007 CERTIFICATE OF OCCUPANCY	\$75.00
Upon review the Certificate of Occupancy fee is due	
<b>Amount Due Now:</b>	<b>\$75.00</b>

-----  
Detach and remit with payment

**Bill to:** MCKENZIE RACHELLE T &  
359 NASHUA RD  
DRACUT, MA 01826

CBL 013 E018001  
**Invoice Date:** 08/27/2007  
**Invoice No:** 513  
**Total Amt Due:** \$75.00  
**Payment Amount:**

Make checks payable to the *City of Portland*, Inspections Division, Room 315, 389 Congress Street, Portland, ME 04101.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

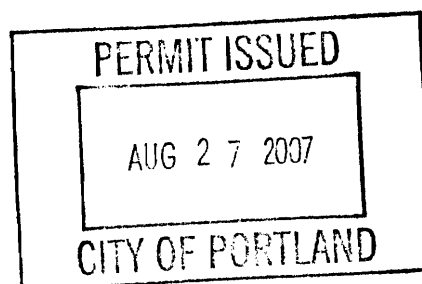
Permit No: 07-0813	Issue Date:	CBL: 013 E018001
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Location of Construction: 32 WASHINGTON AVE (#34)	Owner Name: MCKENZIE RACHELLE T & PAU	Owner Address: 359 NASHUA RD	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: <b>B2b/R6</b>

Past Use: Commercial/ Residential <i>leg. use 1st floor retail artists studio &amp; one dwelling unit above</i>	Proposed Use: Commercial/ Residential - <sup>add</sup> Second floor deck for additional means of egress, w/ <del>10</del> <sup>10</sup> x 7' deck & establish use of second & <del>third</del> floor as <i>1 du.</i>	Permit Fee: \$50.00	Cost of Work: \$3,000.00	CEO District: 1
Proposed Project Description: <sup>add</sup> Second floor deck for additional means of egress, w/ <sup>10</sup> x 7' deck & establish use of the second & third floor.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>M/R3</i> Type: <i>SB</i> <i>IRC-2003 This permit only</i> Signature: <i>JMB 8/3/07</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 07/06/2007	<b>Zoning Approval</b>		
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ASU</i> Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

CBL: 13-E-18

Building Permit #: 07-0813

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-0813	<b>Date Applied For:</b> 07/06/2007	<b>CBL:</b> 013 E018001
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<b>Location of Construction:</b> 32 WASHINGTON AVE (#34)	<b>Owner Name:</b> MCKENZIE RACHELLE T & PAU	<b>Owner Address:</b> 359 NASHUA RD	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b>	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	

<b>Proposed Use:</b> Commercial/ Residential - Add second floor deck (10' x 7') for additional means of egress, & establish use of second floor as 1 dwelling unit	<b>Proposed Project Description:</b> Add second floor deck (10' x 7") for additional means of egress, & establish use of the second floor as 1 dwelling unit
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 07/16/2007

**Note:** **Ok to Issue:**

- 1) With the issuance of this permit and the certificate of occupancy the legal use of the building will be retail & artist studio on the first floor and one dwelling unit above.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 08/03/2007

**Note:** **Ok to Issue:**

- 1) There are no 3rd floor plans associated with this permit and this area is deemed to be attic storage space. Any finishing of this space will require separate review and approval.
- 2) As discussed with Sarah C., frost protection down to 4' is required for all bearing posts.
- 3) This permit approves the deck and stairs to the 2nd floor residence to be built according to the IRC 2003 code as shown on the material submitted.

**Dept:** Fire      **Status:** Not Applicable      **Reviewer:** Capt Greg Cass      **Approval Date:**

**Note:** **Ok to Issue:**

**Comments:**

7/6/2007-amachado: Left message with Chris & Sarah Coppi. Proposed deck is not meeting the side setback of 10'. Need revised set of plans.

7/11/2007-amachado: Received revised site plan.

7/13/2007-amachado: Received fax confirming the side setbacks are a minimum of 10'. Still need floorplans of dwelling for change of use. Left message for Sarah.



# General Building Permit Application Adoption

\* Please rush for International CJC

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>34 Washington Ave, Portland ME 04101</u>		
Total Square Footage of Proposed Structure <u>112 FT<sup>2</sup></u>		Square Footage of Lot <u>Est 5,137 FT<sup>2</sup> (Survey enclosed)</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>13            2            18</u>	Owner: <u>Rachele McKenzie 359 Nashua Road Dracut, MA 01826</u>	Telephone: <u>978-957-5412</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Chris + Sarah Coppi 34 Washington Ave Portland, ME 04101 207.347.3031</u>	Cost Of Work: \$ <u>3,000</u> Fee: \$ <u>50.00</u> C of O Fee: \$ <u>?</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? <u><del>TA</del> Single Family</u> Proposed Specific use: <u>2nd EXIT</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>INSTALL second floor door and deck and STAIRS for second exit. Deck will be 10 1/2 (+ .5 FT) from ground. 14x87' deck with STAIRS. STAIRS WILL HAVE 1 Landing (4x4) (</u>		
Contractor's name, address & telephone:  Who should we contact when the permit is ready: <u>Sarah OR Chris Coppi</u> Mailing address: <u>34 Washington Ave Portland, ME 04101</u> Phone: <u>207-347-3031</u>		

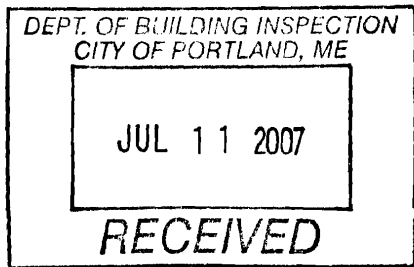
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Chris Coppi</u>	Date: <u>5/25/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



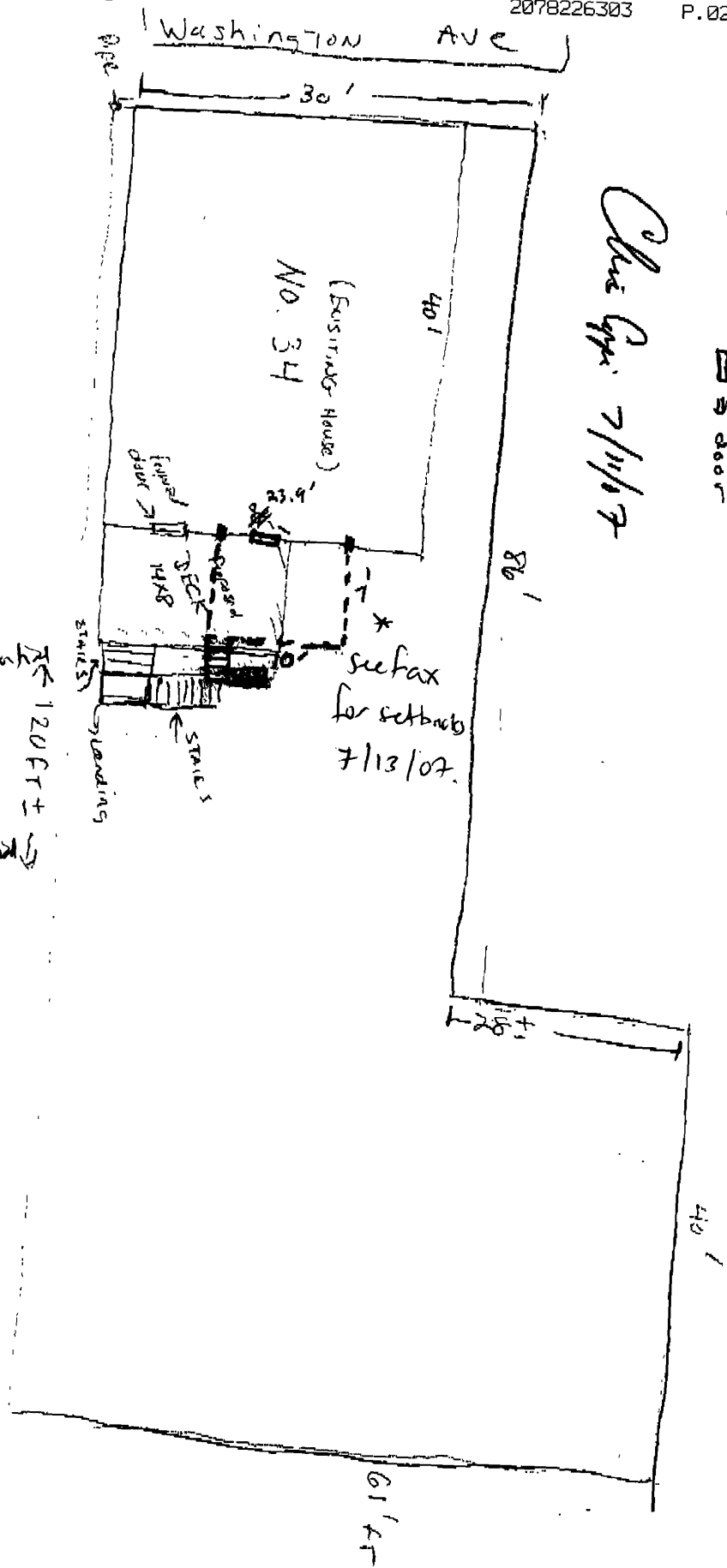
B2b

lot size 5090

rear setback - 20' if abuts residential  
zone  
- OK

Side setbacks - 10' if abuts residential  
use  
OK see fax dated  
7/13/07.

Impervious surface ratio 90% =  
45%  
OK.



Chris G... 7/11/07

Revised deck dimensions =  
7x10  
door

July 13, 2007

34 Washington Ave  
Portland, ME 04101

Ann Machado  
City of Portland

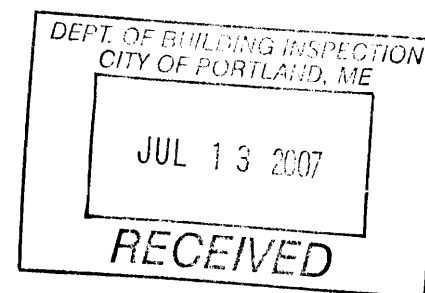
**RE: Proposed Deck Location, at 34 Washington Ave.**

Dear Ann,

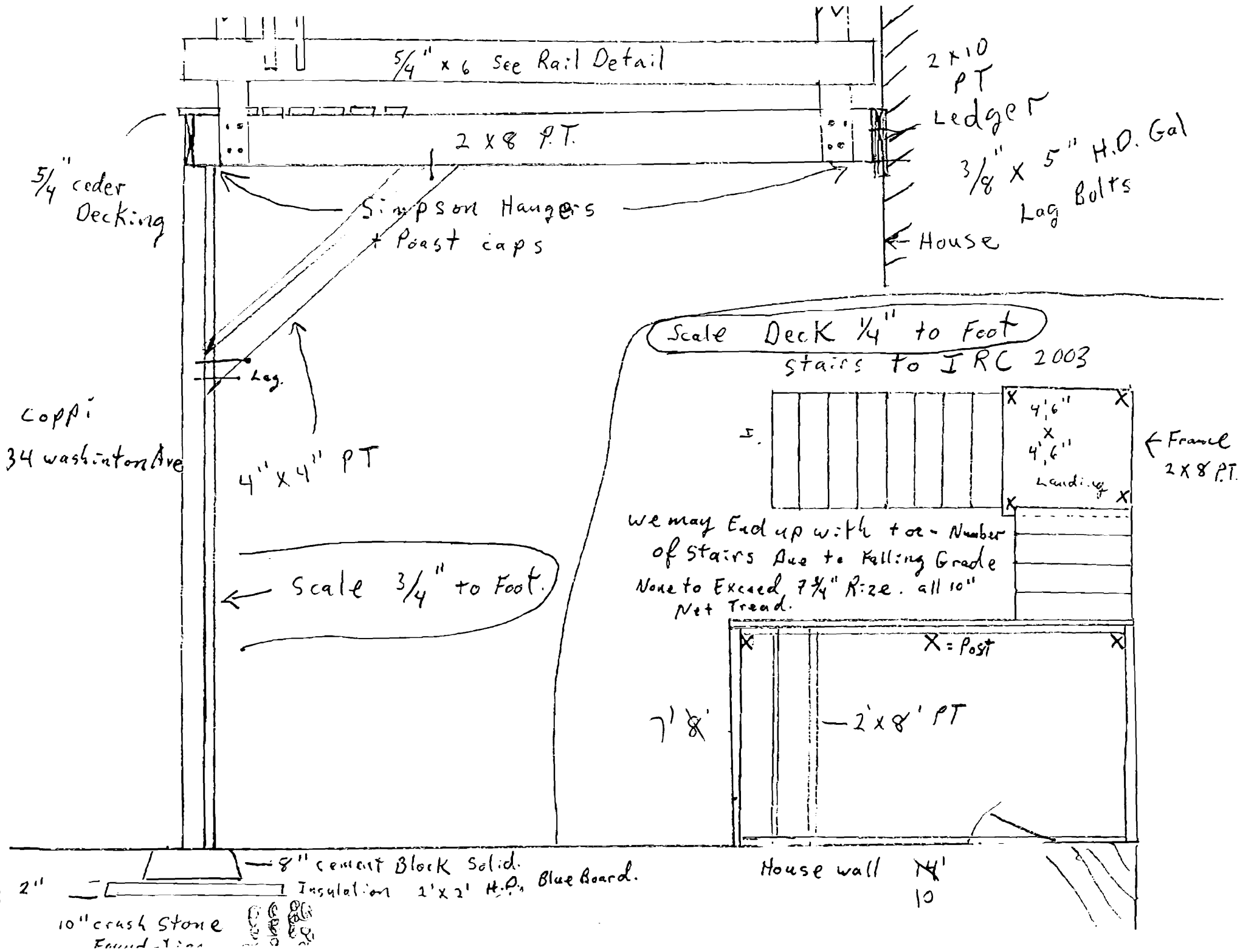
The proposed deck will not be built within 10 feet of both property lines on Washington Ave as required under the City Ordinance. Please call me if you have any questions.

Sincerely,

Chris Coppi







Coppi  
34 Washington Ave

05/01/2007 10:25 2077304845



7x10  
~~8x14~~ Deck

Main Deck: 5/4x5x8 EE Cedar

300LF @ .77 = \$ 231.00

Floor Joist:

15-2x6x8 PTC @ 12.00 \$ 180.00

2-2x6x16 PT @ 20.00 \$ 40.00

30-Joist hangers @ 1.50 \$ 45.00

Deck Post: Cedar

6-5x5x14 @ 54.00 \$ 324.00

Landing (4x4 Platform)

6-2x6x8 Pt @ 12.00 \$ 72.00

6-5/4x5x8 Cedar

48LF @ .77 @ \$ 36.96

Stairs:

4-2x8x16 PT @ 20.00 \$ 80.00

20-5/4x5x8 Cedar

160LF @ .77 \$ 123.20

1132.16

56.60 tax

1188.76

150.00 freight

\$ 1338.76 Total

34 Washington Ave  
Portland, Me 04101  
207-847-3031

14

3

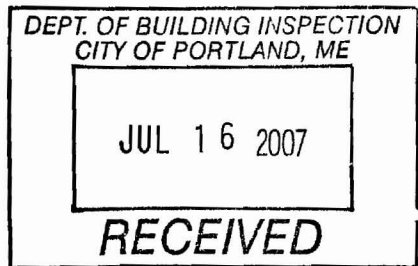
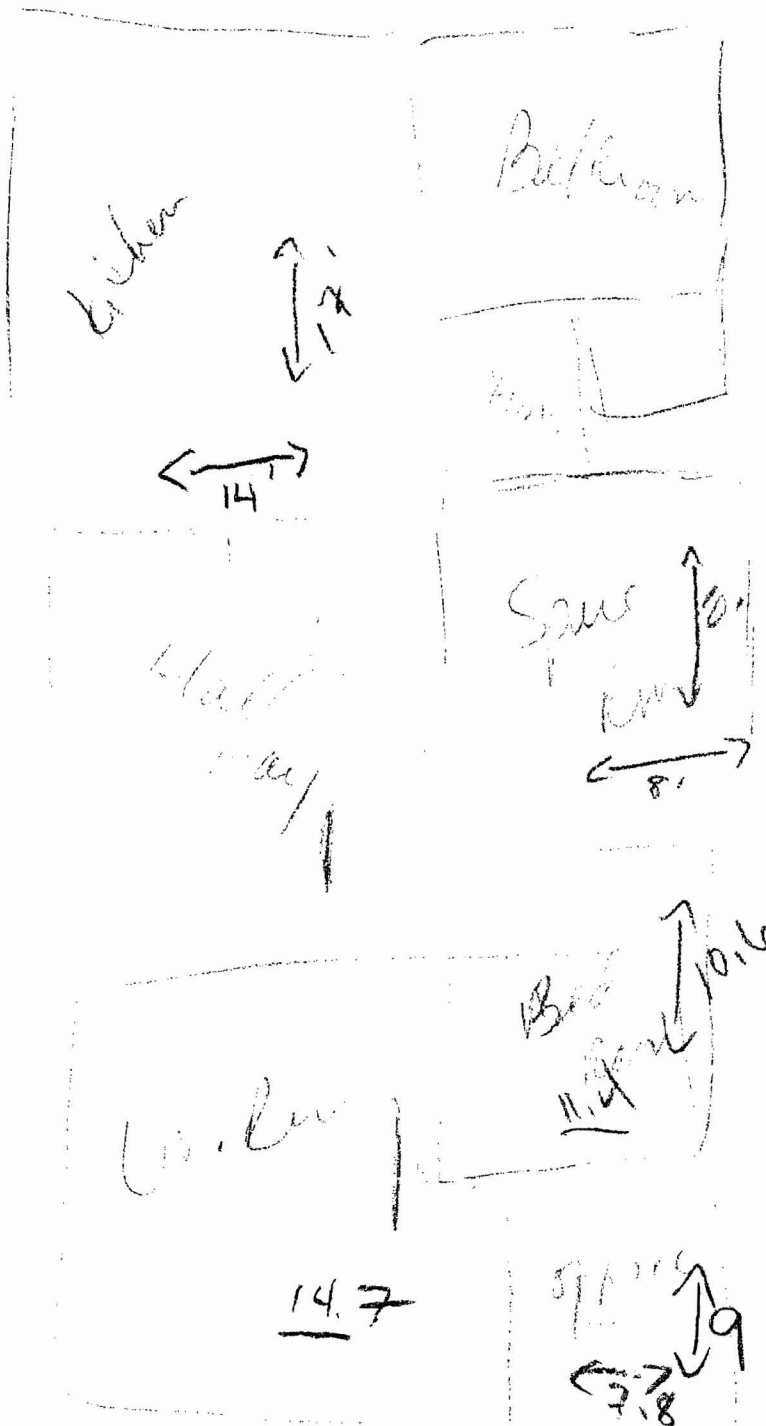
12/1/07

500

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
JUL 16 2007  
RECEIVED

3

5<sup>th</sup> 2nd  
Floor



Attic

34 Washington Ave  
Portland, Me 04101  
207-847-3031

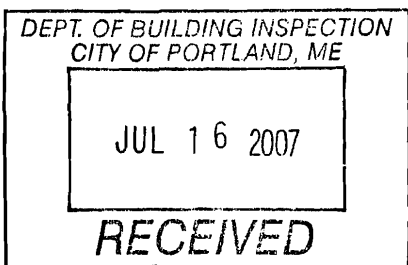
14.5

14.5

7.7

12.11

Stairs



13.5

12.5

## MEANS OF EGRESS - R311

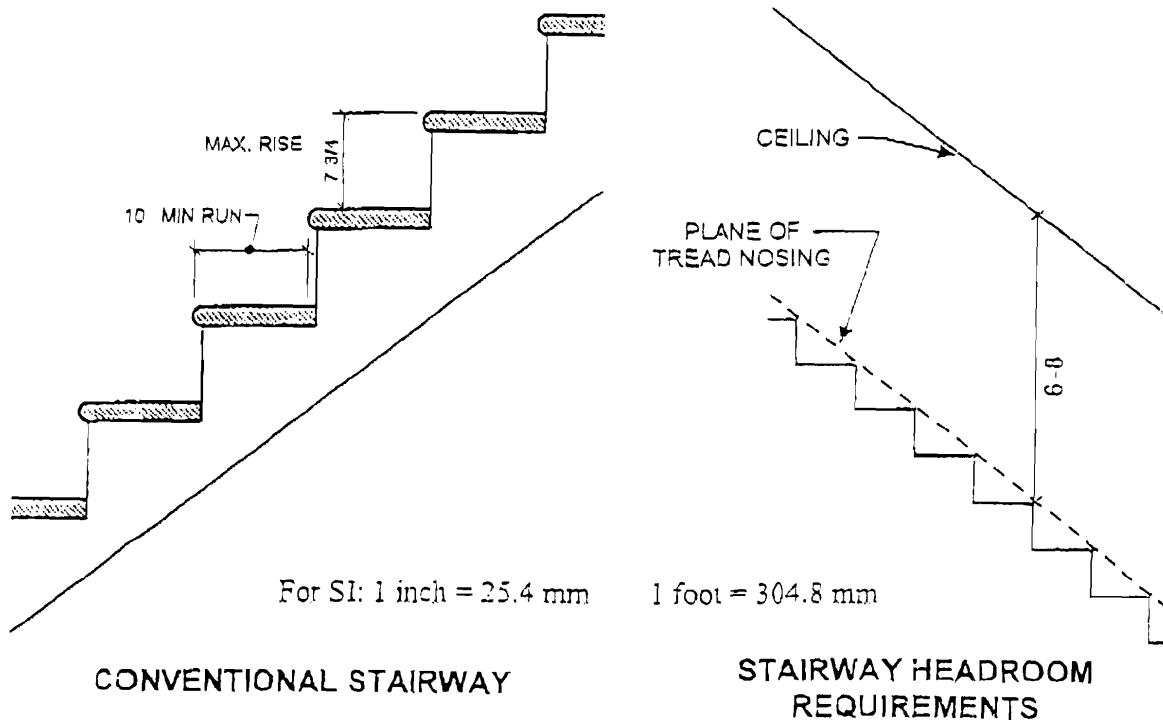
This section contains the requirements for stairways, ramps, exterior exit balconies, hallways, landings, handrails and exit doors.

### R311.4.3 - Landings at doors

A landing is required on each side of the required exit door and at all other exterior doors with more than two risers.

### R311.5 - Stairways

This section contains all the dimensional requirements necessary for safe design of stairs, including minimum width; tread and riser dimensions; stair configuration and profile and headroom. Winders, spiral stairs, circular stairs and basement "bilko" (bulkhead) stairs are also addressed in addition to protection of enclosed spaces beneath a stair by applying gypsum board to the surfaces of the enclosed area. Note that circular stair treads are regulated as winders (see the definition of "Winder" in Chapter 2) in accordance with Section R311.5.3.2, which requires a minimum tread depth of 10 inches (254 mm) at a point 12 inches (305 mm) from the narrow side of the tread.



### R311.5.6 - Handrails

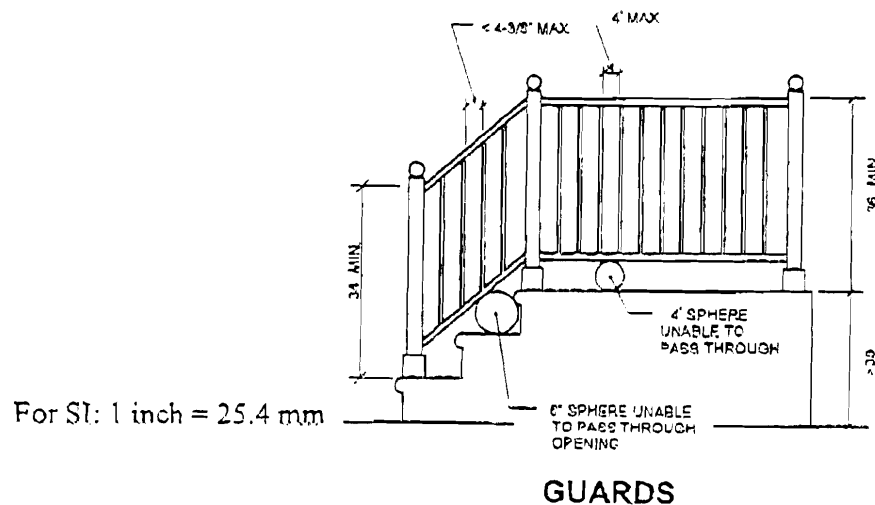
Handrails are required on at least one side of stairs with four or more risers at a height of 34 inches to 38 inches (864 mm to 965 mm) above nosings. Occupant safety during stair use depends on the features of handrail construction to some degree. Typically, an individual's fingers will trail along the rail; therefore, handrails, are required to be continuous, except where interrupted by newel posts at turns. In case of fire, where vision might be obscured by smoke, handrails serve as guides directing the user along the path of egress travel.

Dimensional and grip size requirements in Section R311.5.6.3 are aimed at providing a means for users to stabilize themselves while correcting a stumble or catching themselves prior to a fall. The cross-section requirements reflect what is necessary for maximum graspability for most people. Requirements are given for Type I [perimeter 6 1/4 inches (159 mm)] and Type II [perimeter 6 1/4 inches (159 mm)] handrails.

### GUARDS - R312

Guards and handrails are two very different features and are treated separately in the code. A handrail can be provided on top of a guard and form the top of the guard. On a typical stairway that is open on one side, the required handrail forms the top of the required guard on the open side of the stair. Alternatively, if the required handrail is provided on the wall side of the stair, the top of the required guard on the open side of the stair would not need to conform to handrail configuration restrictions.

Guards are required at all floor surfaces located more than 30 inches (762 mm) above the floor or grade below where they must be at least 36 inches (914 mm) in height and shall not allow passage of a 4 inch (102 mm) sphere.





April 9, 2007

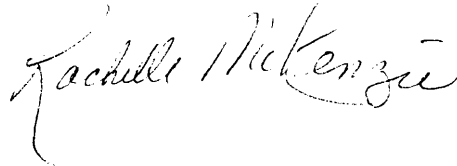
City of Portland

This letter is to confirm that I have given permission to my daughter & son-in-law/tenants, to add a second exit and deck from the second floor apartment at 34 Washington Ave., Portland, ME

These new additions will allow them to be in compliance with the adoption process.

Thank you for your prompt response to this request.

Rachelle McKenzie

A handwritten signature in cursive script that reads "Rachelle McKenzie". The signature is written in black ink and is positioned below the printed name.

Cc: Sarah Sorenson-Coppi



PORTION OF "PLAN OF LAND OWNED  
BY BRIDGET & MARGARET CONNORS  
WASHINGTON AVE. PORTLAND, MAINE  
CHANDLER H. BARRON C.E. JULY 1946"  
1" = 10' ±

