

IBC Brief Summary

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| Area Table | |
| Basement | 1009sf |
| First Floor | 1015sf |
| Second Floor | 1009sf |
| Third Floor | 1009sf |
| TOTAL | 4042sf |

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|--------|---------|
| Unit 1 | 739SF |
| Unit2 | 1,063SF |

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|-------------------|---------|
| IBC | A-2 |
| Use | A-2 |
| Sprinkler System | NFPA-13 |
| Occupancy Load | XXX |
| Construction Type | XX |
| Number of exits | 2- |

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|-------------------|---------|
| IBC | S-2 |
| Use | S-2 |
| Sprinkler System | NFPA-13 |
| Occupancy Load | 3 total |
| Construction Type | VB |
| Number of exits | 1- |

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|-------------------------------|--------------------------|
| IBC | R-3 |
| Use | R-3 |
| Apartment (2nd & 3rd floor) | NONE |
| Restaurant (1st floor & Bsmt) | NFPA 13 |
| Occupancy Load | (3) Unit 1 (5) Unit 2 |
| Construction Type | VB |
| Number of exits | 1 |

IEBC - Classification of Work Method

405.1 Level 2 Alteration - Comply with Chapter 6 and 7

601.2 Conformance - Building shall not be altered to become less safe.
602 - Elements and Materials - Comply with Chp 8 of IBC
603 - Fire Protection - Maintain level of fire protection
604 - Egress - Maintain level of protection for means of egress

701.3 Compliance - New construction shall comply with requirements of IBC

IBC-420.2 Separation Walls - Walls between dwelling units comply with 709
IBC 420.3 Horizontal Separation - Floor assemblies separating units comply with 712

IBC 709.3 - Fire partitions shall have a fire-resistance rating of not less than 1-hour

IBC 712.3 - Horizontal assemblies separating dwelling units in same building shall be a min of 1 hour rated construction.

703.2.1 - 1 hour assemblies for vertical openings.
Exception 12 - In one and two-family dwellings

703.4 - Comply with IBC
IBC Table 803.9

R-3 = Exit enclosure Class C materials
Corridors Class C materials
Rooms Class C materials

703.5 - Guards - installed where required by IBC

704.4.3 Smoke Alarms - Individual sleeping units and dwelling units in any work area in R-3 shall be provided with smoke alarms in accordance with IFC

705.2 Egress -
Exception #2 - Egress conforming to requirements under code in which building was constructed shall be considered compliant if in the opinion of code official they do not constitute a distinct hazard to life.

705.3.1 - Minimum Exits - Based on accordance with IBC
IBC 1015.1 Exits
R-3 Occupant Load is not over 10 (table 1015.1) so one exit is sufficient

705.9 - Handrails - Provided with handrails for full length of the run of steps on at least one side.

705.10 - Guards - If existing guards are judged to be in danger of collapsing shall be provided with guards.

NFPA

3.3.32.5 Existing Building

6.1.2.1 First floor is not Assembly as it has less than 50 occupants
6.1.8.1.1 Residential Occupancy - 1 and 2 Family Dwelling Unit (second & third floor)
6.1.11.1 Business occupancy (first floor)
6.1.13.1 Storage Occupancy (basement)
6.1.14.4 Separated Occupancies
6.1.14.4.1 2Hr separation between Business and 1 and 2 Family Dwelling
2Hr separation between Business and Storage

7.1.3.2.1 Stairs connecting 2 stories shall have a 1-hour fire rating
7.1.5.1 Min headroom: 7'-6"
7.1.6.3 Cross Slope limited to 1:48
7.2.1.2.3.2 Egress door min clear width: 32"
7.2.1.4 Door swing and force to open shall comply with this section
7.2.1.5 Door locks, latches and alarms shall comply with this section
7.2.2.2.1.1 Max riser height: 7"
Min Tread depth: 11"
Min headroom: 6'-8"

7.2.2.3.2.3 Min landing depth: stair width
7.2.2.2.1.2 Min stair width: 36" (for occupancy under 50)
7.2.2.4.1 Handrail height: 36"
7.2.2.4.4.6 Handrail shape: 1 1/2" circular cross section
7.2.2.4.4.9 Handrails shall return to wall or newel post
7.2.2.4.4.10 Handrails shall extend 12" at top of stair and one tread length at bottom
7.2.2.4.5.2 Min guard height: 42"
7.2.2.4.5.3 Open guards shall not allow the passage of a 4" sphere
7.2.2.5.4 Stairway identification shall comply with this section.

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| Occupancy Load | |
| Residential | 200 gross TOTAL OCCUPANT LOAD 10 occupants, 5 per side |
| Business (Seating) | 7 to 15 net SEATING CAPACITY 50 Max |
| Storage | 300gross TOTAL OCCUPANT LOAD 3 occupants |

7.3.4 Min Egress width: 36"
7.8 Egress Illumination shall be in accordance with this section.
7.9 Emergency Lighting shall be in accordance with this section.
7.10 Marking for means of egress shall comply with this section.
24.2.1 Chapter 7 shall not apply to means to escape.
24.2.2.1.1 In dwelling units of two rooms or more, every sleeping room and every living area shall not have less than one primary means of escape and one secondary means of escape
24.2.2.3.3 Outside window as Secondary means The width shall be not less than 20 and the height shall be not less than 24 in. The bottom of the opening shall be not more than 44 in. above the floor.
24.3.4.1 Smoke alarms installed in all sleeping rooms, outside each sleeping room and on each level.
24.3.4.3 Smoke alarms powered by batteries are permitted.
39.2.1.4 Floor levels below the street floor used for storage shall have means of egress in accordance with Chapter 42
39.3.2.3 Cooking equipment shall be protected in accordance with 9.2.3
39.3.4.1 Fire Alarm system required for buildings three or more stories high
39.3.5 Fire extinguishers shall be required in every business occupancy
42.2.4.1 Ordinary hazard storage occupancies may have a single means of egress
42.3.4.1.3 Storage occupancies sprinklered not required to have fire alarm system
43.1.2.1 Chapter 24 shall apply
Chapter 39 shall apply
Chapter 42 shall apply
43.2.2.1.3 Modification
43.5.1.3 Newly constructed elements shall comply with the requirements of other sections of this code applicable to new construction.

MAINE HUMAN RIGHTS ACT
BUILDING IS EXISTING AND ACCESSIBILITY REGULATIONS OF MHRA DO NOT APPLY
COST OF RENOVATION IS LESS THAN 75% OF BUILDING REPLACEMENT COST

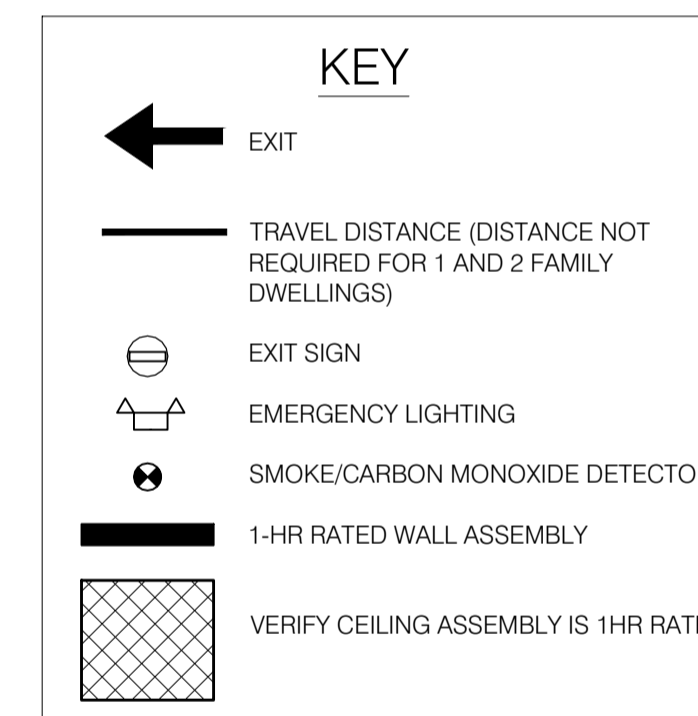
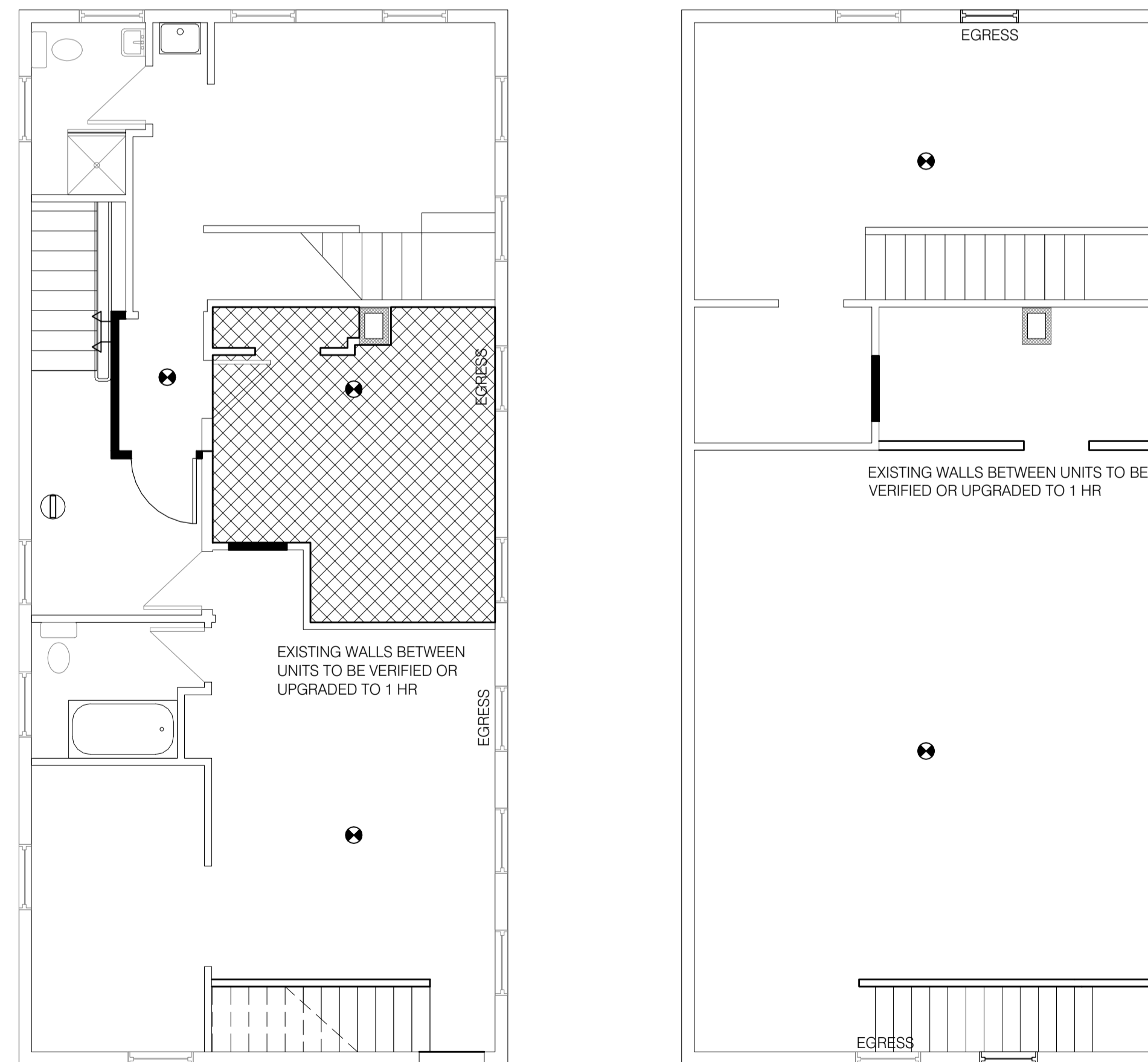
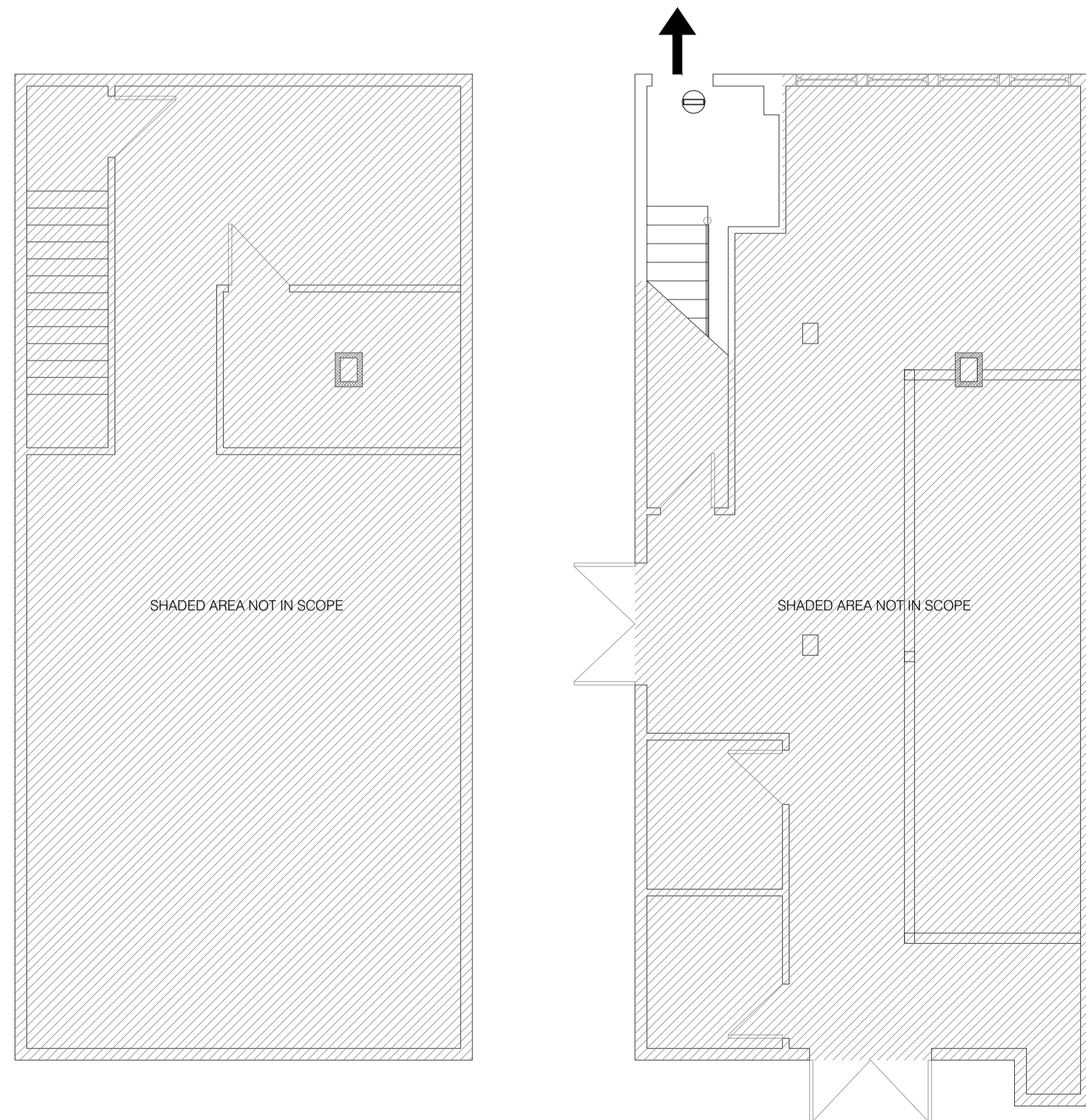


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PROJECT NO. 16024
PROJECT NAME 38 WASHINGTON APT REMODEL
PORTLAND, ME

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|-----------|---|---|---|---|---|
| REVISIONS | 1 | 2 | 3 | 4 | 5 |
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PERMIT DOCUMENTS

DRAWN BY EMW
SHEET TITLE CODE REVIEW

ISSUE DATE 9/16/16
SHEET SCALE NTS

G
CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval
and Standard Conditions



DATE OF APPROVAL 9-30-17
PLANNER Barbara Barhydt
PROJECT NO. # 2017-048