

# Administrative Authorization Application

Portland, Maine  
Planning and Urban Development Department, Planning Division

PROJECT NAME: Silly's with a Twist  
 PROJECT ADDRESS: 38 Washington Ave CHART/BLOCK/LOT: 013E016001  
 APPLICATION FEE: \$50. (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)  
Wish to add a ramp between 38 Washington Ave.  
and 40 Washington Ave in alleyway.

<p><b>OWNER/APPLICANT</b></p> <p>Name: <u>Michelle Kelley</u>          Address: <u>38 Washington Ave</u>  <u>Portland ME 04101</u>          Work #: <u>(207) 781-2340</u>          Cell #: <u>(207) 415-7507</u>          Fax #: <u>N/A</u>          Home #: _____          E-mail: <u>shell_kell@hotmail.com</u></p>	<p><b>CONSULTANT/AGENT</b> <i>easement has been registered</i></p> <p>Name: _____          Address: _____          Work #: _____          Cell #: _____          Fax #: _____          Home #: _____          E-mail: _____</p>
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**Criteria for an Administrative Authorizations:**  
 (see section 14-523(4) on pg .2 of this appl.)

**Applicant's Assessment Planning Division**  
 Y(yes), N(no), N/A

	Y(yes), N(no), N/A	Y(yes), N(no), N/A
a) Is the proposal within existing structures?	<u>Y</u>	<u>No</u>
b) Are there any new buildings, additions, or demolitions?	<u>N</u>	<u>Yes</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>Y</u>	<u>Yes-ramp</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>N</u>	<u>No</u>
e) Are the curbs and sidewalks in sound condition?	<u>Y</u>	<u>Yes</u>
f) Do the curbs and sidewalks comply with ADA?	<u>Y</u>	<u>Yes</u>
g) Is there any additional parking?	<u>N</u>	<u>Yes</u>
h) Is there an increase in traffic?	<u>N</u>	<u>No</u>
i) Are there any known stormwater problems?	<u>N</u>	<u>No</u>
j) Does sufficient property screening exist?	<u>N/A</u>	<u>Yes</u>
k) Are there adequate utilities?	<u>N/A</u>	<u>Yes</u>
l) Are there any zoning violations?	<u>N</u>	<u>No</u>
m) Is an emergency generator located to minimize noise?	<u>N/A</u>	<u>N/A</u>
n) Are there any noise, vibration, glare, fumes or other impacts?	<u>N</u>	<u>No</u>

*See attached sheet*

Signature of Applicant: <u><i>Michelle Kelley</i></u>	Date: <u>21 July 2011</u>
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**Planning Division Use Only**

Authorization Granted  Partial Exemption  Exemption Denied

*Barbara Buchardt, Dev Rev Serv. mgr Aug 3, 2011*  
*with standard condition*

**Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: Administrative Authorization**

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

**Criteria for an Administrative Authorizations:**  
 (See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment  
 Y(yes), N(no), N/A

Planning Division  
 Use Only

a) Is the proposal within existing structures?	Y	No
b) Are there any new buildings, additions, or demolitions?	N	Yes
c) Is the footprint increase less than 500 sq. ft.?	Y	Yes - ramp
d) Are there any new curb cuts, driveways or parking areas?	N	No
e) Are the curbs and sidewalks in sound condition?	Y	Yes
f) Do the curbs and sidewalks comply with ADA?	Y	Yes
g) Is there any additional parking?	N	Yes
h) Is there an increase in traffic?	N	No
i) Are there any known stormwater problems?	N	No
j) Does sufficient property screening exist?	n/a	Yes
k) Are there adequate utilities?	n/a	Yes
l) Are there any zoning violations?	N	No
m) Is an emergency generator located to minimize noise?	n/a	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	N	No

The request for an administrative authorization for 38 Washington Avenue was granted on 8-3-11 by Barbara Barhydt with the following standard condition of approval.

Standard Condition of Approval

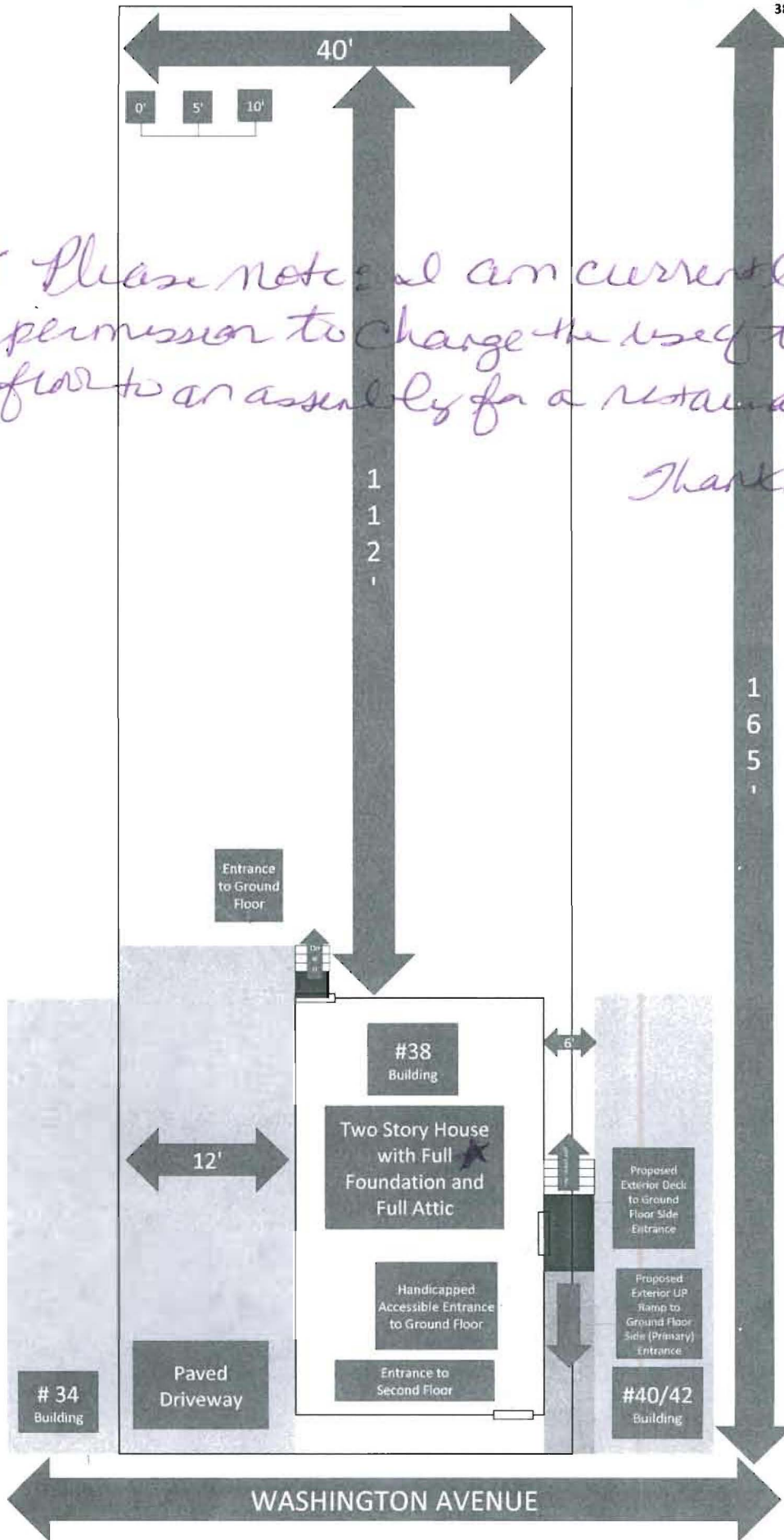
The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Rm. 315, City Hall (874-8703) prior to the start of any construction.

The applicant provided recorded easements granting cross easement rights for the installation of the ramp and shared access.

Replaced w/ attached plans

Michelle Kelley  
38 Washington Avenue  
CBL: 013 E016 001  
38 Wash Site Plan

\* Please note I am currently seeking permission to change the use of the first floor to an assembly for a restaurant Class XI.  
Thank you




EASEMENT DEED

MICHELLE A. KELLEY, of Portland, County of Cumberland and State of Maine, for consideration paid, grants to EPS BEAGLE, LLC, a Maine limited liability company with its principal place of business in Portland, County of Cumberland and State of Maine having a mailing address of 40 Washington Avenue, Portland, ME 04101, its successors and assigns, the following easement to be appurtenant to the real estate of the grantee herein described in the Warranty Deed from Nice Foods, Corp. to the grantee dated November 1, 2002 and recorded in the Cumberland County Registry of Deeds in Book 18372, Page 319:

The perpetual right and easement, in common with the grantor, her heirs and assigns, to utilize for commercial purposes, and for pedestrian and business invitee ingress and egress, and for the installation of underground utilities, over, upon and under that certain common alley way between the existing buildings of the grantor and grantee herein running westerly from the westerly sideline of Washington Avenue to the westerly boundaries of parties' properties, such alley way and easement being approximately five (5) feet in width measured building-to-building and then being five (5) feet in width (i.e., two and one-half feet in width and contiguous on each of the adjoining properties of the grantor and grantee herein) to the westerly boundaries of the parties' properties. This perpetual right and easement shall be of a scope and nature sufficient for the installation, repair and maintenance of a ramp in conformity with applicable City of Portland land-use requirements to allow pedestrians and business invitees to gain ingress and egress to the building on the land of the grantee herein from Washington Avenue and to the rear area of the land of the grantee, which building the grantee utilizes for the operation of a restaurant and related facilities. The grantor and grantee, and their respective heirs, successors and assigns, shall coordinate with one another for the construction of the ramp and equally share the cost of constructing, repairing and maintaining the ramp in a good and safe condition for its intended purposes.

Reference is hereby made to, and exception is hereby taken for, the Easement Deed from the grantee to the grantor herein of near or even date to be recorded herewith. The foregoing easement shall burden the property of the grantor described in the Warranty Deed of Christopher Lamb to the grantor dated June 11, 2010 and recorded in the Cumberland County Registry of Deeds in Book 27840, Page 313. FOR SOURCE OF TITLE, reference is hereby made to the foregoing Warranty deed of Christopher Lamb to the grantor herein.

IN WITNESS WHEREOF, MICHELE A. KELLEY has executed, acknowledged and delivered this Easement Deed this 13<sup>th</sup> day of July, 2011.

  
\_\_\_\_\_  
Witness

  
\_\_\_\_\_  
Michelle A. Kelley

STATE OF MAINE  
Cumberland, ss.

July 13, 2011

Personally appeared the above-named Michelle A. Kelley and acknowledged the foregoing Easement Deed to be her free act and deed.

Before me,



Notary Public

PAUL F. DRISCOLL  
Attorney-at-Law

Received  
Recorded Register of Deeds  
Jul 13, 2011 04:01:59P  
Cumberland County  
Pamela E. Lovley

EASEMENT DEED


EPS BEAGLE, LLC, a Maine limited liability company with its principal place of business in Portland, County of Cumberland and State of Maine, for consideration paid, grants to MICHELE A. KELLEY, of Portland, County of Cumberland and State of Maine, whose mailing address is 38 Washington Avenue, Portland, ME 04101, her heirs and assigns, the following easement to be appurtenant to the real estate of the grantee herein described in the Warranty Deed of Christopher Lamb to the grantee dated June 11, 2010 and recorded in the Cumberland County Registry of Deeds in Book 27840, Page 313:

The perpetual right and easement, in common with the grantor, its successors and assigns, to utilize for commercial purposes, and for pedestrian and business invitee ingress and egress, and for the installation of underground utilities, over, upon and under that certain common alley way between the existing buildings of the grantor and grantee herein running westerly from the westerly sideline of Washington Avenue to the westerly boundaries of parties' properties, such alley way and easement being approximately five (5) feet in width measured building-to-building and then being five (5) feet in width (i.e., two and one-half feet in width and contiguous on each of the adjoining properties of the grantor and grantee herein) to the westerly boundaries of the parties' properties. This perpetual right and easement shall be of a scope and nature sufficient for the installation, repair and maintenance of a ramp in conformity with applicable City of Portland land-use requirements to allow pedestrians and business invitees to gain ingress and egress to the building on the land of the grantee herein from Washington Avenue and to the rear area of the land of the grantee, which building the grantee utilizes for the operation of a restaurant and related facilities. The grantor and grantee, and their respective heirs, successors and assigns, shall coordinate with one another for the construction of the ramp and equally share the cost of constructing, repairing and maintaining the ramp in a good and safe condition for its intended purposes.

Reference is hereby made to, and exception is hereby taken for, the Easement Deed from the grantee to the grantor herein of near or even date to be recorded herewith. The foregoing easement shall burden the property of the grantor described in the Warranty Deed of Nice Foods, Corp. to the grantor dated November 1, 2002 and recorded in the Cumberland County Registry of Deeds in Book 18372, Page 319. FOR SOURCE OF TITLE, reference is hereby made to the foregoing Warranty deed of Nice Foods, Corp. to the grantor herein.

IN WITNESS WHEREOF, EPS BEAGLE, LLC has executed, acknowledged and delivered this Easement Deed by and through Colleen E. Kelley, its Member, this 13<sup>th</sup> day of July, 2011 hereunto duly authorized.

  
\_\_\_\_\_  
Witness

EPS BEAGLE, LLC  
By:   
\_\_\_\_\_  
Colleen E. Kelley  
Its Member

STATE OF MAINE  
Cumberland, ss.

July 13, 2011

Personally appeared the above-named Colleen E. Kelley, Member of EPS Beagle, LLC, and acknowledged the foregoing Easement Deed to be her free act and deed in her said capacity and the free act and deed of EPS Beagle, LLC.

Before me,

**ALAINA IRVING**  
Notary Public, Maine  
My Commission Expires May 4, 2016

  
\_\_\_\_\_  
Notary Public

SEAL

Received  
Recorded Register of Deeds  
Jul 13, 2011 04:01:22P  
Cumberland County  
Pamela E. Lovley

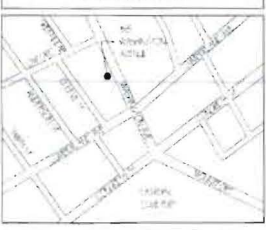


# ALTERATIONS TO 38 WASHINGTON AVENUE

PORTLAND

MAINE, 04101

## CONSTRUCTION PERMIT PACKAGE

ABBREVIATIONS	GENERAL NOTES	MATERIALS	SYMBOLS	DRAWING INDEX
<p><i>(Detailed list of abbreviations and their corresponding symbols, including terms like WALL, FLOOR, ROOF, etc.)</i></p>	<p><i>(List of general notes regarding construction standards, materials, and site requirements.)</i></p>	<p><i>(Legend for materials with corresponding hatching patterns: CONCRETE, BRICK, WOOD, etc.)</i></p>	<p><i>(Legend for symbols including ROOM NUMBER, WINDOW, DOOR, and other architectural markers.)</i></p>	<p><b>DRAWING INDEX</b></p> <ul style="list-style-type: none"> <li>A-0 COVER SHEET</li> <li>S-1 SURVEY</li> <li>S-2 SITE PLAN</li> <li>D-1 DEMOLITION PLANS</li> <li>D-2 DEMOLITION ELEVATIONS</li> <li>D-3 DEMOLITION BUILDING SECTION</li> <li>A-1 FLOOR PLANS</li> <li>A-2 CODE COMPLIANCE PLANS</li> <li>A-3 EXTERIOR ELEVATIONS</li> <li>A-4 BUILDING &amp; STAIR SECTION</li> <li>A-5 DOORS &amp; WINDOWS</li> <li>A-6 DETAILS</li> <li>A-7 ACCESSIBILITY DETAILS</li> </ul>
			<p><b>LOCATION</b></p> 	<p><b>OWNERS</b></p> <p>MICHELLE KELLEY COLEEN KELLEY 40 WASHINGTON AVENUE PORTLAND, MAINE 04101 MICHELLE: 207.415.7507 COLEEN: 207.415.7647</p>

S H A Y S A R T A T E

REGISTERED ARCHITECT  
MICHELLE F. HAYE  
NO. 1724  
STATE OF MAINE

ALTERATIONS TO  
38 WASHINGTON AVE  
PORTLAND  
MAINE, 04101

ARCHITECTURE:  
INTERIOR DESIGN  
P.O. BOX 4000 PORTLAND, MAINE 04101

COVER SHEET

SCALE: NO SCALE

DATE: 10-20-11

DRAWN BY: MFK/MLK

CHECKED BY: HCT/MLK

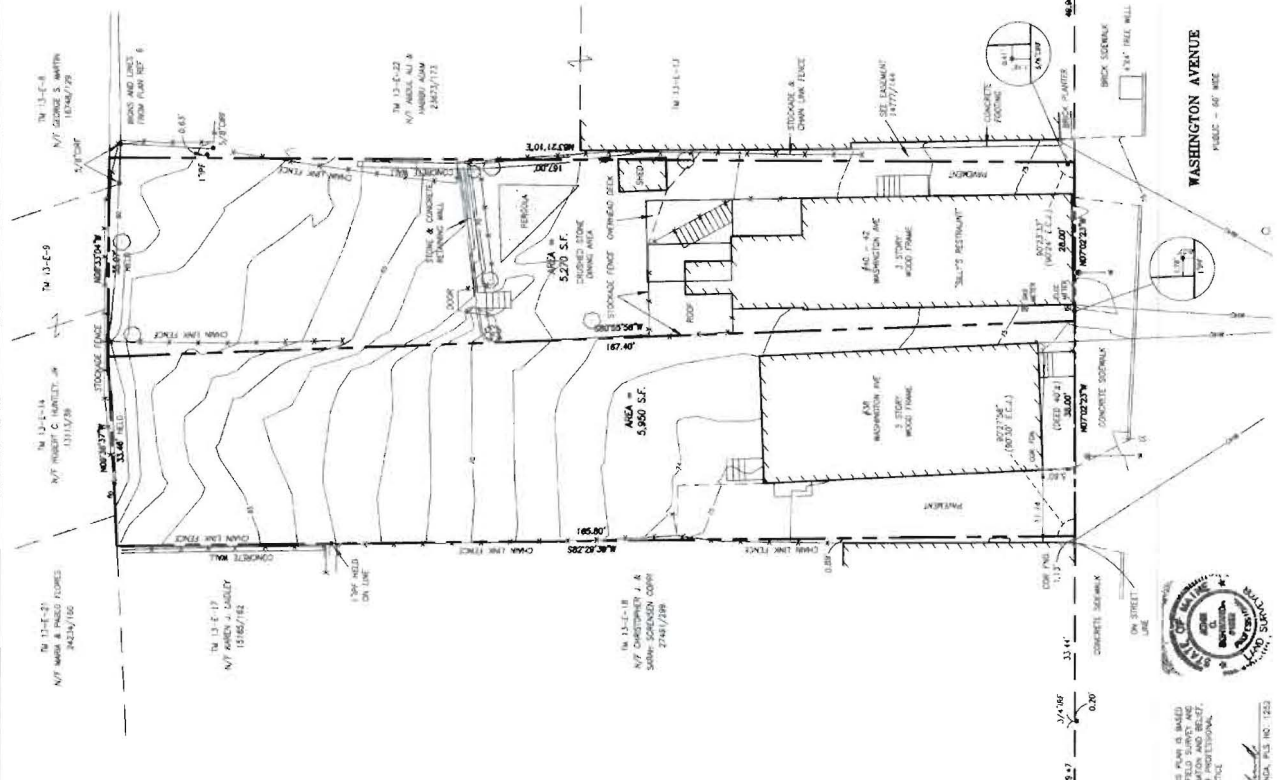
DRAWING NO: A-0



LOCATION MAP - 11

**NOTES**

1. OWNERS OF RECORD.
2. SEE LAYOUT SHEET BOOK 1477 PAGE 144 FOR RIGHTS IN ADJUTING DISCREPANCY ON LAND OF ADJACENT OWNER.
3. THERE IS A DISCREPANCY BETWEEN THE NORTHERLY LINE OF THE SUBJECT PROPERTY AND THE NORTHERLY LINE OF THE ADJACENT PROPERTY AS SHOWN ON THE ASSESSOR'S MAP AND THE ASSESSOR'S MAP FOR THE YEAR 2001. THE DISCREPANCY IS 1.7' BY NEAR THE EAST END OF THE LINE AND 0.4' BY NEAR THE WEST END OF THE LINE. THE DISCREPANCY IS CAUSED BY THE DIFFERENCE IN THE LOCATION OF THE PROPERTY CORNERS AS SHOWN ON THE ASSESSOR'S MAP AND THE ASSESSOR'S MAP FOR THE YEAR 2001.
4. THE LINE ON PLAN REF. 7 RUNS FROM THE 1/2" CHAIN WASHINGTON AVENUE AND 1/4" SOUTH OF THE LINE SHOWN HEREON TO A 17' BY NEAR THE EAST END OF THE LINE AND 0.4' BY NEAR THE WEST END OF THE LINE.
5. THE LINE ON PLAN REF. 8 RUNS FROM THE 1/2" CHAIN WASHINGTON AVENUE AND 1/4" SOUTH OF THE LINE SHOWN HEREON TO A 17' BY NEAR THE EAST END OF THE LINE AND 0.4' BY NEAR THE WEST END OF THE LINE.
6. BOUNDARY ADJUSTMENT WITH THE ADJACENT WOULD RESOLVE ANY DISCREPANCIES WITH BARRIERS AND PAVES.



**BOUNDARY & TOPOGRAPHIC SURVEY**  
 ON  
 WASHINGTON AVENUE, PORTLAND, MAINE  
 MADE FOR RECORD OWNERS  
**MICHELLE A. KELLEY**  
**EPS BEAGLE, LLC**  
**OWEN HASKELL, INC.**  
3100 U.S. Route One, Scarborough, ME 04074 (407) 774-9124

Date of Issue	June 22, 2011	Job No.	
Check by	JAC	Scale	2011-021 P
Book No.	1131	Draw. No.	1 - 10

**PLAN REFERENCES**

1. A.L. & E.C. JORDAN - SURVEYORS WORKING PLAN OF BLOCKS BOUNDED BY WASHINGTON AVENUE, OXFORD STREET, AND OXFORD STREET AND CUMBERLAND AVENUE FILE NO. 12.
2. A.L. & E.C. JORDAN - SURVEYORS PLAN SHOWING "SUBMITTED JUNE 14, 1898" FOR GRID "MILLION SQUARE"
3. PLAN OF LAND OWNED BY SUBJECT'S ADJACENT OWNERS WASHINGTON AVENUE, PORTLAND, MAINE FORWARDED TO SUBJECT E.C. JAC 1/24/07
4. A.L. & E.C. JORDAN - SURVEYORS PLAN SHOWING MILLER'S STREET JUDGE JANE C. KELLEY AND HASKELL INC. JOB NO. 80220P
5. "BOUNDARY SURVEY AT 35 WASHINGTON AVENUE, PORTLAND, MAINE MADE FOR GREENLAND CONSTRUCTION CO. AUGUST 25, 2004 UNPT HASKELL INC. JOB NO. 2004-189P"
6. "BOUNDARY SURVEY AT 31 GLEBE STREET, PORTLAND, MAINE MADE FOR DEWEET WATERS OCT. 17, 2002 OPHN-HASKELL, INC. JOB NO. 2002-203P"
7. PLAN FOR 90 CARPENTER AND MOON'S BOON. BOON, 44 WASHINGTON AVENUE, PORTLAND, ME 04107 PREPARED BY TERRY B. MOON, INC.

**CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN IS MADE ON THE BASIS OF AN ON-THE-GROUND SURVEY AND THAT THE RESULTS OF THIS SURVEY ARE ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I CONFORM TO THE BOARD OF LANDS AND SURVEYS, LAND SURVEYORS' CURRENT STANDARDS OF PRACTICE.

*[Signature]*  
**OWEN HASKELL, INC.**  
 DATE: 6-22-2011

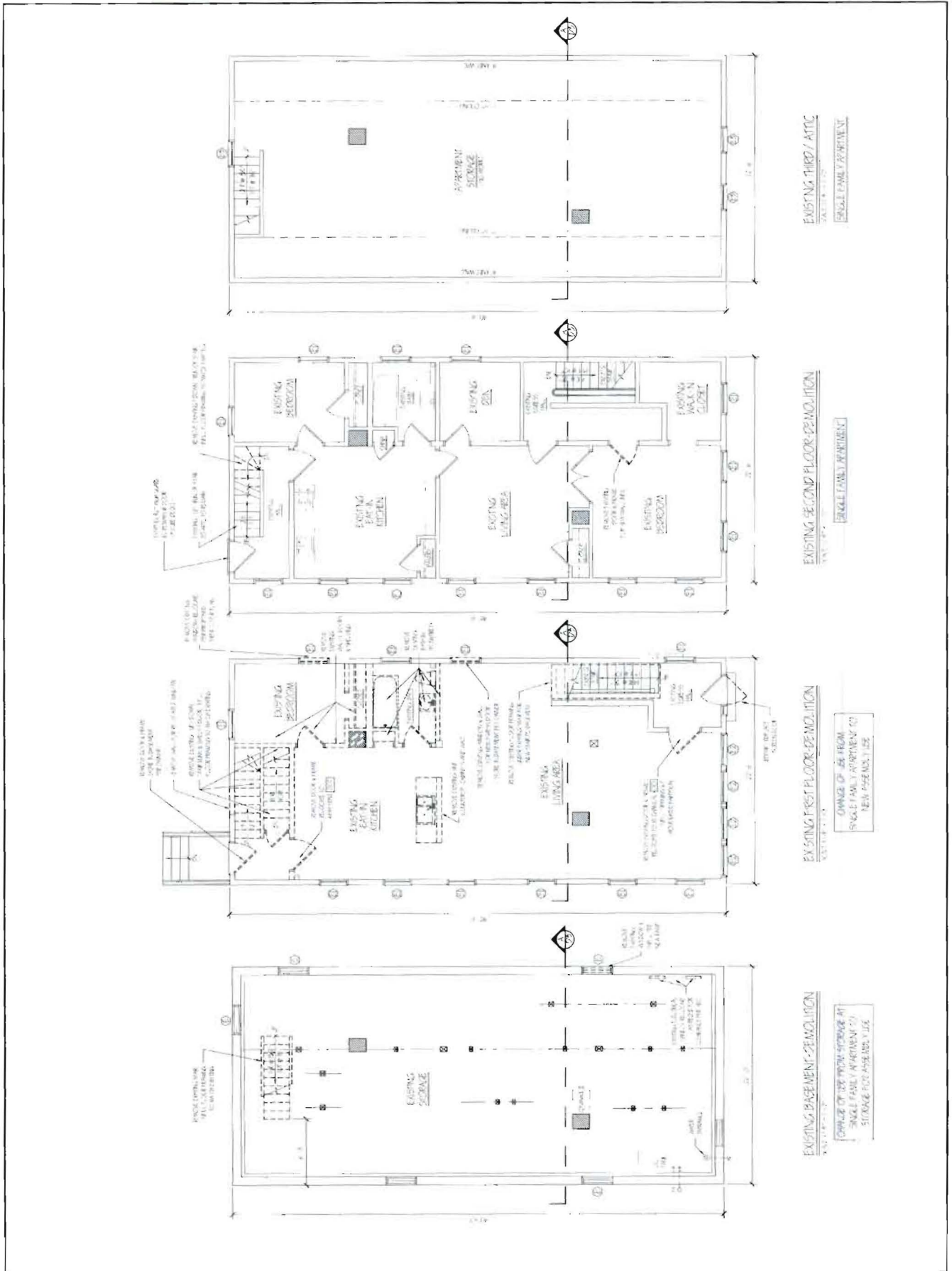


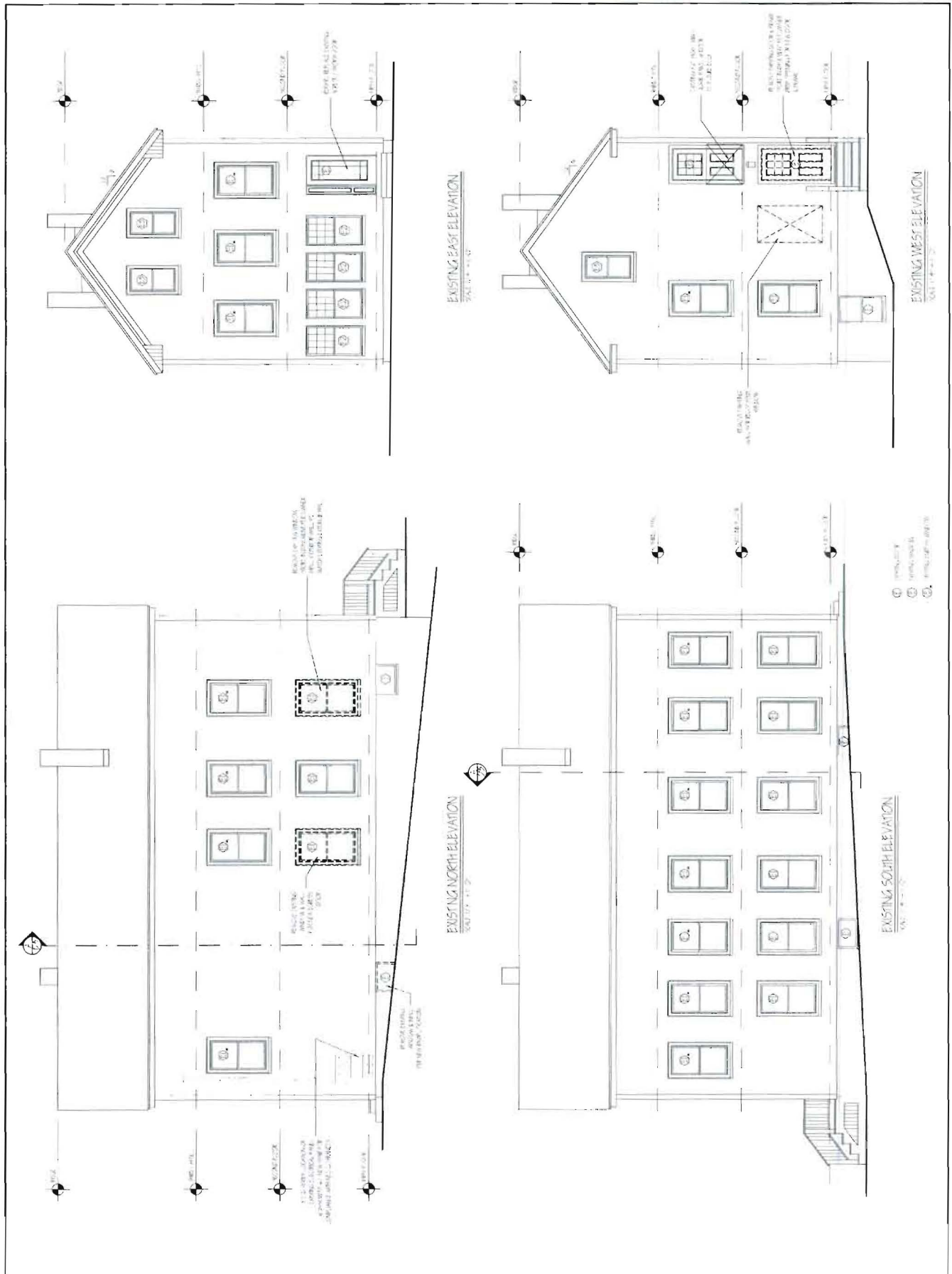
**LEGEND**

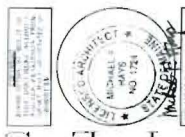
- FROM PINS OR OLD FOUND
- BOUNDARY
- WATER MAIN
- UTILITY POLE
- MANHOLE
- CONCRETE PIPE
- FENCE
- STONE WALL
- BRICK WALL
- WATER MAIN
- UTILITY POLE
- CONCRETE PIPE
- 1" CONTOUR











ALTERNATIONS TO  
 38 WASHINGTON AVE  
 PORTLAND MAINE OFFICE

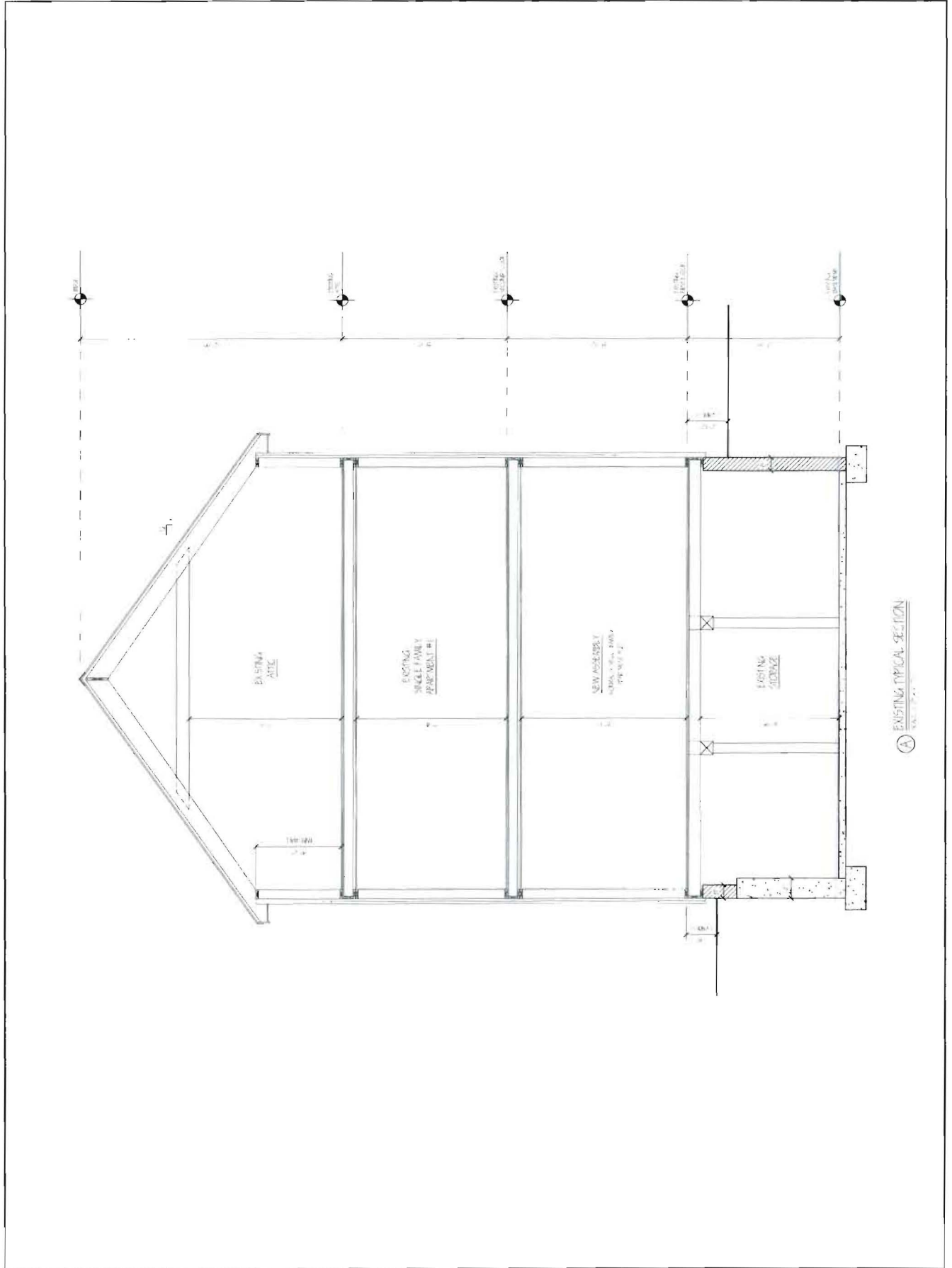
ARCHITECTURE  
 INTERIOR DESIGN  
 100 BOX BLDG 1400 THE MAIN BUILDING

DEMOLITION  
 BUILDING  
 SECTION

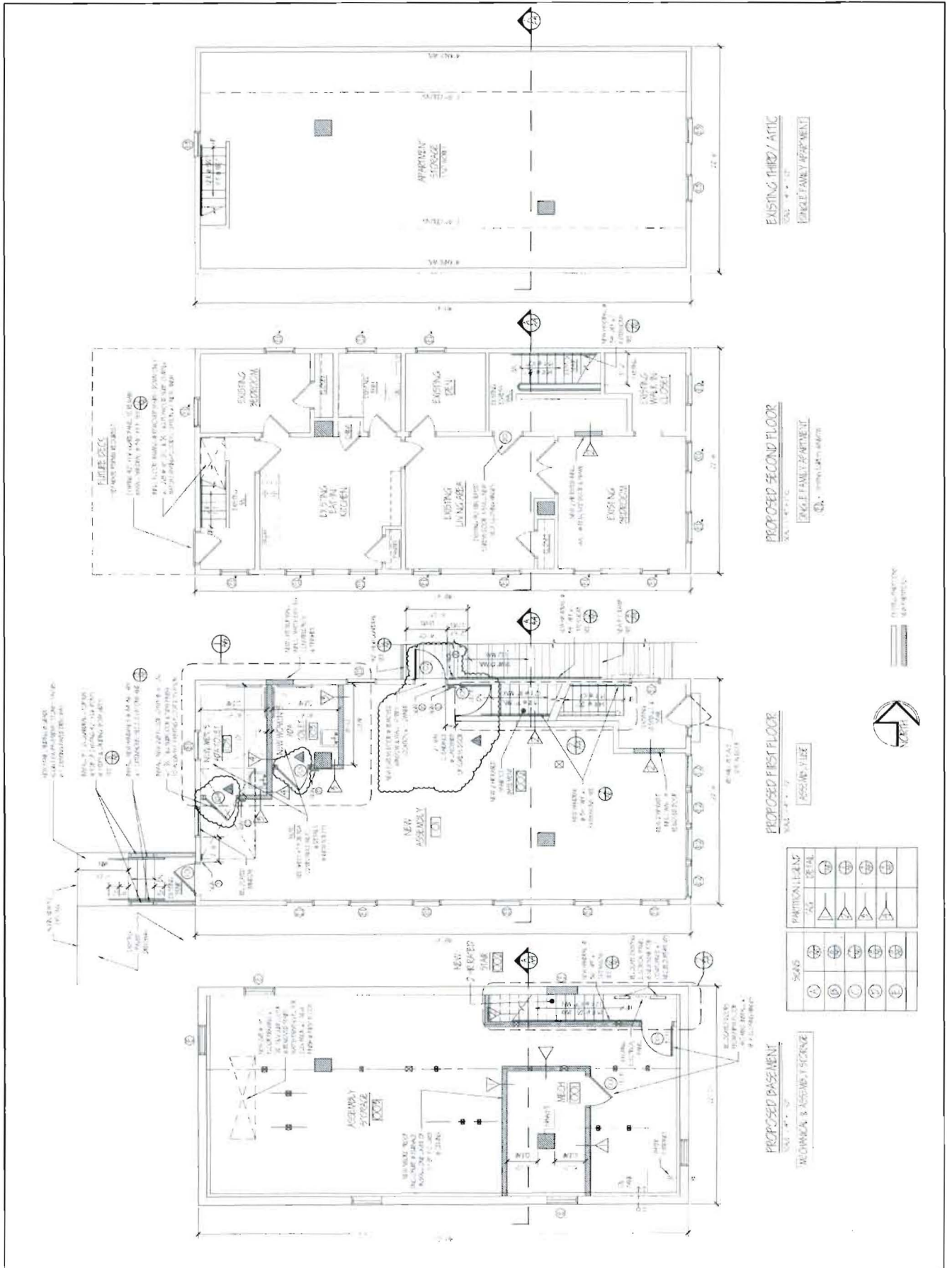
DATE: 11/11/11  
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 SHEET NO: 10001/10001  
 SCALE: 1/8" = 1'-0"

D-3

G R A N T H A Y S A S S O C I A T E S



(A) EXISTING TYPICAL SECTION



**EXISTING THIRD/ANTIC**  
SCALE: 1/4" = 1'-0"

**PROPOSED SECOND FLOOR**  
SCALE: 1/4" = 1'-0"

**PROPOSED FIRST FLOOR**  
SCALE: 1/4" = 1'-0"

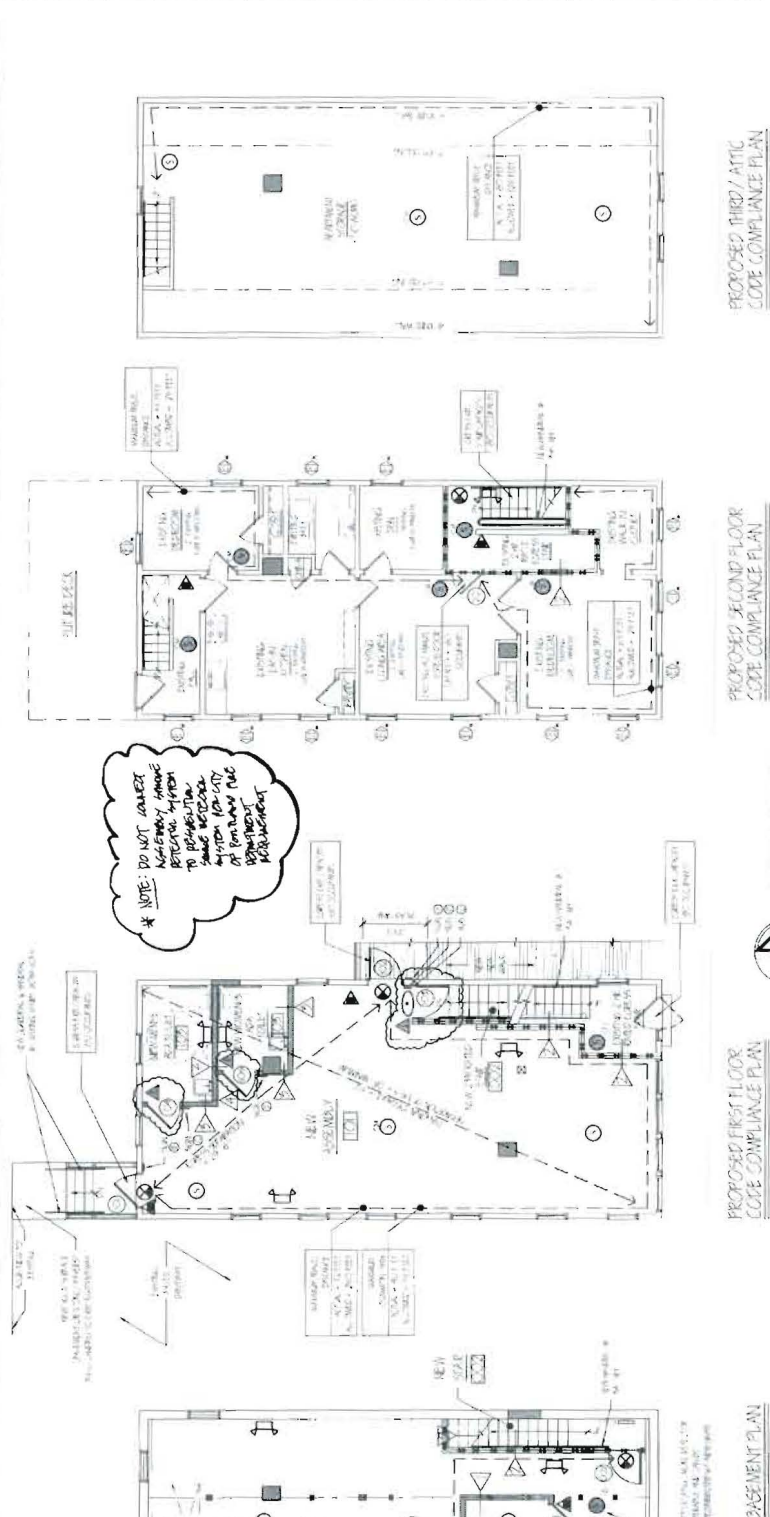
**PROPOSED BASEMENT**  
SCALE: 1/4" = 1'-0"

SECTION	DETAIL
1	2
3	4
5	6
7	8
9	10
11	12
13	14
15	16
17	18
19	20
21	22
23	24
25	26
27	28
29	30



**SCOPE ANALYSIS: WED. USE BUILDING**

REVISIONS	REVISION DATE	REVISION DESCRIPTION
1	08/15/11	ISSUED FOR PERMITS
2	08/15/11	ISSUED FOR PERMITS
3	08/15/11	ISSUED FOR PERMITS
4	08/15/11	ISSUED FOR PERMITS
5	08/15/11	ISSUED FOR PERMITS
6	08/15/11	ISSUED FOR PERMITS
7	08/15/11	ISSUED FOR PERMITS
8	08/15/11	ISSUED FOR PERMITS
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46	08/15/11	ISSUED FOR PERMITS
47	08/15/11	ISSUED FOR PERMITS
48	08/15/11	ISSUED FOR PERMITS
49	08/15/11	ISSUED FOR PERMITS
50	08/15/11	ISSUED FOR PERMITS



**PROPOSED FIRST FLOOR CODE COMPLIANCE PLAN**  
 SCALE: 1/8" = 1'-0"  
 OCCUPANT LOAD = 80 NON-CONVENTIONAL

**PROPOSED SECOND FLOOR CODE COMPLIANCE PLAN**  
 SCALE: 1/8" = 1'-0"  
 OCCUPANT LOAD = 4 OCCUPANTS

**PROPOSED THIRD / ATTIC CODE COMPLIANCE PLAN**  
 SCALE: 1/8" = 1'-0"  
 SINGLE FAMILY APARTMENT (NON-OCCUPIED LEVEL)

**MECHANICAL & ELECTRICAL STORAGE**  
 SCALE: 1/8" = 1'-0"  
 OCCUPANT LOAD = 4 OCCUPANTS

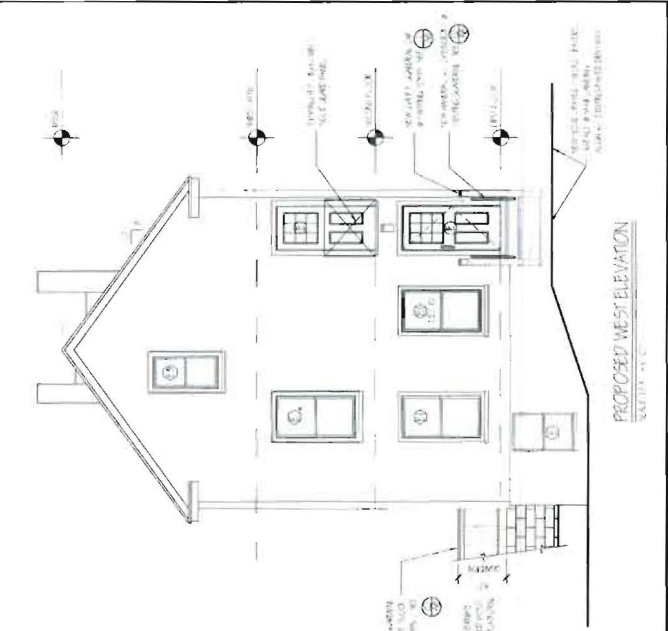
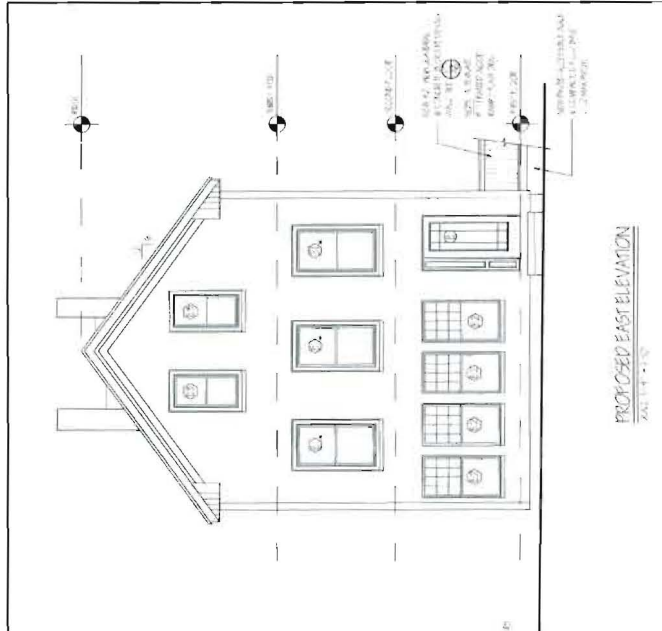
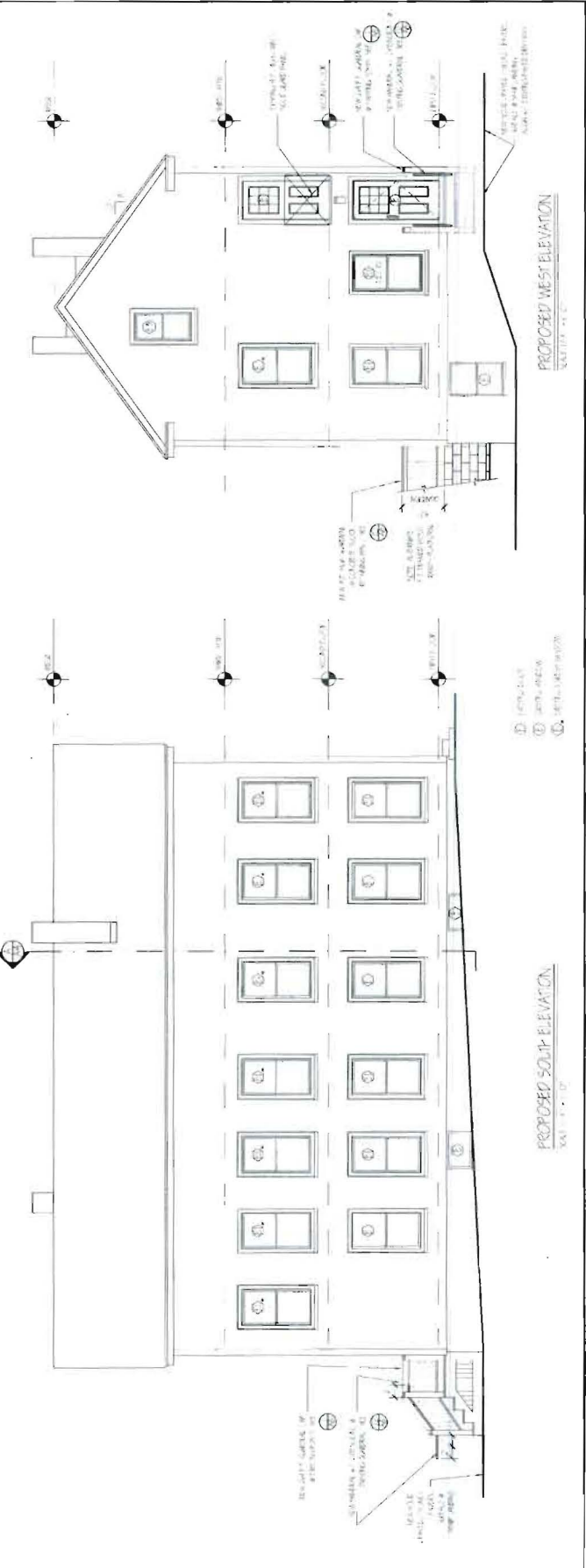
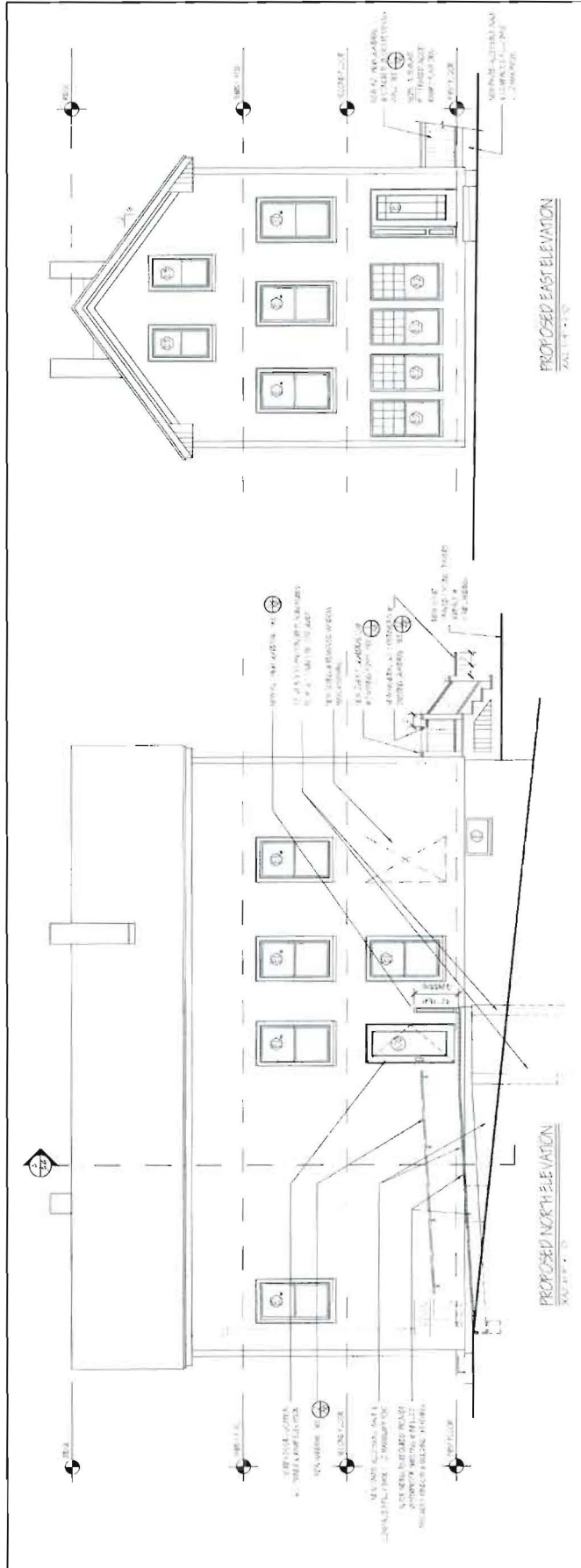




PORTLAND  
 MAINE 04101  
 ALTERATIONS TO  
 38 WASHINGTON AVE

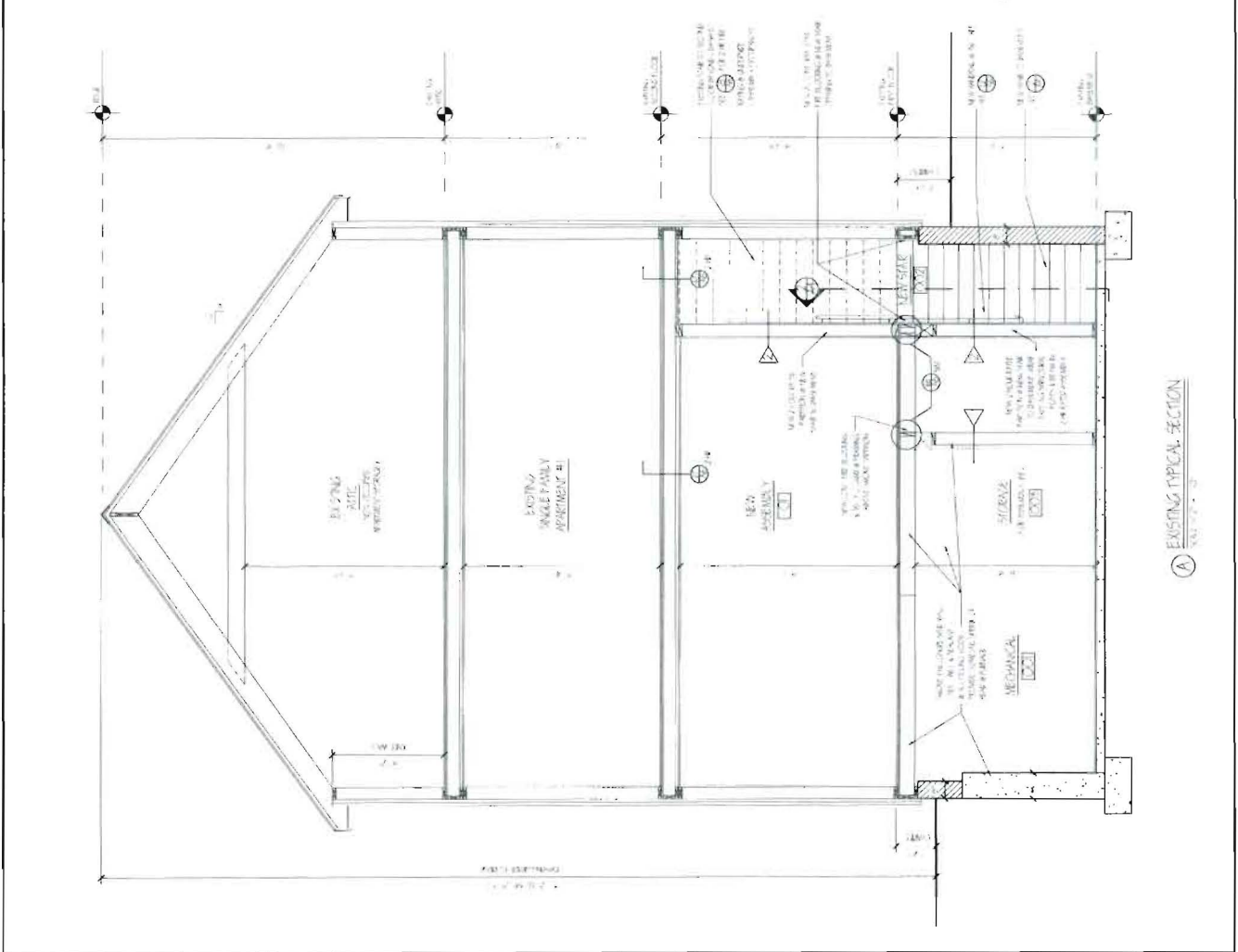
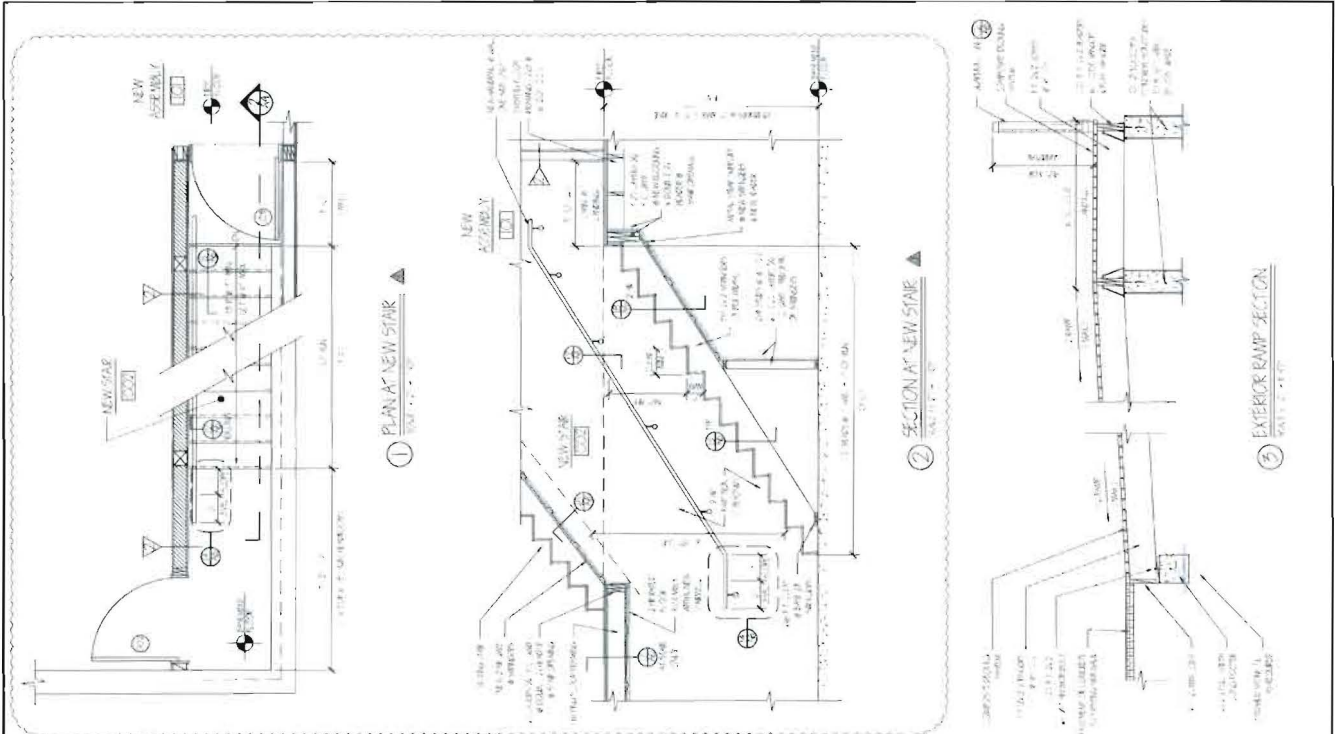
ARCHITECTURE  
 INTERIOR DESIGN  
 P.O. BOX 110, PORTLAND, MAINE 04101

PROPOSED  
 ELEVATIONS  
 SCALE: 1/2" = 1'-0"  
 SHEET NO. 110101  
 DRAWING NO. A-3



1. 12\"/>

1. 12\"/>





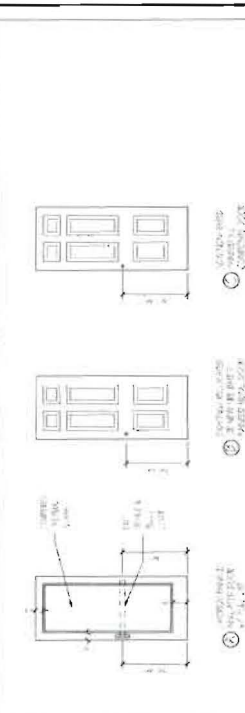
38 WASHINGTON AVE  
 PORTLAND MAINE, MAINE 04101

ARCHITECTURE  
 INTERIOR DESIGN  
 100 BOSTON STREET, PORTLAND, MAINE 04101

WINDOWS & DOORS  
 NO SCALE  
 DATE: 10/12/11  
 DRAWING NO: 10703  
 SHEET NO: A-5

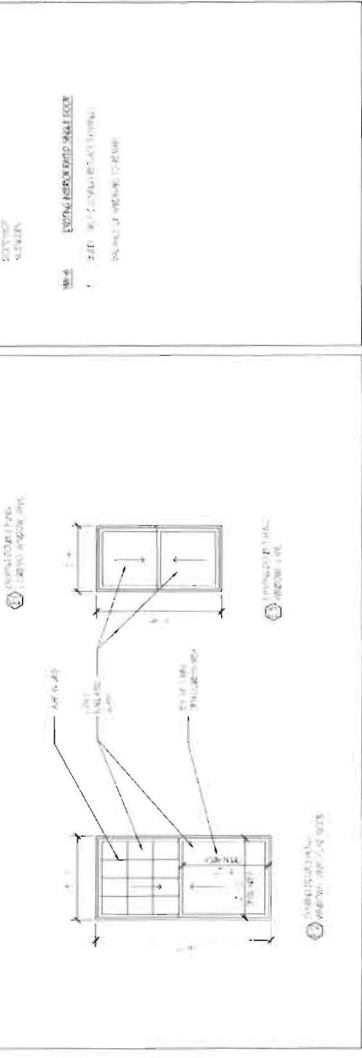
### WINDOW SCHEDULE

NO.	TYPE	W/IDTH	H/IGHT	MATERIAL	FINISH	GLASS	MARKS	DETAILS		DETAILS		REMARKS
								W/IDTH	H/IGHT	W/IDTH	H/IGHT	
1	FIXED	4'-0"	4'-0"	ALUMINUM	PAINT	CLERESTORY	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	
2	FIXED	4'-0"	4'-0"	ALUMINUM	PAINT	CLERESTORY	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	
3	FIXED	4'-0"	4'-0"	ALUMINUM	PAINT	CLERESTORY	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	
4	FIXED	4'-0"	4'-0"	ALUMINUM	PAINT	CLERESTORY	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	
5	FIXED	4'-0"	4'-0"	ALUMINUM	PAINT	CLERESTORY	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	



### DOOR SCHEDULE

NO.	TYPE	W/IDTH	H/IGHT	MATERIAL	FINISH	GLASS	MARKS	DETAILS		DETAILS		REMARKS
								W/IDTH	H/IGHT	W/IDTH	H/IGHT	
1	FIXED	4'-0"	4'-0"	ALUMINUM	PAINT	CLERESTORY	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	
2	FIXED	4'-0"	4'-0"	ALUMINUM	PAINT	CLERESTORY	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	
3	FIXED	4'-0"	4'-0"	ALUMINUM	PAINT	CLERESTORY	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	
4	FIXED	4'-0"	4'-0"	ALUMINUM	PAINT	CLERESTORY	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	
5	FIXED	4'-0"	4'-0"	ALUMINUM	PAINT	CLERESTORY	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	CLERESTORY WINDOW	



NO. 1 WINDOW TYPE 1  
 4'-0" x 4'-0" ALUMINUM PAINT  
 CLERESTORY WINDOW

NO. 2 WINDOW TYPE 2  
 4'-0" x 4'-0" ALUMINUM PAINT  
 CLERESTORY WINDOW

NO. 3 WINDOW TYPE 3  
 4'-0" x 4'-0" ALUMINUM PAINT  
 CLERESTORY WINDOW

NO. 4 WINDOW TYPE 4  
 4'-0" x 4'-0" ALUMINUM PAINT  
 CLERESTORY WINDOW

NO. 5 WINDOW TYPE 5  
 4'-0" x 4'-0" ALUMINUM PAINT  
 CLERESTORY WINDOW

NO. 1 DOOR TYPE 1  
 4'-0" x 4'-0" ALUMINUM PAINT  
 CLERESTORY WINDOW

NO. 2 DOOR TYPE 2  
 4'-0" x 4'-0" ALUMINUM PAINT  
 CLERESTORY WINDOW

NO. 3 DOOR TYPE 3  
 4'-0" x 4'-0" ALUMINUM PAINT  
 CLERESTORY WINDOW

NO. 4 DOOR TYPE 4  
 4'-0" x 4'-0" ALUMINUM PAINT  
 CLERESTORY WINDOW

NO. 5 DOOR TYPE 5  
 4'-0" x 4'-0" ALUMINUM PAINT  
 CLERESTORY WINDOW

WINDOW TYPES

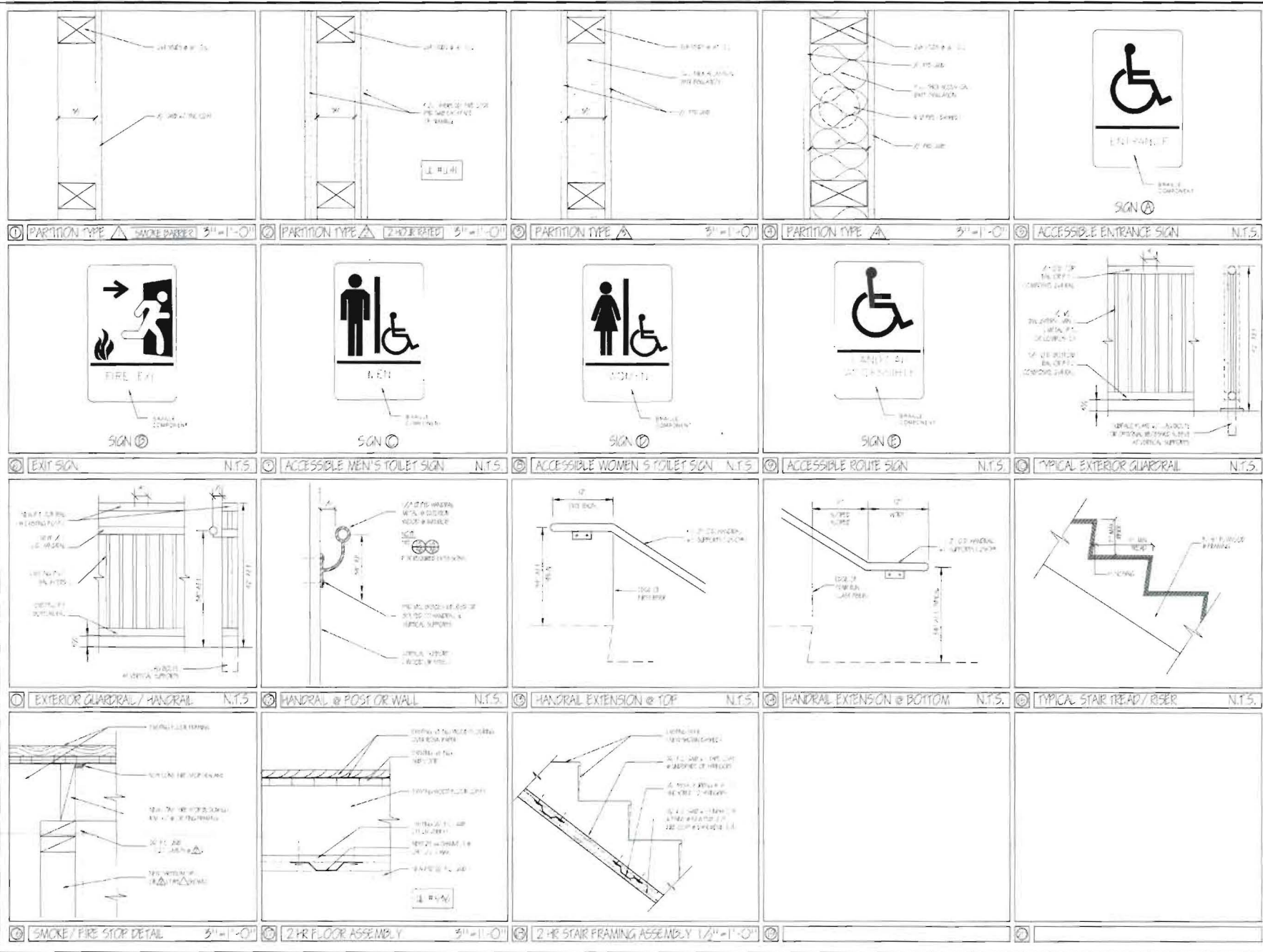
HARDWARE SETS

NO SCALE

WINDOW TYPES

HARDWARE SETS

NO SCALE



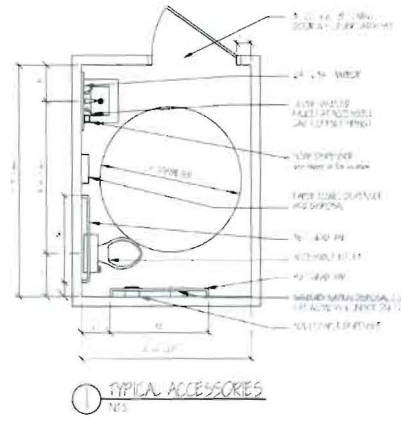
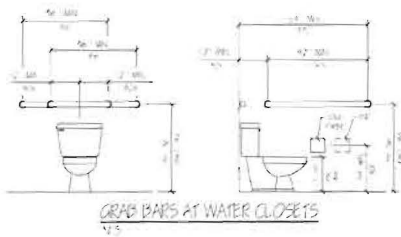
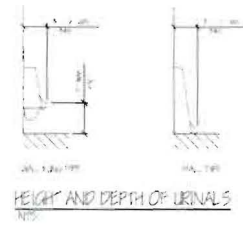
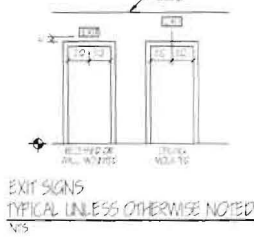
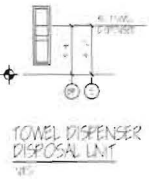
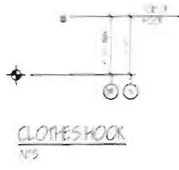
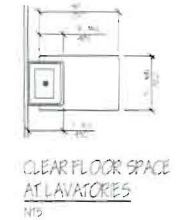
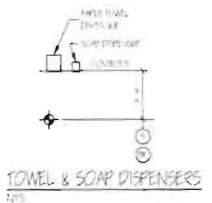
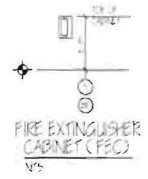
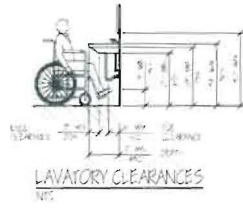
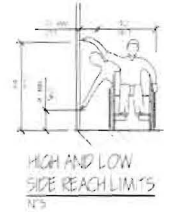
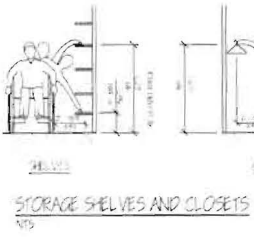
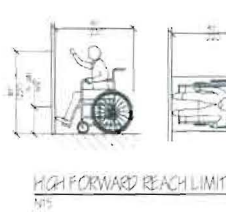
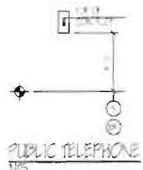
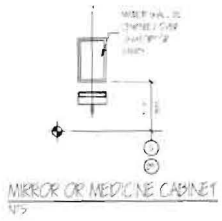
CURRANT ARCHITECTURE  
 1000 1/2 WASHINGTON AVE  
 PORTLAND, ME 04101  
 TEL: 603.738.1111  
 FAX: 603.738.1112  
 WWW.CURRANTARCHITECTURE.COM

ALTERATIONS TO  
 38 WASHINGTON AVE  
 PORTLAND, ME 04101

ARCHITECTURE  
 INTERIOR DESIGN  
 P.O. BOX 6079, PORTLAND, ME 04101

DETAILS

SHEET NO. SCALE  
 DATE 10/20/11  
 DRAWN BY MHL/mhl  
 CHECKED BY HOC/CH  
 PROJECT NO. A-6



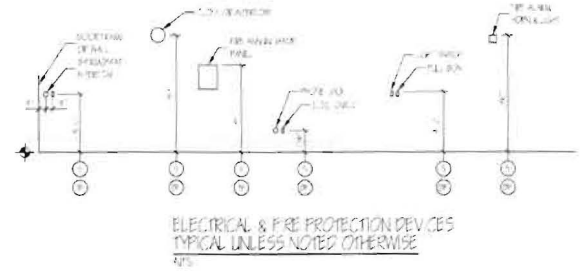
ACCESSIBILITY ACCESSORY MOUNTING HEIGHTS

ACCESSORY	HEIGHT
ADA COMPLIANT TELEPHONE	48" MIN
ADULT PAPER HOLDER	48" MIN
ADULT TOILET PAPER DISPENSER	48" MIN
ADULT TOWEL DISPENSER	48" MIN
ADULT WIPER DISPENSER	48" MIN
ADULT SOAP DISPENSER	48" MIN
ADULT SANITARY NAPKIN DISPENSER	48" MIN
ADULT SANITARY NAPKIN DISPOSAL	48" MIN
ADULT SHOWER SEAT	17" MAX
ADULT SHOWER SEAT HEIGHT	17" MAX
ADULT SHOWER SEAT DEPTH	17" MAX
ADULT SHOWER SEAT WIDTH	17" MAX
ADULT SHOWER SEAT LENGTH	17" MAX
ADULT SHOWER SEAT WEIGHT	17" MAX

- ACCESSIBILITY GENERAL NOTES
1. EQUIPMENT SHALL BE PERMITTED IN SHADDED AREA OF THIS PLAN UNLESS OTHERWISE NOTED.
  2. ALL EQUIPMENT SHALL HAVE A CLEARANCE OF 48" MIN. FROM THE TOP TO THE BOTTOM OF THE FACE OF THE EQUIPMENT.
  3. ALL EQUIPMENT SHALL HAVE A CLEARANCE OF 48" MIN. FROM THE TOP TO THE BOTTOM OF THE FACE OF THE EQUIPMENT.
  4. ALL EQUIPMENT SHALL HAVE A CLEARANCE OF 48" MIN. FROM THE TOP TO THE BOTTOM OF THE FACE OF THE EQUIPMENT.
  5. ALL EQUIPMENT SHALL HAVE A CLEARANCE OF 48" MIN. FROM THE TOP TO THE BOTTOM OF THE FACE OF THE EQUIPMENT.
  6. ALL EQUIPMENT SHALL HAVE A CLEARANCE OF 48" MIN. FROM THE TOP TO THE BOTTOM OF THE FACE OF THE EQUIPMENT.
  7. ALL EQUIPMENT SHALL HAVE A CLEARANCE OF 48" MIN. FROM THE TOP TO THE BOTTOM OF THE FACE OF THE EQUIPMENT.

LEGEND  
 (O) UNLIT ROUND SIGN  
 (S) ILLUMINATED ROUND SIGN  
 (X) ILLUMINATED SQUARE SIGN  
 (D) ILLUMINATED DIAGONAL SIGN  
 (A) ILLUMINATED TRIANGLE SIGN  
 (L) ILLUMINATED LETTER SIGN  
 (P) ILLUMINATED PICTURE SIGN  
 (M) ILLUMINATED MESSAGE SIGN  
 (T) ILLUMINATED TYPICAL SIGN  
 (E) ILLUMINATED EMERGENCY SIGN  
 (F) ILLUMINATED FIRE SIGN  
 (S) ILLUMINATED SAFETY SIGN  
 (D) ILLUMINATED DANGER SIGN  
 (W) ILLUMINATED WARNING SIGN  
 (N) ILLUMINATED NOTICE SIGN  
 (O) ILLUMINATED OTHER SIGN  
 (A) ILLUMINATED ALARM SIGN  
 (E) ILLUMINATED EXIT SIGN  
 (S) ILLUMINATED SMOKE SIGN  
 (D) ILLUMINATED DIRECTIONAL SIGN  
 (I) ILLUMINATED INFORMATION SIGN  
 (R) ILLUMINATED RECEPTION SIGN  
 (D) ILLUMINATED DIRECTORY SIGN  
 (S) ILLUMINATED SERVICE SIGN  
 (N) ILLUMINATED NOTICE SIGN  
 (O) ILLUMINATED OTHER SIGN  
 (A) ILLUMINATED ALARM SIGN  
 (E) ILLUMINATED EXIT SIGN  
 (S) ILLUMINATED SMOKE SIGN  
 (D) ILLUMINATED DIRECTIONAL SIGN  
 (I) ILLUMINATED INFORMATION SIGN  
 (R) ILLUMINATED RECEPTION SIGN  
 (D) ILLUMINATED DIRECTORY SIGN  
 (S) ILLUMINATED SERVICE SIGN

NOTE  
 UNLESS OTHERWISE NOTED, ALL EQUIPMENT SHALL BE PERMITTED IN SHADDED AREA OF THIS PLAN UNLESS OTHERWISE NOTED.



REGISTERED ARCHITECT  
 STATE OF MAINE  
 MICHAEL J. BROWN  
 NO. 1724

ALTERATIONS TO  
 38 WASHINGTON AVE  
 PORTLAND, MAINE 04101

ARCHITECTURE  
 INTERIOR DESIGN  
 100 BOX HILL ROAD DE MEADOWS  
 PORTLAND, MAINE 04101

ACCESSIBILITY DETAILS AND NOTES

SCALE  
 CITY 1/8" = 1'-0"  
 SITE 1/4" = 1'-0"  
 PLAN 1/8" = 1'-0"  
 SECTION 1/4" = 1'-0"  
 ELEVATION 1/8" = 1'-0"

A-7