



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: SILLY'S WITH A TWIST TENANT FIT-UP

PROJECT ADDRESS: 38 WASHINGTON AVE CHART/BLOCK/LOT: 013 E016 001

APPLICATION FEE: \$50.00 (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

NEW 17' x 24' REAR DOCK AT FIRST FLOOR FIT UP & STAIR AT EXISTING PERMITTED RAMP ^{NEW}

CONTACT INFORMATION:

OWNER/APPLICANT

Name: MICHAEL KELLEY
Address: 38 WASHINGTON AVE
PORTLAND, ME 04101
Work #: 207-415-7507
Cell #: SAME
Fax #: N/A
Home #: N/A
E-mail: N/A

CONSULTANT/AGENT

Name: MICHAEL F HAYS - ARCHITECT
Address: P.O. BOX 6179
FALMOUTH, ME 04105
Work #: 207-871-5900
Cell #: 207-318-7972
Fax #: N/A
Home #: N/A
E-mail: mhays@earthlink.net

Criteria for an Administrative Authorizations:

(see section 14-523(4) on pg .2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Y(yes), N(no), N/A
a)	<u>(NEW) YES & NO (NEW)</u>	<u>NO</u>
b)	<u>YES (NEW)</u>	<u>deck + stairs</u>
c)	<u>YES</u>	<u>at 500 SF</u>
d)	<u>NO</u>	<u>N</u>
e)	<u>YES</u>	<u>Y</u>
f)	<u>YES</u>	<u>Y</u>
g)	<u>NO</u>	<u>N</u>
h)	<u>NO</u>	<u>N</u>
i)	<u>NO</u>	<u>Y</u>
j)	<u>YES</u>	<u>Y</u>
k)	<u>YES</u>	<u>Y</u>
l)	<u>NO</u>	<u>N</u>
m)	<u>N/A</u>	<u>NA</u>
n)	<u>NO</u>	<u>N</u>

Signature of Applicant:

Michael F. Hays (for Shelley Kelley)

Date:

9-15-11

Planning Division Use Only Authorization Granted Partial Exemption Exemption Denied

Buckner Barkhuff, Dev Dev Section Mgr 10/4/11

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Criteria for an Administrative Authorizations:
(See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
Y(yes), N(no), N/A

Planning Division
Use Only

a) Is the proposal within existing structures?	Yes/no	No
b) Are there any new buildings, additions, or demolitions?	Yes	Deck and stairs
c) Is the footprint increase less than 500 sq. ft.?	Yes	At 500 sf
d) Are there any new curb cuts, driveways or parking areas?	No	N
e) Are the curbs and sidewalks in sound condition?	Yes	Y
f) Do the curbs and sidewalks comply with ADA?	Yes	Y
g) Is there any additional parking?	No	N
h) Is there an increase in traffic?	No	N
i) Are there any known stormwater problems?	No	Y
j) Does sufficient property screening exist?	Yes	Y
k) Are there adequate utilities?	Yes	Y
l) Are there any zoning violations?	No	N
m) Is an emergency generator located to minimize noise?	n/a	NA
n) Are there any noise, vibration, glare, fumes or other impacts?	No	N

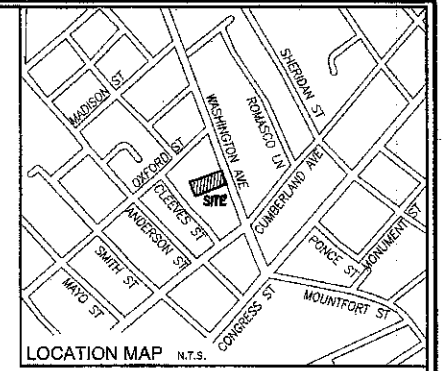
The request for an administrative authorization for the deck and stairs at 38 Washington Avenue as shown on Sheet S.1 revised to be in agreement with sheet A1.1 was granted by Barbara Barhydt, Development Review Services Manager on October 4, 2011 with the following (conditions and/or standard condition of approval)

Standard Condition of Approval

The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Rm. 315, City Hall (874-8703) prior to the start of any construction.



Approved plan
- 10/4/11



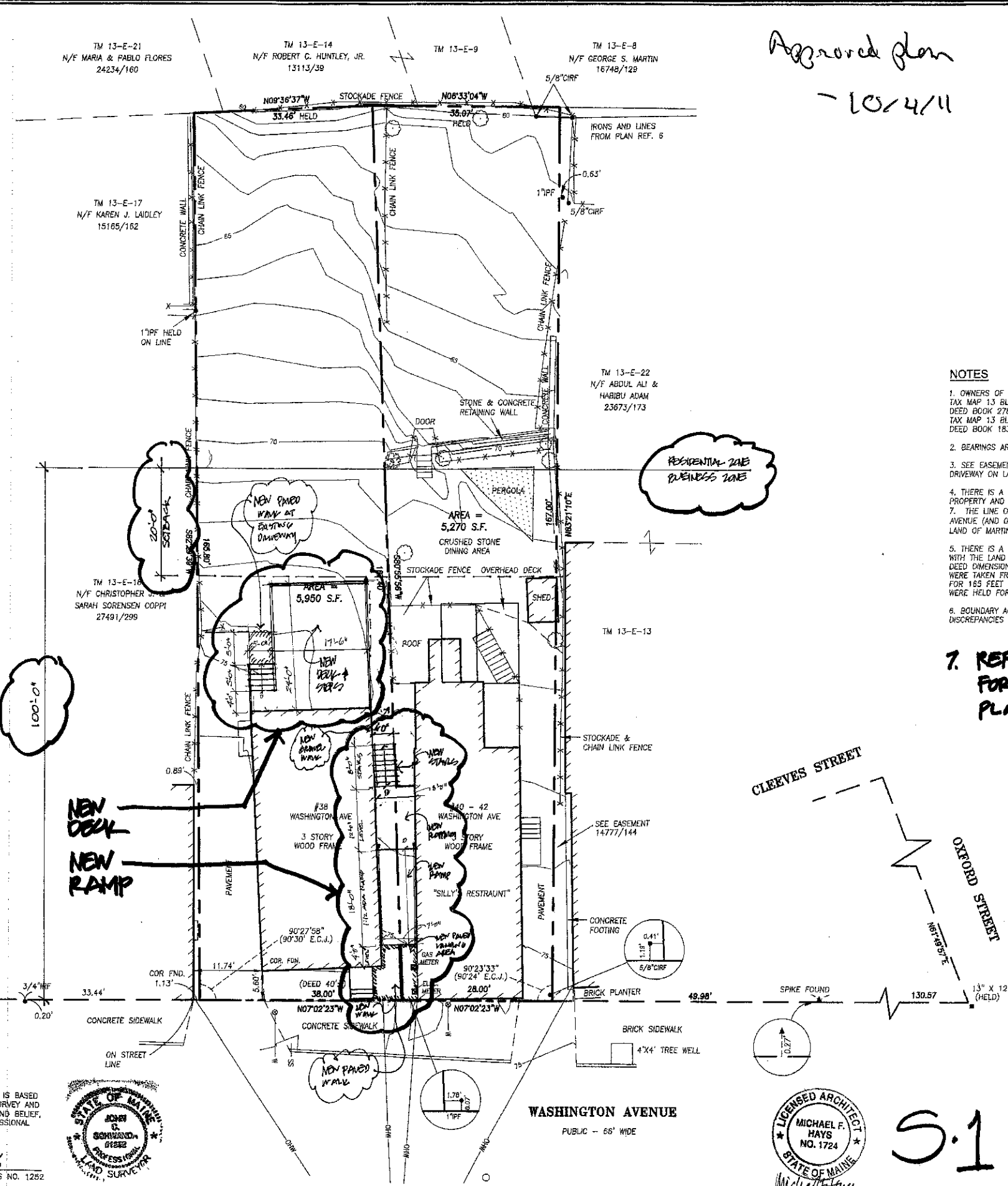
PLAN REFERENCES

1. H.I. & E.C. JORDAN - SURVEYORS WORKING PLAN OF BLOCKS BOUNDED BY WASHINGTON AVENUE, OXFORD STREET, ANDERSON STREET AND CUMBERLAND AVENUE FILE NO.42
2. H.I. & E.C. JORDAN - SURVEYORS PLAN SHOWING "SURVEYED JUNE 14, 1890 FOR CHAS. MULLEN ESTATE"
3. "PLAN OF LAND OWNED BY BRIDGET & MARGARET CONNORS WASHINGTON AVE. PORTLAND, MAINE CHANDLER H. BARRON C.E. JULY 1946"
4. "PLAN OF LAND IN PORTLAND, MAINE FOR WILLIAM & DOROTHY DIBASE JUNE 1, 1982 OWEN HASKELL, INC. JOB NO. 8235P"
5. "BOUNDARY SURVEY AT 30 WASHINGTON AVENUE, PORTLAND, MAINE MADE FOR GREENLAND CONSTRUCTION CO. AUGUST 25, 2004 OWEN HASKELL, INC. JOB NO. 2004-186P"
6. "BOUNDARY SURVEY AT 31 CLEEVES STREET, PORTLAND, MAINE MADE FOR GREGORY MARTIN OCT. 17, 2003 OWEN HASKELL, INC. JOB NO. 2003-203P"
7. "PLAN FOR NU CARPENTER AND MICHEL BOCAL 44 WASHINGTON AVENUE PORTLAND, ME 9/23/96 PREPARED BY LEWIS & WASINA, INC."

NOTES

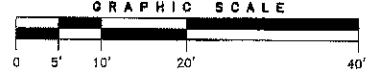
1. OWNERS OF RECORD: TAX MAP 13 BLOCK E LOT 16, 38 WASHINGTON AVENUE: MICHELLE A KELLEY, DEED BOOK 27840 PAGE 313 TAX MAP 13 BLOCK E LOT 15, 40-42 WASHINGTON AVENUE: EPS BEAGLE, LLC, DEED BOOK 18372 PAGE 319
2. BEARINGS ARE MAGNETIC 2003 AS PER PLAN REFERENCE 6.
3. SEE EASEMENT DEED BOOK 14777 PAGE 144 FOR RIGHTS IN ABUTTING DRIVEWAY ON LAND OF ABDUL AND ADAM.
4. THERE IS A DIFFERENCE BETWEEN THE NORTHERLY LINE OF THE SUBJECT PROPERTY AND THE LINE OF ABDUL AND ADAM, AS SHOWN ON PLAN REFERENCE 7. THE LINE ON PLAN REF. 7 RUNS FROM THE 5/8" CIRF NEAR WASHINGTON AVENUE (AND 0.41' SOUTH OF THE LINE SHOWN HEREON) TO A 1" I/PF NEAR THE LAND OF MARTIN (AND 0.63' NORTH OF THE LINE SHOWN HEREON).
5. THERE IS A SMALL OVERLAP, IN THE NORTHWEST CORNER OF THIS PARCEL, WITH THE LAND OF MARTIN AS SHOWN ON PLAN REFERENCE 6. SOME OF THE DEED DIMENSIONS ARE VAGUE ON BOTH PARCELS. THE LINES ON THIS PLAN WERE TAKEN FROM PLAN REFERENCE 1 AND 2, EVEN THOUGH THE DEED CALLS FOR 155 FEET FROM WASHINGTON AVENUE. DIMENSIONS IN THE DEED OF MARTIN WERE HELD FOR PLAN REF. 6.
6. BOUNDARY AGREEMENTS WITH THE ABUTERS WOULD RESOLVE ANY DISCREPANCIES WITH MARKERS AND PLANS.

7. REFER TO SHEET A.1 FOR DECK AND RAMP PLANS.



LEGEND

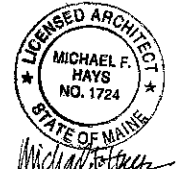
- IRON PIPE OR ROD FOUND
- MONUMENT
- SPIKE FOUND
- WATER VALVE
- UTILITY POLE
- MANHOLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- FENCE
- STONE WALL
- CURB
- OVERHEAD WIRES
- WATER LINE
- GAS LINE
- 100' 1" CONTOUR



CERTIFICATE

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

6-23-2011
DATE
John C. Schwanda
JOHN C. SCHWANDA, PLS. NO. 1252



S.1

BOUNDARY & TOPOGRAPHIC SURVEY

ON
WASHINGTON AVENUE, PORTLAND, MAINE
MADE FOR RECORD OWNERS
MICHELLE A. KELLEY
38 WASHINGTON AVENUE, PORTLAND, MAINE
EPS BEAGLE, LLC
40 WASHINGTON AVENUE, PORTLAND, MAINE

OWEN HASKELL, INC.
390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drawn By	SDG	Date	JUNE 22, 2011	Job No.	2011-057 P
Trace By	SDG	Scale	1" = 10'	Draw. No.	1
Check By	JCS				
Book No.	1101				



TM 13-E-21
N/F MARIA & PABLO FLORES
24234/160

TM 13-E-14
N/F ROBERT C. HUNTLEY, JR.
13113/39

TM 13-E-9

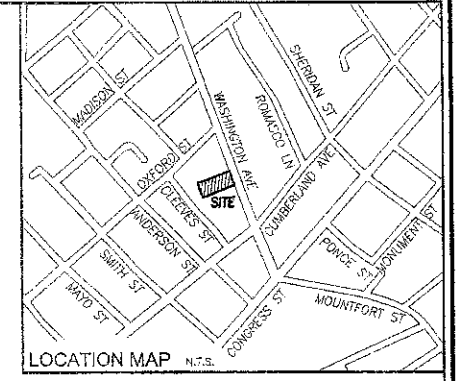
TM 13-E-8
N/F GEORGE S. MARTIN
16748/129

TM 13-E-17
N/F KAREN J. LAIDLLEY
15185/162

TM 13-E-22
N/F ABDUL ALLI &
HABIBU ADAM
23673/173

TM 13-E-16
N/F CHRISTOPHER J.
SARAH SORESENSE COPPI
27491/299

TM 13-E-13



PLAN REFERENCES

- H.L. & E.C. JORDAN - SURVEYORS WORKING PLAN OF BLOCKS BOUNDED BY WASHINGTON AVENUE, OXFORD STREET, ANDERSON STREET AND CUMBERLAND AVENUE FILE NO.42
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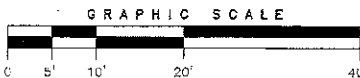
NOTES

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TAX MAP 13 BLOCK E LOT 15, 40-42 WASHINGTON AVENUE: EPS BEAGLE, LLC, DEED BOOK 18372 PAGE 319
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- BOUNDARY AGREEMENTS WITH THE ABUTTERS WOULD RESOLVE ANY DISCREPANCIES WITH MARKERS AND PLANS.

7. REFER TO SHEET A.1 FOR DECK AND RAMP PLANS.

LEGEND

- IRON PIPE OR ROD FOUND
- MONUMENT
- SPIKE FOUND
- WATER VALVE
- UTILITY POLE
- MANHOLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- FENCE
- STONE WALL
- CURB
- OVERHEAD WIRES
- WATER LINE
- GAS LINE
- 1" CONTOLUR

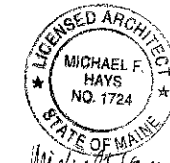
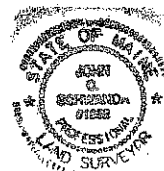


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6-23-2011
DATE

John C. Schwanda
JOHN C. SCHWANDA, PLS NO. 1252



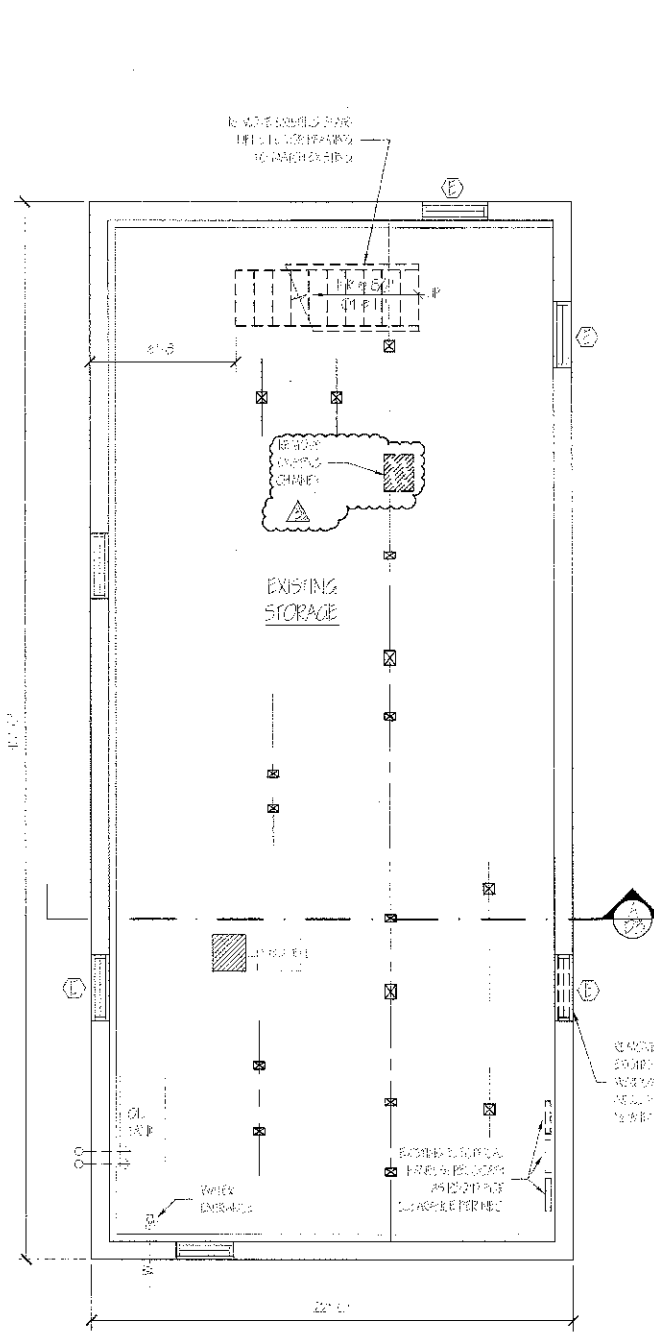
S.1

BOUNDARY & TOPOGRAPHIC SURVEY

ON
WASHINGTON AVENUE, PORTLAND, MAINE
MADE FOR RECORD OWNERS
MICHELLE A. KELLEY
38 WASHINGTON AVENUE, PORTLAND, MAINE
EPS BEAGLE, LLC
40 WASHINGTON AVENUE, PORTLAND, MAINE

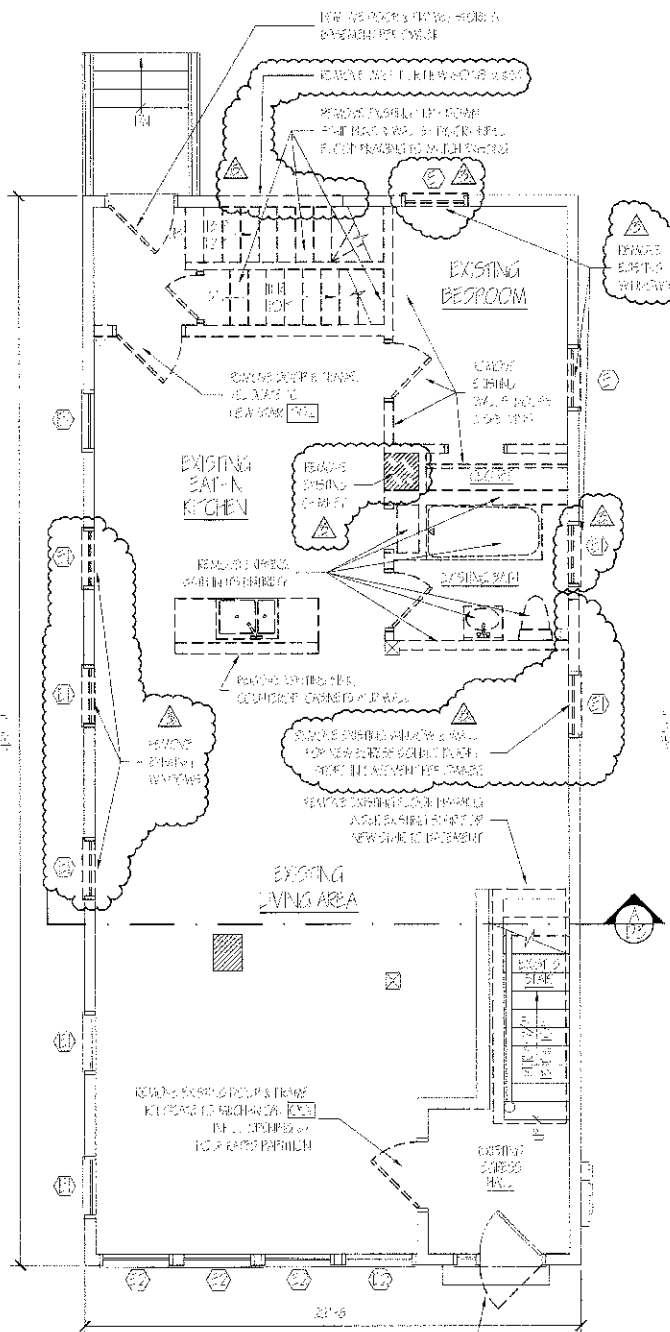
OWEN HASKELL, INC.
390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drawn By	SDG	Date	Job No.
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Check By	JCS	Scale	Draw. No.
Book No.	1101	1" = 10'	1



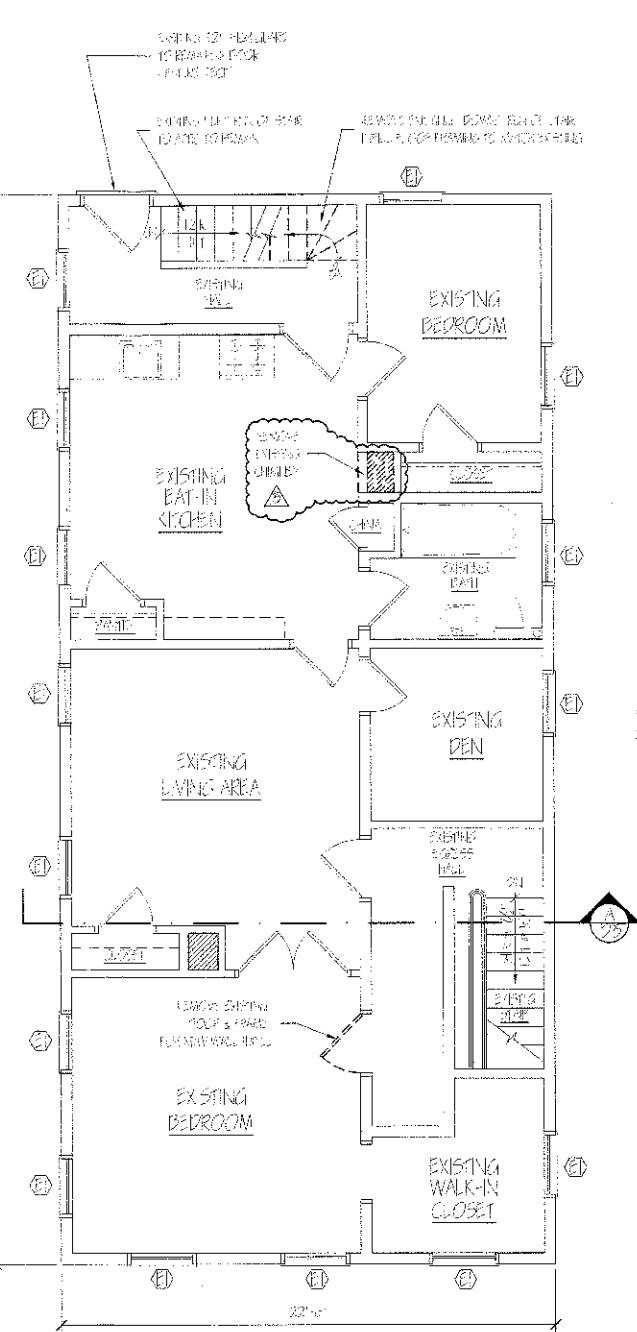
EXISTING BASEMENT-DEMOLITION

CHANGE OF USE FROM STORAGE AT SINGLE FAMILY APARTMENT TO STORAGE FOR ASSEMBLY USE



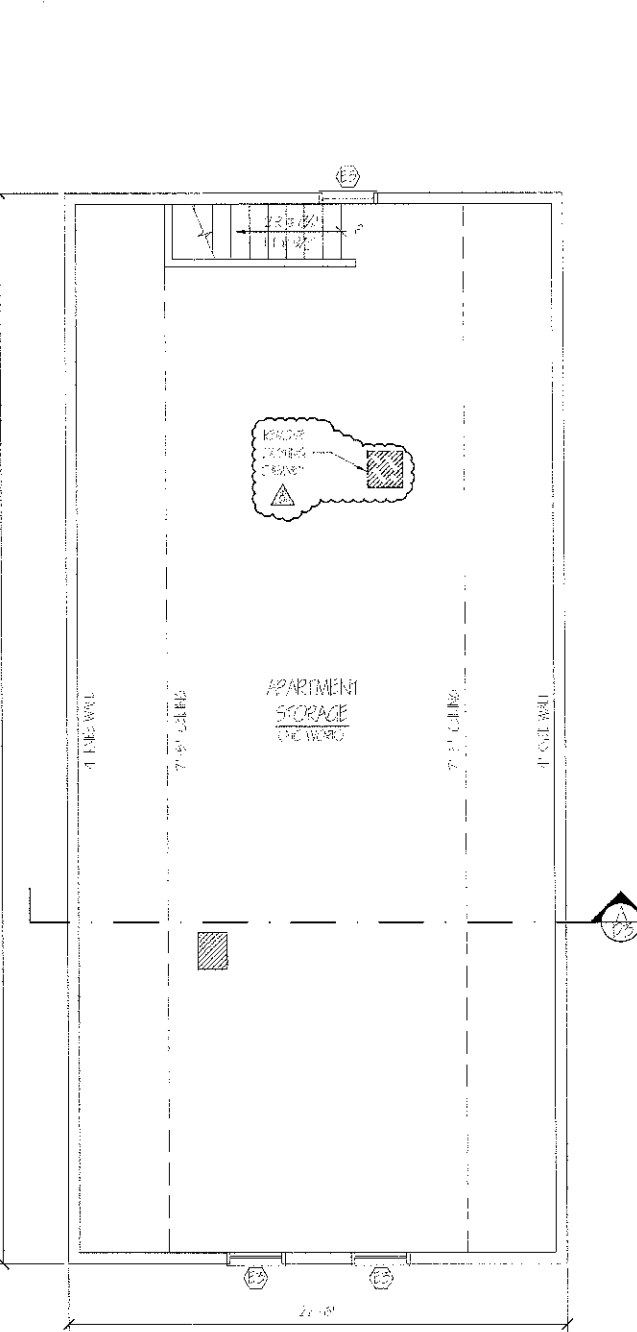
EXISTING FIRST FLOOR-DEMOLITION

CHANGE OF USE FROM SINGLE FAMILY APARTMENT TO NEW ASSEMBLY USE



EXISTING SECOND FLOOR-DEMOLITION

SINGLE FAMILY APARTMENT



EXISTING THIRD/ ATTIC

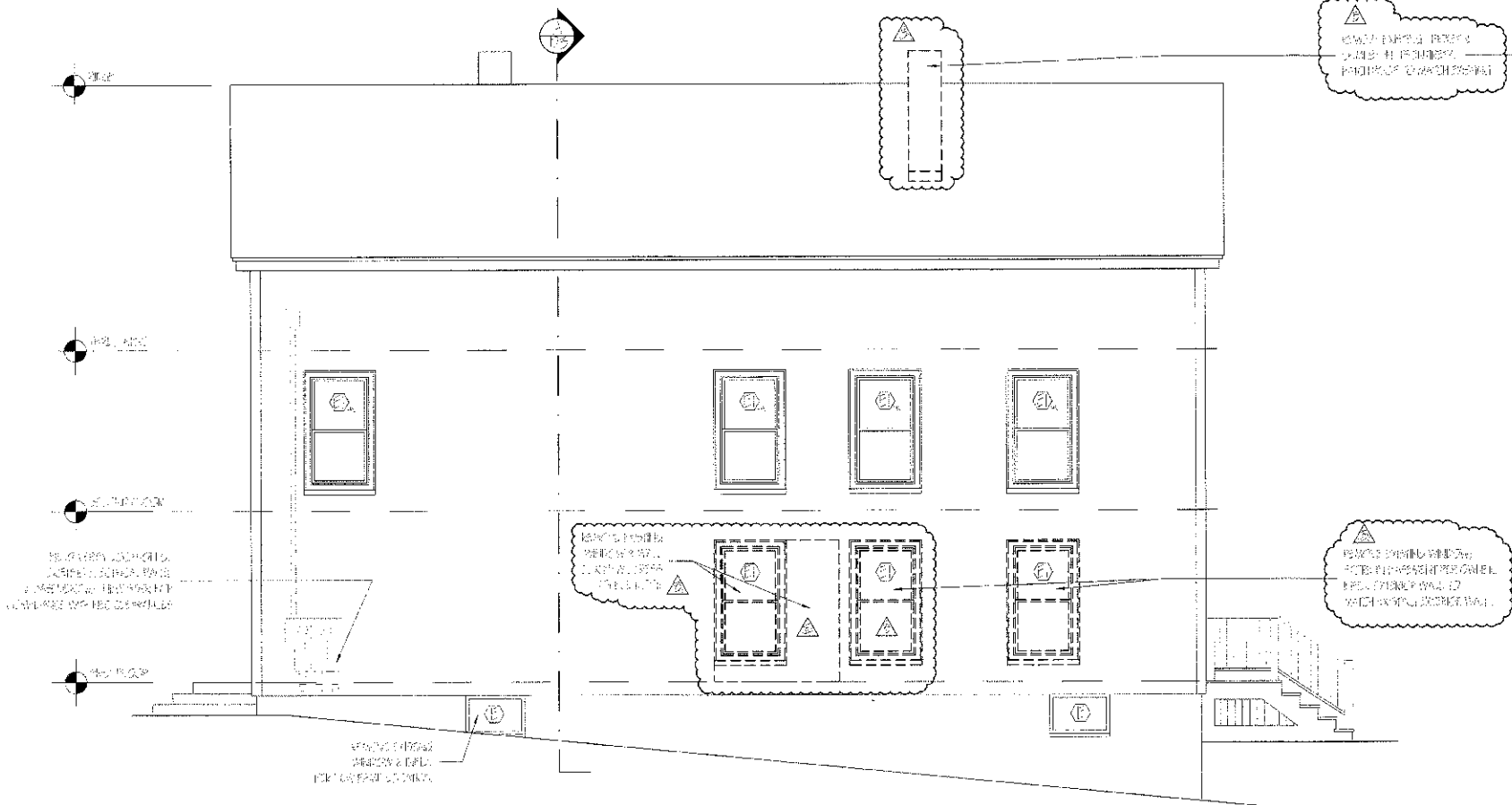
SINGLE FAMILY APARTMENT

ARCHITECTURE
 INTERIOR DESIGN
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 603.875.7999
 603.875.9100
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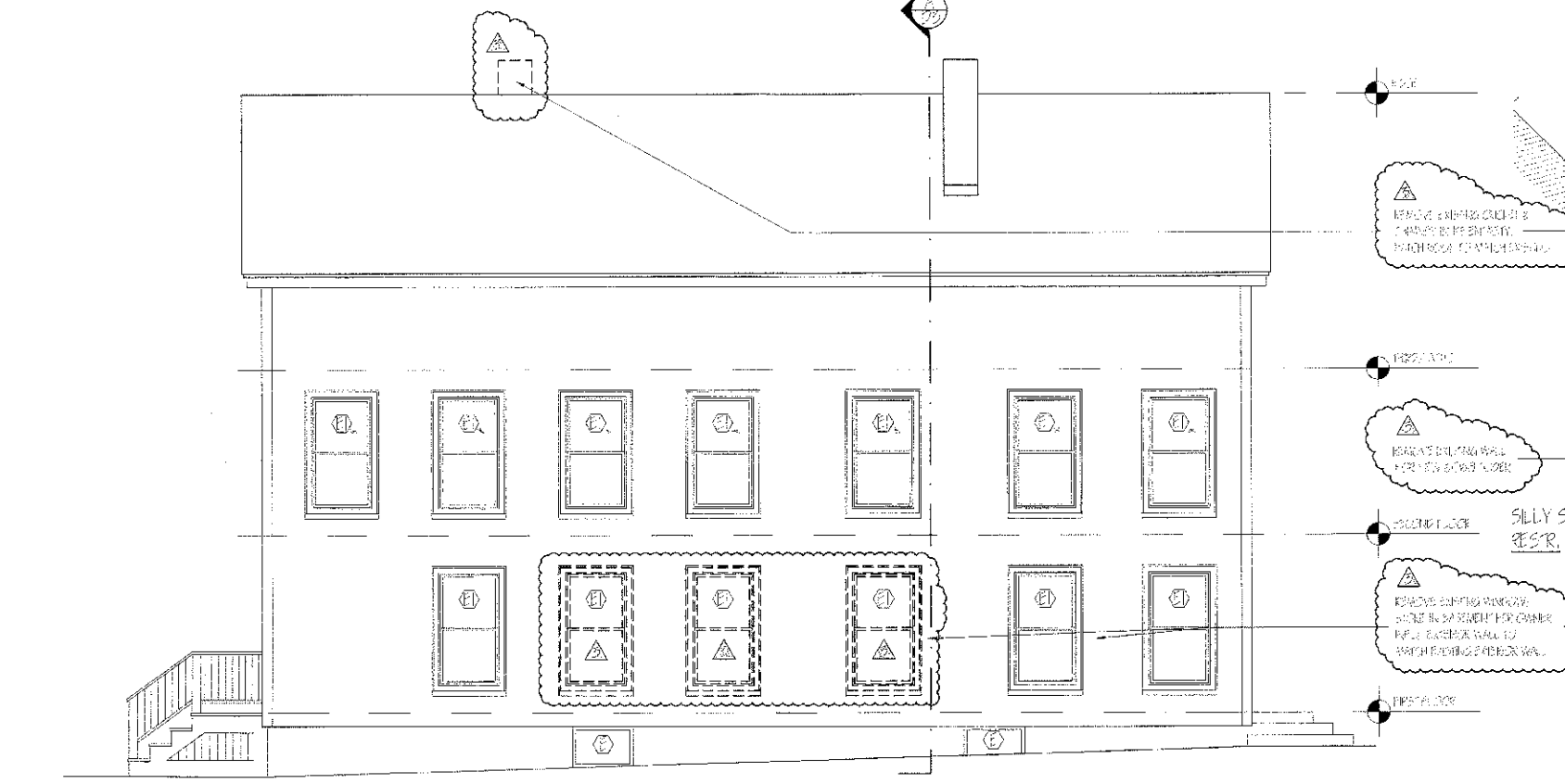
HAYSON
 ALTERATIONS TO
 38 WASHINGTON AVE
 PORTLAND MAINE 04101

ASSOCIATE ARCHITECT
 MICHAEL P. HAYS
 NO. 1784
 STATE OF MAINE

DEMOLITION PLANS
 SCALE: 1/4" = 1'-0"
 DATE: 16 Jun '11
 DRAWN BY: MFH/mck
 JOB NO.: 110701
 DRAWING NO.: D-1



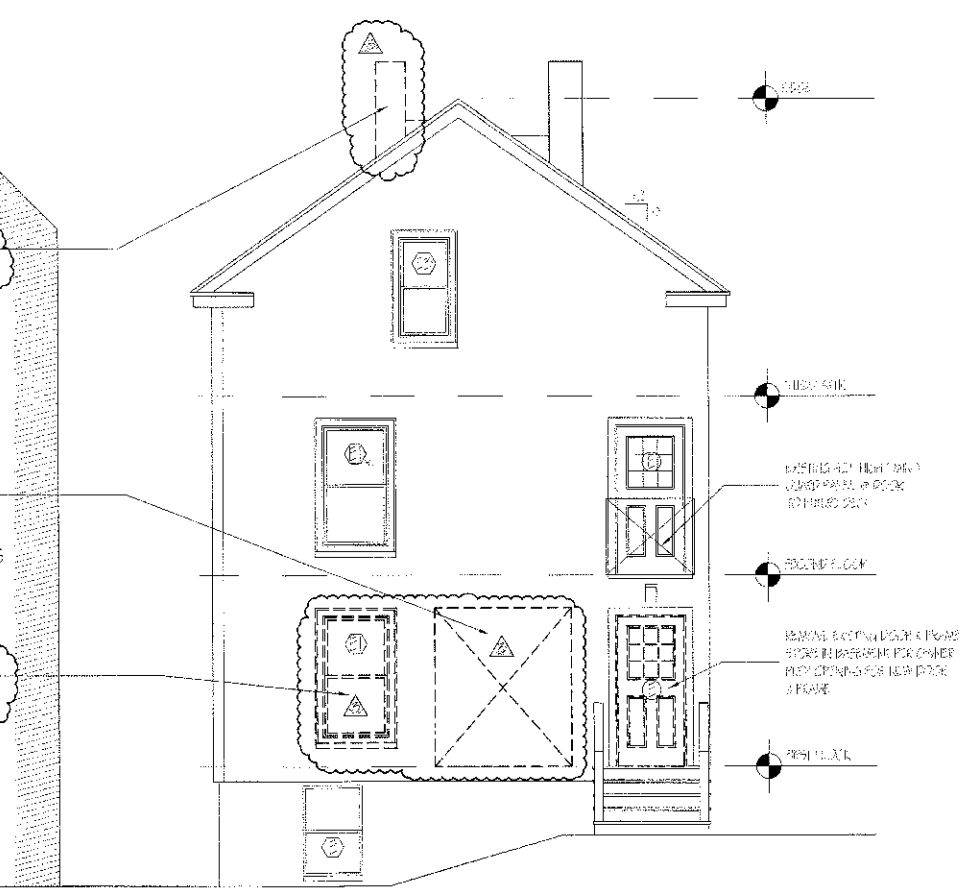
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SCALE 1/2" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE 1/2" = 1'-0"



EXISTING EAST ELEVATION
SCALE 1/2" = 1'-0"



EXISTING WEST ELEVATION
SCALE 1/2" = 1'-0"

- ⊙ EXISTING DOOR
- ⊕ EXISTING WINDOW
- ⊖ EXISTING DOUBLE WINDOW

APPROVED ARCHITECT
MICHAEL F. HAYS
NO. 1724
STATE OF MAINE

DESIGNED BY
MICHAEL F. HAYS

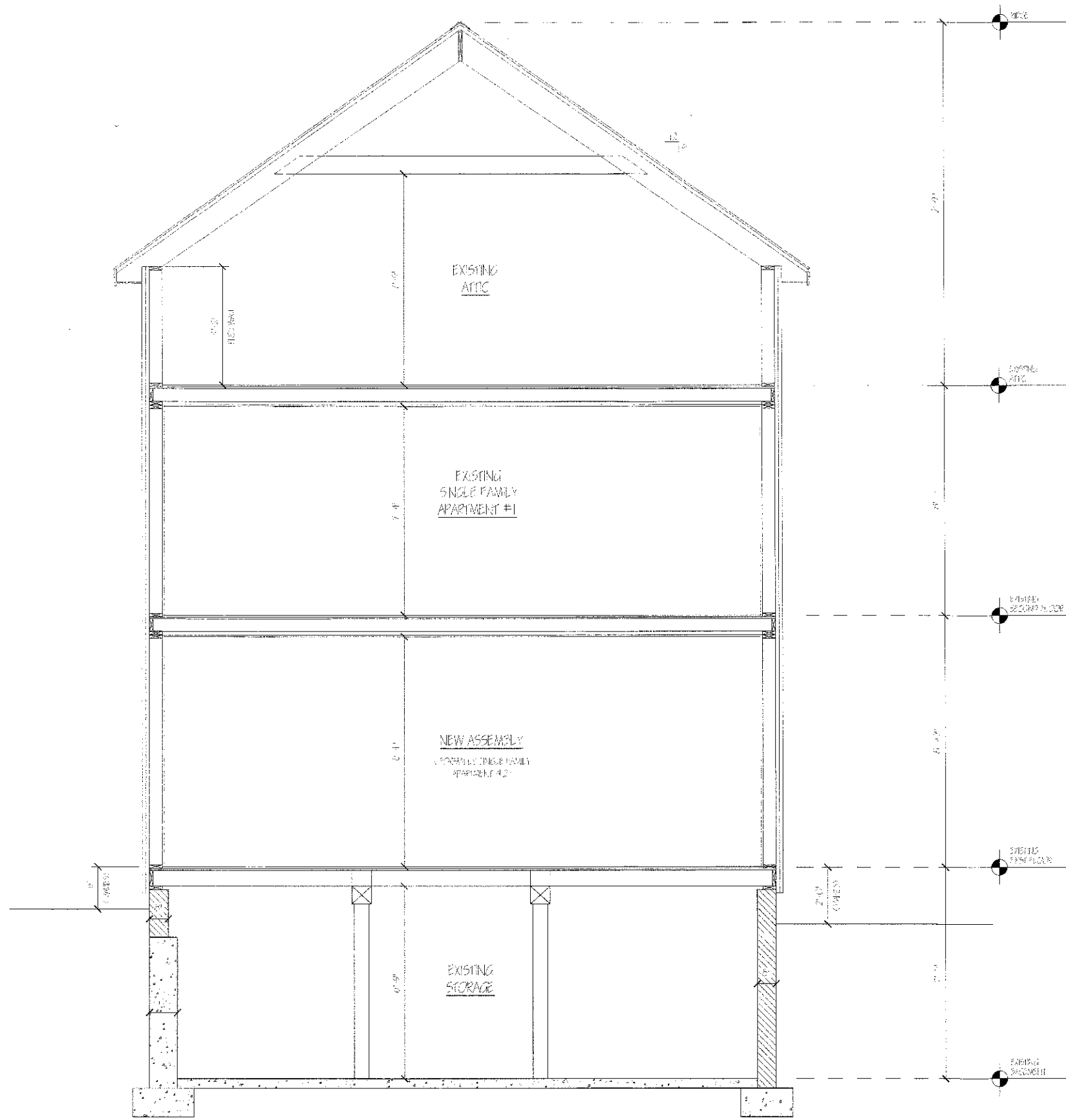
ALTERATIONS TO
38 WASHINGTON AVE
PORTLAND, MAINE 04101

ARCHITECTURE
INTERIOR DESIGN
110 BOX GLEBE FARM RD. MAINE 04105
PHONE: 857-5680
FAX: 857-5680

DEMOLITION
ELEVATIONS

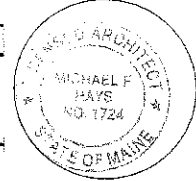
SCALE 1/4" = 1'-0"
DATE 16 Jun 11
DRAWN BY MFS/mmk
JOB NO. 10701
DRAWING NO. D-2

MICHAEL F. HAYS ARCHITECTURE



(A) EXISTING TYPICAL SECTION
 SCALE: 1/8" = 1'-0"

PROFESSIONAL ARCHITECT
 STATE OF MAINE
 MICHAEL F. HAYS
 NO. 1724



DATE: _____
 SHEET NO. _____

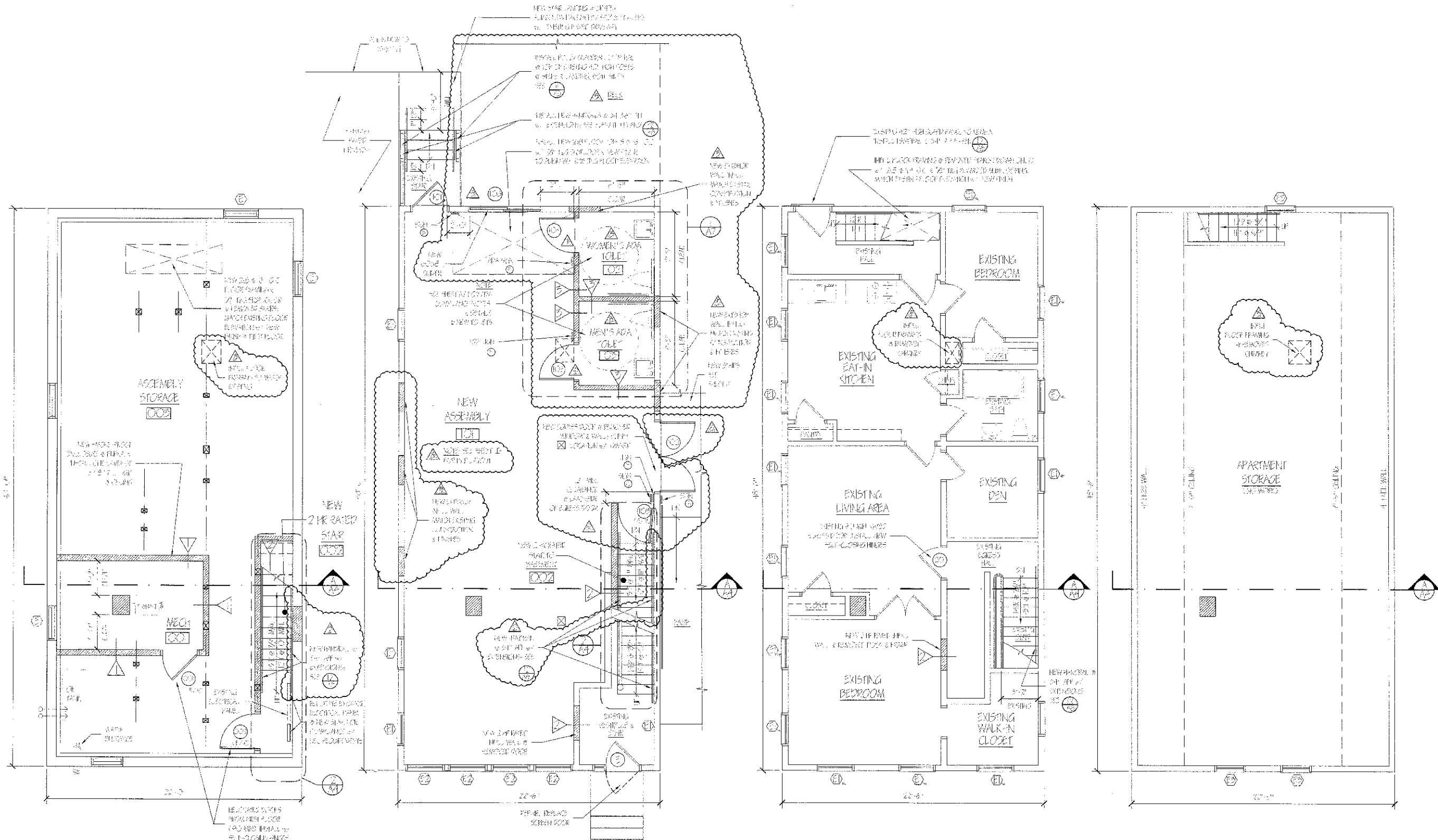
ALTERATIONS TO
38 WASHINGTON AVE
 PORTLAND, MAINE, 04101

ARCHITECTURE
 INTERIOR DESIGN
 P.O. BOX 5170 PORTLAND, MAINE 04105

DEMOLITION
 BUILDING
 SECTION

DATE: 16 Jun '11
 DRAWN BY: MFH/mak
 JOB NO: 110701
 DRAWING NO: **D-3**

R A N T H A Y S A S O C I A T I O N



PROPOSED BASEMENT
SCALE: 1/4" = 1'-0"

MECHANICAL & ASSEMBLY STORAGE

PROPOSED FIRST FLOOR
SCALE: 1/4" = 1'-0"

ASSEMBLY USE

PROPOSED SECOND FLOOR
SCALE: 1/4" = 1'-0"

SINGLE FAMILY APARTMENT

EXISTING THIRD / ATTIC
SCALE: 1/4" = 1'-0"

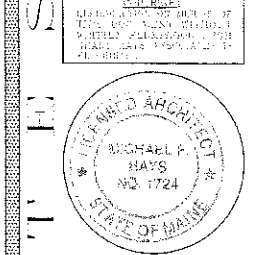
SINGLE FAMILY APARTMENT

SIGNS		PARTITION LEGEND	
TAG	DETAIL	TAG	DETAIL
(A)	(1)	(1)	(1)
(B)	(2)	(2)	(2)
(C)	(3)	(3)	(3)
(D)	(4)	(4)	(4)
(E)	(5)	(5)	(5)
(F)	(6)	(6)	(6)

NOTE:
1. SEE SHEET C-1 FOR FINISHES
2. SEE SHEET C-2 FOR FINISHES
3. SEE SHEET C-3 FOR FINISHES



EXISTING PARTITIONS
NEW PARTITIONS

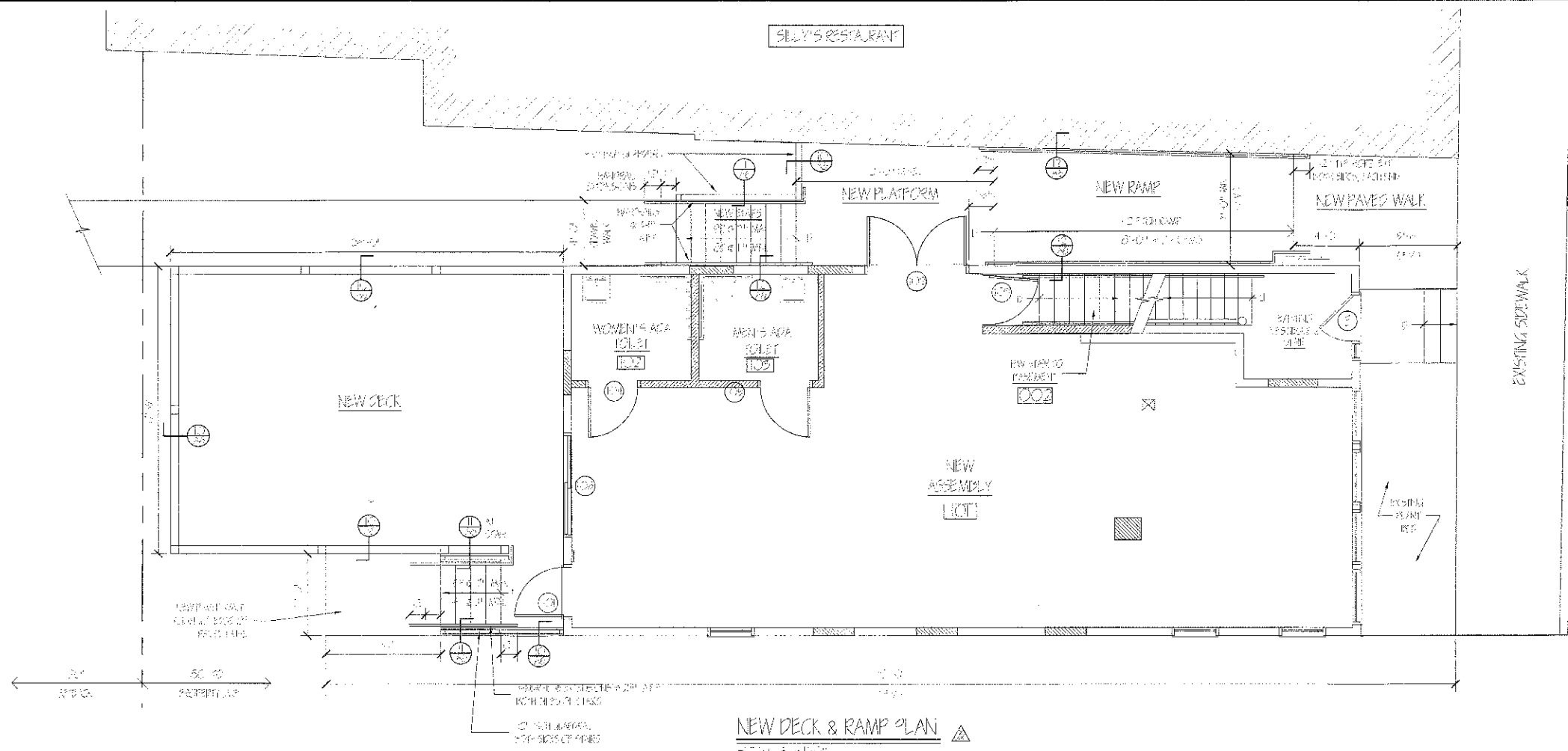


LEGEND:
▲ 1'-0"
▲ 2'-0"
▲ 3'-0"

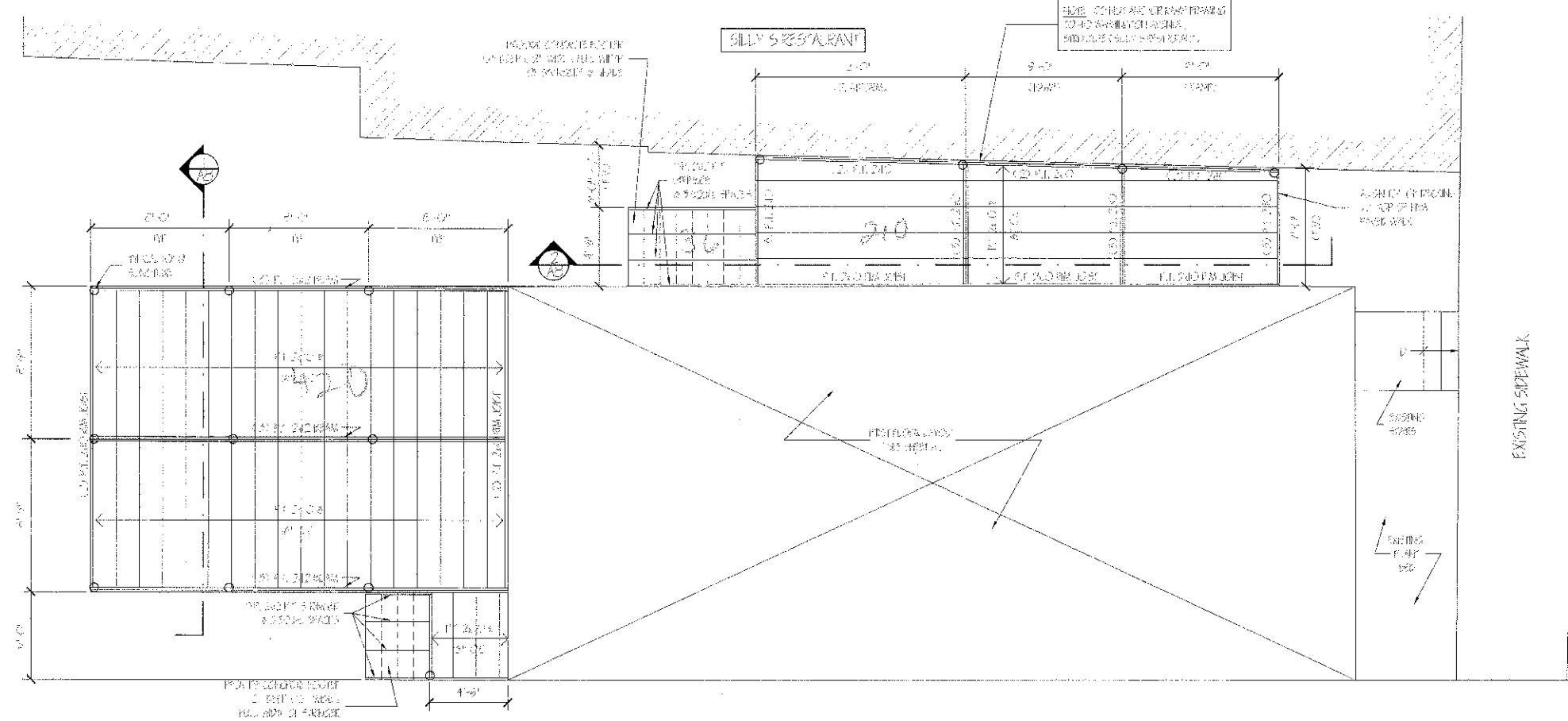
ALTERATIONS TO
38 WASHINGTON AVE
PORTLAND, MAINE 04101
DATE: 10/11/11

ARCHITECTURE:
INTERIOR DESIGN
P.O. BOX 6179, PORTLAND, MAINE 04106
CONTACT: 207-774-3400

PROPOSED FLOOR PLANS
DRAWING NO.: **A-1**



NEW DECK & RAMP PLAN ▲
SCALE: 1/4" = 1'-0"



NEW DECK & RAMP FRAMING PLAN ▲
SCALE: 1/4" = 1'-0"

ALTERATIONS TO
38 WASHINGTON AVE
PORTLAND, MAINE 04101

ARCHITECT
MICHAEL F. HOYS
NO. 1724
STATE OF MAINE

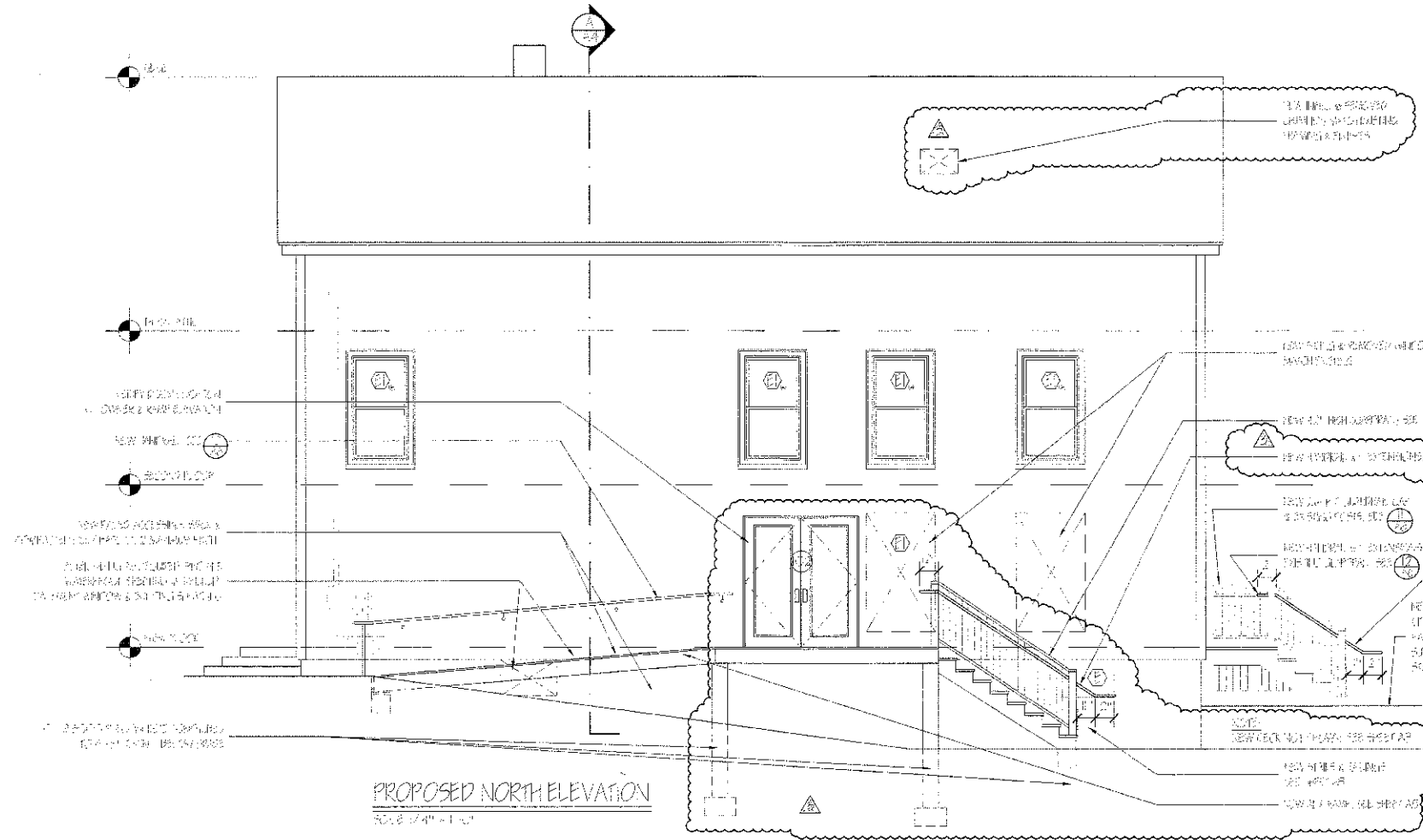
REVISION:
2/11

DATE: 06/11
DRAWN BY: MEH/mck
JOB NO: 11070
DRAWING NO: A-1-1

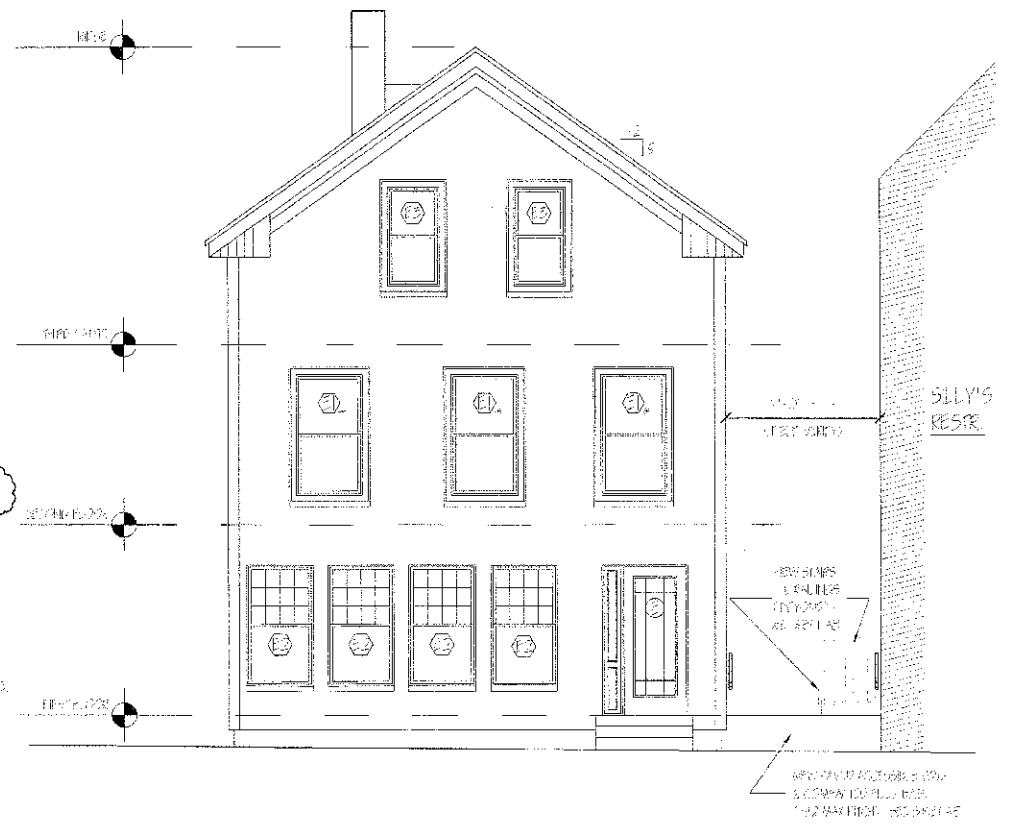
ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6170 PORTLAND, MAINE 04103
TEL: 603.875.6800

FIRST FLOOR
RAMP & DECK
PLANS

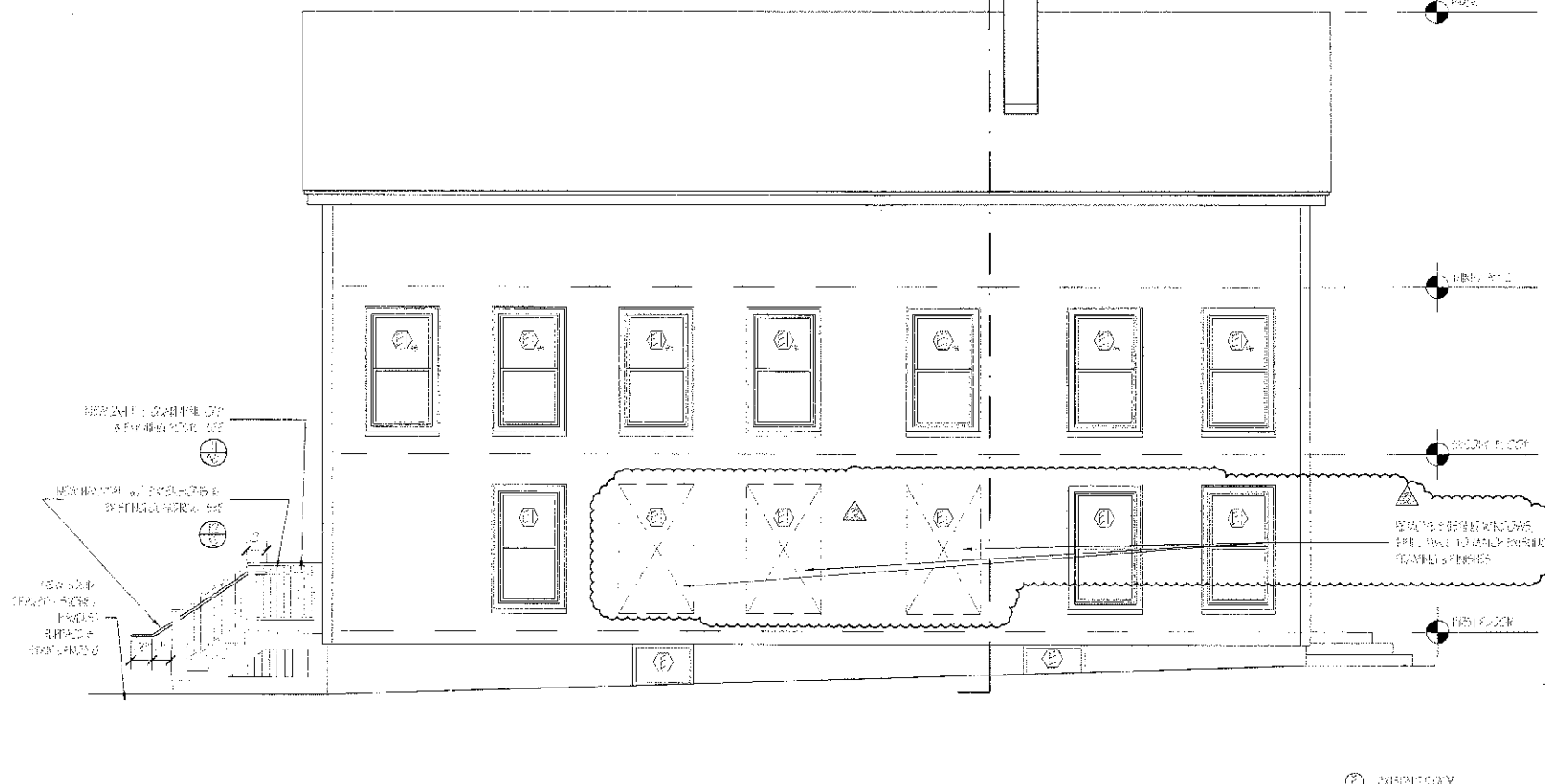
SCALE: 1/4" = 1'-0"
DATE: 06/11
DRAWN BY: MEH/mck
JOB NO: 11070
DRAWING NO: A-1-1



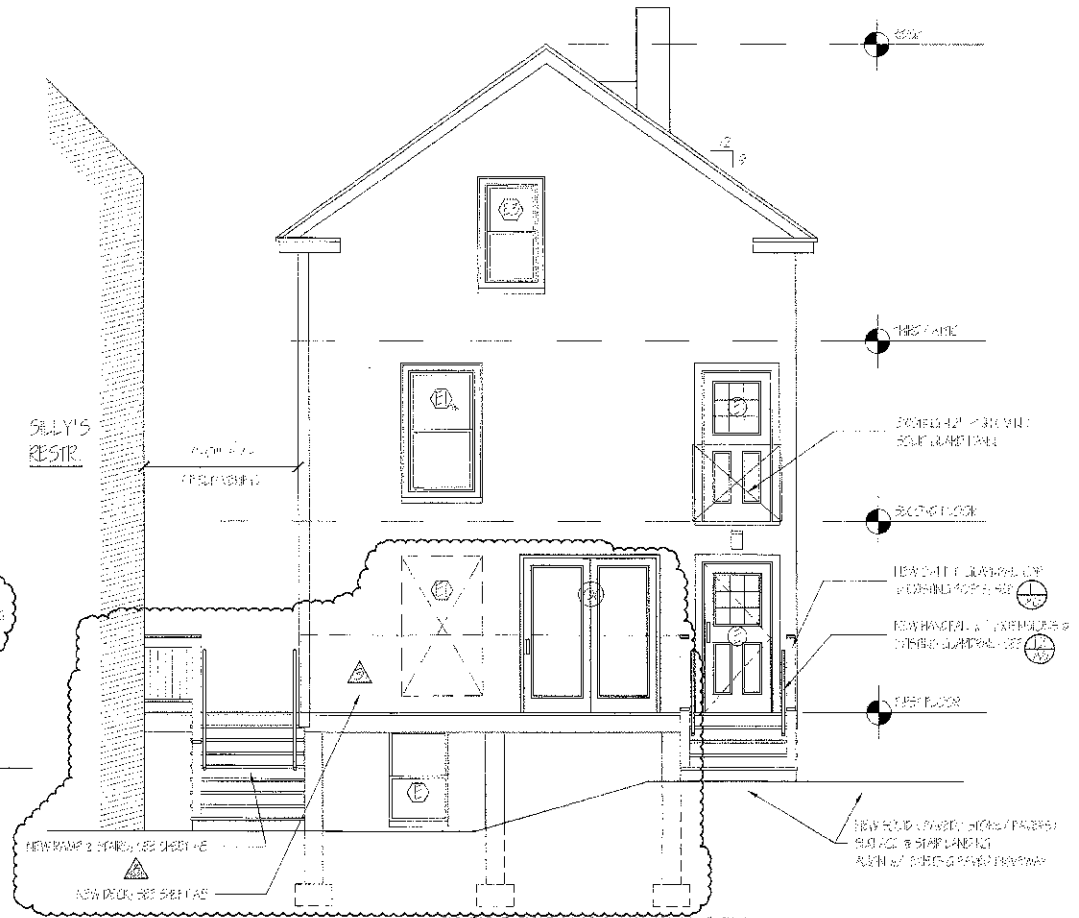
PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE 1/4" = 1'-0"

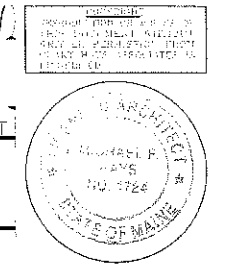


PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"

- ⊙ SHIP LID ONLY
- ⊙ EXISTING WINDOW
- ⊙ EXISTING & NEW WINDOW



PROFESSIONAL
ARCHITECT
STATE OF MAINE
NO. 17224

ALTERATIONS TO
38 WASHINGTON AVE
PORTLAND, MAINE, 04101

ARCHITECTURE
INTERIOR DESIGN
110 DUN GTON LAMOUETTEL MAINE 04103

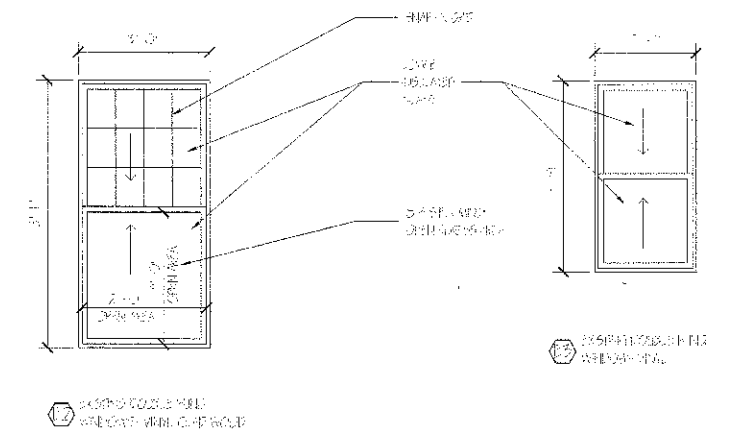
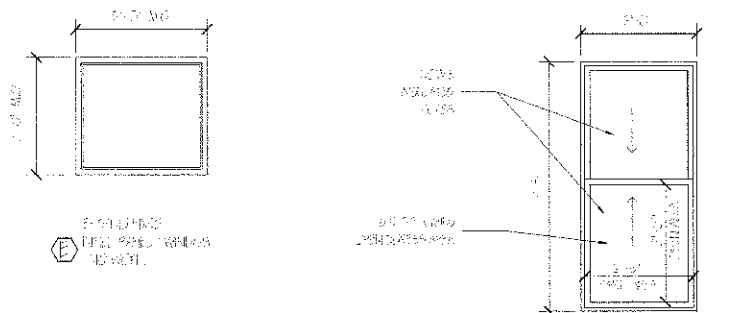
PROPOSED ELEVATIONS

SCALE 1/4" = 1'-0"
DATE 16 Jun '11
DRAWN BY MCH/mak
JOB NO. 110701
DRAWING NO. **A-3**

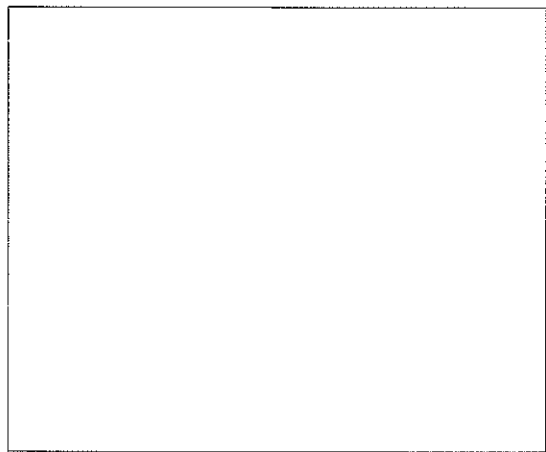
G R A N T A Y S A S S O C I A T E S

WINDOW SCHEDULE

NO	TYPE	MANUFACTURER		NOMINAL SIZE		DETAIL					REMARKS	
		MANUFACTURER	MODEL	WIDTH	HEIGHT	HEAD	JAMB	SEIL	CAUSE	MULL		
E1	HW-1	---	---	---	---	---	---	---	---	---	---	EXISTING TO REMAIN PARTS OF WINDOWS
E2	HW-2	---	---	---	---	---	---	---	---	---	---	EXISTING EXTERIOR WINDOW CASES OPENINGS B/R WERE NOTED
E3	HW-3	---	---	---	---	---	---	---	---	---	---	EXISTING TO REMAIN
E4	HW-4	---	---	---	---	---	---	---	---	---	---	EXISTING TO REMAIN
E5	HW-5	---	---	---	---	---	---	---	---	---	---	EXISTING TO REMAIN

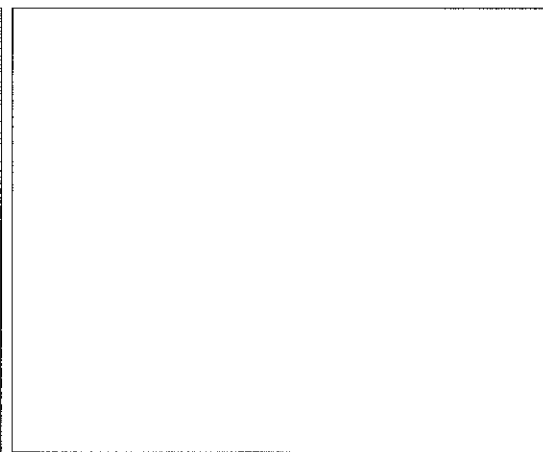


WINDOW TYPES



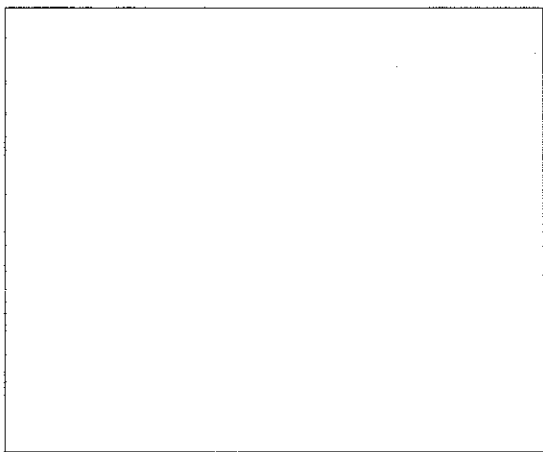
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NO SCALE



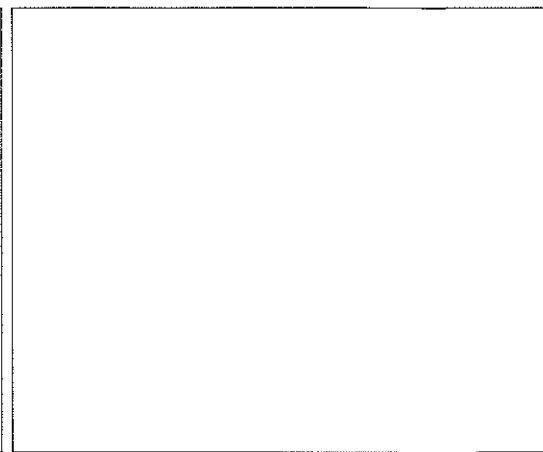
2

HARDWARE SETS



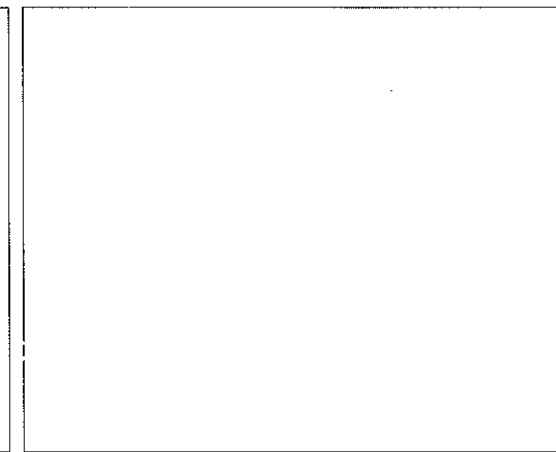
3

FRAME TYPES



4

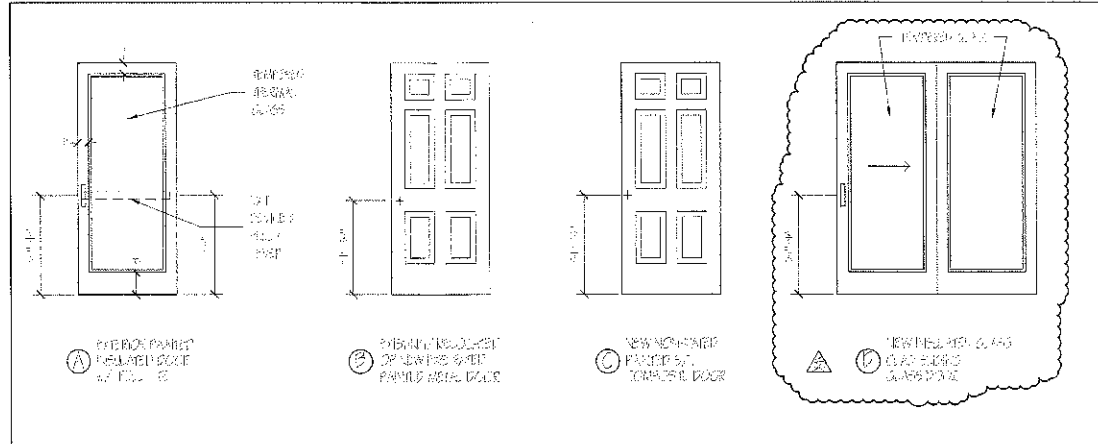
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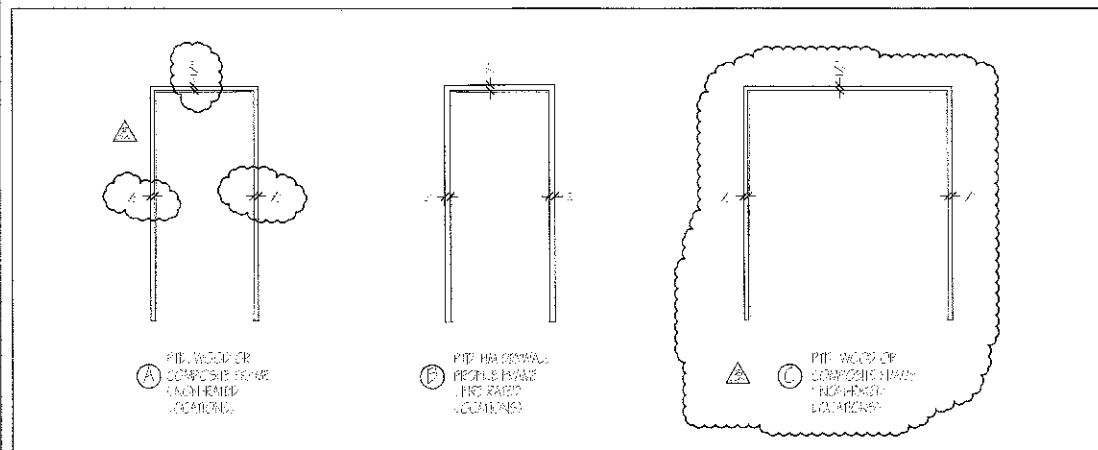
5

DOOR SCHEDULE

NO.	TYPE	SLIP (S/C)	TRK	INSUL	H/W	PR	GLASS		REMARKS	TYPE	FR	PEOPLE	DETAILS		FINISHES	
							TYPE	SIZE					HEAD	JAMB	MATERIAL	DETAILS
DOOR 1	A	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---
DOOR 2	B	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---
DOOR 3	C	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---
DOOR 4	D	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---
DOOR 5	E	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---



DOOR TYPES



HW-1 INTERIOR RATED SINGLE DOOR - EXISTING/RELOCATED

- 1. FINISH - SEE ARCHITECT'S NOTES
- 2. BALANCE OF HARDWARE TO REMAIN

HW-2 INTERIOR RATED SINGLE DOOR - EXISTING/RELOCATED

- 1. FINISH - SEE ARCHITECT'S NOTES
- 2. BALANCE OF HARDWARE TO REMAIN

HW-3 NEW EXTERIOR SINGLE DOOR

- 1. FINISH - SEE ARCHITECT'S NOTES
- 2. BALANCE OF HARDWARE TO REMAIN

HW-4 NEW INTERIOR RATED SINGLE DOOR

- 1. FINISH - SEE ARCHITECT'S NOTES
- 2. BALANCE OF HARDWARE TO REMAIN

HW-5 NEW INTERIOR SINGLE DOOR

- 1. FINISH - SEE ARCHITECT'S NOTES
- 2. BALANCE OF HARDWARE TO REMAIN

HW-6 EXISTING INTERIOR RATED SINGLE DOOR

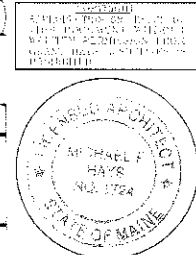
- 1. FINISH - SEE ARCHITECT'S NOTES
- 2. BALANCE OF HARDWARE TO REMAIN

HW-7 NEW EXTERIOR PAIR OF DOORS

- 1. FINISH - SEE ARCHITECT'S NOTES
- 2. BALANCE OF HARDWARE TO REMAIN

HW-8 NEW EXTERIOR SLIDING DOOR

- 1. FINISH - SEE ARCHITECT'S NOTES
- 2. BALANCE OF HARDWARE TO REMAIN

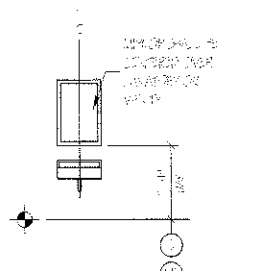


REVISIONS
 1. 12/1/11

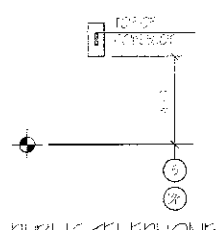
ALTERATIONS TO
 ARCHITECTURE
 INTERIOR DESIGN
 38 WASHINGTON AVE
 PORTLAND, MAINE 04101

ARCHITECTURE
 INTERIOR DESIGN
 P.O. BOX 6771 PORTLAND, MAINE 04101
 TEL: 603.771.9488
 FAX: 603.771.9489

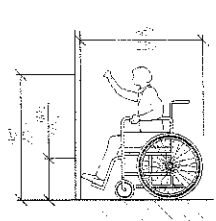
PROJECT
 DOORS & WINDOWS
 DRAWING NO. A-5
 DATE 16 Dec '11
 DRAWN BY MFM/mjk
 JOB NO. 110701
 DRAWING TITLE
 SCALE AS NOTED



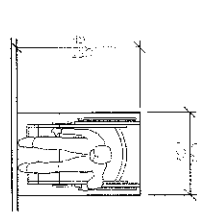
MIRROR OR MEDICINE CABINET
NFS



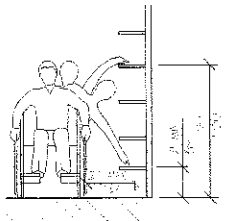
PUBLIC TELEPHONE
NFS



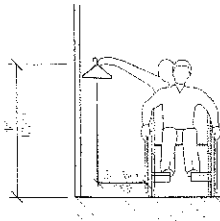
HIGH FORWARD REACH LIMIT
NFS



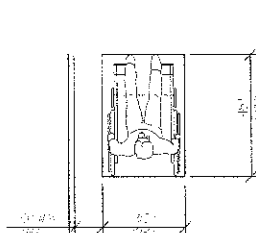
STORAGE SHELVES AND CLOSETS
NFS



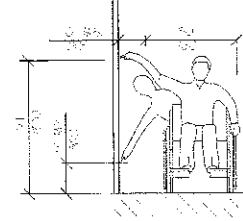
SHELVES



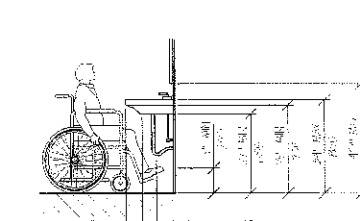
CLOSETS



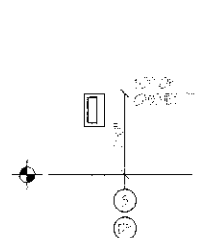
CLEAR FLOOR SPACE
PARALLEL APPROACH
NFS



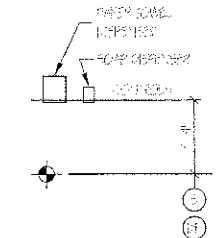
HIGH AND LOW
SIDE REACH LIMITS
NFS



LAVATORY CLEARANCES
NFS



FIRE EXTINGUISHER
CABINET (FEC)
NFS



TOWEL & SOAP DISPENSERS
NFS

NOT USED

NOT USED

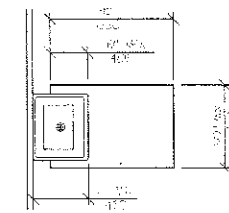
NOT USED

SEA WALL BACK CONTROL WALL

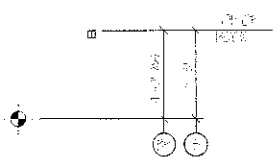
SHOWER SEAT ELEVATIONS
NFS

SHOWER STALL PLAN
NFS

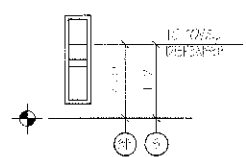
SHOWER SEAT DESIGN
NFS



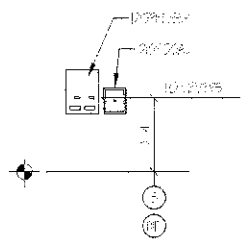
CLEAR FLOOR SPACE
AT LAVATORIES
NFS



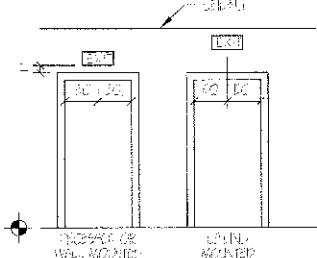
CLOTHES HOOK
NFS



TOWEL DISPENSER
DISPOSAL UNIT
NFS



SANITARY NAPKIN
DISPENSER & DISPOSAL
NFS



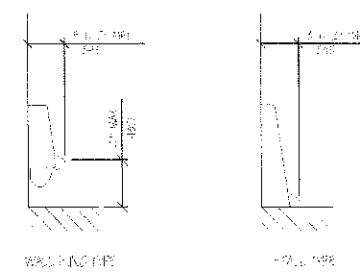
EXIT SIGNS
TYPICAL UNLESS OTHERWISE NOTED
NFS

NOT USED

NOT USED

EQUIPMENT PERMITTED IN SHADED AREA
DRINKING FOUNTAIN SPOUT HEIGHT
AND KNEE CLEARANCE
NFS

DRINKING FOUNTAIN
NFS



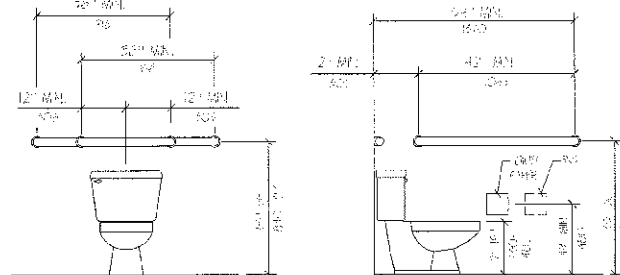
HEIGHT AND DEPTH OF URINALS
NFS

NOT USED

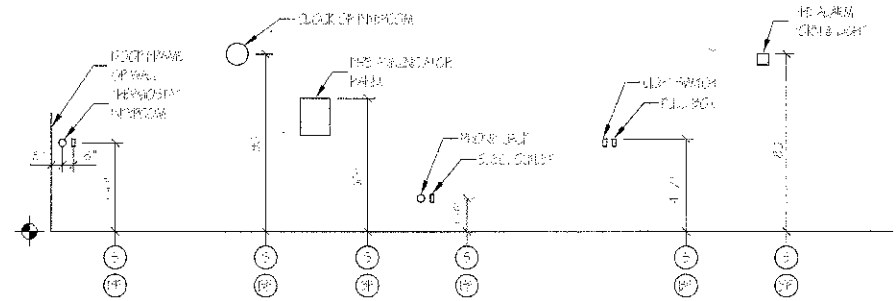
NOT USED

ELEVATOR CONTROLS & SIGNALS
NFS

BARRIER FREE SHOWER
NFS



GRAB BARS AT WATER CLOSETS
NFS



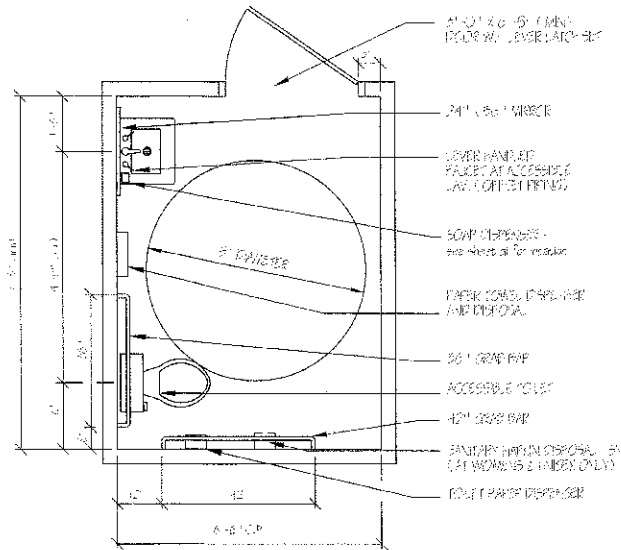
ELECTRICAL & FIRE PROTECTION DEVICES
TYPICAL UNLESS NOTED OTHERWISE
NFS

LEGEND

- ⊙ STANDARD MOUNTING HEIGHT
- ⊙ IMPROVED MOUNTING HEIGHT
- ⊙ FINISH CENTERLINE

NOTE

ALL FINISH PROJECTS AT STANDARD MOUNTING HEIGHTS IS PERMITTED ON PLAN BY A & B SYMBOLS. A & B SYMBOLS AT ANY LOCATION REQUIRE ONE OF ANY FINISH AND ACCESSORY WITH THE SYMBOL.



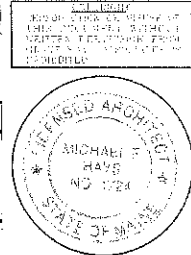
TYPICAL ACCESSORIES
NFS

ACCESSIBILITY ACCESSORY MOUNTING HEIGHTS

GRAB BARS	33" - 36"
TOILET PAPER HORN	48" MAX
TOILET PAPER TOWEL DISPENSER	48" MAX
SOFT TISSUE DISPENSER AT WALL	48" MAX
SANITARY NAPKIN DISPENSER	48" MAX
WATER TREATMENT	48" MAX
SHOWER SEAT	48" MAX
ELECTRICAL SWITCHES/OUTLETS	48" MAX
CONTROL PANELS	48" MAX
SIGNALS (CONTROL COMPONENTS)	50" - 54"

ACCESSIBILITY GENERAL NOTES

1. ROOMWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 30" WITH THE DOOR OPEN AND ACCESS MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
2. ALL DOORS SHALL HAVE UNFOLDABLE EXCEPT AT REQUIRED STAIR EXITS, RECREATION ROOMS AND ELEVATOR MACHINE ROOMS.
3. ALL CLOSETS SHALL BE FULLY ACCESSIBLE TOES EQUIPPED WITH DEVELOPABLE HARDWARE.
4. ALL DOORS WITH CLOSERS SHALL HAVE CLEAR DISTANCE FROM THE LEADING EDGE OF THE OPENING TO AN ADJACENT WALL OR OBSTRUCTION ON THE PUSH SIDE OF THE OPENING.
5. ALL DOORS WITH CLOSERS SHALL HAVE 10" CLEAR DISTANCE FROM THE LEADING EDGE OF THE OPENING TO AN ADJACENT WALL OR OBSTRUCTION ON THE PULL SIDE OF THE OPENING.
6. ALL SIGNALS SHALL BE MOUNTED 60" AFF TO HALL COMPONENTS AT LEAST 18" AFF TO WALLS AND GRAB BARS.
7. REFER TO OWNER'S INTERIOR ARCHITECTURAL PACKAGE (UNIT 1) DRAWING FOR ACCESSORY MOUNTING HEIGHTS, LOCATION & DEVELOPABLE DEVICES.



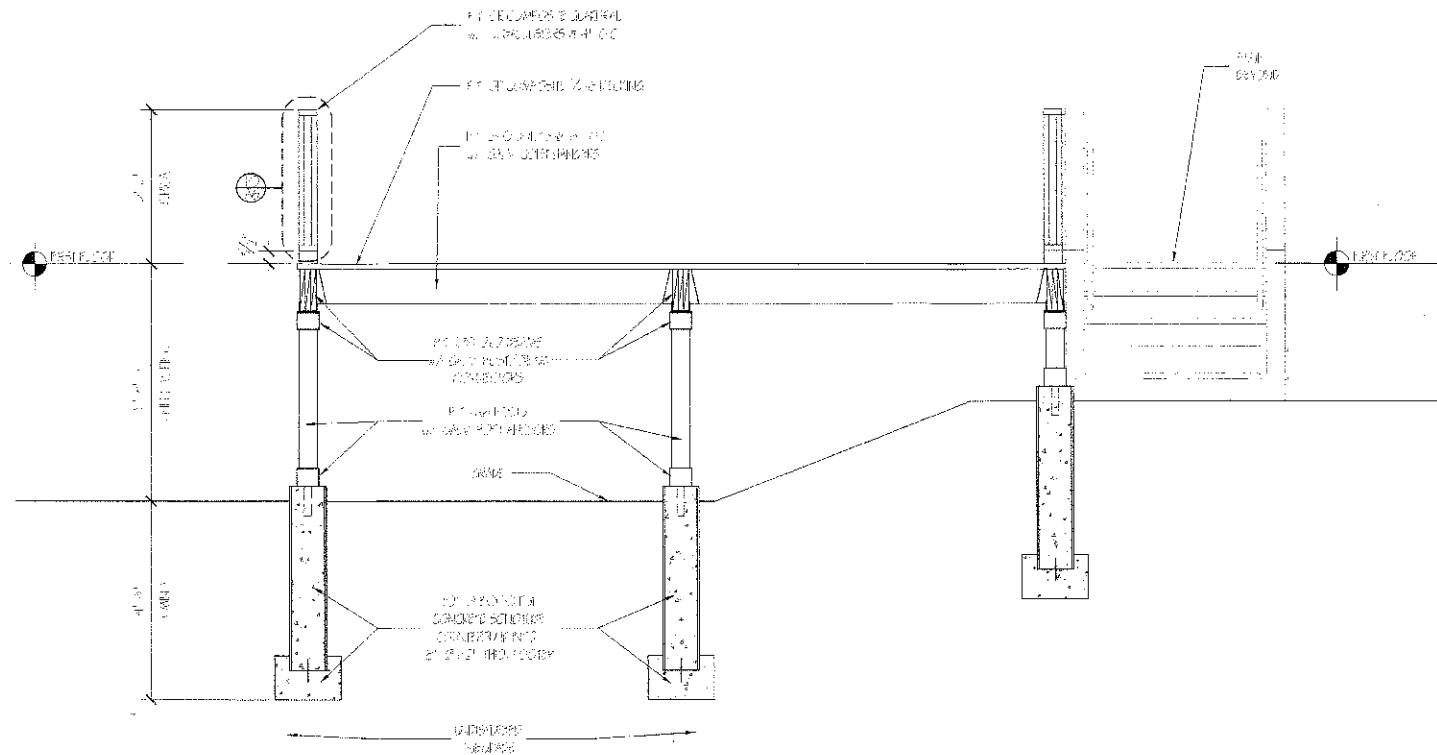
DESIGNED BY

ALTERATIONS TO
38 WASHINGTON AVE
PORTLAND MAINE 04101

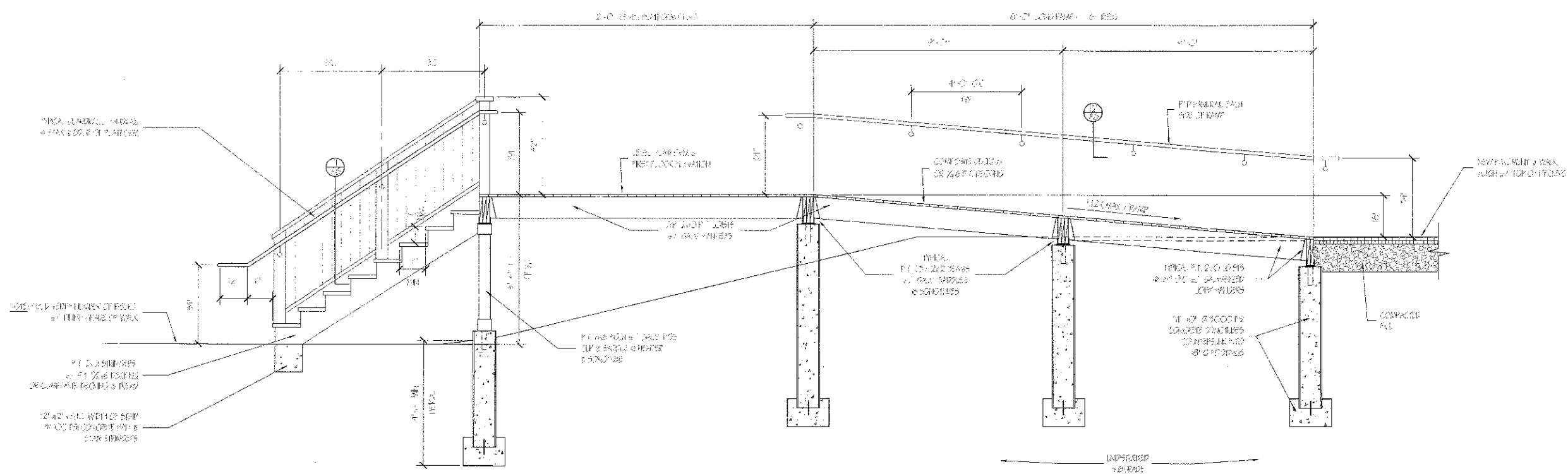
ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6125 PORTLAND, MAINE 04107

ACCESSIBILITY
DETAILS
AND NOTES

NO SCALE
DATE 16 Jun 11
DRAWN BY MFB/mjk
REV NO 110701
DRAWING NO A-7



① NEW DECK FRAMING SECTION
SCALE: 1/2" = 1'-0"



② NEW RAMP AND STAIR FRAMING SECTION
SCALE: 1/2" = 1'-0"

G R A N T A R C H I T E C T S A S S O C I A T E S

LICENSED ARCHITECT
MICHAEL P. GAYE
NO. 1724
STATE OF MAINE

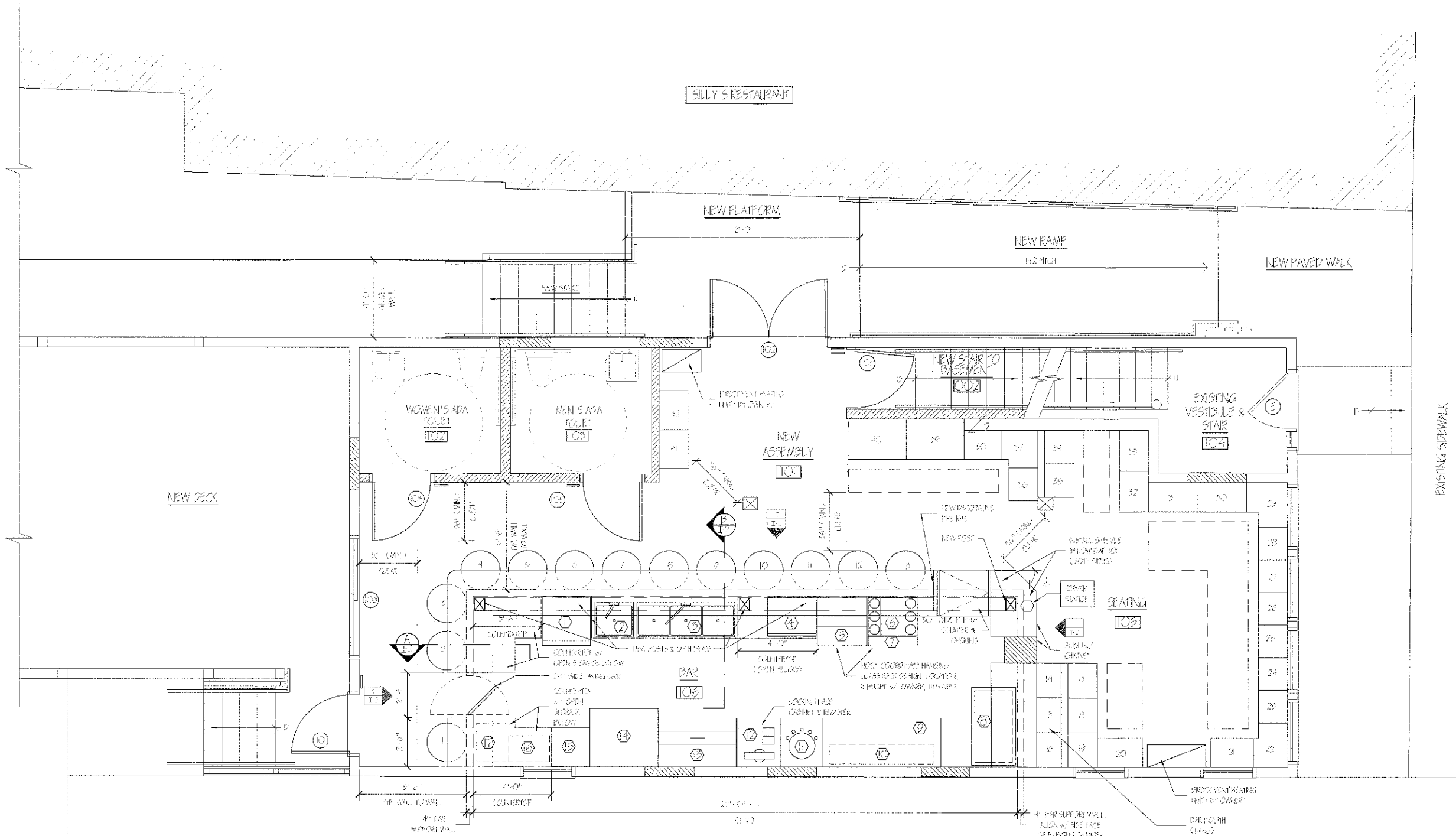
ALTERATIONS TO
38 WASHINGTON AVE
PORTLAND, MAINE, 04101

ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6010 PORTLAND, MAINE 04110
COPY DATE: 08/07/11
CART: 11/11

EXTERIOR
RAMP & STAIR
DETAILS
DRAWING TITLE

SCALE: 1/2" = 1'-0"
DATE: 16 Jun 11
DRAWN BY: MFG/mrk
JOB NO: 10701
DRAWING NO: **A-8**

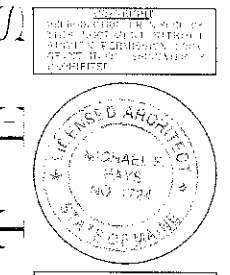
EQUIPMENT		CONSTRUCTION	
1	2" x 4" JOIST SPACE	11	JOIST BAY
2	2" x 4" FLOOR JOIST	12	2" x 4" WINDOW HEAD
3	2" x 4" FLOOR JOIST	13	CABINET FRONT
4	2" x 4" FLOOR JOIST	14	2" x 4" WINDOW HEAD
5	WOOD DECK	15	2" x 4" WINDOW HEAD
6	2" x 4" JOIST SPACE	16	2" x 4" WINDOW HEAD
7	2" x 4" JOIST SPACE	17	2" x 4" WINDOW HEAD
8	2" x 4" JOIST SPACE	18	2" x 4" WINDOW HEAD
9	2" x 4" JOIST SPACE	19	2" x 4" WINDOW HEAD
10	2" x 4" JOIST SPACE	20	2" x 4" WINDOW HEAD



- NOTES
- SEE SHEET A-1 FOR NEW CONSTRUCTION
 - SEE SHEET A-2 FOR NEW CONSTRUCTION
 - SEE SHEET A-3 FOR NEW CONSTRUCTION
 - SEE SHEET I-2 FOR NEW CONSTRUCTION



FIRST FLOOR BAR LAYOUT
SCALE: 3/8" = 1'-0"



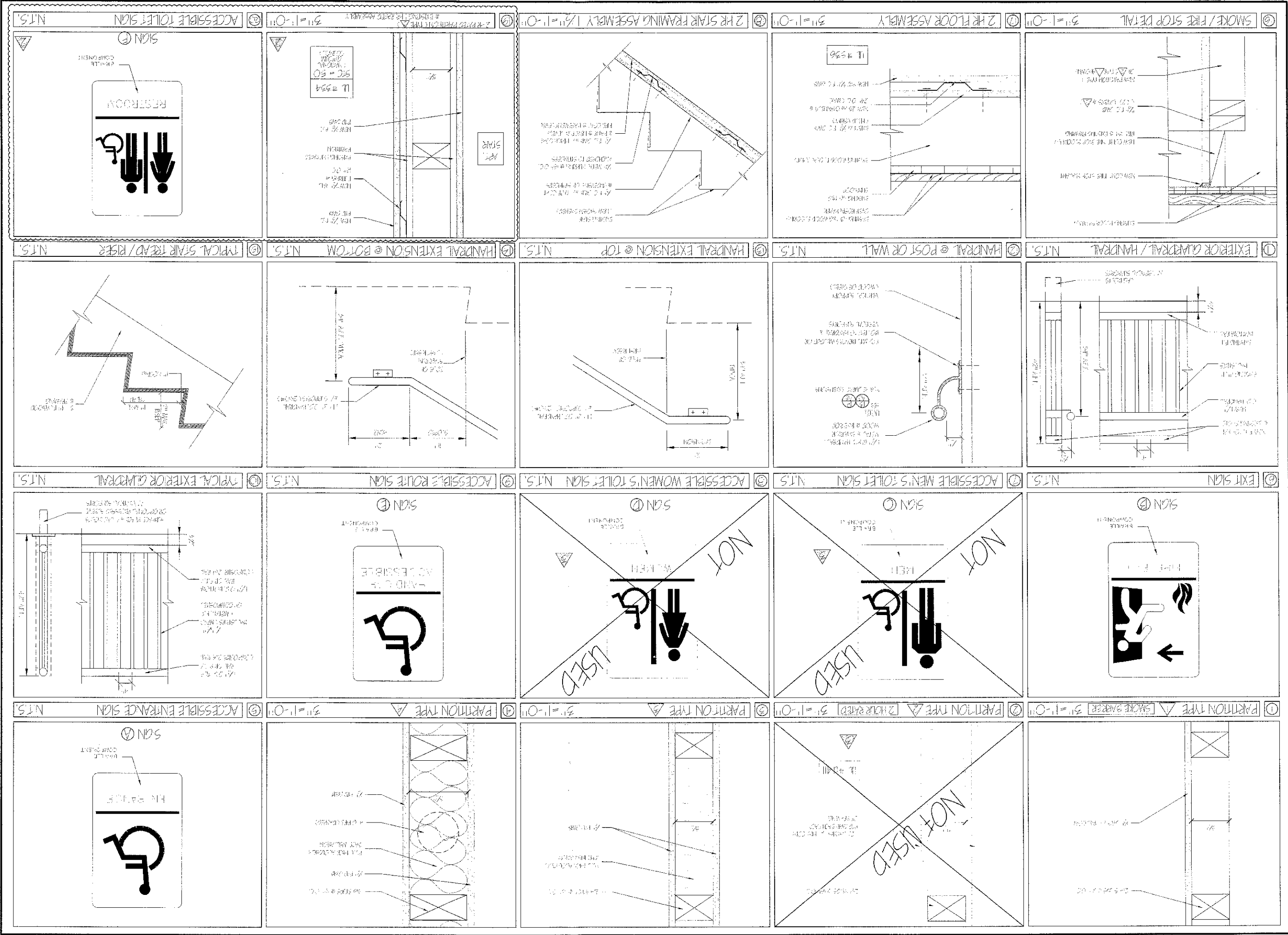
REVISIONS

ALTERATIONS TO
38 WASHINGTON AVE
PORTLAND, MAINE 04101

ARCHITECTURE
INTERIOR DESIGN
110 BOX GLEND PALMOLITE MAINE 04105

SILLY'S
WITH A TWIST
BAR LAYOUT

SCALE: 3/8" = 1'-0"
DATE: 16 Jun '11
DRAWN BY: NPH/mak
JOB NO.: 1070
DRAWING NO.: I-1



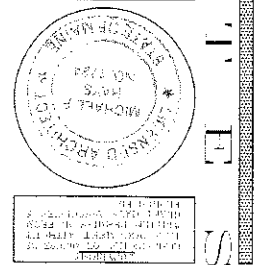
ARCHITECTURE
INTERIOR DESIGN
 110 HON GUY PALMISTO THE MAIN BUILDING
 CREDIT: AUSTIN STUBBS
 CREDIT: AUSTIN STUBBS

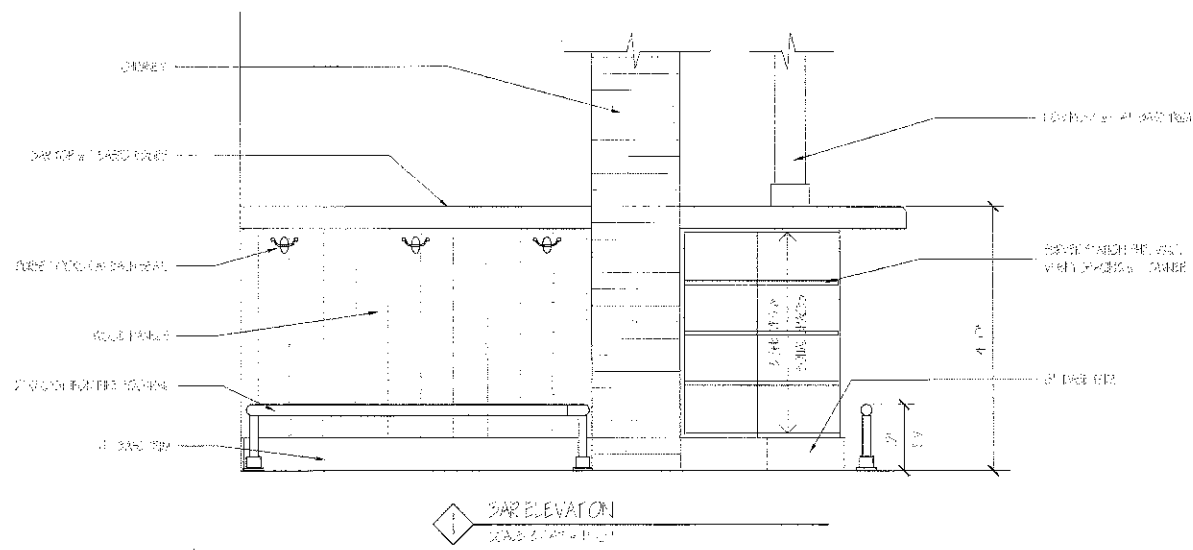
ASSOCIATES
38 WASHINGTON AVE
 PORTLAND, MAINE, OREGON

DETAILS
 SCALE AS NOTED
 DATE: 16 JUN 11
 DRAWN BY: AMH/MR
 JOB NO: 10701
 DRAWING TITLE:

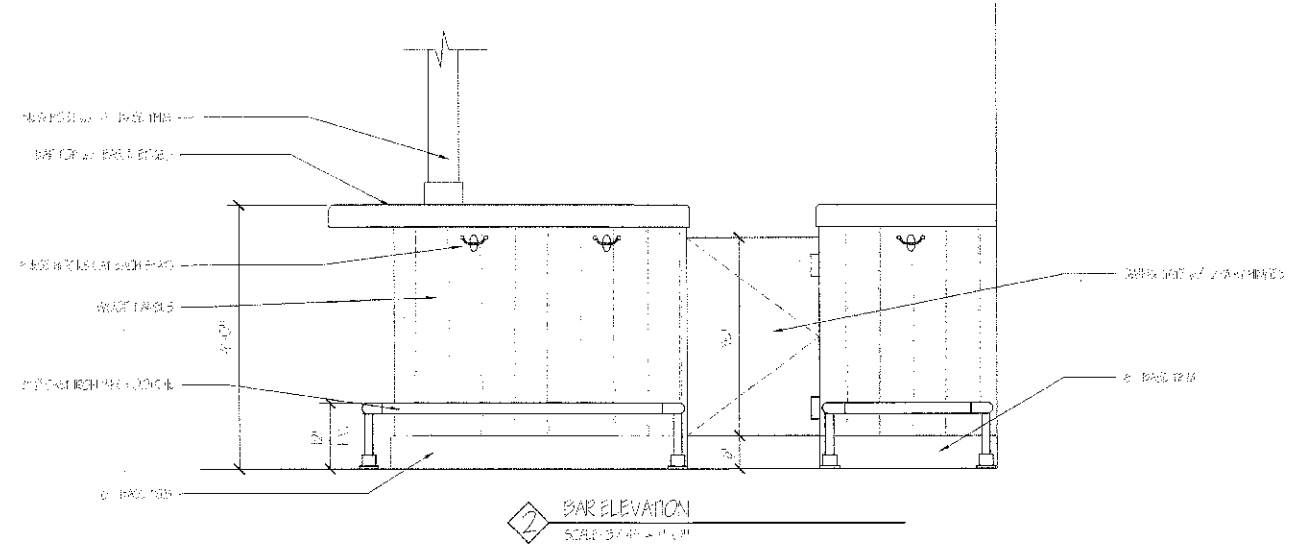
PORTLAND
 MAINE, OREGON

A-6
 DRAWING NO.

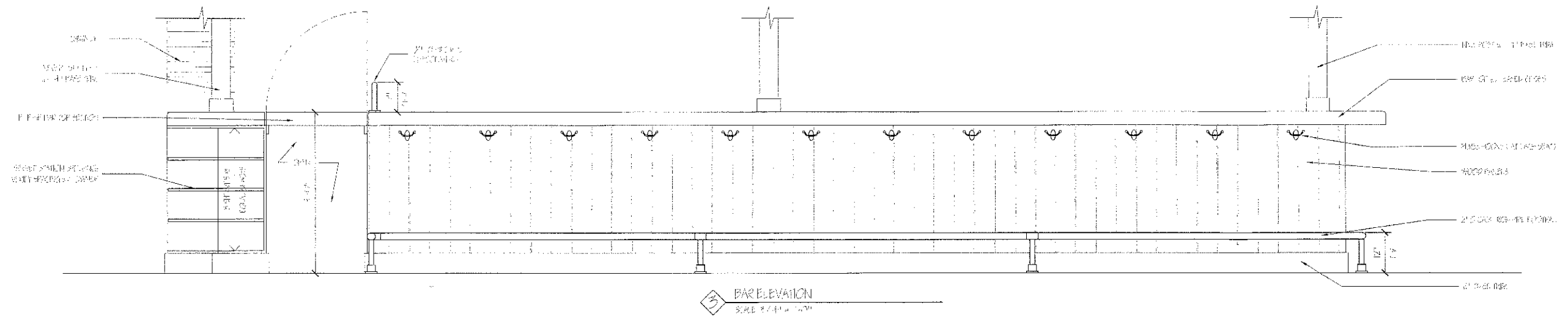




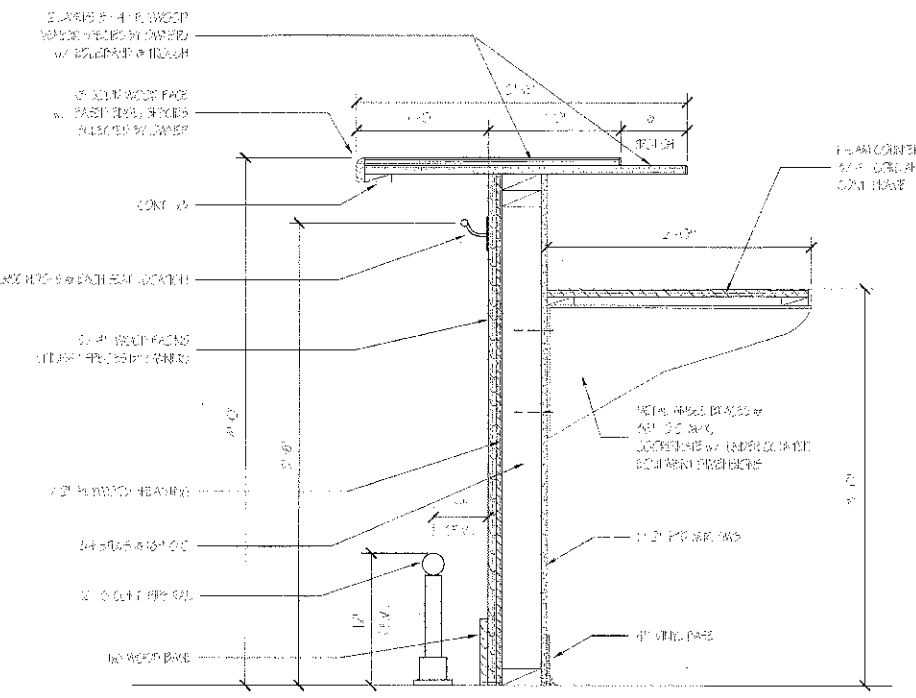
1 BAR ELEVATION
SCALE 3/4" = 1'-0"



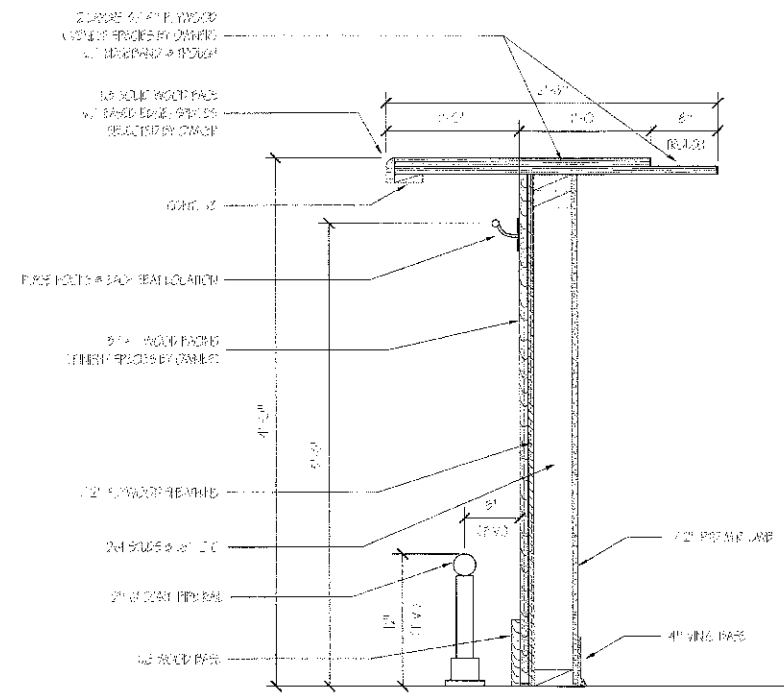
2 BAR ELEVATION
SCALE 3/4" = 1'-0"



3 BAR ELEVATION
SCALE 3/4" = 1'-0"



1 SECTION AT BAR
SCALE 1/2" = 1'-0"



2 SECTION AT BAR
SCALE 1/2" = 1'-0"

G I R A N T A S S O C I A T E S A R C H I T E C T U R E

SULLY'S WITH A TWIST BAR DETAILS

38 WASHINGTON AVE
 PORTLAND, MAINE 04101

ARCHITECTURE
 INTERIOR DESIGN
 P.O. BOX 6129 PORTLAND, MAINE 04107

MICHAEL HAYE
 NO. 1729
 STATE OF MAINE

SCALE AS NOTED
 DATE 16 Jun '11
 DRAWN BY MPH/MLK
 JOB NO. 110701
 DRAWING NO. I-2