

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that Kelley Michelle

Located At 38 WASHINGTON

Job ID: 2011-06-1529-CH OF USE

CBL: 013 - - E - 016 - 001 - - - -

has permission to Alterations

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, aud of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

[Handwritten signature] for *JMB* 8/5/11

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that CHRISTIAN » LAMB

Located At 38 WASHINGTON

Job ID: 2011-06-1529-CH OF USE

CBL: 013 - - E - 016 - 001 - - - -

has permission to Alterations

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

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S. M. B

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

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BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Footing inspection prior to placing concrete.
 2. Close in inspection required prior to insulating or drywalling.
 3. Final inspection required upon completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-06-1529-CH OF USE

Located At: 38 WASHINGTON

CBL: 013 - - E - 016 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. With the issuance of this permit and the certificate of occupancy, the use of this property shall remain as restaurant on the first floor, one dwelling unit on the second floor and storage in the attic. Any change of use shall require a separate permit application for review and approval.
3. Separate permits shall be required for future decks, sheds, pools, and/or garages. The future deck shown on the plans off the second floor is not part of this permit.
4. A copy of the recorded easement for the ramp that encroaches on 40 Washington Avenue must be submitted to our office before the certificate of occupancy can be issued.
5. Separate permits shall be required for any new signage.

Fire

A separate permit will be required for the fit up.

Assembly use shall be limited to occupancy <300 and no live entertainment, dance, discotheque, night club or use with festival seating.

The new basement stair must maintain 6'-8" headroom minimum and have a landing between the top of the stair and the fire door.

The stair to the 2nd floor can be considered interior to the dwelling provided it is separated from below and the first floor by 2-hour fire rated construction with no openings.

Smoke alarms are listed for residential use only. Per City Code smoke alarms shall be hardwired and located within each sleeping room, within 21 ft. outside of the sleeping rooms, and at each level within the dwelling unit. All new smoke alarms shall be photoelectric with battery backup and interconnected within the dwelling only.

Per City Code CO alarms shall be hardwired with battery backup, located outside of the sleeping rooms and on each level of the dwelling in accordance with NFPA 720.

Building

1. Application approval based upon information provided by applicant, including revisions as dated received. Any deviation from approved plans requires separate review and approval prior to work.
2. A separate permit for the fit up of the kitchen and dining areas is required; this permit does not cover this work.
3. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2009 Section 713.
4. The basement area is approved for storage only, not to be occupied or used for preparation, etc.
5. New cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes
6. Approval of City license is subject to health inspections per the Food Code.
7. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-06-1529-CH OF USE	Date Applied: 6/27/2011	CBL: 013 - - E - 016 - 001 - - - - -	
Location of Construction: 38 WASHINGTON AVE	Owner Name: MICHELLE KELLEY	Owner Address: 38 Washington Ave., Portland, ME 04101	Phone: 207-415-7507
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: CHUSE-COMM - Change of Use Commercial	Zone: B-2b
Past Use: Two family	Proposed Use: Restaurant 1 st floor, residential unit 2 nd floor & attic storage - change 1 st floor to restaurant,, install ramp on right side of building	Cost of Work: 30000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: A-2/R-2 Type: SB IBC-2009
Proposed Project Description: change two dwelling units to restaurant & one dwelling unit		Signature: <i>[Signature]</i> (58)	Signature: <i>T. Munson for Janie Bourke</i>
		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>Admin Author</i> <i>33 11 - 306</i> <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>CKW/cond. h/r</i> <i>7/14/11 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: Silly's with a Twist
 PROJECT ADDRESS: 38 Washington Ave CHART/BLOCK/LOT: 013E016001
 APPLICATION FEE: \$50. (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)
Wish to add a ramp between 38 Washington Ave.
and 40 Washington Ave in alleyway.

<p>OWNER/APPLICANT</p> <p>Name: <u>Michelle Kelley</u> Address: <u>38 Washington Ave</u> <u>Portland ME 04101</u> Work #: <u>(207) 781-2340</u> Cell #: <u>(207) 415-7507</u> Fax #: <u>N/A</u> Home #: _____ E-mail: <u>shell_kell@hotmail.com</u></p>	<p>CONSULTANT/AGENT <i>license has been registered</i></p> <p>Name: _____ Address: _____ Work #: _____ Cell #: _____ Fax #: _____ Home #: _____ E-mail: _____</p>
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Criteria for an Administrative Authorizations:
 (see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment Planning Division
 Y(yes), N(no), N/A

	Y(yes), N(no), N/A	Y(yes), N(no), N/A
a) Is the proposal within existing structures?	<u>Y</u>	<u>No</u>
b) Are there any new buildings, additions, or demolitions?	<u>N</u>	<u>Yes</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>Y</u>	<u>Yes - ramp</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>N</u>	<u>No</u>
e) Are the curbs and sidewalks in sound condition?	<u>Y</u>	<u>Yes</u>
f) Do the curbs and sidewalks comply with ADA?	<u>Y</u>	<u>Yes</u>
g) Is there any additional parking?	<u>N</u>	<u>Yes</u>
h) Is there an increase in traffic?	<u>N</u>	<u>No</u>
i) Are there any known stormwater problems?	<u>N</u>	<u>No</u>
j) Does sufficient property screening exist?	<u>N/A</u>	<u>Yes</u>
k) Are there adequate utilities?	<u>N/A</u>	<u>Yes</u>
l) Are there any zoning violations?	<u>N</u>	<u>No</u>
m) Is an emergency generator located to minimize noise?	<u>N/A</u>	<u>N/A</u>
n) Are there any noise, vibration, glare, fumes or other impacts?	<u>N</u>	<u>No</u>

See attached sheet

Signature of Applicant: <u><i>Michelle Kelley</i></u>	Date: <u>21 July 2011</u>
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Planning Division Use Only

Authorization Granted Partial Exemption Exemption Denied

With standard condition

Barbara Bachydt, Dev Rm Serv. Mgr Aug 3, 2011

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

2011 06 15 29
6/27/11 60

received PDF
Electronic

B-261R-6



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 38 WASHINGTON AVENUE		
Total Square Footage of Proposed Structure/Area 1056 SF.		Square Footage of Lot 6,600 ± +/-
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 013 E016 001	Applicant *must be owner, Lessee or Buyer* Name MICHELLE KELLEY Address 38 WASHINGTON AVE City, State & Zip PORTLAND ME 04101	Telephone: (207) 415-7507
Lessee/DBA (If Applicable) N/A	Owner (if different from Applicant) Name SAME Address City, State & Zip	Cost Of Work: \$ 30,000. C of O Fee: \$ 300.00 Total Fee: \$ 75.26 395.00
Current legal use (i.e. single family) TWO-FAMILY RESIDENCE If vacant, what was the previous use? Dept. of Building Inspections Proposed Specific use: City of Portland, 1st ONE FAMILY RESIDENCE 2nd Is property part of a subdivision? NO If yes, please name N/A Project description: CONVERT FIRST FLOOR APARTMENT TO A PUB (LESS THAN 300 OCC) SECOND FLOOR APARTMENT TO REMAIN AS IS.		
Contractor's name: _____		
Address: _____		
City, State & Zip: _____		Telephone: 318-8796
Who should we contact when the permit is ready: MICHELLE KELLEY		Telephone: 207-415-7507
Mailing address: 38 WASHINGTON AVE, PORTLAND, ME 04101		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Michael F. Hayz, P.A. Date: 6-20-11

This is not a permit; you may not commence ANY work until the permit is issue



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



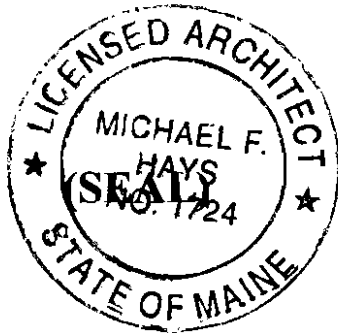
Accessibility Building Code Certificate

Designer: MICHAEL F. HAYS

Address of Project: 380 WASHINGTON AVENUE

Nature of Project: CONVERSION OF FIRST FLOOR FROM
SINGLE FAMILY APARTMENT TO
ASSEMBLY

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Michael F. Hays

Title: Principal

Firm: GRANT HAYS ASSOCIATES

Address: P.O. BOX 6179
FALMOUTH, MAINE 04105

Phone: 207. 871. 5900

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

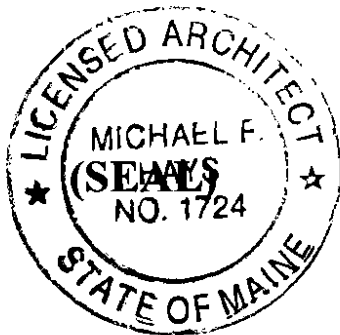
Date: 6.20.11

From: MICHAEL F. HAYS

These plans and / or specifications covering construction work on:

ALTERATIONS TO 38 WASHINGTON AVENUE TO CONVERT THE
FIRST FLOOR APARTMENT TO ASSEMBLY.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: Michael F. Hays

Title: Principal

Firm: OMAR HAYS ASSOCIATES

Address: P.O. BOX 6179

FALMOUTH, MAINE 04105

Phone: 207.871.5900

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

38 WASHINGTON AVENUE – PORTLAND MAINE
PRELIMINARY ZONING ORDINANCE ANALYSIS

April 17, 2011

ZONE: B-2B COMMUNITY BUSINESS ZONE

ASSESSOR'S BUILDING USE: 2-FAMILY RESIDENTIAL

ALLOWED USES:

RESIDENTIAL - SINGLE-FAMILY/TWO FAMILY DWELLINGS, HANDICAPPED FAMILY UNITS, MULTI-FAMILY DWELLING UNITS ABOVE COMMERCIAL USES IN FIRST FLOOR OF BUILDINGS.

BUSINESS – GENERAL & PROFESSIONAL OFFICES, PERSONAL SERVICES, TRADESMAN OFFICES, RETAIL, RESTAURANTS (UNTIL 11PM), DRINKING ESTABLISHMENTS, BILLIARDS PARLORS, MORTUARIES/FUNERAL HOMES, REPAIR SERVICES (EXCLUDING MOTOR VEHICLES), COMMUNICATION STUDIOS, HEALTH CLUBS, VETRINARY HOSPITALS, THEATERS, HOTELS, DAIRIES, BAKERIES, LIMITED DRIVE-THRU'S, MEDICIANL MARIJUANA DISPENSERIES.

INSTITUTIONAL – PRIVATE CLUB OR FRATERNAL ORGANIZATION, LONG-TERM CARE, CLINICS, RELIGIOUS ASSEMBLY, SCHOOLS & UNIVERSITIES, MUNICIPAL BUILDINGS.

OTHER: LODGING HOUSES, DAY CARE FACILITIES, UTILITY SUBSTATIONS, BED & BREAKFAST, STUDIOS FOR ARTIST & CRAFTSPEOPLE.

DIMENSIONAL REQUIREMENTS:

- ✓ MINIMUM LOT SIZE: NONE *- for residential*
- for business & nonresidential use
- MINIMUM STREET FRONTAGE: NONE *residential use only*
50' for business & nonresidential
- MINIMUM YARD DIMENSIONS SETBACKS: *- for business & nonresidential uses:*
 - FRONT: NONE - no minimum - maximum - 10' or average of developed lots. if 6 lots
 - ✓ REAR: 10' (20' ABUTTING A RESIDENTIAL ZONE)
 - SIDE: 5' (20' ABUTTING A RESIDENTIAL ZONE)
none 10'
- ✓ MAXIMUM IMPERVIOUS RATIO: 90%
if 50% of do then min. of 2 bedrooms
- MAXIMUM RESIDENTIAL DENSITY: 435 SF OF LAND AREA, MINIMUM, PER DWELLING UNIT
peninsula (1/35 of land area)

MINIMUM LOT SIZE: NONE

MINIMUM STREET FRONTAGE: 50'

MAXIMUM STRUCTURE HEIGHT: 45'

PARKING REQUIREMENTS (SECTION 20):

PENINSULA LOCATION (B-2B): 1 SPACE PER DWELLING UNIT

RESTAURANT/DRINKING: 1 SPACE PER 150 SF OF AREA NOT USED FOR BULK STORAGE OR FOOD PREPARATION (KITCHEN)

CHANGE OF USE: NO OFF-STREET PARKING REQUIRED IF CHANGE OF USE IS LESS THAN 10,000 SF OF FLOOR AREA FOR NON-RESIDENTIAL USE.

restaurant is permitted use

required parking - change of use less than 10,000^{sq} in B-2b
if parking not required.

imperious surface -

$$\text{building} - 22'5" \times 45.5' = 1021.25$$

$$\text{stairs} - 4 \times 6 = 24$$

$$\text{"} - 4.5' \times 25' = 112.5$$

$$\text{pavement } 69' \times 11' = 759$$

$$4 \times 8 = 32$$

$$\text{ramp. } 4 \times 34 = 136$$

$$\hline 2053.5$$

$$/ 5950 = 34.5\% \text{ imperious}$$

OK

MIXED USE BUILDING
38 WASHINGTON AVENUE - PORTLAND, MAINE

CODE ANALYSIS

NFPA 101 Life Safety Code - 2009 Edition

Building Classification:	New Assembly Ch 12 (1,056 sf Gross) Existing Apartment Ch 31 (1,056 sf Gross)
Construction Type:	V (000)
Hazard Classification:	Class B - Ordinary Hazard
Occupant Loads:	Assembly: 700 sf net @ 7 sf/occ = 100 700 sf net @ 15 sf/occ = 47 (Actual seating capacity: 50 max) Staff areas: 216 sf @ 100 sf/occ = 3 Apartment: 818 sf net @ 200 sf/occ = 4
Separation of Use Rating:	1 hour @ Storage/Assembly 2 hours @ Assembly/Apartment
Mechanical Room:	Smoke Barrier Required
Stair Rating:	2 hour
Minimum Stair width:	44" or 36" if serving under 50 occupants
Maximum Riser height:	7" maximum
Minimum Tread width:	11" minimum
Minimum Headroom:	6'-8" at stairs; 7'-6" at occupied spaces
Maximum ht between landings:	12'-0"
Guardrail Height:	42"
Handrail height:	34-38"
Handrail top extension:	12" horz.
Handrail bottom extension:	11" angled + 12" horz.
Handrail diameter:	1-1/4" O.D.
Maximum balluster open space:	less than 4" (6" at tread/riser triangle)
Max. Allowable Travel Distance:	200' @ Assembly; 125' @ Apartment
Max. Allowable Common Path:	75' @ Assembly; 35' @ Apartment
Max. Allowable Dead End Corridor:	20' @ Assembly; 50' @ Apartment
Minimum Egress Corridor Width:	44" or 36" if less than 50 total occupants
Minimum Number of Required Exits	2 at Assembly 1 at Apartment with Egress Windows at Living Areas/Bedrooms
Minimum Horz Egress Corridor rating:	1 hour
Separation of exits:	0.5 the diagonal distance
Panic Hardware	Required if over 50 occupants
Fire Escapes as means of egress:	Allowed
Minimum Egress Door Width:	36" (34" clear)
Exit Lighting:	Required
Fire Extinguishers:	Required
Emergency Lighting:	Required
Fire Sprinkler System:	Not Required at Assembly if under 300 occupants
Fire Alarm System:	Not Required at Assembly if under 300 occupants

International Building Code – 2009 Edition

Use Group Classification: Assembly (A-2) 1,056 sf Gross
Residential (R-2) 1,056 sf Gross

Occupant Loads: Assembly: 700 sf net @ 7 sf/occ = 100
700 sf net @ 15 sf/occ = 47
(Actual seating capacity: 50 max)
Staff areas: 216 sf @ 100 sf/occ = 3

Residential: 818 sf @ 200 sf/occ = 4

Occupancy Separation Ratings: 2 hour at Assembly
1 hour at Storage (S-2)/Assembly
2 hours at Assembly/Residential

Janitor, Mech & Storage Rooms: 1 hour

Building Limitations

Construction Type: VB Combustible/Unprotected/Non-Sprinkled

Maximum Height: 1 Story @ A-2; 2 Story @ R-2

Maximum Area / Floor: 6,000 sf @ A-2; 7,000 sf @ R-2

Height/Area Sprinkler Increases: 1 Story and 200%

Fire Resistance Design Criteria

Load Bearing Exterior Walls: None

Structural Frame: None

Roof/Floor Frame: None

Load Bearing Interior Walls: None

Fire Separation Exits (Stairs): 2 hours

Elevator Hoistways: 2 hours (NA)

Mechanical: 1 hour

Exit Corridors: 1 hour

Minimum Number of Exits: 2 per floor
1 @ 1st floor A-2 if less than 50 occupants/75' travel
1 @ 2nd floor R-2 if less than 4 units/50' travel

Maximum Dead End Corridor Length: 20'

Maximum Common Travel Path: 75'

Maximum Exit Travel Distance: 200'

Minimum Stair/Corridor Width: 44" (36" if less than 50 occupants)

Maximum Riser Height: 7"

Minimum Tread Depth: 11"

Minimum Ramp Width: 44" or 36" (if less than 50 occupants)

Maximum Ramp Pitch: 1:12

Handrails & Guardrails: Same as NFPA 101

Minimum Ceiling Height: 7'-6" at occupied spaces; 7'-0" otherwise; 6'-8" at stairs

Egress Fire Escapes: Allowed

Fire Alarm System: Not Required (A-2 < 300 occ.)

Fire Sprinkler System: Not Required

Exit Lighting: Required

Emergency Lighting: Required

Portable Fire Extinguishers: Required

Panic Hardware: Required if over 100 total occupants

Building Live Loads

Assembly, Corridors, Lobbies & Stairs: 100 psf (except 80 psf @ upper floor corridors)

Fixed Seating: 60 psf

Apartments: 40psf



STATE OF MAINE
Department of Public Safety
Bureau of Building Codes and
Standards

State House Station
Augusta, ME 04333-0052

JOHN ELIAS BALDACCI
GOVERNOR

ANNE H. JORDAN
COMMISSIONER

Project Information

Project Name: 38 WASHINGTON AVENUE RENOVATIONS

Street Location: 38 WASHINGTON AVENUE Town: PORTLAND

Square Footage: 1056 SF Building Code Surcharge: \$ 42.24

Sec. 13. 25 MRSA §2450-A is enacted to read:

§ 2450-A. Surcharge on plan review fee for Uniform Building Codes and Standards Fund

In addition to the fees established in section 2450, a surcharge of 4¢ per square foot of occupied space must be levied on the existing fee schedule for new construction, reconstruction, repairs, renovations or new use for the sole purpose of funding the activities of the Technical Building Codes and Standards Board with respect to the Maine Uniform Building and Energy Code, established pursuant to the Title 10, chapter 1103, the activities of the Bureau of Building Codes and Standards under chapter 314 and the activities of the Executive Department, State Planning Office under Title 30-A, section 4451, subsection 3-A, except that the fee for review of a plan for the renovation of a public school, including the fee established under section 2450, may not exceed \$450. Revenue collected from this surcharge must be deposited into the Uniform Building Codes and Standards Fund established by section 2374.

Date Fee Received: _____

Check # : _____

Mason Jar of fun 1.75
 Lemonade ~ Limeade ~ Kool-aid® ~ Tang®
 Brewed Unsweetened Tea ~ 1/2 & 1/2 (Tea & Lemonade)

Sangria ~ Pitcher 27.00 ~ 1/2 Pitcher 14.00 ~ 20 oz 6.50

White Wines by the bottle & glass

Good Pinot Grigio, Italy 23 / 6.5-dry
 Culpesau Sauvignon Blanc (Organic), Chile 23 / 6.5-dry
 Mountainview Chardonnay, California 21 / 6-dry
 Kung Fu Girl Riesling, Washington 24 / 7.5-semi sweet
 Cafe Juma Chenin Blanc, South Africa 24 / 7-dry

Red Wines by the bottle & glass

Arido Malbec, Argentina 23 / 6.5
 Mountainview Merlot, California 21 / 6
 Quinta de Bons-Ventos, Portugal 24 / 7
 Pennywise Cabernet Sauvignon, California 24 / 7
 Scarlet of Paris Pinot Noir, France 24 / 7.25
 Girasole Red Zinfandel (Organic & Vegan), California 24 / 7.5

Wild Cards by the bottle & glass

Maine Mead Works ~ 24 / 7
 Koyuki Gold Plum Wine (cold) ~ sweet 19 / 6
 Sandeman Character Sherry 5.50
 Quinta do Portal Ruby 5.50

Fizzy
 by the bottle only

Canalatta Prosecco,
 Italy-dry 18

Villa Rosa Moscato
 D'Asti, Italy-sweet 18

Draught Featuring Maine

Beers we know you love
 Pitcher 25.00 ~ 1/2 Pitcher 15.00
 ~ 20 Oz 5.50

Bottles

Bard's Gluten-Free Lager (made from malted sorghum) 4
 Corona 3.75
 Peak Organic Pale Ale 3.75 ~ Pabst 16 oz Can 3.00
 Pork Slap Ale 3.00 ~ Miller Lite 3.00
 ~ Smuttynose IPA 3.50 ~ Guinness Pub Can 4.75

Spirits and such.....

Sassy Pants

Tequila & Limeade with Cayenne Salt and Lime rim
 Bottom of the Hill Mimosa
 PBR and Tang
 Tropical Ambrosia
 Malibu Rum, Mango, Pineapple Juice & Lime with a Toasted Coconut rim
 Lemonicious
 Strawberries & Basil with Vodka & Lemonade
 Cool Hand Cuke Martini
 Vodka, Cucumber Juice with a Toasted Coconut rim
 Light and Fru Fru
 Vodka, Strawberries, & Ginger Beer
 The Violet Pirate
 Rum, Blueberry Juice, Lemonade with a Maple Rim
 Oh Yeaaa!
 Vodka, Sparkling Wine, & Kool-Aid®

Sillys

With A Twist

38 Washington Ave.
 Portland, Maine 04101
 eatatsillys@yahoo.com

www.sillys.com

(207) 772-0360



Serving
 4pm - 1am Tues-Fri
 11am - 1am Sat
 11am - 11pm Sun

**Closed Mondays
 Holidays
 & Labor Day Week**

**Spirits, Beer, Wine
 & Sangria Available
 as well as
 Vegetarian, Vegan*,
 Gluten & Dairy-Free
 Options**

* Vegan items may
 contain sugar

Please alert us to any
 allergies you may
 have. Thank you.

Sorry, no personal
 checks and 5\$
 minimum on credit
 cards. Thank you.

To Begin With....

Silly's World Sideboards: Featuring cheeses, cured & smoked meats, chutneys, pickled & marinated stuff, tapenades, pestos, dips, spreads, pates, jams, nuts, relishes, fruit, crackers & toast paired up for maximum tastiness.

3 cheese 7.95 6 cheese 12.95 World Tour 19.95

Quinoa Coins GF-with ancho lime sour cream 8.50

Veggies & Hummus-GF v 6.95

Sweet Potato Wedges-baked-with honey mustard-5.95

Quiche Bites-GF 7.50

Vegan Chili & Chips-bowl v 5.95

Rice & Beans-bowl v 4.50

FireHouse Bread-cheezy garlic bread- 1/4 loaf 4.75 --1/2 loaf 7.95

Chocolate Mint PopCorn-bowl GF 6.95

Silly Stix....Lamb, Chicken or Tofu on a stick with choice of dipping sauce.

Cucumber dill sauce, BBQ sauce, Coconut peanut butter sauce, Garlic Ginger Peanut sauce, Curry Mango coconut sauce, Honey mustard, spicy bleu cheese sauce, spicy vegan sauce, vegan BBQ sauce

**Wraps & Sandwiches.....**

Pokey Pig 9.50 Silly's apple wood smoked pulled pork topped with warm bbq sauce on a toasted bun with baked sweet potato wedges coleslaw

Bird of Paradise 9.00 Warm bread with cranberry horseradish mayo, spinach, white meat chicken, fried onions, craisins house made gravy open-faced and served with baked sweet potato wedges

Birdhouse In my Soul 9.50 Warm bread with roasted turkey breast, spinach, tomato, onions, avocado, bacon and black olives open-faced with baked sweet potato wedges

Greatest American Gyro 7.75 Silly's house made pork/lamb spiced sausage with lettuce, spinach, tomato, onion, cucumber dill dressing & feta cheese

Inner Peace 7.75 Spinach, cheese, scallion, Silly smoked pulled pork & bbq sauce

The Diesel! 7.75 American cheese, coleslaw, pickle, Silly smoked pulled pork & bbq sauce

Jerk Chicken 6.25 Mayo, lettuce, tomato, onion & white meat chicken in jerk seasoning

Turkey Breast 6.25 Breast of turkey roasted in house with lettuce, tomato, onion, pickle & cranberry horseradish mayo - add bacon 1.50

SlyGuy 7.75 ~V~ Sillymade hummus, lettuce, spinach, tomato, onion, feta, roasted red pepper, Greek olives & falafel

Falafel 6.75 ~V~ Spinach, lettuce, tomato, onion, pickle, falafel & cuke dill sauce

Jo Diesel 7.25 ~V~ Coleslaw, baked tofu, tomato, pickle, & vegan bbq sauce

Hummus 5.50 (v) Spinach, lettuce, tomato, onion & pickle

oomazoom 6.75 (v) Falafel with spicy vegan spread, spin, lett, tomato, onion and black olives

Silly's Sweet Treats.....

Triple chocolate Layer Cake, Gluten Free Chocolate Brownie Sundae with Silly made Butterscotch Sauce, Key Lime Pie, Maple Glazed Donuts, Chocolate Chip Cookies, Rice Krispy treats, Ice Cream Cookie Sandwiches, Ice Cream Pie

Dinners.....

Slop Bucket 12.50 Layered rice, cheese, red beans, coleslaw, Silly's applewood smoked pulled pork, warm bbq sauce, & a few pickles

Chickano 9.25 Red beans & rice topped with pulled white meat chicken tossed in jerk seasoning -spicy

Cradle to the Gravy -GF 11.50 Rice topped with sauteed broccoli, mushrooms, onions, house made gluten free gravy and roasted breast of turkey garnished with craisins

Hobo Pie ~V~ 9.25 Flour tortilla chips topped with vegan chili, cheese, sour cream, salsa, tomatoes & scallions - add chicken 3.00- odd avocado pulp 2.00-(v)- no sour cream sub soy mozz 1.50

Silly's Burrito ~V~ 6.75 Lettuce, tomatoes, onions, hot sauce, rice, cheese, sweet potato and black bean chili with millet wrapped in a warm floured tortilla with salsa & sour cream on the side --add chicken or avocado 2.00 --Add baked "Heiwa" tofu--(v) no sour cream sub vegan mozz 1.50

Seize the Tempeh (v) 12.95 Layered rice, red beans, baked tofu, vegan bbq sauce, fried onions, hot sauce, vegan cheddar and jalapenos

Thai Style Noodles (v) 7.75 Warm rice noodles tossed in Thai ginger peanut sauce garnished with cilantro and a wedge of lime for squeezin

Chargrilled Flatbread Pizzas & Quesadillas.....

BBQ CHICKEN 9.50

Bbq sauce, cheese, chicken, fresh tomato & Scallion

X T C 9.25

Basil sauce, spinach, garlic, cheese, pepperoni & feta

Hot & Cheezy 9.50

Silly's bleu cheese sauce, chicken, buffalo sauce, cheese, tomato & onions

Pigs Fly 9.50

Silly's BBQ Sauce & smoked pork, cheese, tomatoes & scallions

Hulala 9.25

Red sauce, cheese, bacon, green & red peppers & pineapple

No Smoochie Tonight 9.00

Silly made pork/lamb spiced sausage, feta, cheese, onions, with loads & loads of garlic (no sauce)

Thai Pie 9.25

Thai peanut sauce, chicken, cheese & fresh scallions~V~sub "Heiwa" tofu 1.50 (v) sub vegan mozzarella 1.50

Vincent Van Daugh ~V~ 9.25

Basil sauce, cheese, feta, tomatoes, & garlic

Pizza my Heart ~V~ 9.50

Red sauce, cheese, broccoli, onions, mushrooms, black olives, fresh garlic, red & green peppers

Greek ~V~ 9.25

Spinach, red sauce, cheese, Greek olives, feta & garlic

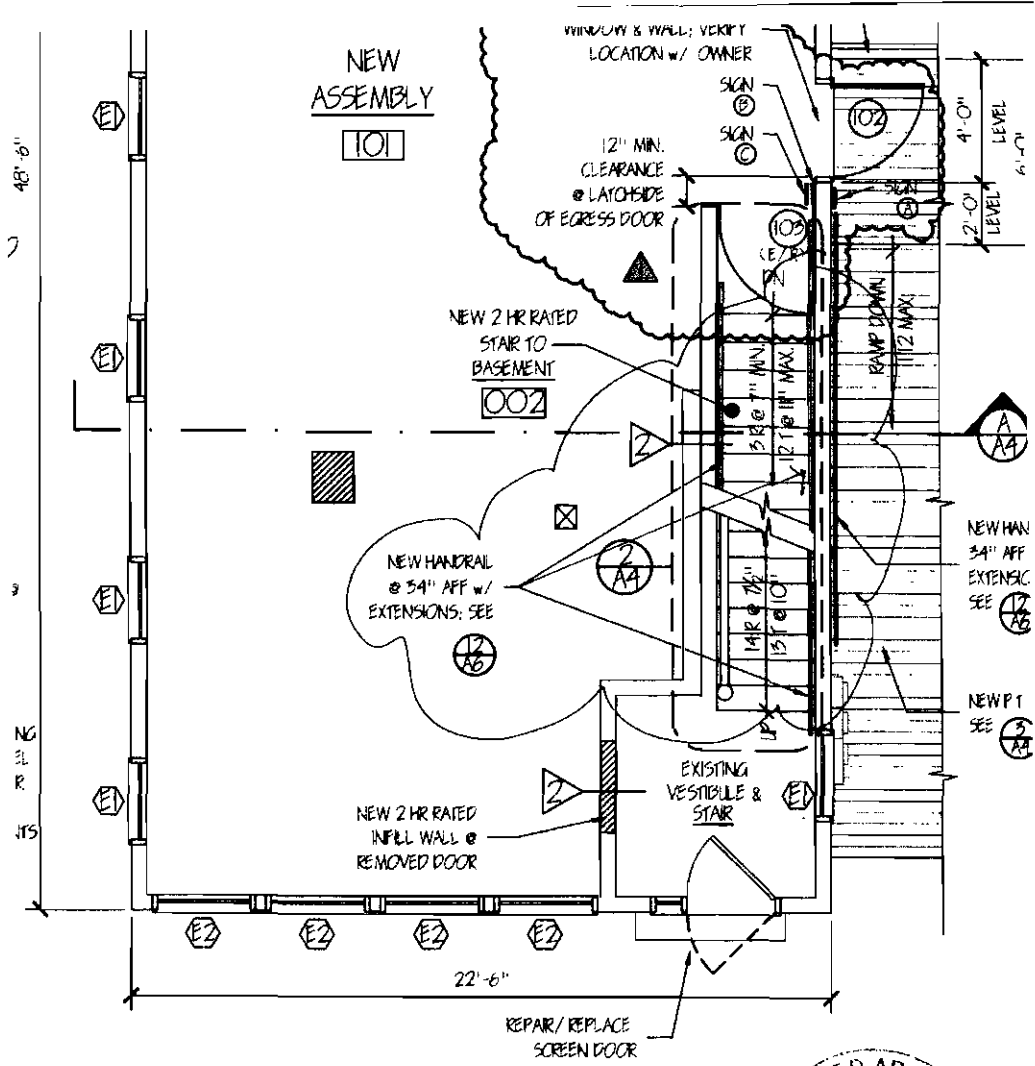
Cheese Pizza ~V~ 6.50

Rest In Pizza (v) 9.50

Spicy vegan spread, veggie burger, jalapenos, pineapple, garlic, hot sauce & vegan mozzarella

PeppaKalaSpinaVeganDocious (v) 9.50

Creamy vegan basil sauce, spinach, roasted red peppers, Greek olives, garlic & fresh tomatoes

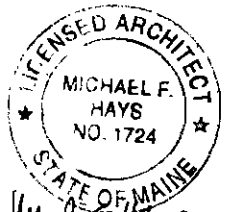


PROPOSED FIRST FLOOR

SCALE: 1/4" = 1'-0"

ASSEMBLY USE

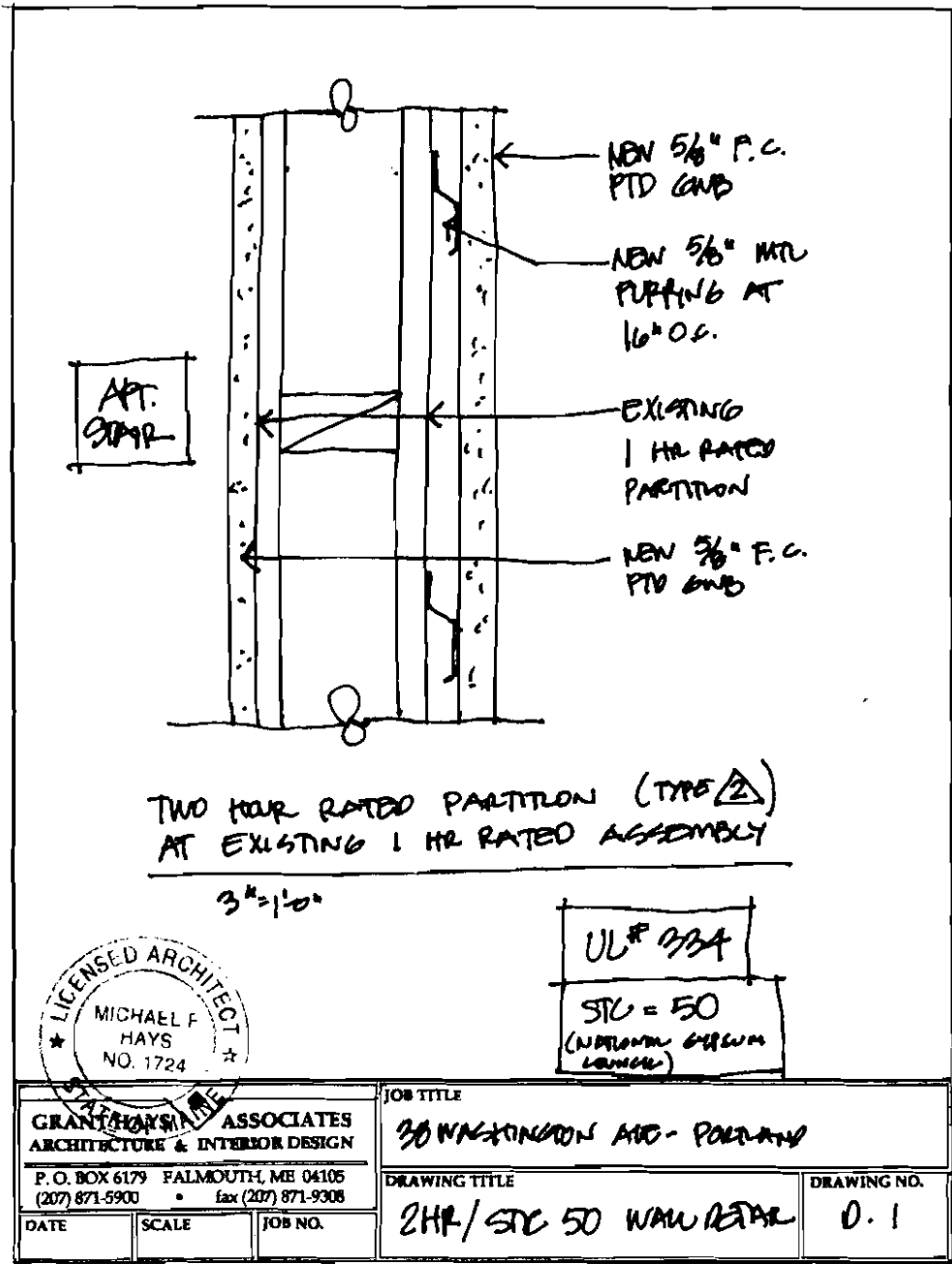
PARTITION LEGEND	
TAG	DETAIL



Michael F. Hays
REV. 7-20-11

RECEIVED
JUL 20 2011

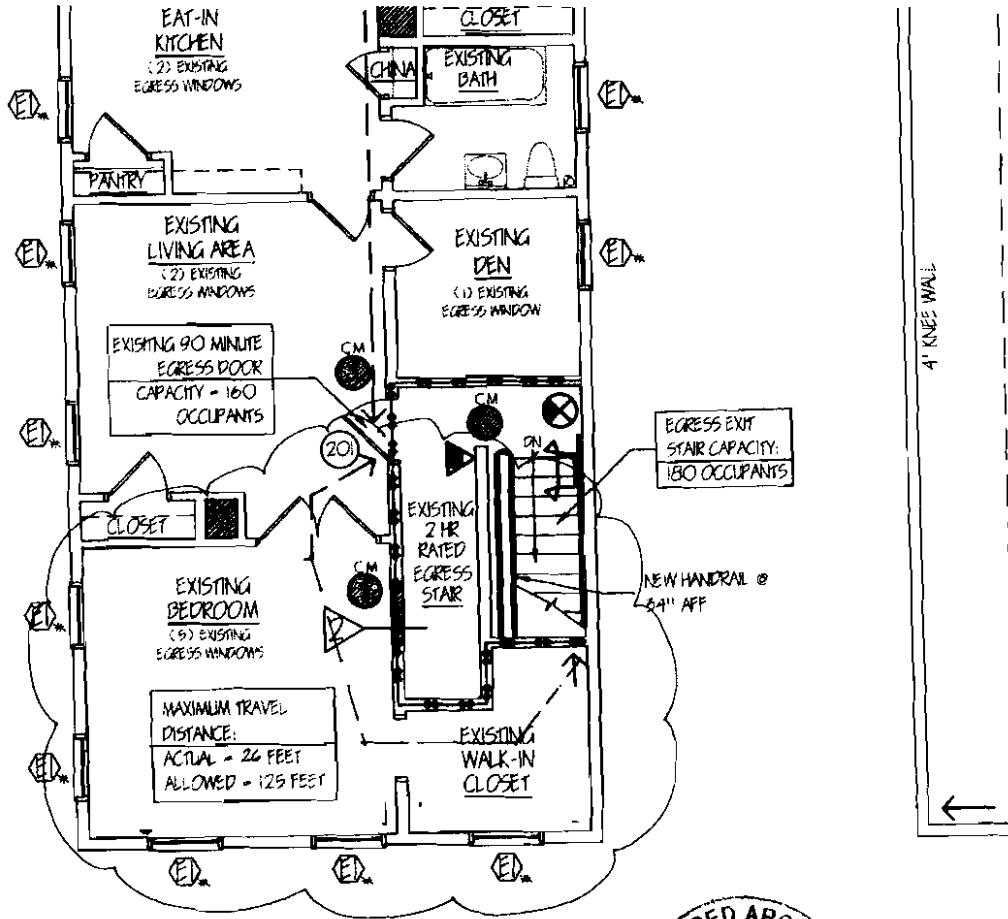
Dept. of Building Inspections
City of Portland Maine



RECEIVED

JUL 20 2011

Dept. of Building Inspections
City of Portland Maine

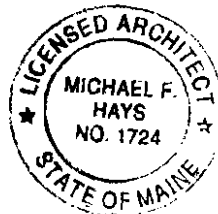


PROPOSED SECOND FLOOR
CODE COMPLIANCE PLAN

SCALE: 3/16" = 1'-0"

SINGLE FAMILY APARTMENT
OCCUPANT LOAD = 4 OCCUPANTS

ED = EGRESS WINDOW



Michael F. Hays
REV. 7-20-11

PR
CC
SCA

RECEIVED

JUL 20 2011

Dept. of Building Inspections
City of Portland Maine

Jeanie Bourke - Re: 38 Washington Ave

From: Michael Hays <mhays@earthlink.net>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 7/20/2011 6:18 PM
Subject: Re: 38 Washington Ave
Attachments: Rev 4 Permit 7-20-11.pdf

Jeannie,

Attached is the first floor ADA Men's Toilet revision. We eliminated the Urinal, thereby resolving the door swing issue with the window.

Thanks for all your assistance in working through the process with me - much appreciated!

I will be out of the office for the rest of the week (Achilles surgery Thursday AM). Please contact Shelley or Colleen when the permit is ready to be picked up.

Mike

On 7/20/2011 2:54 PM, Jeanie Bourke wrote:

Thanks Mike,
The only thing I see is now that the men's room door swings out, the window in the adjacent perpendicular wall will need to be tempered per Sec. 2406.4(6). Did you decide not to remove the urinal?
Jeanie

>>> Michael Hays <mhays@earthlink.net> 7/20/2011 9:38 AM >>>
Here are the revised drawings we discussed.

Let me know if you have any additional questions.

Thanks,

Mike

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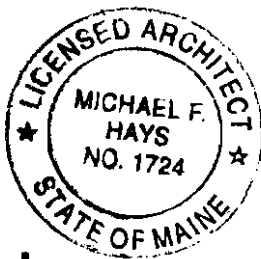
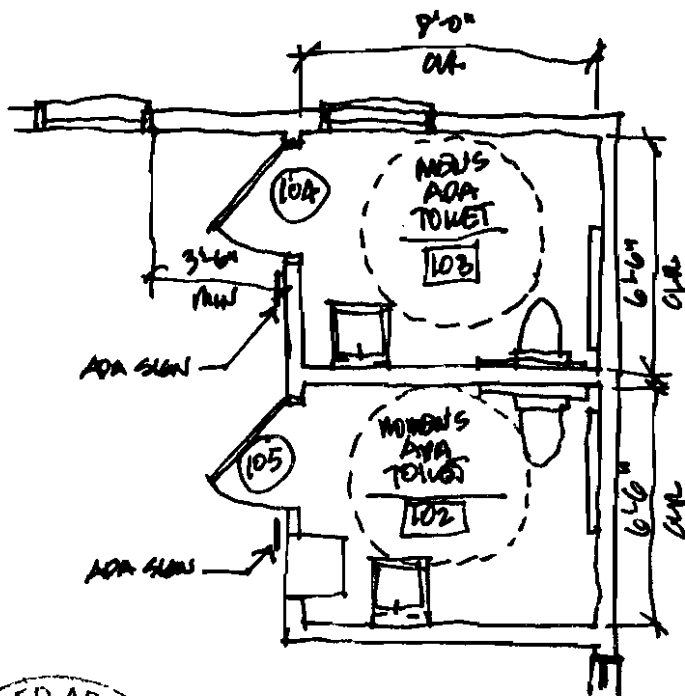
JUL 20 2011

Dept. of Building Inspections
City of Portland, Maine

RECEIVED

JUL 21 2011

Dept. of Building Inspections
City of Portland, Maine



Michael F. Hays

PARTIAL FLOOR PLAN
AT FIRST FLOOR

GRANT HAYS ASSOCIATES ARCHITECTURE & INTERIOR DESIGN P. O. BOX 6179 FALMOUTH, ME 04105 (207) 871-5900 • fax (207) 871-9308			JOB TITLE 33 WASHINGTON AVE - PORTLAND, ME	
DATE 7-20-11			DRAWING TITLE RENOVATED MEN'S ROOM LAYOUT	
SCALE 1/4" = 1'-0"			DRAWING NO. D-2	
JOB NO.				

RECEIVED

JUL 21 2011

Dept. of Building Inspections
City of Portland Maine

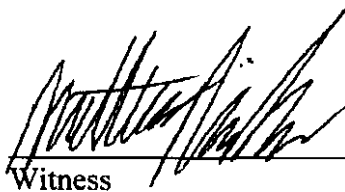
EASEMENT DEED

EPS BEAGLE, LLC, a Maine limited liability company with its principal place of business in Portland, County of Cumberland and State of Maine, for consideration paid, grants to MICHELE A. KELLEY, of Portland, County of Cumberland and State of Maine, whose mailing address is 38 Washington Avenue, Portland, ME 04101, her heirs and assigns, the following easement to be appurtenant to the real estate of the grantee herein described in the Warranty Deed of Christopher Lamb to the grantee dated June 11, 2010 and recorded in the Cumberland County Registry of Deeds in Book 27840, Page 313:

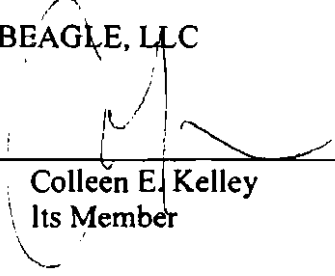
The perpetual right and easement, in common with the grantor, its successors and assigns, to utilize for commercial purposes, and for pedestrian and business invitee ingress and egress, and for the installation of underground utilities, over, upon and under that certain common alley way between the existing buildings of the grantor and grantee herein running westerly from the westerly sideline of Washington Avenue to the westerly boundaries of parties' properties, such alley way and easement being approximately five (5) feet in width measured building-to-building and then being five (5) feet in width (i.e., two and one-half feet in width and contiguous on each of the adjoining properties of the grantor and grantee herein) to the westerly boundaries of the parties' properties. This perpetual right and easement shall be of a scope and nature sufficient for the installation, repair and maintenance of a ramp in conformity with applicable City of Portland land-use requirements to allow pedestrians and business invitees to gain ingress and egress to the building on the land of the grantee herein from Washington Avenue and to the rear area of the land of the grantee, which building the grantee utilizes for the operation of a restaurant and related facilities. The grantor and grantee, and their respective heirs, successors and assigns, shall coordinate with one another for the construction of the ramp and equally share the cost of constructing, repairing and maintaining the ramp in a good and safe condition for its intended purposes.

Reference is hereby made to, and exception is hereby taken for, the Easement Deed from the grantee to the grantor herein of near or even date to be recorded herewith. The foregoing easement shall burden the property of the grantor described in the Warranty Deed of Nice Foods, Corp. to the grantor dated November 1, 2002 and recorded in the Cumberland County Registry of Deeds in Book 18372, Page 319. FOR SOURCE OF TITLE, reference is hereby made to the foregoing Warranty deed of Nice Foods, Corp. to the grantor herein.

IN WITNESS WHEREOF, EPS BEAGLE, LLC has executed, acknowledged and delivered this Easement Deed by and through Colleen E. Kelley, its Member, this 13th day of July, 2011 hereunto duly authorized.



Witness

EPS BEAGLE, LLC
By: 

Colleen E. Kelley
Its Member

RECEIVED

JUL 26 2011

Dept. of Building Inspections
City of Portland Maine

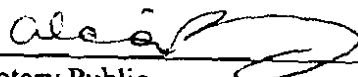
STATE OF MAINE
Cumberland, ss.

July 13, 2011

Personally appeared the above-named Colleen E. Kelley, Member of EPS Beagle, LLC, and acknowledged the foregoing Easement Deed to be her free act and deed in her said capacity and the free act and deed of EPS Beagle, LLC.

Before me,

ALANA IRVING
Notary Public, Maine
My Commission Expires May 4, 2016



Notary Public

SEAL

Received
Recorded Register of Deeds
Jul 13, 2011 04:01:22P
Cumberland County
Pamela E. Lovley


EASEMENT DEED

MICHELLE A. KELLEY, of Portland, County of Cumberland and State of Maine, for consideration paid, grants to EPS BEAGLE, LLC, a Maine limited liability company with its principal place of business in Portland, County of Cumberland and State of Maine having a mailing address of 40 Washington Avenue, Portland, ME 04101, its successors and assigns, the following easement to be appurtenant to the real estate of the grantee herein described in the Warranty Deed from Nice Foods, Corp. to the grantee dated November 1, 2002 and recorded in the Cumberland County Registry of Deeds in Book 18372, Page 319:

The perpetual right and easement, in common with the grantor, her heirs and assigns, to utilize for commercial purposes, and for pedestrian and business invitee ingress and egress, and for the installation of underground utilities, over, upon and under that certain common alley way between the existing buildings of the grantor and grantee herein running westerly from the westerly sideline of Washington Avenue to the westerly boundaries of parties' properties, such alley way and easement being approximately five (5) feet in width measured building-to-building and then being five (5) feet in width (i.e., two and one-half feet in width and contiguous on each of the adjoining properties of the grantor and grantee herein) to the westerly boundaries of the parties' properties. This perpetual right and easement shall be of a scope and nature sufficient for the installation, repair and maintenance of a ramp in conformity with applicable City of Portland land-use requirements to allow pedestrians and business invitees to gain ingress and egress to the building on the land of the grantee herein from Washington Avenue and to the rear area of the land of the grantee, which building the grantee utilizes for the operation of a restaurant and related facilities. The grantor and grantee, and their respective heirs, successors and assigns, shall coordinate with one another for the construction of the ramp and equally share the cost of constructing, repairing and maintaining the ramp in a good and safe condition for its intended purposes.

Reference is hereby made to, and exception is hereby taken for, the Easement Deed from the grantee to the grantor herein of near or even date to be recorded herewith. The foregoing easement shall burden the property of the grantor described in the Warranty Deed of Christopher Lamb to the grantor dated June 11, 2010 and recorded in the Cumberland County Registry of Deeds in Book 27840, Page 313. FOR SOURCE OF TITLE, reference is hereby made to the foregoing Warranty deed of Christopher Lamb to the grantor herein.

IN WITNESS WHEREOF, MICHELE A. KELLEY has executed, acknowledged and delivered this Easement Deed this 13th day of July, 2011.



Witness



Michelle A. Kelley

RECEIVED

JUL 26 2011

Dept. of Building Inspections
City of Portland Maine

STATE OF MAINE
Cumberland, ss.

July 13, 2011

Personally appeared the above-named Michelle A. Kelley and acknowledged the foregoing Easement Deed to be her free act and deed.

Before me,



Notary Public

PAUL P. DRISCOLL
Attorney-at-Law

Received
Recorded Register of Deeds
Jul 13, 2011 04:01:59P
Cumberland County
Pamela E. Lavley



TM 13-E-21
N/F MARIA & PABLO FLORES
24234/160

TM 13-E-14
N/F ROBERT C. HUNTLEY, JR
13113/39

TM 13-E-9

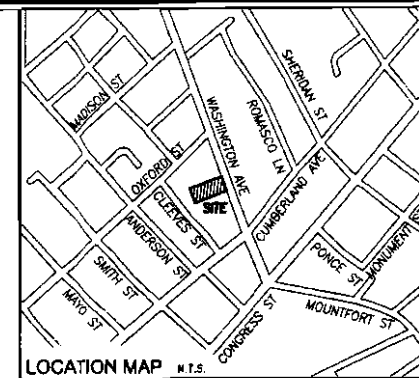
TM 13-E-8
N/F GEORGE S. MARTIN
18746/129

TM 13-E-17
N/F KAREN J. LADLEY
15185/182

TM 13-E-22
N/F ABDOUL AJ &
HABIBU ADAM
23673/173

TM 13-E-18
N/F CHRISTOPHER J. &
SARAH SORENSEN COPP
27491/299

TM 13-E-13



PLAN REFERENCES

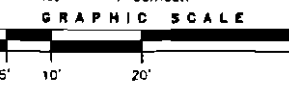
- H.I. & E.C. JORDAN - SURVEYORS WORKING PLAN OF BLOCKS BOUNDED BY WASHINGTON AVENUE, OXFORD STREET, ANDERSON STREET AND CUMBERLAND AVENUE FILE NO. 42
- H.I. & E.C. JORDAN - SURVEYORS PLAN SHOWING "SURVEYED JUNE 14, 1890 FOR CHAS. MULLEN ESTATE"
- "PLAN OF LAND OWNED BY BRIDGET & MARGARET CONNORS WASHINGTON AVE. PORTLAND, MAINE CHANDLER H. BARRON C.E. JULY 1945"
- "PLAN OF LAND IN PORTLAND, MAINE FOR WILLIAM & DOROTHY DEBIASE JUNE 1, 1982 OWEN HASKELL, INC. JOB NO. 8233P"
- "BOUNDARY SURVEY AT 30 WASHINGTON AVENUE, PORTLAND, MAINE MADE FOR GREENLAND CONSTRUCTION CO. AUGUST 25, 2004 OWEN HASKELL, INC. JOB NO. 2004-186P"
- "BOUNDARY SURVEY AT 31 CLEEVES STREET, PORTLAND, MAINE MADE FOR GREGORY MARTIN OCT. 17, 2003 OWEN HASKELL, INC. JOB NO. 2003-203P"
- "PLAN FOR NU CARPENTER AND MICHEL BOCAL 44 WASHINGTON AVENUE PORTLAND, ME 9/23/96 PREPARED BY LEWIS & WASHINA, INC."

NOTES

- OWNERS OF RECORD:
TAX MAP 13 BLOCK E LOT 18, 35 WASHINGTON AVENUE: MICHELLE A KELLEY, DEED BOOK 27840 PAGE 313
TAX MAP 13 BLOCK E LOT 15, 40-42 WASHINGTON AVENUE: EPS BEAGLE, LLC, DEED BOOK 18372 PAGE 319
- BEARINGS ARE MAGNETIC 2003 AS PER PLAN REFERENCE 6.
- SEE EASEMENT DEED BOOK 14777 PAGE 144 FOR RIGHTS IN ABUTTING DRIVEWAY ON LAND OF ABDOUL AND ADAM.
- THERE IS A DIFFERENCE BETWEEN THE NORTHERLY LINE OF THE SUBJECT PROPERTY AND THE LINE OF ABDOUL AND ADAM, AS SHOWN ON PLAN REFERENCE 7. THE LINE ON PLAN REF. 7 RUNS FROM THE 5/8" CIRCF NEAR WASHINGTON AVENUE (AND 0.41' SOUTH OF THE LINE SHOWN HEREON) TO A 1" I'PF NEAR THE LAND OF MARTIN (AND 0.63' NORTH OF THE LINE SHOWN HEREON).
- THERE IS A SMALL OVERLAP, IN THE NORTHWEST CORNER OF THIS PARCEL, WITH THE LAND OF MARTIN AS SHOWN ON PLAN REFERENCE 8. SOME OF THE DEED DIMENSIONS ARE VAGUE ON BOTH PARCELS. THE LINES ON THIS PLAN WERE TAKEN FROM PLAN REFERENCE 1 AND 2, EVEN THOUGH THE DEED CALLS FOR 165 FEET FROM WASHINGTON AVENUE. DIMENSIONS IN THE DEED OF MARTIN WERE HELD FOR PLAN REF. 6.
- BOUNDARY AGREEMENTS WITH THE ABUTTERS WOULD RESOLVE ANY DISCREPANCIES WITH MARKERS AND PLANS.

LEGEND

- IRON PIPE OR ROD FOUND
- MONUMENT
- ⊙ SPIKE FOUND
- ⊕ WATER VALVE
- ⊖ UTILITY POLE
- ⊗ MANHOLE
- ⊘ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE
- FENCE
- STONE WALL
- CURB
- OVERHEAD WIRES
- WATER LINE
- GAS LINE
- 1" CONTOUR

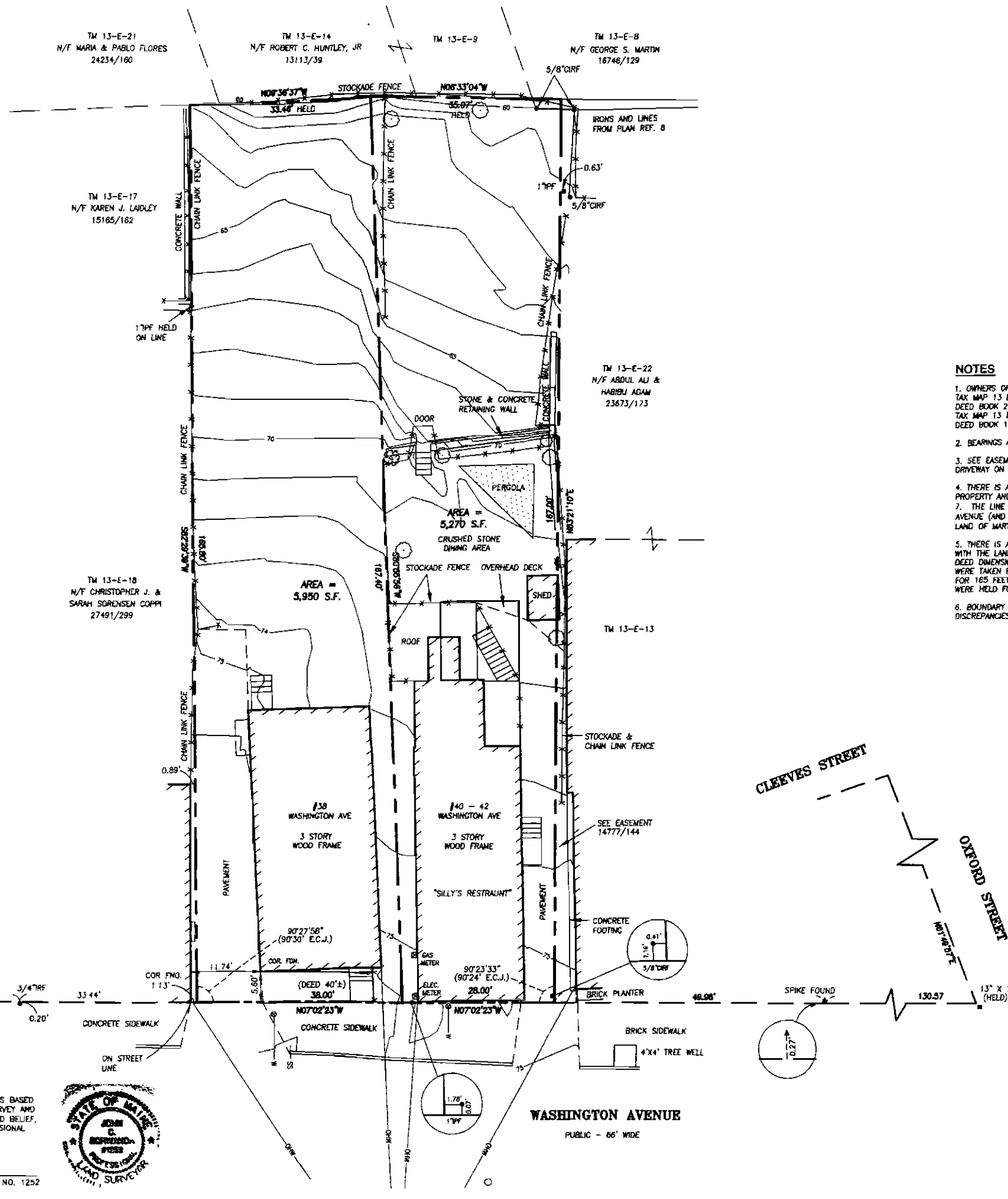


CERTIFICATE

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

6-23-2011
DATE

John C. Schwannda
JOHN C. SCHWANDA, PLS NO. 1252



BOUNDARY & TOPOGRAPHIC SURVEY
ON
WASHINGTON AVENUE, PORTLAND, MAINE
MADE FOR RECORD OWNERS
MICHELLE A. KELLEY
38 WASHINGTON AVENUE, PORTLAND, MAINE
EPS BEAGLE, LLC
40 WASHINGTON AVENUE, PORTLAND, MAINE

OWEN HASKELL, INC.
380 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drawn By	SDG	Date	JUN 22, 2011	Job No.	2011-057 P
Trace By	SDG	Scale	1" = 10'	Drawn No.	1
Check By	JCS	Book No.	1101		

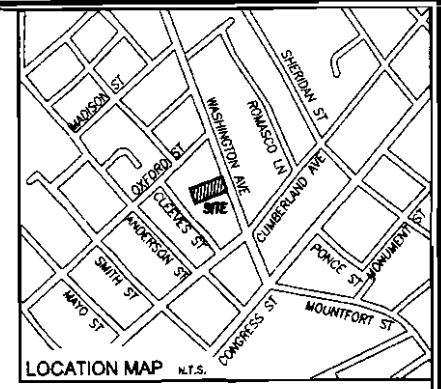


TM 13-E-21
N/F MARIA & PABLO FLORES
24234/160

TM 13-E-14
N/F ROBERT C. MUNTLEY, JR.
13113/39

TM 13-E-9

TM 13-E-8
N/F GEORGE S. MARTIN
16748/129

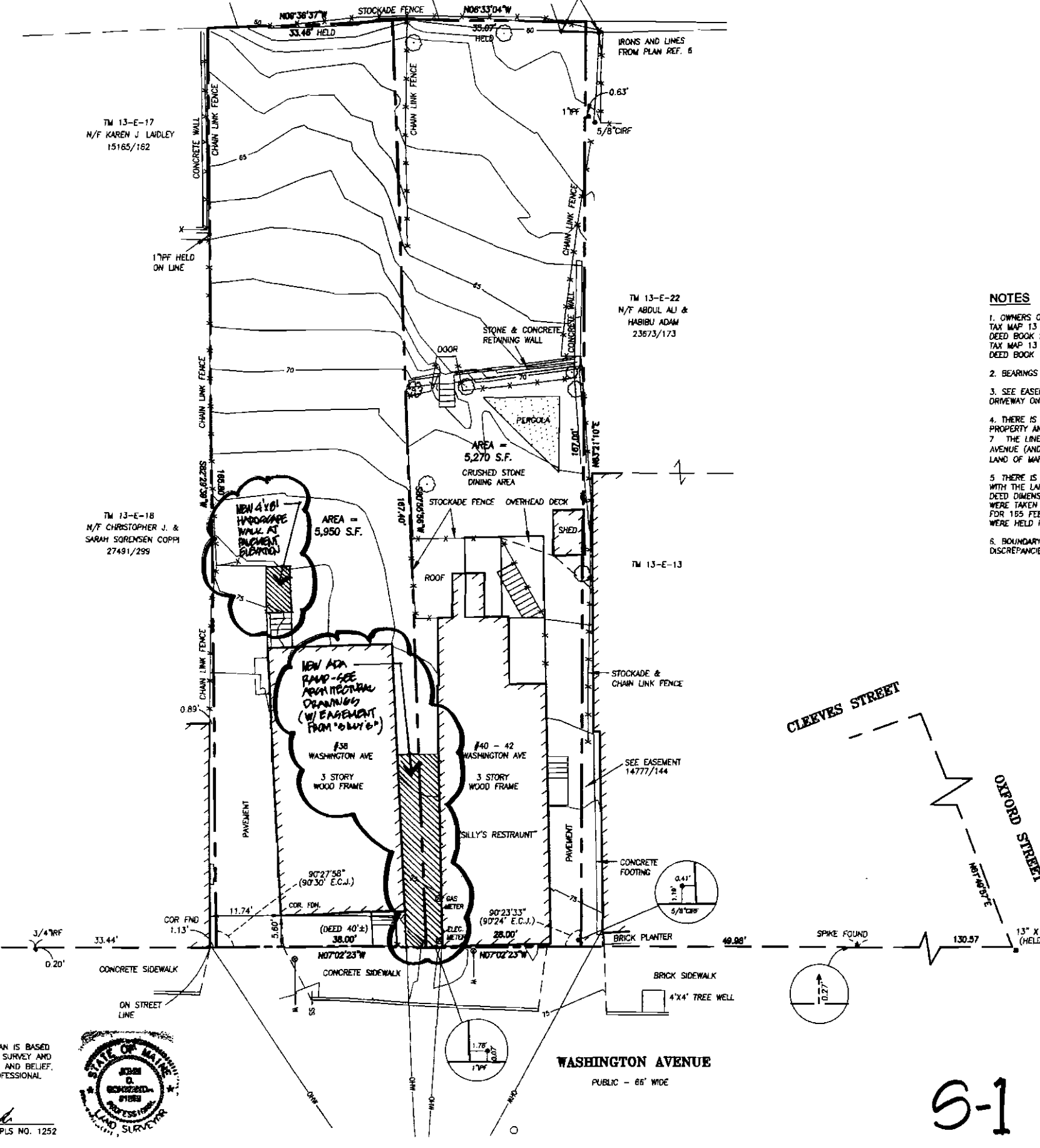


PLAN REFERENCES

1. H.I. & E.C. JORDAN - SURVEYORS WORKING PLAN OF BLOCKS BOUNDED BY WASHINGTON AVENUE, OXFORD STREET, ANDERSON STREET AND CUMBERLAND AVENUE FILE NO.42
2. H.I. & E.C. JORDAN - SURVEYORS PLAN SHOWING "SURVEYED JUNE 14, 1890 FOR CHAS. MULLEN ESTATE"
3. "PLAN OF LAND OWNED BY BRIDGET & MARGARET CONNORS WASHINGTON AVE. PORTLAND, MAINE CHANDLER H. BARRON C.E. JULY 1948"
4. "PLAN OF LAND IN PORTLAND, MAINE FOR WILLIAM & DOROTHY DEBASE JUNE 1, 1982 OWEN HASKELL, INC. JOB NO. 8235P"
5. "BOUNDARY SURVEY AT 30 WASHINGTON AVENUE, PORTLAND, MAINE MADE FOR GREENLAND CONSTRUCTION CO. AUGUST 25, 2004 OWEN HASKELL, INC. JOB NO. 2004-156P"
6. "BOUNDARY SURVEY AT 31 CLEEVES STREET, PORTLAND, MAINE MADE FOR GREGORY MARTIN OCT. 17, 2003 OWEN HASKELL, INC. JOB NO. 2003-203P"
7. "PLAN FOR NU CARPENTER AND MICHEL BOCAL 44 WASHINGTON AVENUE PORTLAND, ME 9/23/96 PREPARED BY LEWIS & WASINA, INC."

NOTES

1. OWNERS OF RECORD:
TAX MAP 13 BLOCK E LOT 16, 38 WASHINGTON AVENUE: MICHELLE A KELLEY, DEED BOOK 27840 PAGE 313
TAX MAP 13 BLOCK E LOT 15, 40-42 WASHINGTON AVENUE: EPS BEAGLE, LLC, DEED BOOK 18372 PAGE 319
2. BEARINGS ARE MAGNETIC 2003 AS PER PLAN REFERENCE 6.
3. SEE EASEMENT DEED BOOK 14777 PAGE 144 FOR RIGHTS IN ABUTTING DRIVEWAY ON LAND OF ABDOUL AND ADAM.
4. THERE IS A DIFFERENCE BETWEEN THE NORTHERLY LINE OF THE SUBJECT PROPERTY AND THE LINE OF ABDOUL AND ADAM, AS SHOWN ON PLAN REFERENCE 7. THE LINE ON PLAN REF. 7 RUNS FROM THE 5/8" CIRCF NEAR WASHINGTON AVENUE (AND 0.41' SOUTH OF THE LINE SHOWN HEREON) TO A 1" I/PF NEAR THE LAND OF MARTIN (AND 0.63' NORTH OF THE LINE SHOWN HEREON).
5. THERE IS A SMALL OVERLAP IN THE NORTHWEST CORNER OF THIS PARCEL, WITH THE LAND OF MARTIN AS SHOWN ON PLAN REFERENCE 6. SOME OF THE DEED DIMENSIONS ARE VAGUE ON BOTH PARCELS. THE LINES ON THIS PLAN WERE TAKEN FROM PLAN REFERENCE 1 AND 2, EVEN THOUGH THE DEED CALLS FOR 185 FEET FROM WASHINGTON AVENUE. DIMENSIONS IN THE DEED OF MARTIN WERE HELD FOR PLAN REF. 6.
6. BOUNDARY AGREEMENTS WITH THE ABUTTERS WOULD RESOLVE ANY DISCREPANCIES WITH MARKERS AND PLANS.

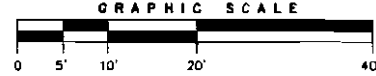


INDICATES IMPROVEMENTS FOR COMPLIANCE WITH ADA/IFPA/ADA BEAGLE REQUIREMENTS AT FIRST FLOOR CHANGE OF USE.

LICENSED ARCHITECT
MICHAEL F. HAYS
NO. 1724
STATE OF MAINE
Michael F. Hays

LEGEND

- IRON PIPE OR ROD FOUND
- MONUMENT
- ⊙ SPIKE FOUND
- ⊙ WATER VALVE
- ⊙ UTILITY POLE
- ⊙ MANHOLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- FENCE
- STONE WALL
- CURB
- OVERHEAD WIRES
- WATER LINE
- GAS LINE
- 1" CONTOUR



CERTIFICATE

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.



6-23-2011
DATE
John C. Schwanda
JOHN C. SCHWANDA, PLS NO. 1252

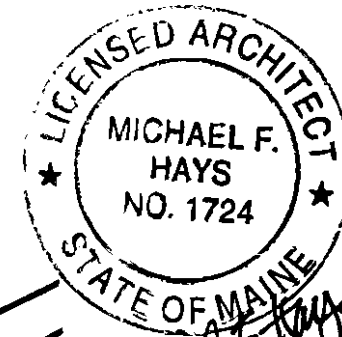
BOUNDARY & TOPOGRAPHIC SURVEY
ON
WASHINGTON AVENUE, PORTLAND, MAINE
MADE FOR RECORD OWNERS
MICHELLE A. KELLEY
38 WASHINGTON AVENUE, PORTLAND, MAINE
EPS BEAGLE, LLC
40 WASHINGTON AVENUE, PORTLAND, MAINE

OWEN HASKELL, INC.
390 U.S. ROUTE ONE, FALMOUTH, ME 04106 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drawn By	SDG	Date	JUNE 22, 2011	Job No.	2011-057 P
Trace By	SDG				
Check By	JCS	Scale	1" = 10'	Drawn No.	1
Book No.	1101				

S-1

ALTERATIONS TO 38 WASHINGTON AVENUE



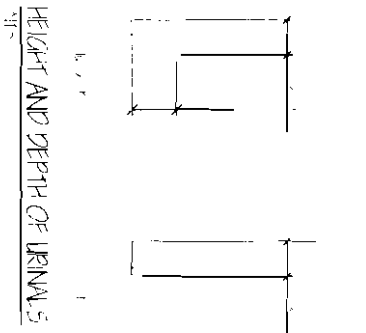
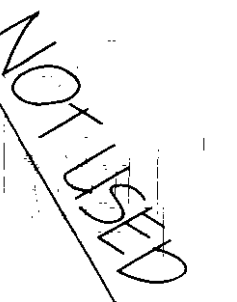
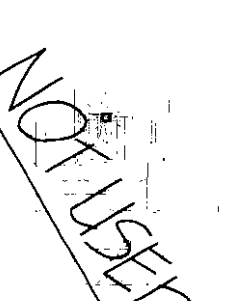
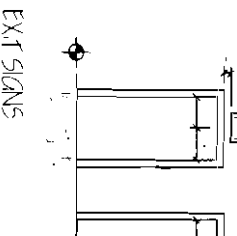
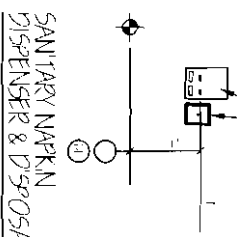
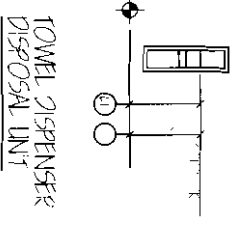
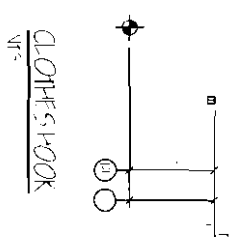
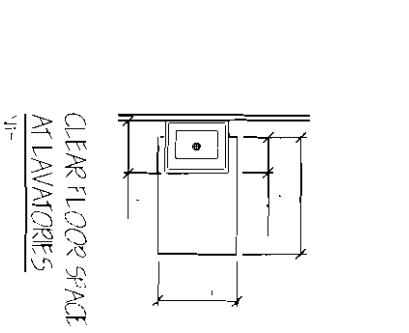
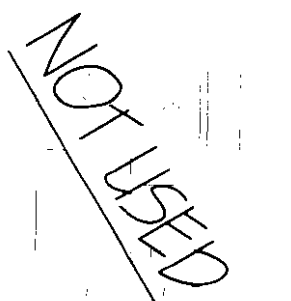
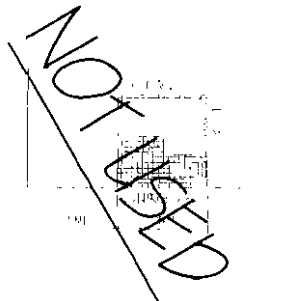
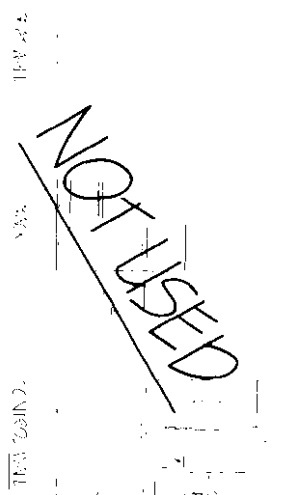
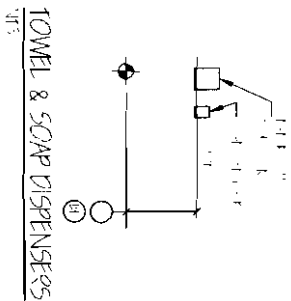
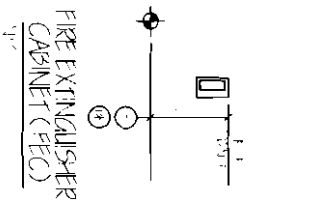
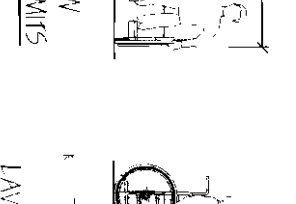
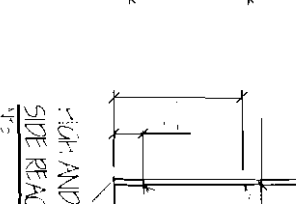
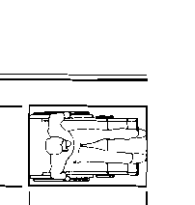
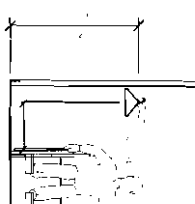
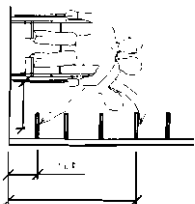
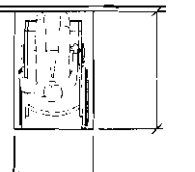
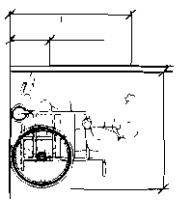
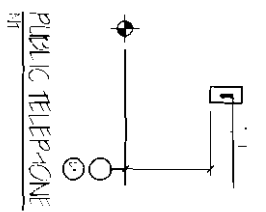
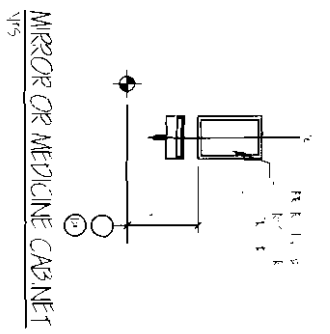
PORTLAND

MAINE, 04101

CONSTRUCTION PERMIT PACKAGE

ABBREVIATIONS	GENERAL NOTES	MATERIALS	SYMBOLS	DRAWING INDEX
<p><i>[Faint, illegible text in the Abbreviations section]</i></p>	<p><i>[Faint, illegible text in the General Notes section]</i></p>	<p><i>[Faint, illegible text in the Materials section]</i></p>	<p><i>[Faint, illegible text in the Symbols section]</i></p>	<p>A-0 COVER SHEET 1 SURVEY 2 SITE PLAN 3 DEMOLITION PLANS 3-1 DEMOLITION ELEVATIONS 3-2 DEMOLITION BUILDING SECTION 4 FLOOR PLANS 4-1 CODE COMPLIANCE PLANS 4-2 EXTERIOR ELEVATIONS 4-3 PAINTING & FINISH SECTION 4-4 DOORS & WINDOWS 4-5 DETAILS 4-6 ACCESSIBILITY DETAILS</p>
			LOCATION	OWNERS
				<p>MICHELLE KELLEY COLEEN KELLEY 40 WASHINGTON AVENUE PORTLAND, MAINE 04101 MICHELLE: 207.45.7507 COLEEN: 207.45.7647</p>

STATE OF MAINE
 ARCHITECTURE
 38 WASHINGTON AVE
 PORTLAND, MAINE 04101
 MICHELLE KELLEY
 COLEEN KELLEY
 40 WASHINGTON AVENUE
 PORTLAND, MAINE 04101
 MICHELLE: 207.45.7507
 COLEEN: 207.45.7647
 A-0



NOT USED

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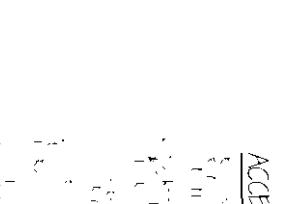
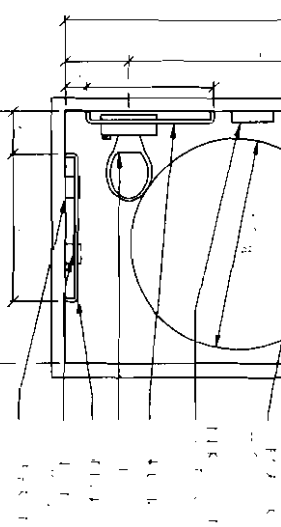
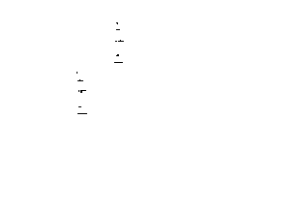
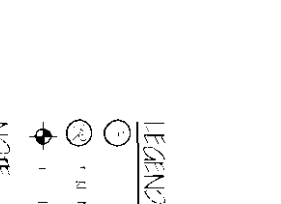
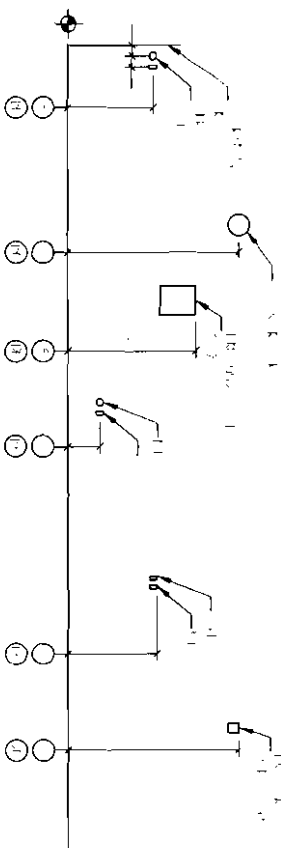
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ELEVATOR CONTROLS & SIGNALS
V15

BARRED FREE SHOWER
V15

GRAB BARS AT WATER CLOSETS
V15



ELECTRICAL & FIRE PROTECTION DEVICES
TYPICAL UNLESS NOTED OTHERWISE
V15

ELECTRICAL & FIRE PROTECTION DEVICES
TYPICAL UNLESS NOTED OTHERWISE
V15

ELECTRICAL & FIRE PROTECTION DEVICES
TYPICAL UNLESS NOTED OTHERWISE
V15

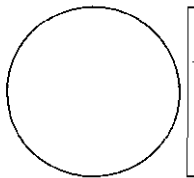
ELECTRICAL & FIRE PROTECTION DEVICES
TYPICAL UNLESS NOTED OTHERWISE
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ACCESSIBILITY
DETAILS
AND NOTES

ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 661 LAVERGNE, MAINE 04100

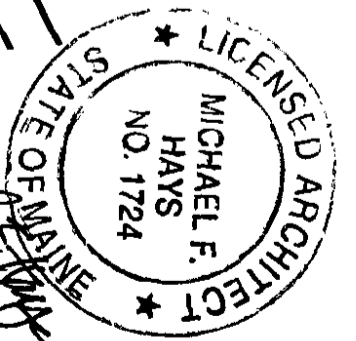
ALTERATIONS TO
38 WASHINGTON AVE

PORTLAND MAINE, 04101



ALTERATIONS TO

38 WASHINGTON AVENUE



PORTLAND

MAINE, 04101

CONSTRUCTION PERMIT PACKAGE

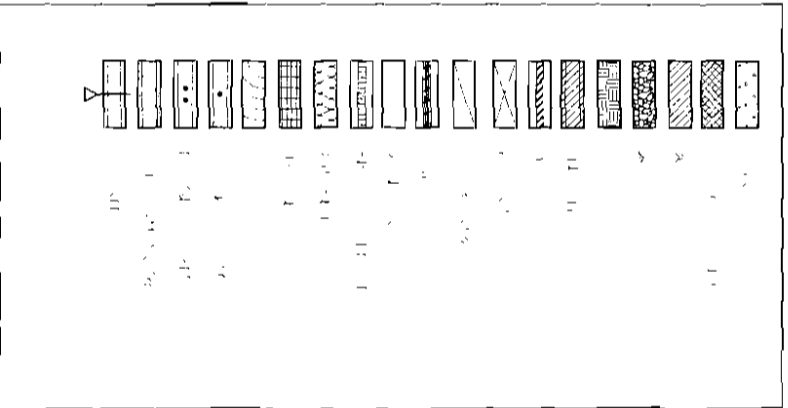
ABBREVIATIONS

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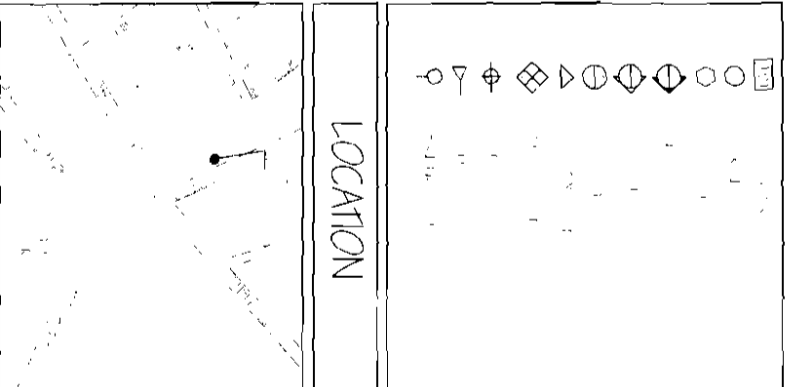
GENERAL NOTES

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MATERIALS



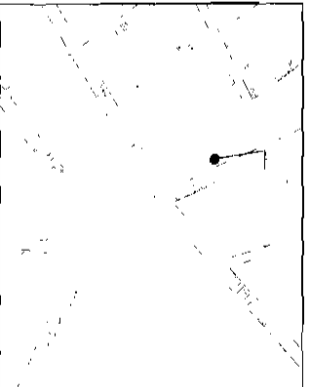
SYMBOLS



DRAWING INDEX

- 1.0 COVER SHEET
- 2.0 SCHEDULE
- 3.0 SPEC PLAN
- 4.0 DEVELOPMENT PLANS
- 5.0 EXTERIOR ELEVATIONS
- 6.0 DEMOLITION BILLING SECTION
- A FLOOR PLANS
- A.1 EXISTING FLOOR PLAN
- A.2 EXTERIOR ELEVATIONS
- A.3 BUILDING SECTION
- A.4 DOORS & WINDOWS
- A.5 EXTERIOR
- A.6 INTERIOR
- A.7 ACCESSIBILITY DETAILS

LOCATION



OWNERS

MICHELLE KELLEY
COLLEEN KELLEY
40 WASHINGTON AVENUE
PORTLAND, MAINE 04101
MICHELLE 207.415.7507
COLLEEN 207.415.7647

G R A N T H A Y S A S S O C I A T E S

ARCHITECTURE
INTERIOR DESIGN
100 STATE STREET
PORTLAND, ME 04101
TEL: 207.415.7507
FAX: 207.415.7508
WWW.GHAYSA.COM

COVER SHEET

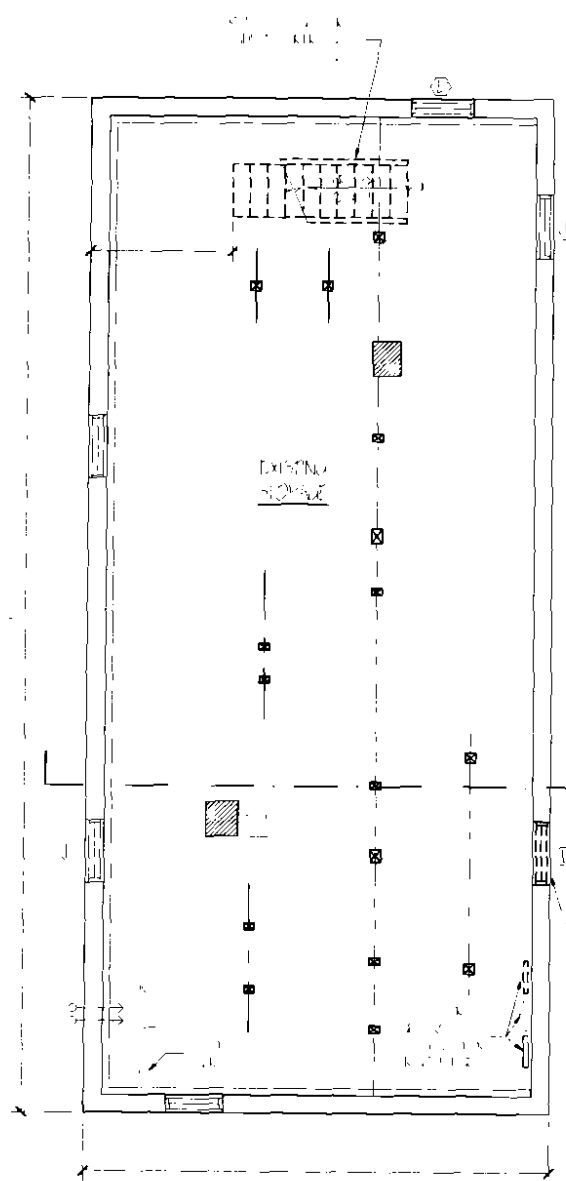
A-0

ALTERATIONS TO
38 WASHINGTON AVE
PORTLAND MAINE, 04101

ALTERATIONS TO
38 WASHINGTON AVE
PORTLAND MAINE, 04101

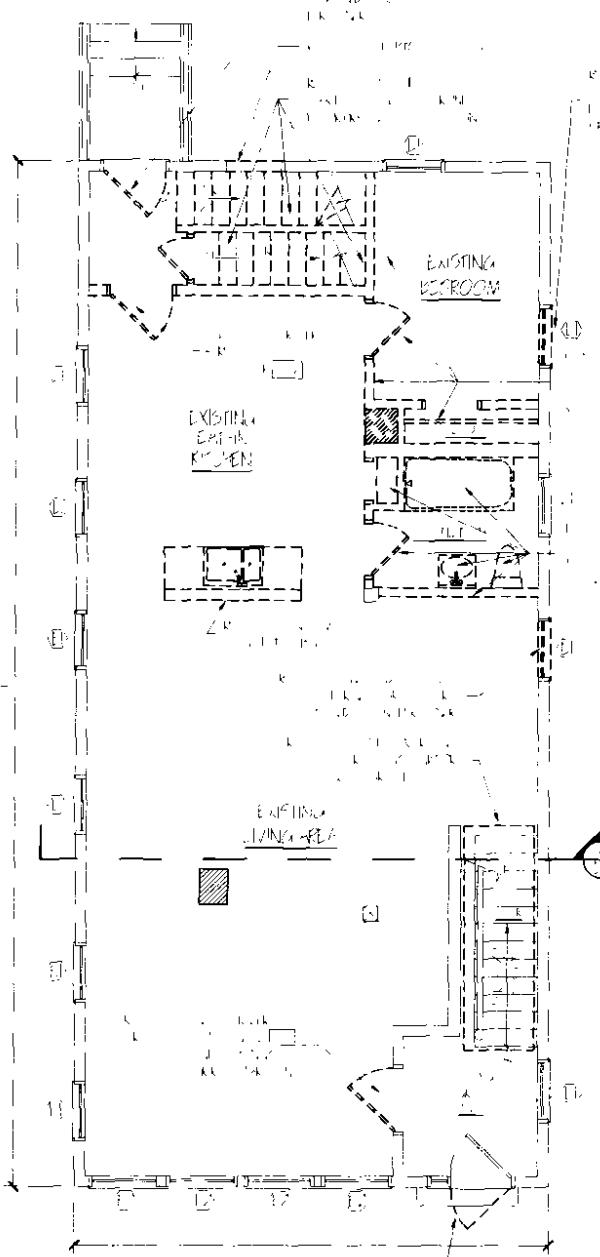
SCALE

DATE



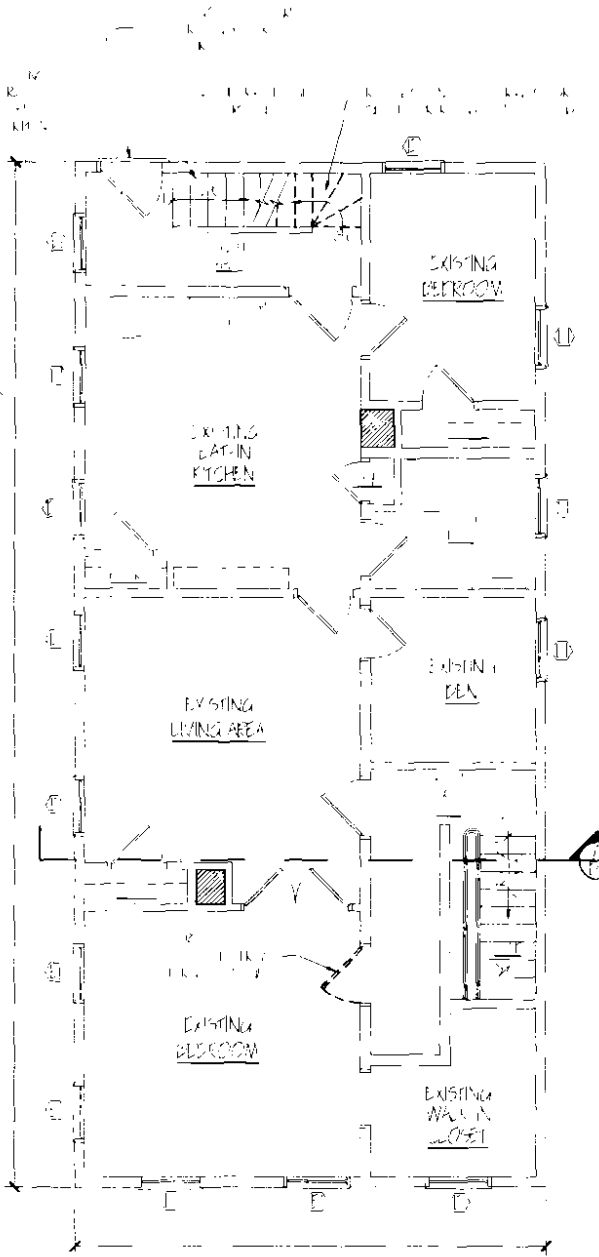
EXISTING BASEMENT - DEMOLITION

WALLS OF FOUNDATION STORAGE AT SINGLE FAMILY APARTMENT TO BE DEMOLISHED FOR ASSEMBLY USE



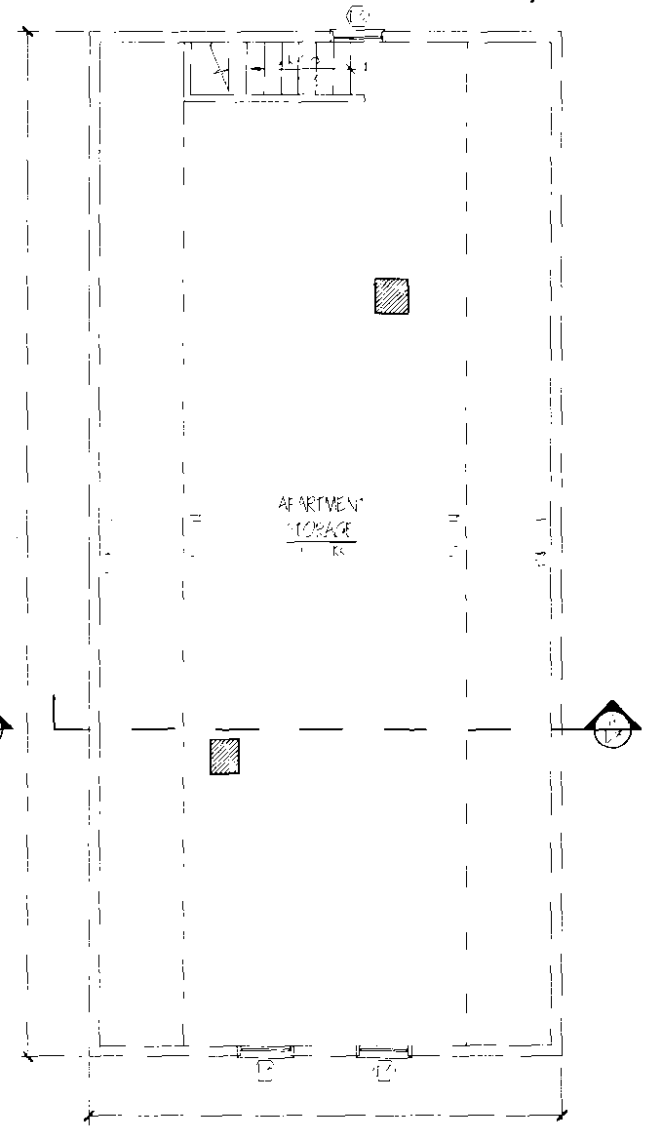
EXISTING FIRST FLOOR - DEMOLITION

WALLS OF SET FROM SINGLE FAMILY APARTMENT TO BE DEMOLISHED FOR ASSEMBLY USE



EXISTING SECOND FLOOR - DEMOLITION

WALLS OF SET FROM APARTMENT



EXISTING THIRD ATTIC

WALLS OF SET FROM APARTMENT

CURRANT HAYSTACK ASSOCIATES

ALTERATIONS TO
38 WASHINGTON AVE
PORTLAND MAINE 04107

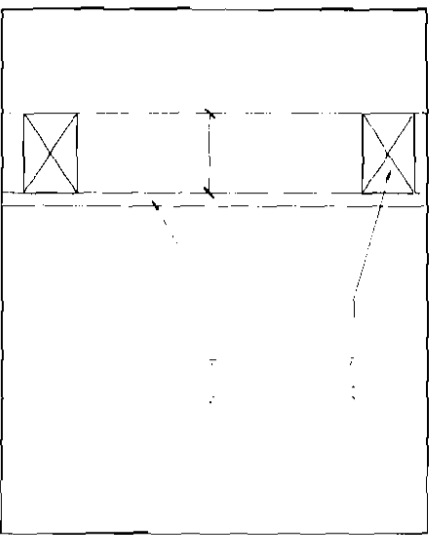
ARCHITECTURE
INTERIOR DESIGN
100 BOX 620 STAPLE HILL AVENUE

DEMOLITION
PLANS

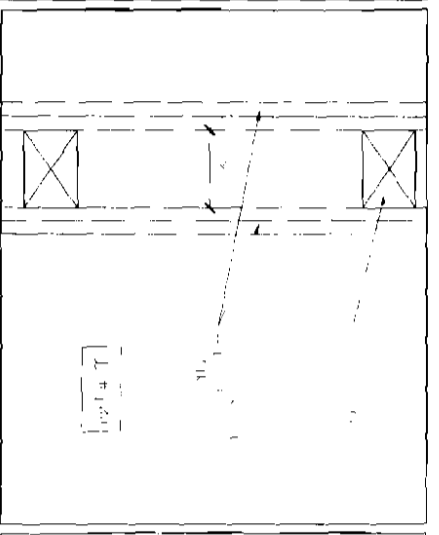
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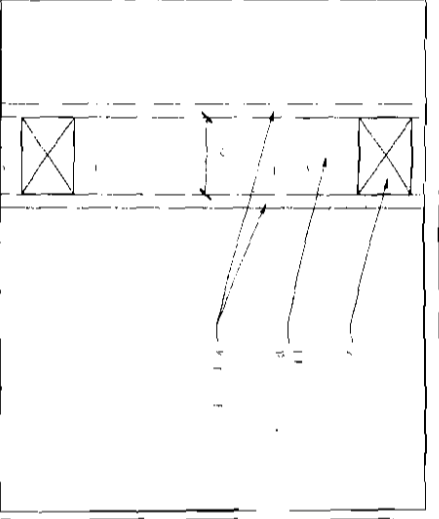
D-1



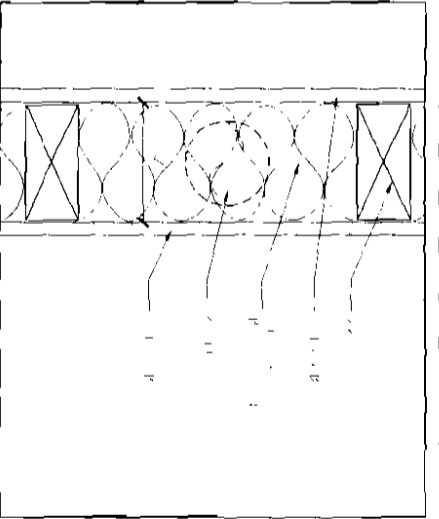
① PARTITION TYPE A [SMOKE BARRIER] 5'-1'-0"



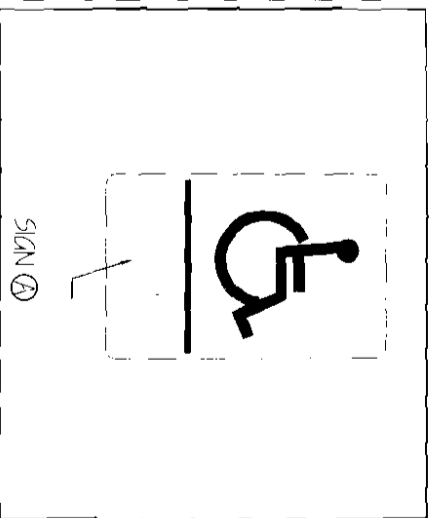
② PARTITION TYPE A [TWO EGRESS] 5'-1'-0"



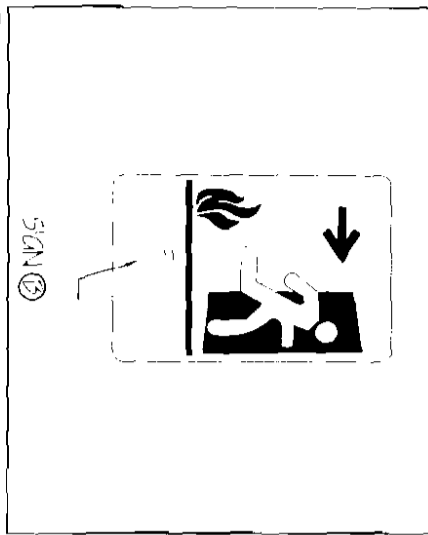
③ PARTITION TYPE A 5'-1'-0"



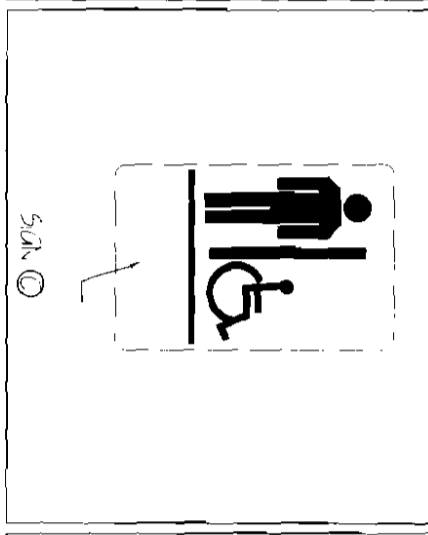
④ PARTITION TYPE A 5'-1'-0"



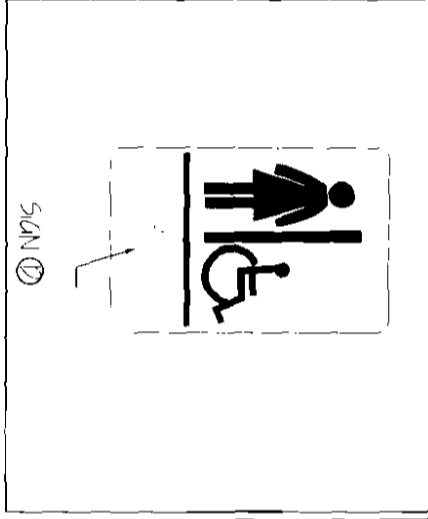
⑤ ACCESSIBLE ENTRANCE SIGN N.T.S.



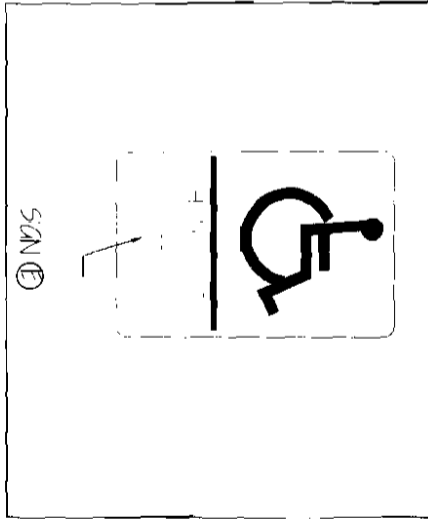
⑥ EXIT SIGN N.T.S.



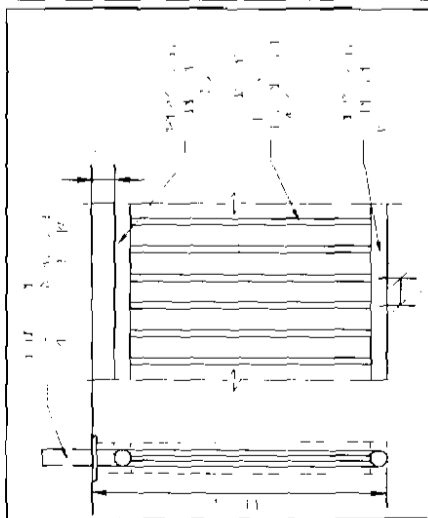
⑦ ACCESSIBLE MEN'S TOILET SIGN N.T.S.



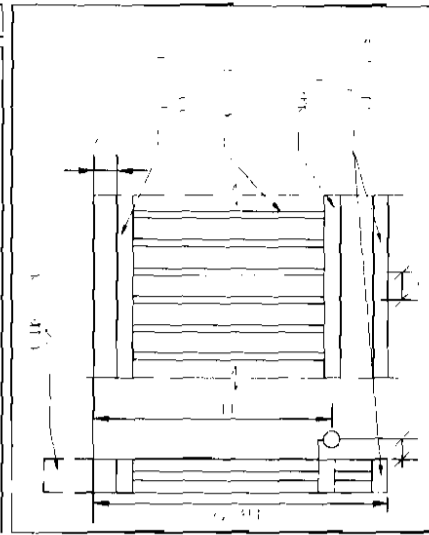
⑧ ACCESSIBLE WOMEN'S TOILET SIGN N.T.S.



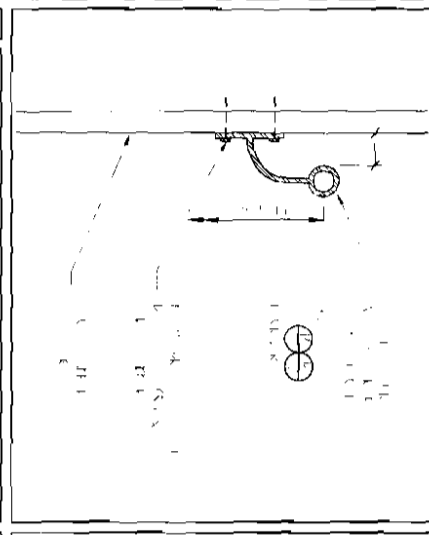
⑨ ACCESSIBLE ROUTE SIGN N.T.S.



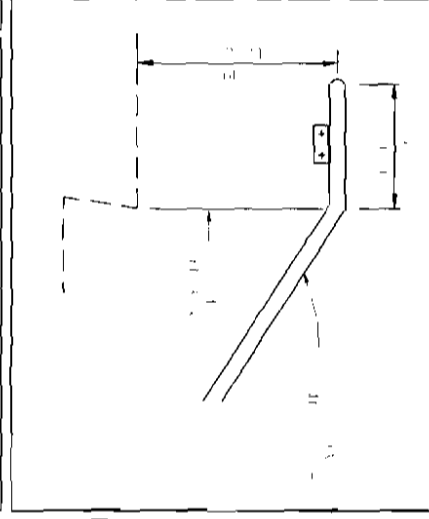
⑩ TYPICAL EXTERIOR QUARRAL N.T.S.



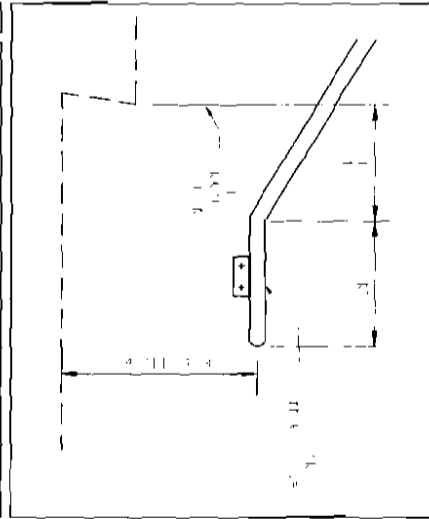
⑪ EXTERIOR QUARRAL / QUARRAL N.T.S.



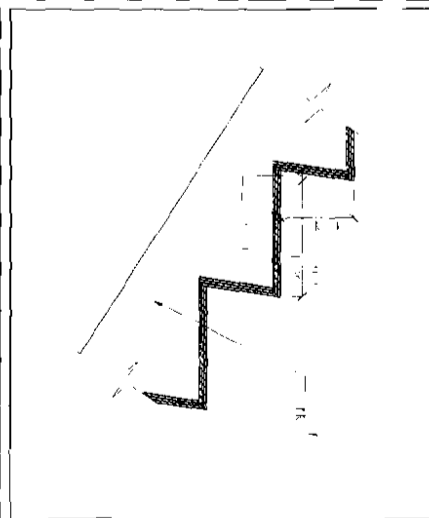
⑫ HANDRAIL @ POST OR WALL N.T.S.



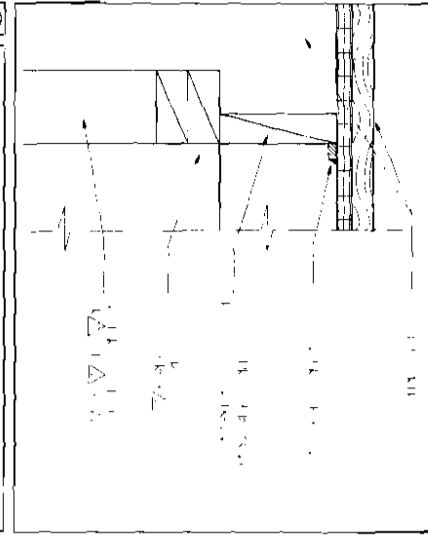
⑬ HANDRAIL EXTENSION @ TOP N.T.S.



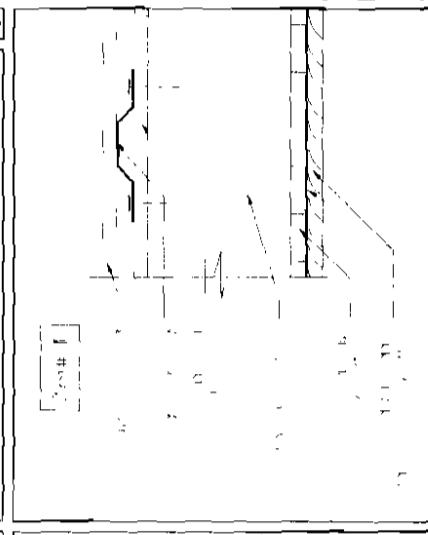
⑭ HANDRAIL EXTENSION @ BOTTOM N.T.S.



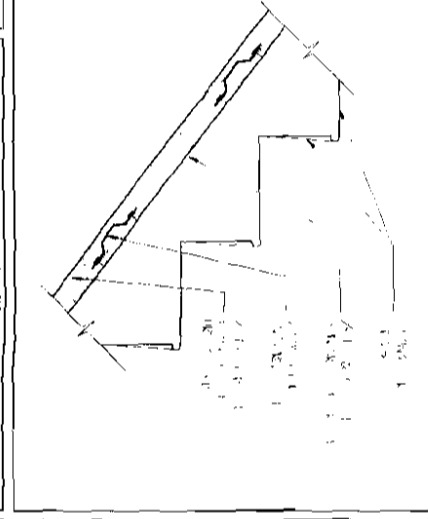
⑮ TYPICAL STAIR TREAD / RISER N.T.S.



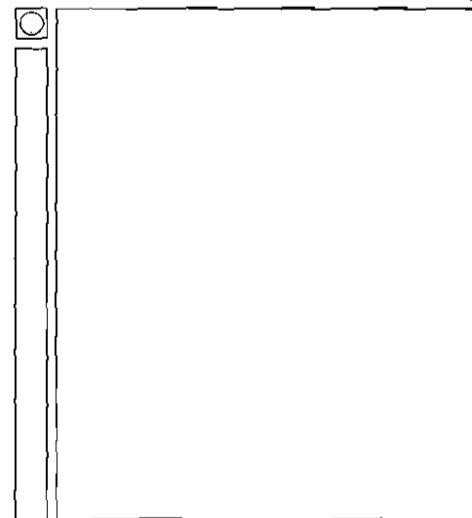
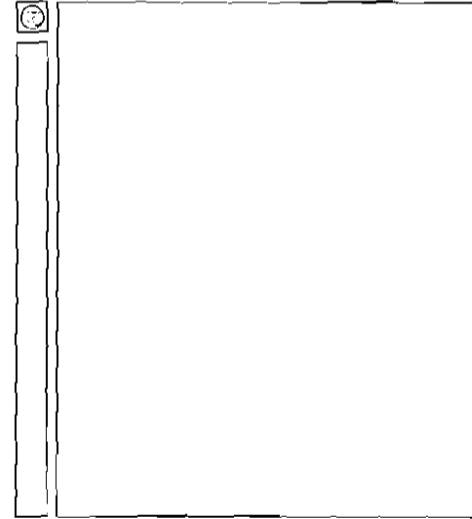
⑯ SMOKE / FIRE STOP DETAIL 5'-1'-0"

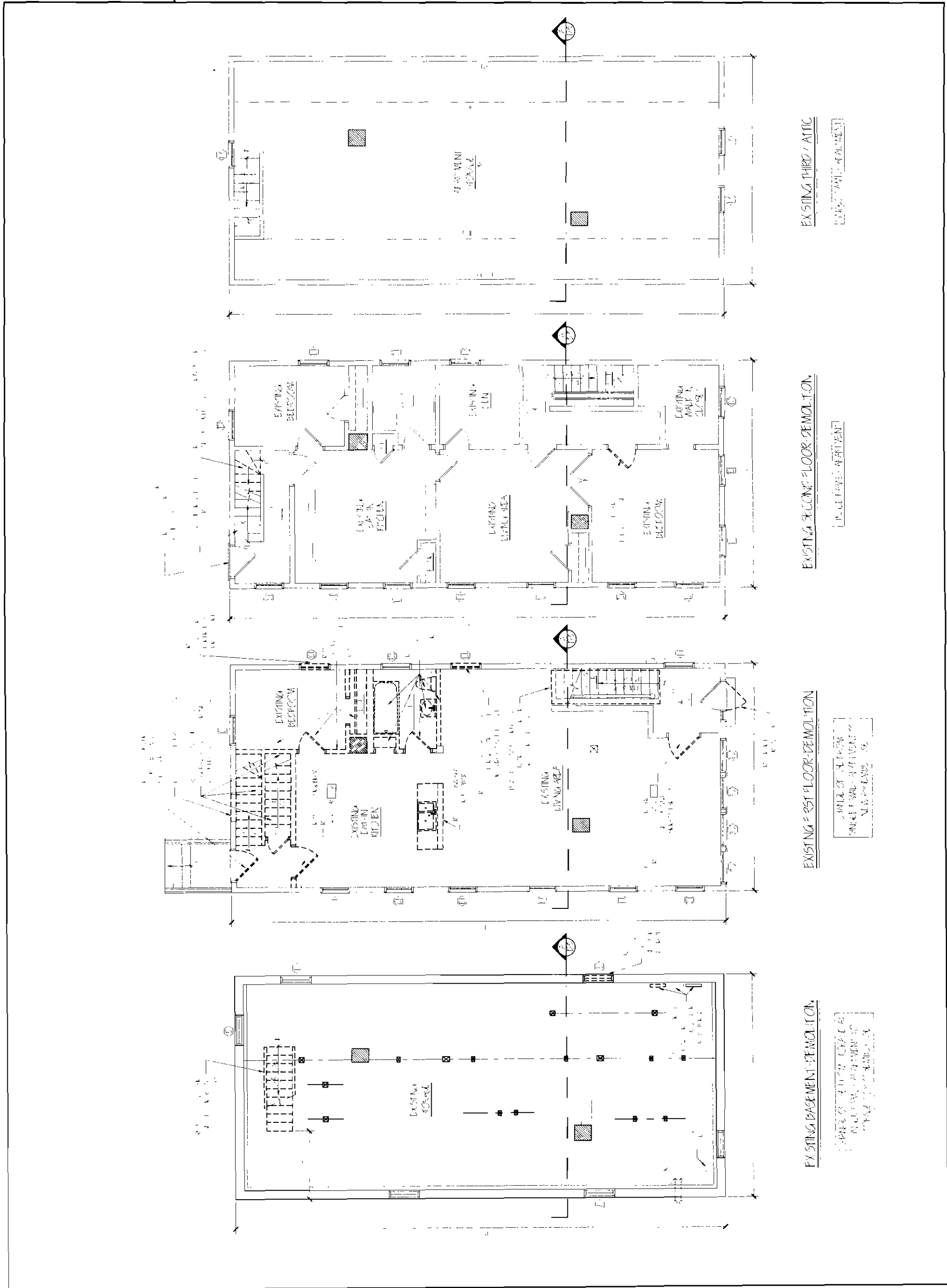


⑰ 2ND FLOOR ASSEMBLY 5'-1'-0"



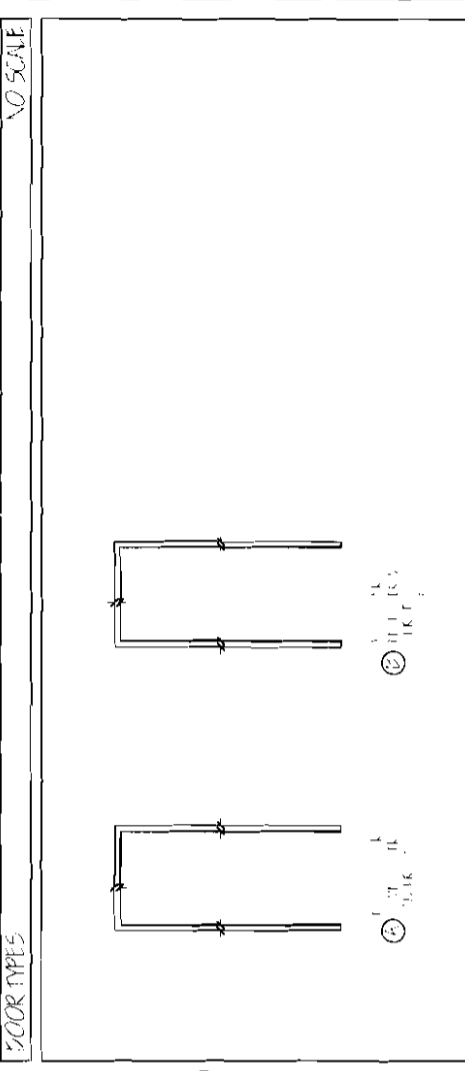
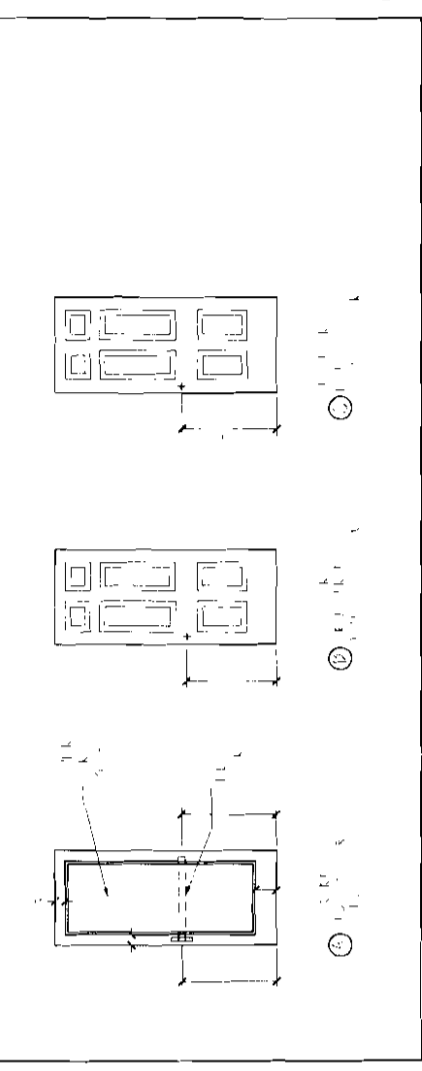
⑱ 2ND FLOOR FRAMING ASSEMBLY 5'-1'-0"





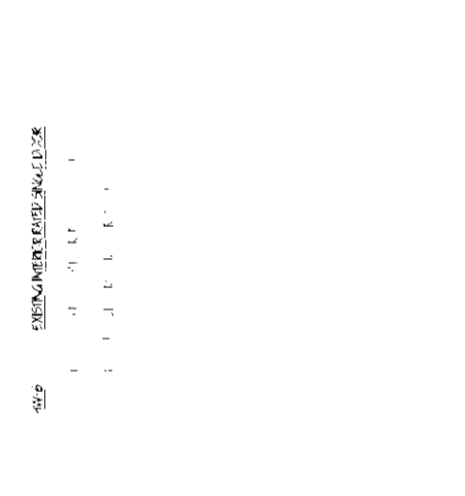
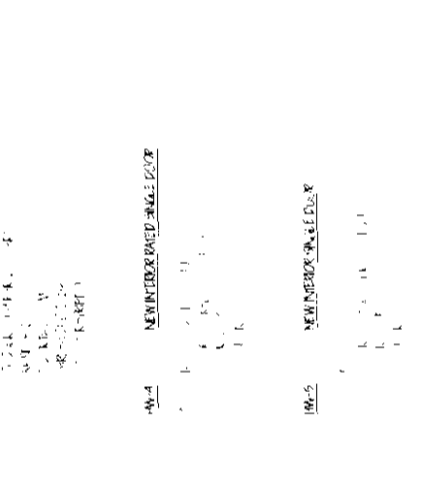
DOOR SCHEDULE

NO.	TYPE	FINISH	GLASS	SWITCH	HANDLE	LOCK	MARKING	REMARKS
1	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
2	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
3	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
4	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
5	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
6	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
7	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
8	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
9	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
10	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
11	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
12	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
13	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
14	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
15	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
16	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
17	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
18	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
19	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
20	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
21	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
22	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
23	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
24	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
25	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
26	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
27	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
28	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
29	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	
30	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	NO	NO	NO	



WINDOW SCHEDULE

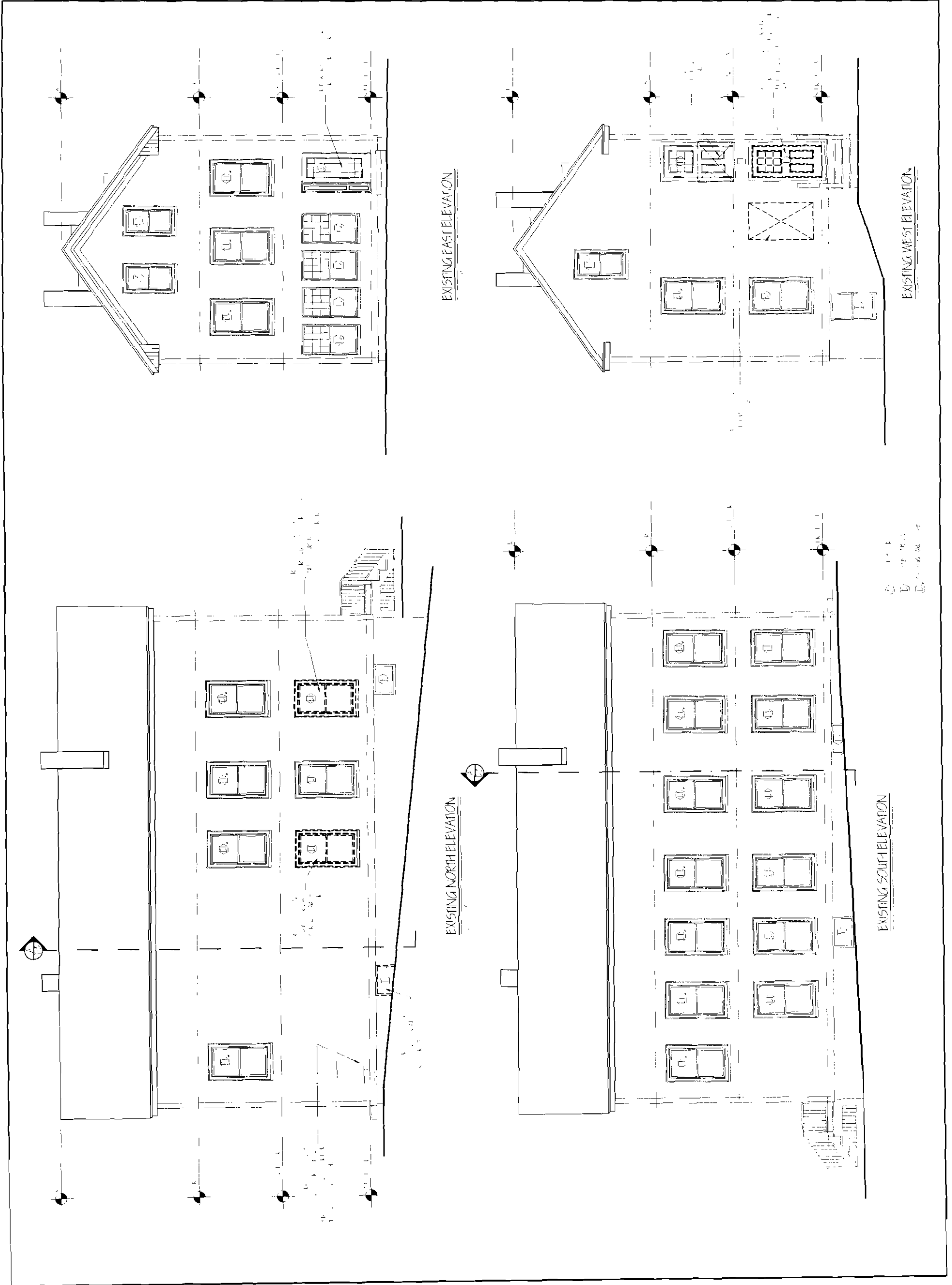
NO.	TYPE	FINISH	GLASS	MARKING	REMARKS
1	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
2	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
3	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
4	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
5	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
6	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
7	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
8	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
9	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
10	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
11	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
12	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
13	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
14	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
15	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
16	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
17	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
18	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
19	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
20	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
21	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
22	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
23	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
24	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
25	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
26	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
27	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
28	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
29	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	
30	NEW INTERIOR WALL DOOR	WOOD	GLASS	NO	



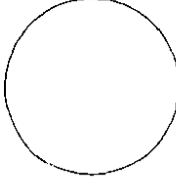
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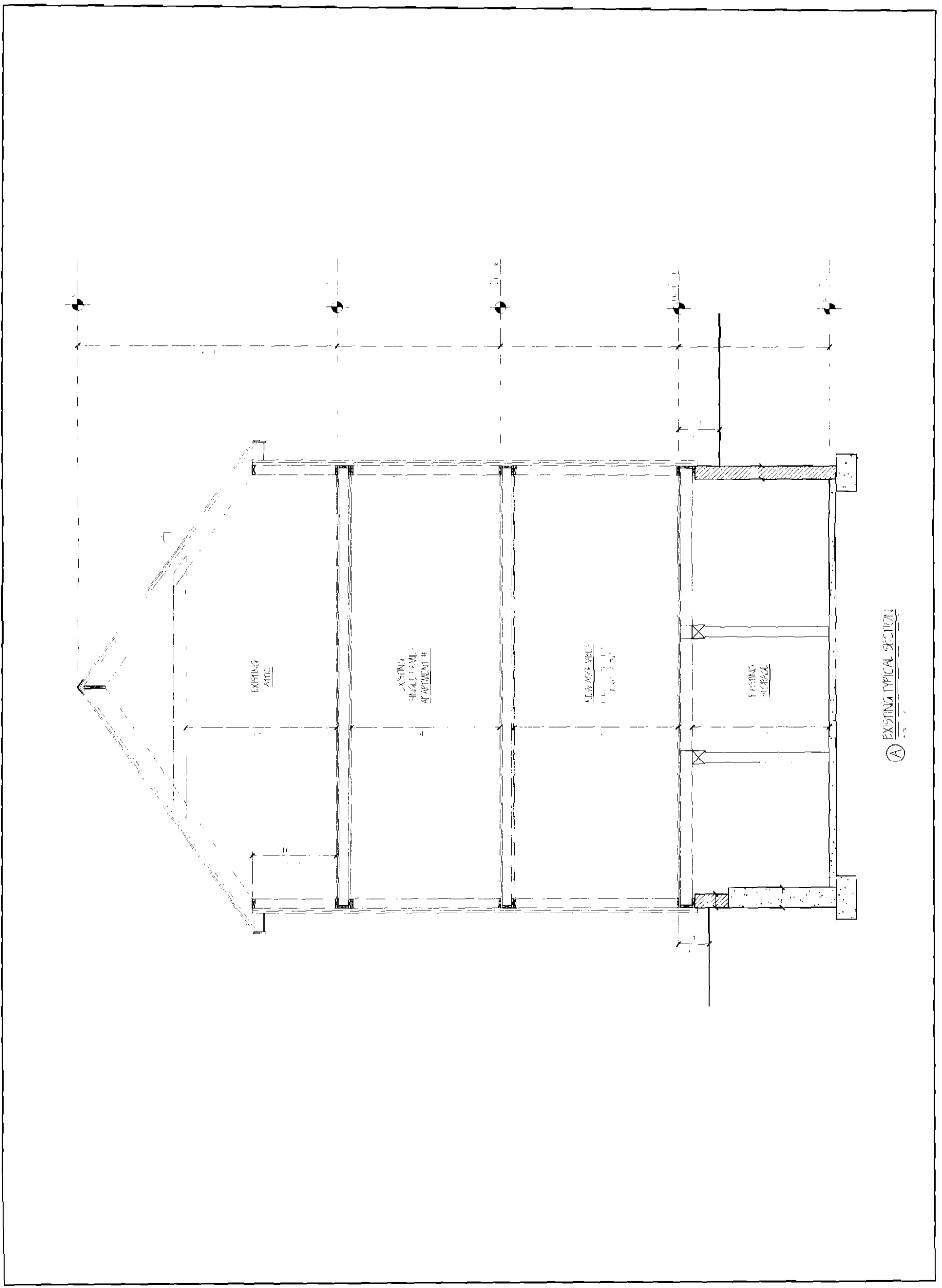
NO SCALE

NO SCALE

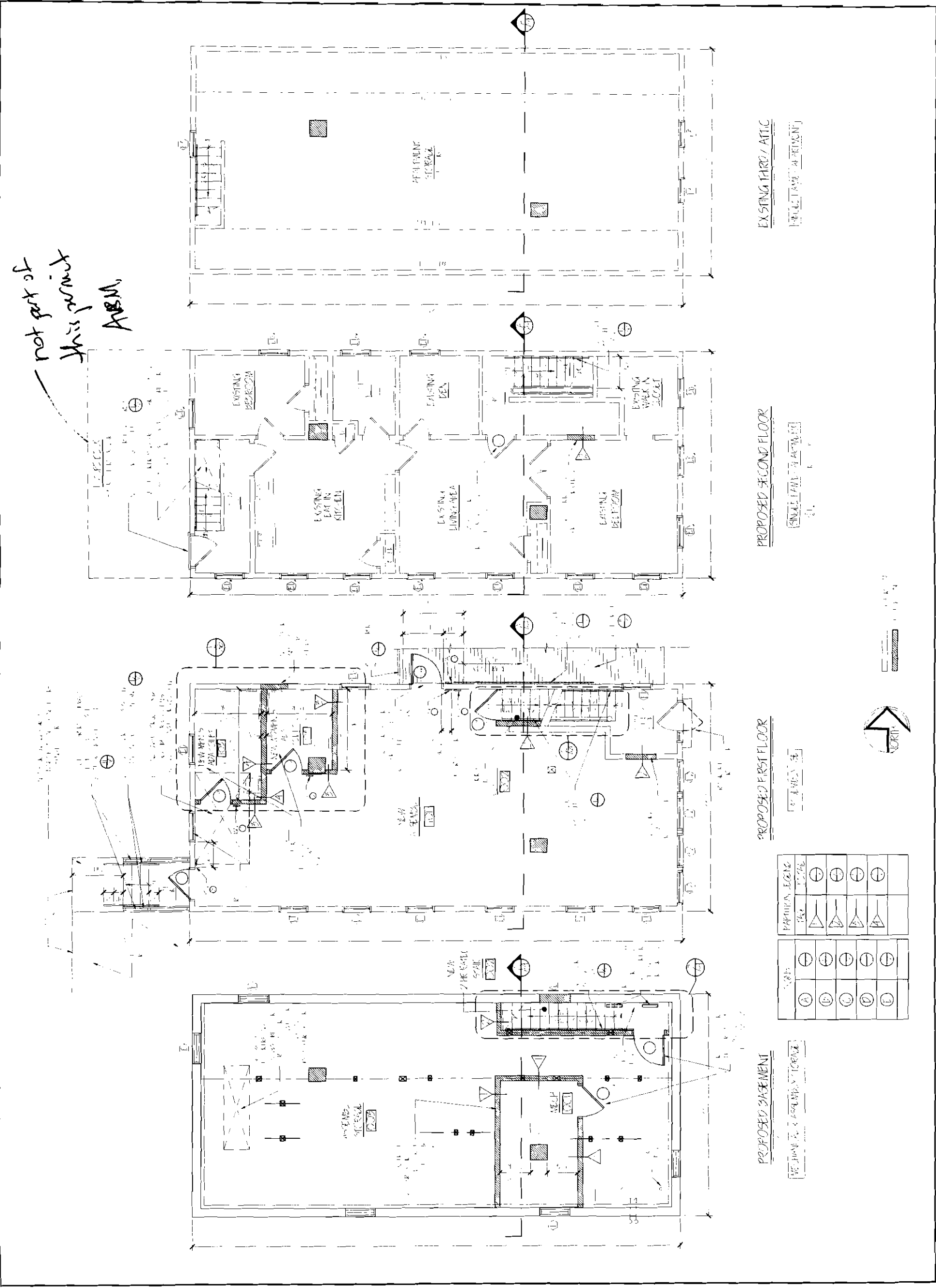


C R A N T H A Y S A S S O C I A T E S

	ALTERNATIONS TO 38 WASHINGTON AVE PORTLAND, MAINE 04101	ARCHITECTURE INTERIOR DESIGN 100 STATE STREET PORTLAND, MAINE 04101	DEMOLITION BUILDING SECTION	D-3
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Ⓐ EXISTING TYPICAL SECTION



EXISTING THIRD FLOOR/ATTIC
[STRUCTURAL ELEMENTS]

PROPOSED SECOND FLOOR
[STRUCTURAL ELEMENTS]

PROPOSED FIRST FLOOR
[STRUCTURAL ELEMENTS]

PROPOSED BASEMENT
[STRUCTURAL ELEMENTS]

GRID	A	B	C	D	E
SECTION, LEGEND	⊖	⊖	⊖	⊖	⊖
GRID	1	2	3	4	5
SECTION, LEGEND	⊖	⊖	⊖	⊖	⊖



SECTION 1.00
GENERAL NOTES

1.01 THESE PLANS SHALL BE CONSIDERED TO BE THE MOST CURRENT AND COMPLETE SET OF PLANS FOR THE PROJECT.

1.02 ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IBC AND THE 2009 ME CODE.

1.03 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

1.04 THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

1.05 ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

1.06 THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

1.07 ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITY.

1.08 THE CONTRACTOR SHALL MAINTAIN SAFE ACCESS TO ALL PUBLIC AREAS.

1.09 ALL DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL REGULATIONS.

1.10 THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING STRUCTURES.

1.11 ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

1.12 THE CONTRACTOR SHALL MAINTAIN CLEAR ACCESS TO ALL STAIRS AND EGRESS ROUTES.

1.13 ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

1.14 THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING UTILITIES.

1.15 ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S REQUIREMENTS.

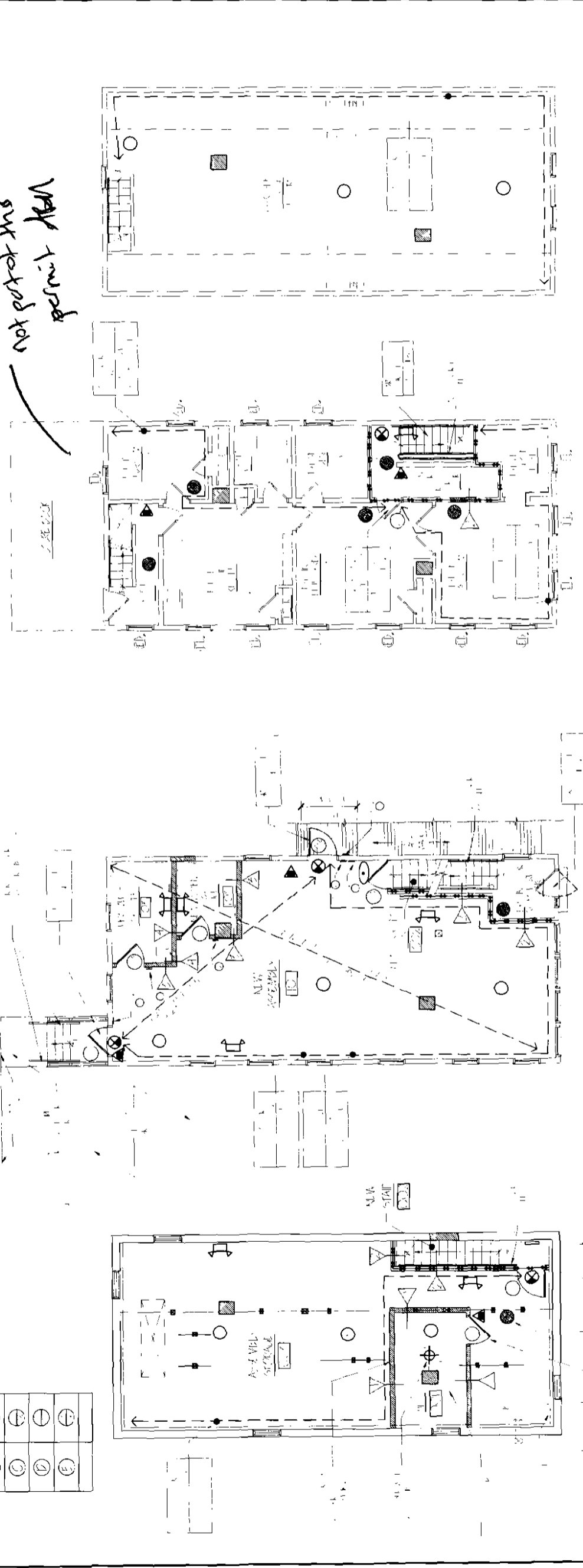
1.16 THE CONTRACTOR SHALL MAINTAIN CLEAR ACCESS TO ALL STAIRS AND EGRESS ROUTES.

1.17 ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

1.18 THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING UTILITIES.

1.19 ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S REQUIREMENTS.

1.20 THE CONTRACTOR SHALL MAINTAIN CLEAR ACCESS TO ALL STAIRS AND EGRESS ROUTES.



PROPOSED BASEMENT PLAN
CODE COMPLIANCE PLAN
NEW FAMILY APARTMENT
NEW STAIRS

PROPOSED FIRST FLOOR
CODE COMPLIANCE PLAN
NEW STAIR ASSEMBLY
NEW STAIR

PROPOSED SECOND FLOOR
CODE COMPLIANCE PLAN
NEW FAMILY APARTMENT
LABORATORY

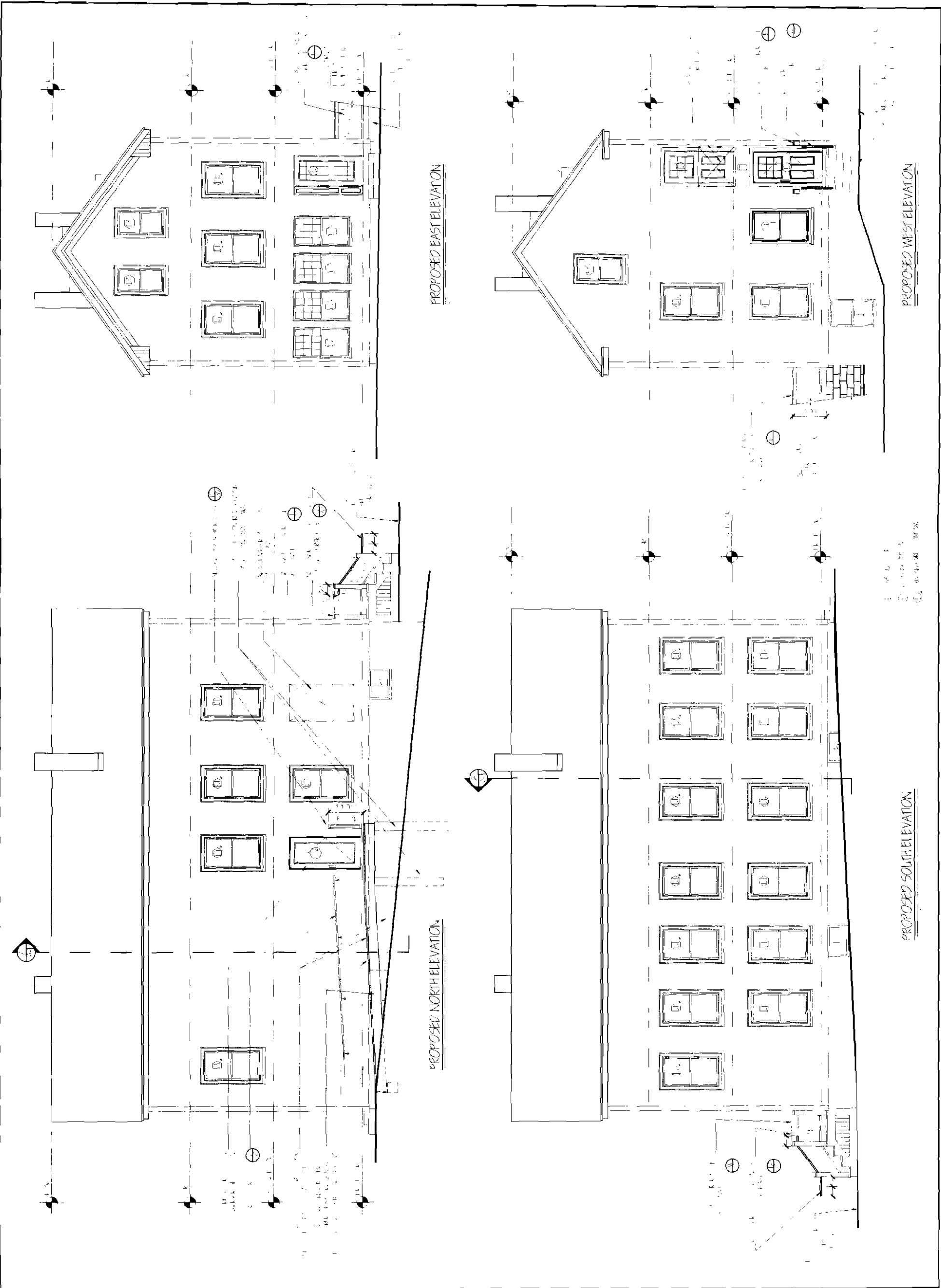
PROPOSED THIRD FLOOR
CODE COMPLIANCE PLAN
NEW FAMILY APARTMENT
NEW STAIRS

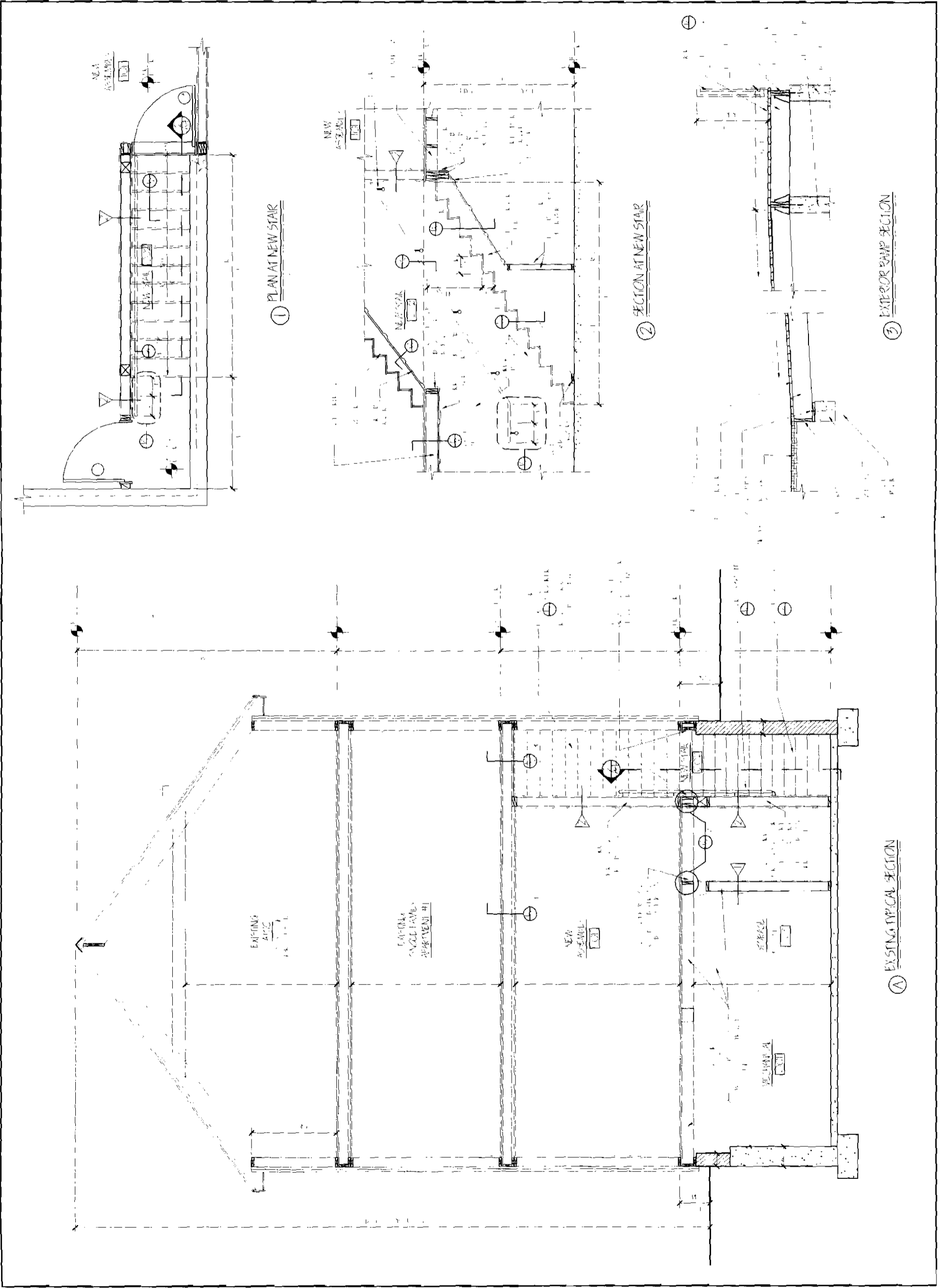
LEGEND

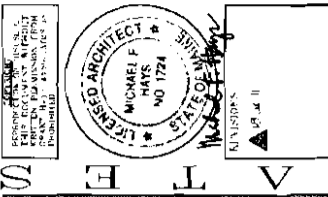
⊗	ANCHOR BOLT
⊚	CEILING JOIST
○	CONCRETE
○	DOOR
◡	STAIR
⊙	WALL

PARTICLE BOARD	
1/4"	⊖
3/8"	⊖
1/2"	⊖
5/8"	⊖

SIGN	
A	⊖
B	⊖
C	⊖
D	⊖
E	⊖





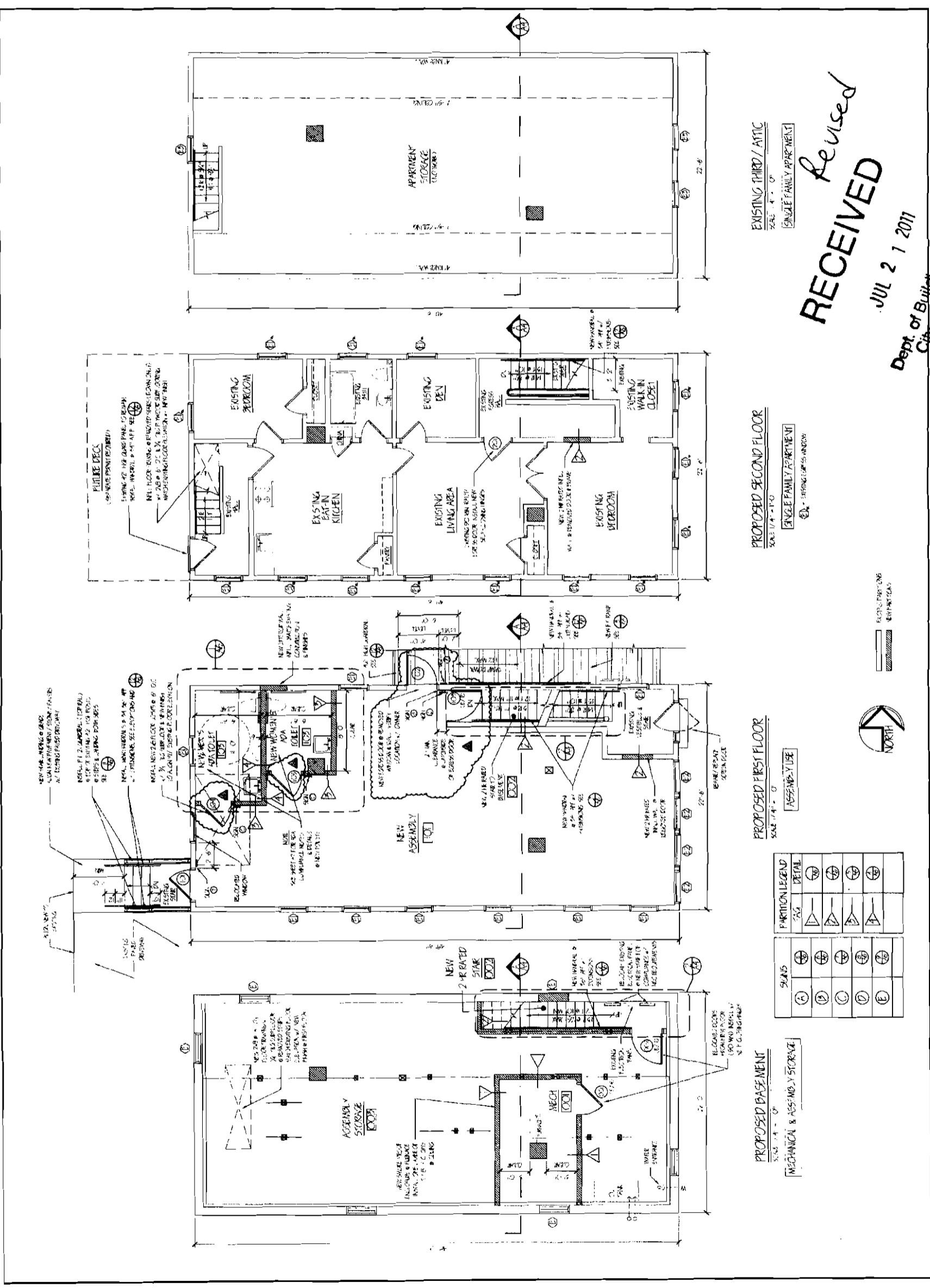


ALTERATIONS TO
38 WASHINGTON AVE
 PORTLAND, MAINE, 04101

ARCHITECTURE
 INTERIOR DESIGN
 110 BOX 6129 FAIRBANK MAINE 04103

PROPOSED
 FLOOR
 PLANS

DATE NO SCALE
 TITLE 16 JUL 11
 DRAWN BY MPT/PG
 CHECKED BY MPT/PG
 SHEET NO 110704
 DRAWING NO
A-1



EXISTING THIRD / ANTIC
 SCALE 1/4" = 0'

PROPOSED SECOND FLOOR
 SCALE 1/4" = 0'

PROPOSED FIRST FLOOR
 SCALE 1/4" = 0'

PROPOSED BASEMENT
 SCALE 1/4" = 0'

PARTITION LEGEND	
SYMBOL	PARTIAL
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)

RECEIVED
 JUL 21 2011

Dept. of Building Inspections
 City of Portland Maine

MECHANICAL & ASSEMBLY STORAGE



Revised
RECEIVED
 JUL 21 2011
 City of Building Inspections
 Portland, Maine

GRANT HAYES ARCHITECTURE

ALTERATIONS TO
38 WASHINGTON AVE
 PORTLAND, MAINE 04101

ARCHITECTURE
 INTERIOR DESIGN
 P.O. BOX 6179 FALMOUTH MAINE 04103
 (207) 871-0950

PROPOSED
 BUILDING & STAR
 SECTIONS

SCALE NO SCALE OF PORTLAND
 DATE: 16 Jun 11
 DRAWN BY: MPH/mak
 JOB NO: 110701
 BUILDING NO: A-4

REVISIONS

NO. 1

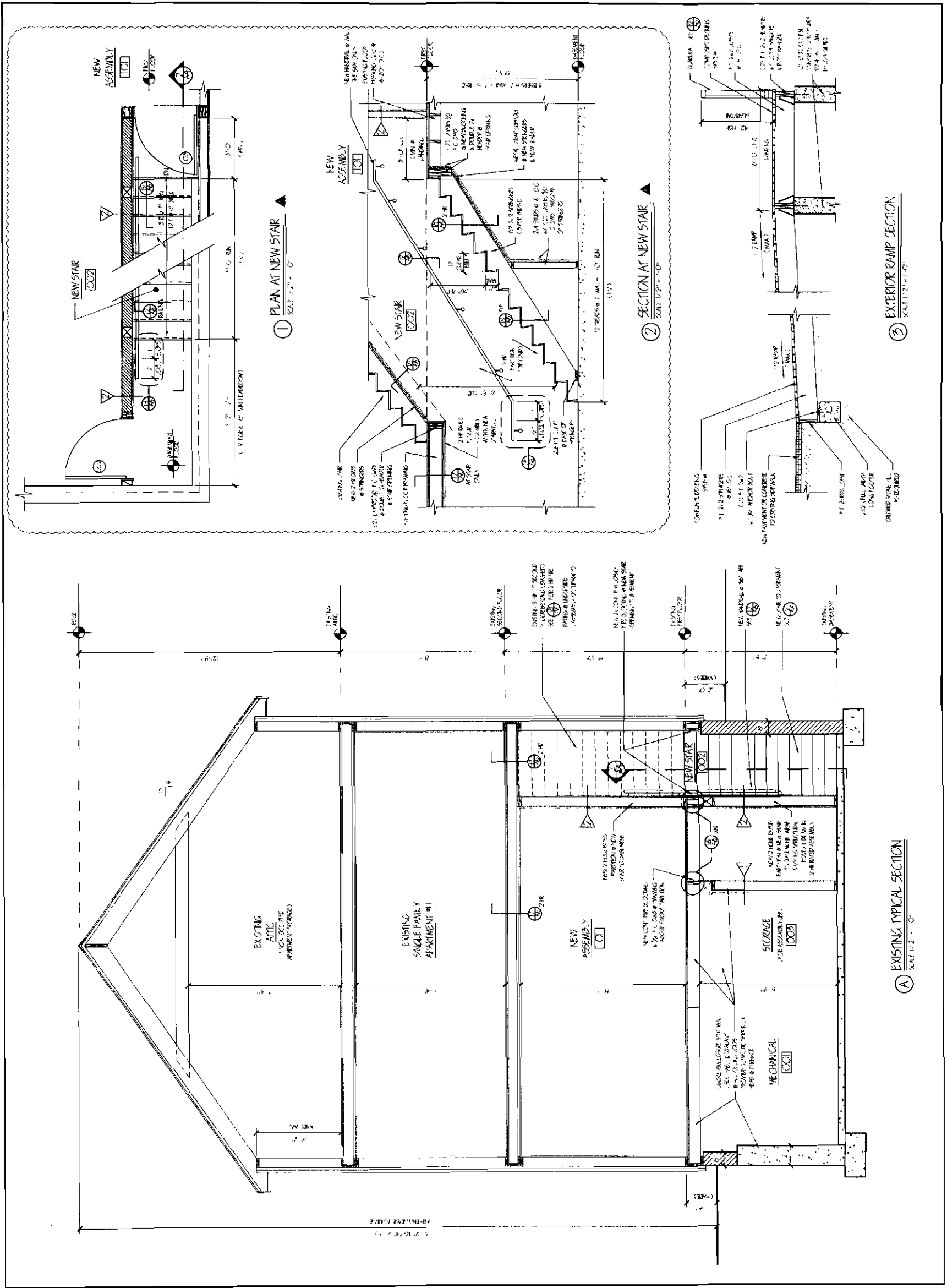
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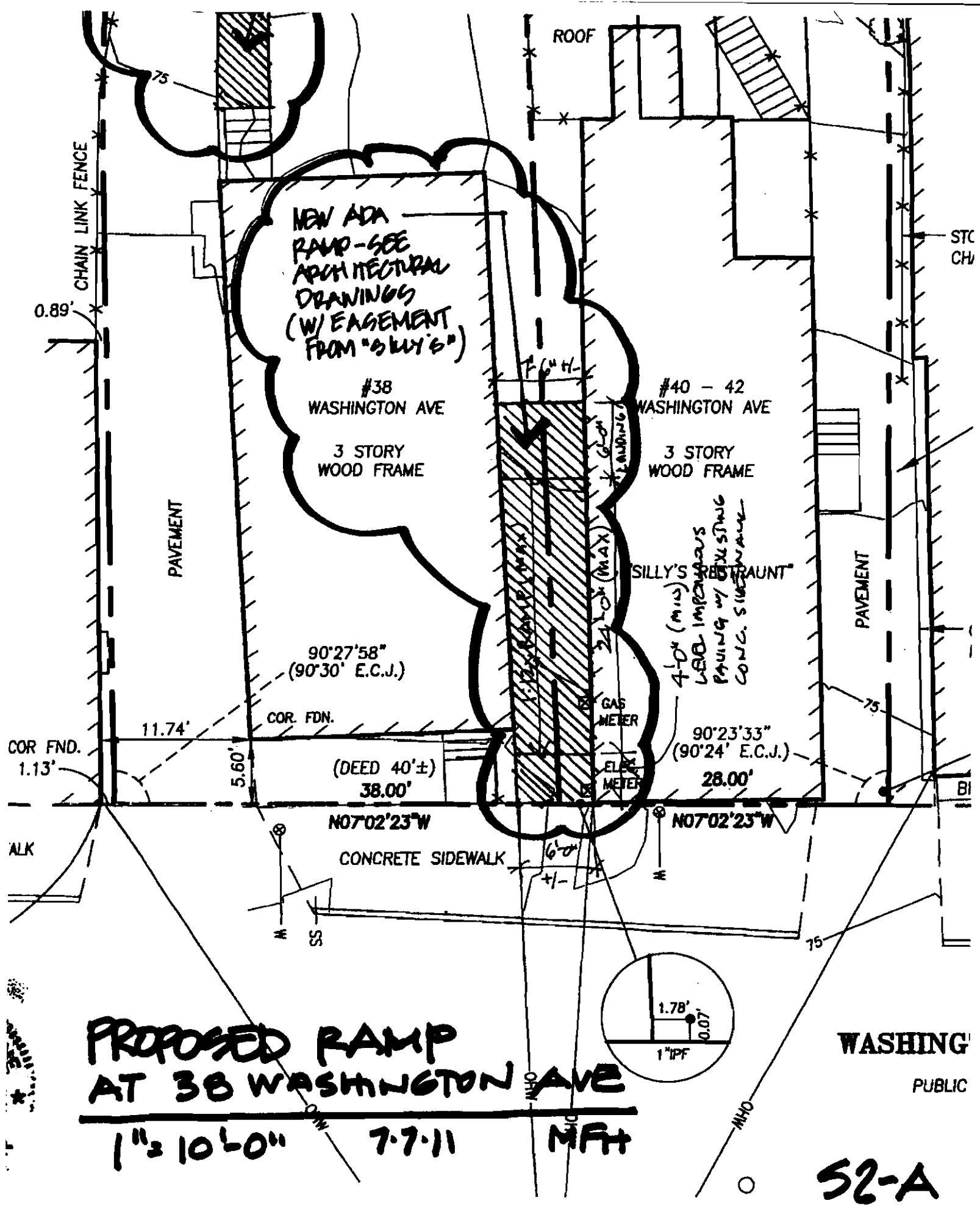
DESCRIPTION

PROJECT NO.

DATE

DESCRIPTION





RECEIVED

JUL - 8 2011

Dept. of Building Inspections
City of Portland Maine



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

June 15 2011

Received from M. Little & Son Inc

Location of Work 2 Washington Ave

Cost of Construction \$ _____ Building Fee: 300.00

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: 5.00

Total: 305.00

Building (I) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 013 E 016

Check #: 604 Total Collected \$ 305.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development Building Inspections Division

Location: 38 Washington Ave

CBL: 013- E-016-001

Issued to: Michelle Kelley

Date Issued: December 20, 2011

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-06-1529-CH OF USE, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

1st Floor/2nd Floor

APPROVED OCCUPANCY

Restaurant/ Single Family Dwelling
Use Group A-2/R-3
Type 5B
IBC-2009

Limiting Conditions: The Third Floor (Attic) is not included as occupiable space. It is for storage ONLY.

Approved:

12-20-11
(Date)

M/K
Inspector

[Signature]
Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.