

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

JUN 25 2010 BUILDING INSPECTION

Permit Number JUN 06 2010

PERMIT

This is to certify that City of Portland
Michelle Anne Kelley/Ken Anderson, Builder City of Portland
has permission to Renovate ground floor to a one bedroom apartment, also change doors to fire doors in all common areas.
AT 38 Washington Ave CBL 013 E016001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

06/25/2010

[Handwritten signatures and initials]

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0613	Issue Date:	CBL: 013 E016001
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Location of Construction: 38 Washington Ave	Owner Name: Michelle Anne Kelley	Owner Address: 46 Royal Pine Drive	Phone: 207-415-7507
Business Name:	Contractor Name: Ken Anderson, Builder	Contractor Address: 263 Preble Street South Portland	Phone: 2073188798
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: B-2B

Past Use: Two Family	Proposed Use: Two Family / Renovate ground floor to a one bedroom apartment, also change doors to fire doors in all common areas. <i>legaleuse - 2 family</i>	Permit Fee: \$280.00	Cost of Work: \$25,250.00	CEO District: 1
Proposed Project Description: Renovate ground floor to a one bedroom apartment, also change doors to fire doors in all common areas.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRL-2003 Signature: JMB 6/22/10	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 06/02/2010	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: 6/7/10 <i>JMB</i>	Date: _____	Date: <i>JMB</i>

PERMIT ISSUED

JUN 25 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

7-15-10 - See printed copy of inspection notes JMB

8-13-10
Med LVL Per Beam
need fire blocking
throughout. Need an electrician
to verify 2nd floor. NO
WORK TUBE DOWN
3RD FLOOR N/A we call
for reinspect.

8-18-10
LVL ON SITE not in yet
all Fire blockers and cables
done on first floor
still need to fire cable pipe
penetration
elec still not done

11-20-10 This Building HAS been PESTED AGAINST OCCUPANCY.
Between 4'6" x 18" size = 79 SQR
IN proper Island sink
plumbing

27x29 in. below opening (W) / 820 REQUIRED
wire can reach

Spoke w/ Tammy Munson =
we will release each unit separately from P.A. Occup.
we will continue the Pest Abate Occ of 3rd floor sink

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0613	Date Applied For: 06/02/2010	CBL: 013 E016001
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Location of Construction: 38 Washington Ave	Owner Name: Michelle Anne Kelley	Owner Address: 46 Royal Pine Drive	Phone: 207-415-7507
Business Name:	Contractor Name: Ken Anderson, Builder	Contractor Address: 263 Preble Street South Portland	Phone: (207) 318-8798
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Two Family / Renovate ground floor to a one bedroom apartment, also change doors to fire doors in all common areas.	Proposed Project Description: Renovate ground floor to a one bedroom apartment, also change doors to fire doors in all common areas.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/07/2010

Note: Right, title & interest is with permit #10-0176. **Ok to Issue:**

- 1) This permit is being issued with the understanding that the attic will not be occupied and will be used for storage only. A separate permit will need to be applied for to occupy the attic space.
- 2) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 06/22/2010

Note: **Ok to Issue:**

- 1) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating per Sec. 712 of IBC and R317.3.1.2 of the IRC
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 5) Those renovating residential dwellings shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

Comments:

6/7/2010-amachado: Left vcm for Michelle Anne Kelley. Is attic space part of second floor apartment?

6/8/2010-amachado: Spoke to Michelle Kelley. Right now the attic will be used for storage only. She will be living on the second floor and eventually she wants to make the attic part of the second floor unit, but will apply for a permit to do that.

6/22/2010-jmb: Spoke with Ken A. For clarification on the existing floor joists as the narrative and drawings conflicted. Insulation in ceiling of 1st floor with strapping ok. Asbestos siding to remain, siding over, discussed the existing stairs to the 3rd floor, not compliant and there is no gap to allow for sheetrock on the walls. No work is allowed on the 3rd floor or the stairs, except installation of a fire door. Separate permits is required for work on the 3rd floor.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work prior to occupancy.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

June 9 2010

Received from

Sheppard Home Kollberg
25 Woodbury Ave

Address of Work

Amount of Construction

\$ _____ Building Fee: _____

Permit Fee

\$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 250.00

Permitting (1L)

Permitting (1S) _____

Electrical (1Z) _____

Site Plan (1Z1) _____

Check # 013

016

Total Collected \$ 250.00

No work to be started until permit issued.
Please keep original receipt for your records.

Taken by

Stumpf

TE - Approval Copy
DW - Drawing Copy
- Permit



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>38 Washington Ave., Portland ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>2397 ±</u>	Square Footage of Lot <u>5778</u>	Number of Stories <u>2 + Foundation & Attic</u>
Tax Assessor's Chart, Block & Lot Chart# <u>013</u> Block# <u>E016</u> Lot# <u>001</u>	Applicant * must be owner, Lessee or <u>Buyer</u> Name <u>Michelle Anne Kelley</u> Address <u>46 Royal Pine Drive</u> City, State & Zip <u>Steep Falls, ME 04085</u>	Telephone: <u>207-415-7507</u>
	Owner (if different from Applicant) Name <u>Christian Lamb</u> Address <u>681 Witchtrout Rd.</u> City, State & Zip <u>Sanbornville, NH 03872</u>	Cost Of Work: \$ <u>25,250.</u> C of O Fee: \$ _____ Total Fee: \$ _____
	Current legal use (i.e. single family) _____ Number of Residential Units _____ If vacant, what was the previous use? <u>residential (2 family)</u> Proposed Specific use: <u>2 family residential</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Currently the ground floor is gutted. I would like to make this a habitable one bedroom apartment; change doors to fire doors in all common areas, and receive an occupancy permit for the second floor apartment.</u>	
Contractor's name: <u>Ken Anderson, Builder</u>		
Address: <u>263 Preble Street</u>		
City, State & Zip: <u>South Portland, Maine 04106</u>		Telephone: <u>207-318-8798</u>
Who should we contact when the permit is ready: <u>Michelle Anne Kelley</u>		Telephone: <u>207-415-7507</u>
Mailing address: <u>46 Royal Pine Drive, Steep Falls, Maine 04085</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit

Signature: Michelle Anne Kelley Date: 05/21/10

This is not a permit; you may not commence ANY work until the permit is issued



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are also required if original plans are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

CONTRACT

Washington Avenue remodel for Shelly Kelly

Scope of work as follows:

1. Finish installing house wrap to include siding the building with vinyl siding	\$ 6000.00
2. Pull necessary permits and finish all wiring	1800.00
3. Paint all exterior trim that is not sided	800.00
4. Replace all broken water lines on all three floors of the building	1700.00
5. Insulate interior walls and install drywall tape to include drywall sanding 1 st floor	4500.00
6. Install new kitchen on 1 st floor	1500.00
7. Repair front and rear exterior doors	350.00
8. Trim all windows and doors on 1 st floor	1200.00
9. Install new substrate and new flooring on 1 st floor	2300.00
10. Finish stairs, walls within stair area and install fire door to 3 rd floor	1200.00
11. Repair furnace	600.00
12. Paint 1 st floor	1300.00

Total for all work \$25,250.00

Payments to be made as follows

1. One third due at acceptance of contract	\$400.00
2. One third due once material is delivered to job site	\$400.00
3. Due upon completion of job	\$450.00

Payments to be made to: Ken Anderson Builder
263 Preble Street
South Portland, Me 04106

Tax Id 005621548

Kenneth Anderson

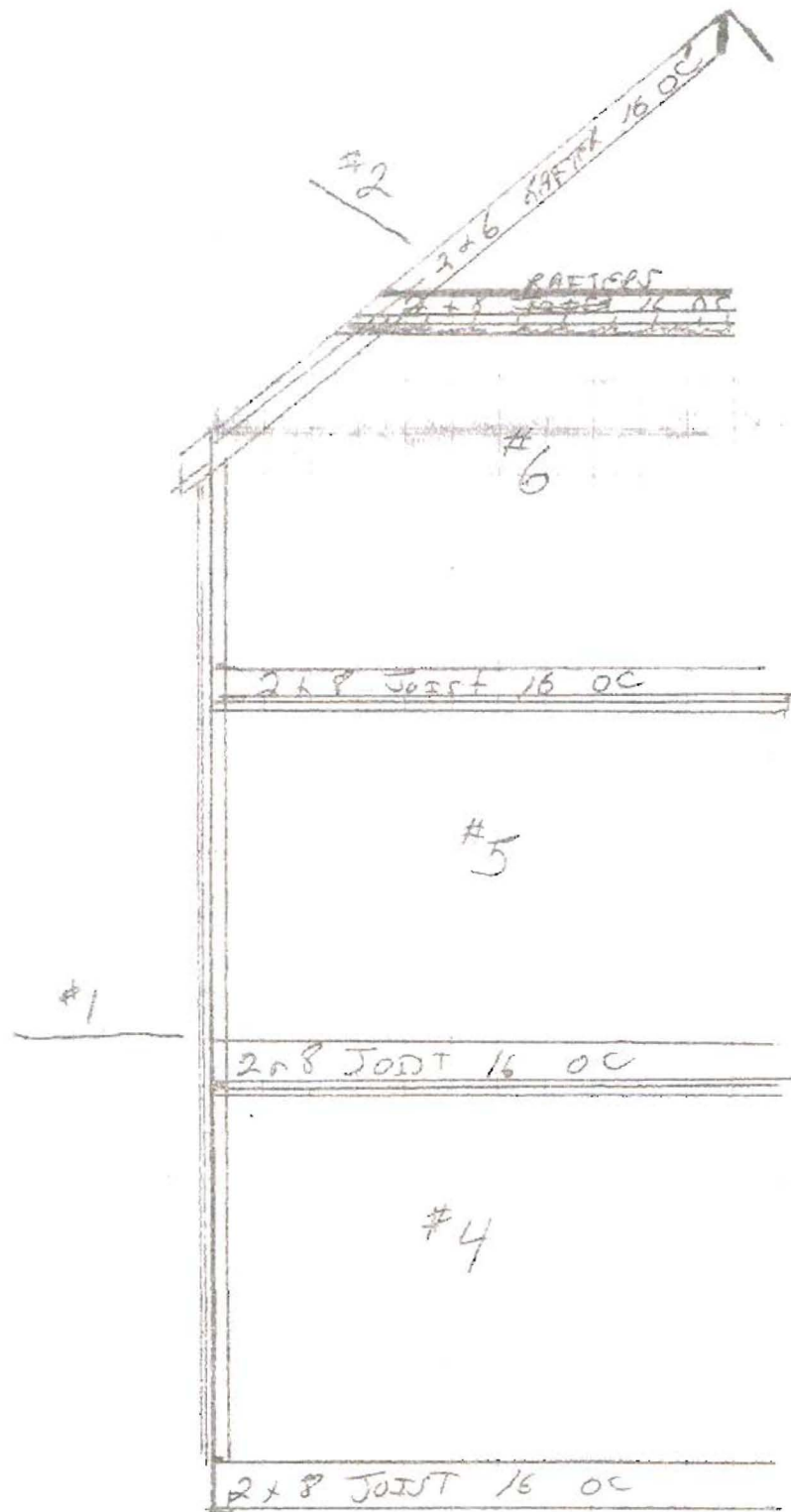
Dated

05/05/2018

Shelly Kelly

Dated

05/05/10

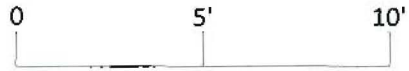


PLEASE REFER
TO PAGE #2
TO EXPLAIN
LEGEND THRU 6

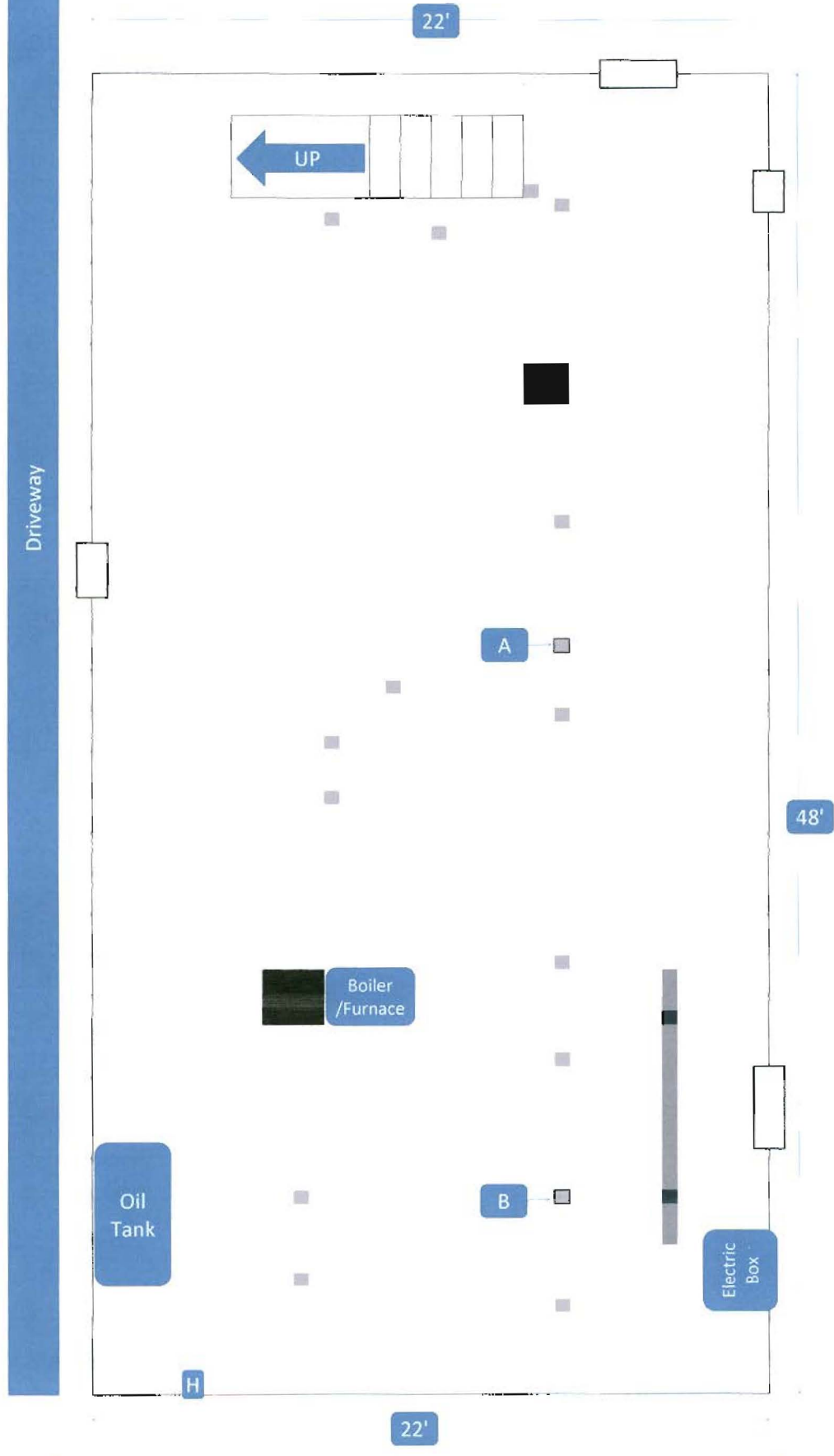
Legend of explanation for cross section of 38 Washington ave

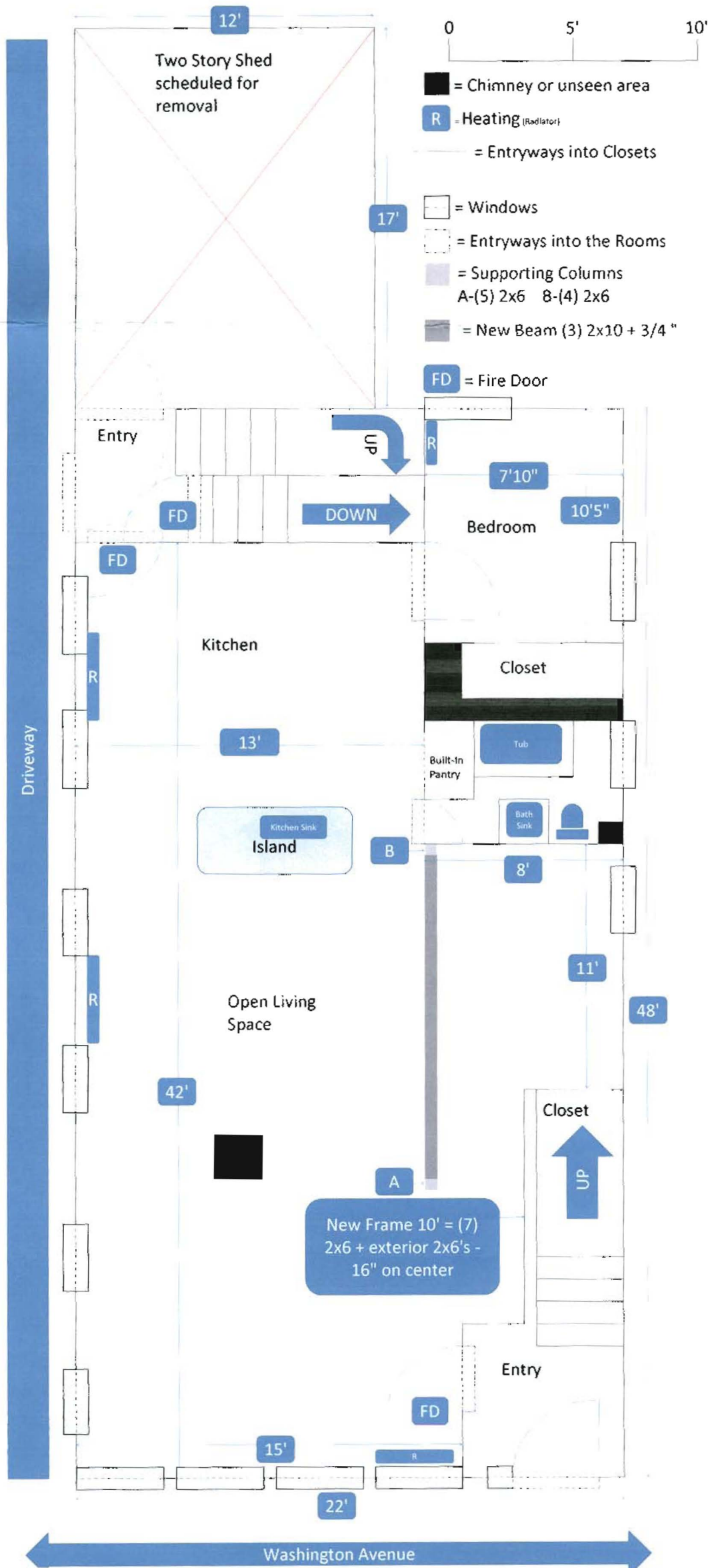
1. Cross section of exterior wall as follows ½ pine sheathing asbestos siding tyvec house rap vinyl siding
2. 2x6 roof rafter 16 on center 1 inch pine plank sheathing 6 inch drip edge 3 feet ice and water 15 lb felt and 30 year architectural shingle also inside 6 ½ insulation and proper vent
3. basement Walls are 10 inch cement to grade balance is brick sill is 4x8 spruce floor joist are 2x8 16 on center with 6 ½ Faced insulation
4. 1st floor is un finished cross section is as follows floor joists 2x8 16 on center and are a true 2x8 there is one layer of pine plank ¾ inch and one layer of ¾ plywood on joist for substrate walls are a true 2x4 with 3 ½ faced insulation and ½ sheet rock ceiling is as follows 5/8 fire rated sheet rock 1x3 strapping 6inch sound proof insulation.
5. 2nd floor there is nothing being done to the second floor it is all still original walls are 2x4 16 on center with blown in insulation walls are plaster and lathe ceilings are plaster and lathe ceiling also has 1x3 strapping and a true 2x8 ceiling joist
per Ken.A. 6/22/10
6. 3rd floor joist are a true 2x6 16 on center substrate is 1 inch pine plank with a second layer of ¾ plywood walls are a true 2x4 with 3 ½ faced insulation with ½ sheet rock ceiling is 5/8 fire rated sheet rock 1x3 inch strapping 6 inch faced insulation and 2x6 ceiling joist

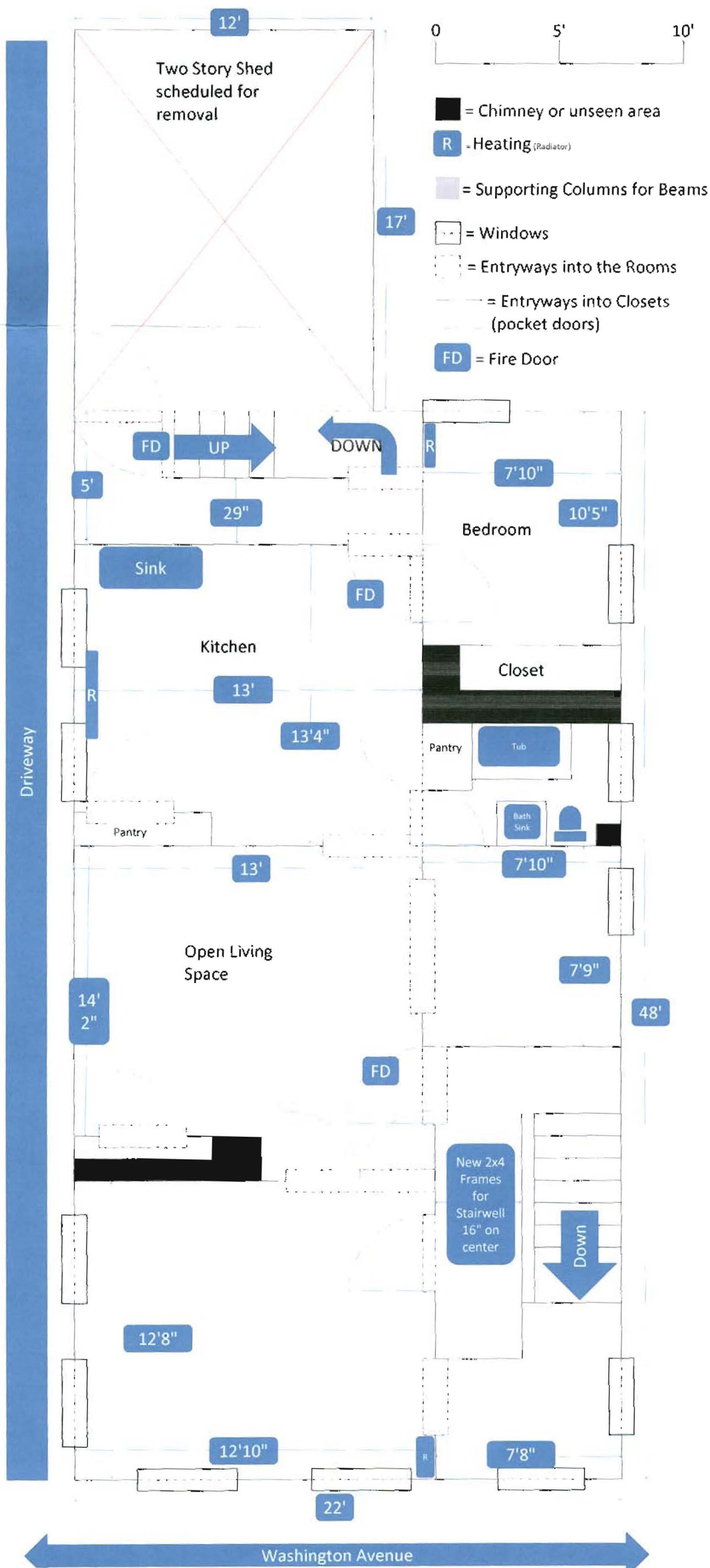
Michelle Kelley
38 Washington Avenue
CBL: 013 E016 001
Basement



- = Chimney or unseen area
- H = Water Meter
- = Supporting Columns each is (1) 6 x 6
- = New Beam (3) 2x10x10' = Existing Support Columns
- = Windows
- A = Support Column - added (3) 2x6's to Existing Column
- B = New Support Column (1) 6x6 + (2) 2x6-

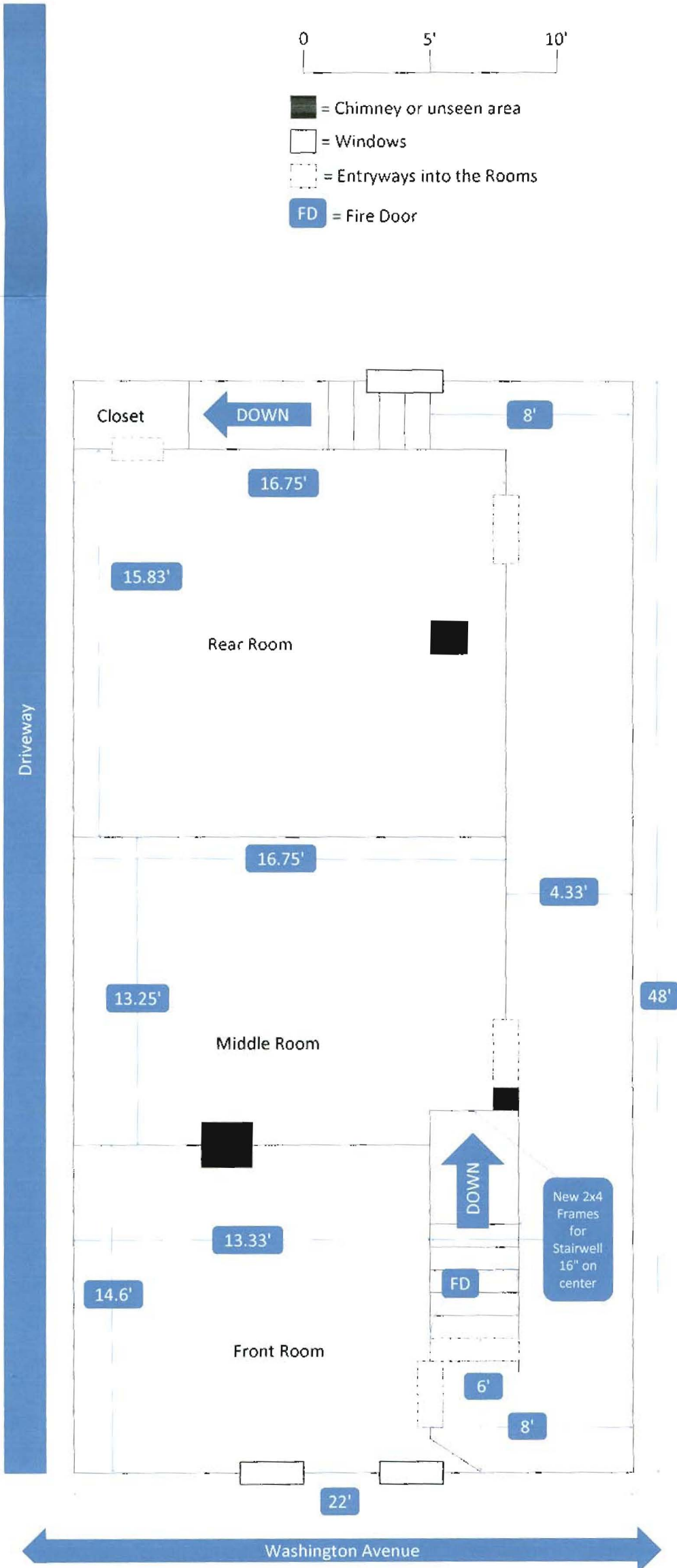








- = Chimney or unseen area
- = Windows
- (dashed) = Entryways into the Rooms
- FD = Fire Door

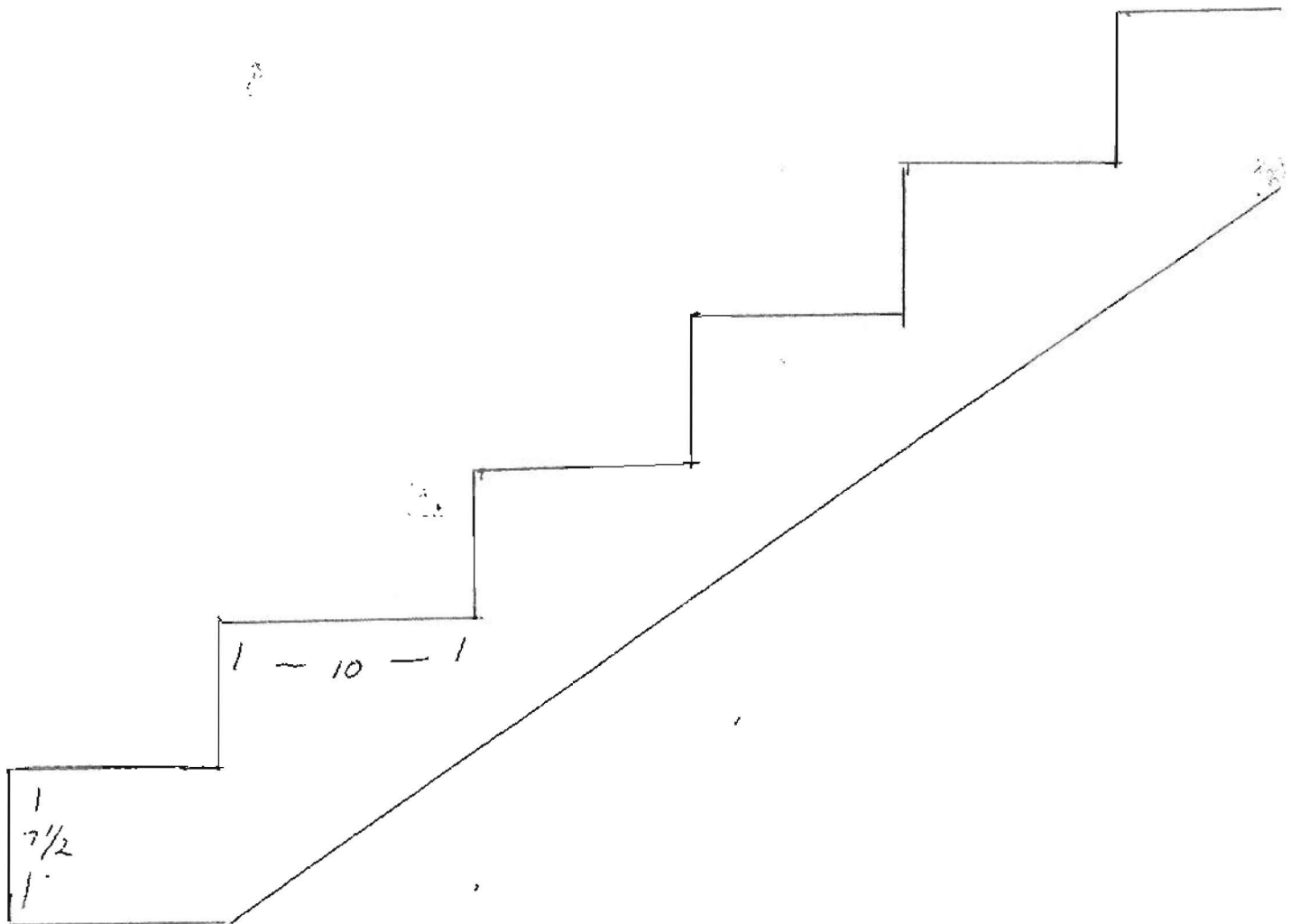


Construction information for 38 Washington ave

1. fire protection hard wired smoke and carbon dioxide detectors installed on all four floors in series
2. fire doors with spring hinges installed as follows basement , second floor apartment front and rear top of the stairs to third floor front bottom of the stairs third floor rear
3. All ceilings are to be sheet rocked with 5/8 fire rated sheet rock all hallway walls are also to be sheet rocked with 5/8 fire rated sheet rock. Also interior hallway walls. All other walls to be done with 1/2 sheet rock.
4. insulation basement is insulated with 6 in faced insulation first floor walls are a true 2x4 16 on center with 3 1/2 faced insulation ceiling joist is a true 2x6 16 on center with 6 inch faced insulation for sound first floor ceiling also is strapped with a true 1x3 strapping
5. all windows are certainty insulated replacement windows that are currently in house.
6. Exterior of building to be rapped with tyvec house rap and sided with vinyl siding.
7. all interior and exterior walls are built with true 2x4 construction
8. all floor joists in building are a true 2x6
9. all roof rafters are a true 2x8 16 on center and is insulated with 6 inch faced insulation with proper vent

10. stairs going to third floor measure 36 inches wide tread width is $10 \frac{1}{2}$ riser height is 7 inches head room is 87 inches
11. cross section of first floor substrate right now is a true 2x6 16 on center two layers of $\frac{3}{4}$ pin carpet is on half the floor vinyl is on the remainder we will be ripping up carpet and vinyl one layer of $\frac{3}{4}$ and replace with $\frac{3}{4}$ tung and grove advantec plywood.

CROSS SECTION OF STAIRS



STAIRS 36 INCH WIDE
4 STAIR STRINGERS 2x12 1 FT OC
FINISHED TREAD 10 1/2 INCHES
FINISHED RISER 7 1/2 INCHES

TREAD TO BE 1 INCH OAK
RISER TO BE CABINET GRADE 3/4 PLYWOOD

32 Garfield Street
Westbrook, ME 04092

207-318-8808

TWIN ELECTRIC

August 25, 2010

13-8-16
2010-4477

RE: 38 Washington Avenue,
Portland, ME 04101

To Whom It May Concern,

As requested, Twin Electric, Inc. has performed a thorough inspection of light fixtures and electrical outlets throughout 2nd floor of the above referenced address. Upon inspection of these light fixtures and electrical outlets, no issues were discovered. These items met minimum National Electrical Code requirements.

Please also note that Twin Electric, Inc. has also properly labeled all circuits in the existing electrical panel on the 2nd floor.

Should you have any questions or concerns regarding this matter please feel free to contact me at the above address or phone number.

Sincerely,

Randy MacWhinnie
Master Electrician/Owner
Twin Electric, Inc

SCANNED

GP Lam® LVL Handling & Installation

- GP Lam LVL shall not be stored in direct contact with the ground and should be protected from weather. Provide air circulation under covering and around stacks of materials.
- Bundles should be stored level and should not be opened until time of installation.
- Stack and handle GP Lam LVL flatwise.
- Handlers and installers should use appropriate personal protective equipment such as gloves and goggles.
- Engineered lumber must not be installed in direct contact with concrete or masonry construction and shall be used in covered, dry use conditions only, where in-service moisture content does not exceed 16%.
- Minimum bearing length for GP Lam LVL beams and headers: end bearing 1½", intermediate bearing 3"
- Ends of GP Lam LVL beams and headers must be restrained against rotation and the top (or compression edge) must be laterally supported by perpendicular framing or bracing at 24" on-center or closer.
- 1¾" x 16" and deeper GP Lam LVL beams must only be used in multiple-piece members.
- Nails installed in the narrow face of GP Lam LVL shall not be spaced closer than 4" (10d common nails) or 3" (8d common nails).
- Multiple piece GP Lam LVL may not be stagger-spliced as is commonly done with dimension lumber. If the required length of a multiple-span beam exceeds the available length of the LVL, the LVL beams must be installed so as to butt together over a common bearing.

- GP Lam LVL is manufactured without camber or specific vertical orientation. It may be installed with the identifying stamps on the side faces reading right side up or upside down.
- Strength and stiffness properties of GP Lam LVL exceed those of typical dimension lumber. It may be possible to substitute GP Lam LVL for dimension lumber roof members in code-prescribed conventional light-frame construction, but design of conventional construction is beyond the scope of this product guide and of BlueLinX Engineered Lumber Technical Services.
- When nail type is not specified in this guide, use common, box or sinker.
- To help safeguard the structural integrity of connections with preservative treated wood, use only hot-dipped galvanized or stainless steel fasteners, connectors and hardware.

As a minimum requirement, hot-dipped galvanized coated fasteners should conform to ASTM Standard A153 and hot-dipped galvanized coated connectors should conform to ASTM Standard A653 (Class G-185). In demanding applications, or in highly corrosive environments, stainless steel fasteners and connectors should be utilized and may, in fact, be required by building codes.

Most commonly available electroplated galvanized fasteners do not have a sufficient coating of zinc and are not recommended. Aluminum should not be used in direct contact with preservative treated wood. Never mix galvanized steel with stainless steel in the same connection.

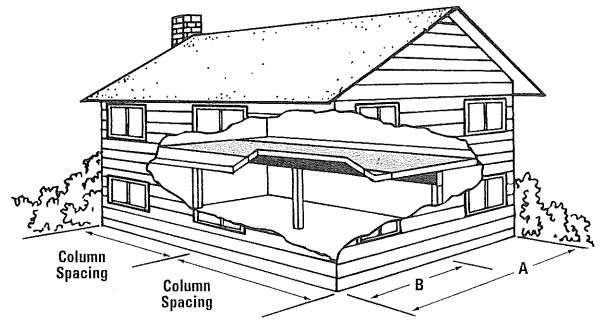
GP Lam LVL Floor Beams

The table below shows the size of the beams needed to support various floor systems. The table is valid for loads of one floor only, i.e., a second story floor or one story floor over a basement. (See drawing at right.)

When floor joists span continuously from wall to wall (not cut at beam) this table requires that "B" be not less than 45%, or greater than 55% of "A".

Example: If "A" = 32', "B" must be between 14.4' (32 x .45) and 17.6' (32 x .55)

For non-conforming situations, use FASTBeam® analysis and selection software or contact BlueLinX.



		Column Spacing (center-to-center)									
		11'	12'	13'	14'	15'	16'	17'	18'	19'	20'
Total Floor Joist Span "A"	24'	2-11½" 3-9½"	2-11½" 3-9½"	2-11½" 3-11½"	2-14" 3-11½"	2-14" 3-11½"	2-16"+ 3-14"	2-16"+ 3-14"	2-18"+ 3-16"	2-18"+ 3-16"	2-18"+ 3-16"
	28'	2-11½" 3-9½"	2-11½" 3-11½"	2-14"+ 3-11½"	2-14"+ 3-11½"	2-16"+ 3-14"	2-16"+ 3-14"	2-16"+ 3-14"	2-18"+ 3-16"	2-18"+ 3-16"	2-18"+ 3-16"
	32'	2-11½"	2-14"+ 3-11½"	2-14"+ 3-11½"	2-14"+	2-16"+ 3-14"	2-16"+ 3-14"	2-18"+ 3-16"	2-18"+ 3-16"	3-16"+	3-18"+
	36'	2-11½"+ 3-11½"	2-14"+ 3-11½"	2-14"+ 3-11½"	2-16"+ 3-14"	2-16"+ 3-14"	2-18"+ 3-14"	3-16"+	3-16"+	3-18"+	3-18"+
	40'	2-11½"+ 3-11½"	2-14"+ 3-11½"	2-14"+	2-16"+ 3-14"	2-16"+ 3-14"	3-16"+	3-16"+	3-16"+	3-18"+	3-18"+

NOTES:

1. Table is based on continuous floor joist span and simple or continuous beam span conditions. If floor joists are not continuous above the beam, take the sum of the joist spans then multiply by 0.8. This is the total floor joist span to consider.
2. Required end bearing length (based on 565 psi) is 3.0" unless the subscript + is shown. In that case, 4.5" is required.
3. At intermediate supports of continuous spans, use the following guidelines or refer to page 40.
 - 7½" bearing length for beams requiring 3" bearing at the beam ends
 - 10½" bearing length for beams requiring 4½" bearing at the beam ends

4. Beams require full width bearing. Minimum cripple size for 5 ¼" thick beams is 2x6.
5. Table is based on residential floor loading of 40 psf live load and 12 psf dead load.
6. Live load reductions have been applied per IBC section 1607.9.1.
7. Deflection is limited to L/360 at live load and L/240 at total load.
8. For other loading conditions refer to page 42.

City of Portland, Maine
Inspections Division
Inspection Schedule by Inspector

Appointment Date Between 6/10/2010 And 7/15/2010

Inspector Jeanie Bourke

Date	Type	Address	Parcel	Census	AppID	Reached	ETA
06/10/2010	CDBG housing insp Hous	38 WASHINGTON AVE	013 E016001	5	100613	Y N LM	10:28 AM

Comments: Michele 415-7507 Inspect 2nd floor for occupancy

Outcome: Met Michele on site to inspect the existing conditions and for occupancy of the 2nd floor apartment. First floor gutted out and new beam has been installed to carry floor opening for 3rd floor stair, this is also carried into the basement, but there is no sign of new footings. Second floor is in good shape, smokes work, need CO detector. Stair to 3rd floor is not consistent in rise and framing was not held off the wall studs for sheetrock. Third floor has been reconfigured and a hallway was created close to the eave of the rafters so headroom is well below required height. No further work allowed in this area. Furnace needs to be serviced and sewer appears to be exposed at a clean out, no water at this time. Michele will contact when ready for inspection.

Date	Type	Address	Parcel	Census	AppID	Reached	ETA
07/15/2010	CDBG housing insp Hous	38 WASHINGTON AVE	013 E016001	5		Y N LM	10:30 AM

Comments: Inspect 2nd floor apartment for occupancy, contact is Michelle Kelley @ 415-7507 or Rod Plaisted's number is 860-578-5677 am inspection

Outcome: Met Michelle and Rod(subcontractor), it appears both electrical and plumbing work is being installed without permits. Asked Michelle to have the GC Ken Anderson call me. Need to verify if licensed contractors did the work, including boiler work, fees assessed. Second floor apt. Is not ready, plumbing is not hooked up, rear stairway does not have lights. The rear addition was demolished and now code compliant egress steps are required. The 4" hole in the basement slab was filled with concrete, need plumber to verify this did not hook up to sewer drain. Discussed some additional work to be submitted for application for the 3rd floor (bedrooms). OUT 11:17