

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 090275
JUN 10 2010

This is to certify that ALI ABDUL & HABIBO ADAM JTS/MH

has permission to New 3rd Floor DU, 714sf existing rear building to be storage of goods, Separate fire areas for mixed uses City of Portland

AT 44 WASHINGTON AVE City 013-E012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is father or other persons moved-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Gauthier

Health Dept. _____

Appeal Board _____

Other _____

Department Name

James Burke 6/10/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

4.6. 2009

Received from

Abdul Ali

Location of Work

44 Washington

Cost of Construction \$

Building Fee: 50

Permit Fee \$

Site Fee:

Certificate of Occupancy Fee: 75

Total: 125

Building (I1)

Plumbing (I5)

Electrical (I2)

Site Plan (U2)

Other

CBL: 13-E-12

Check #:

Total Collected \$ 125

No work is to be started until permit issued.

If permit is Withdrawn or Denied, amount of the Refund is based on \$20.00 or 20% of the fee, (whichever is greater)

In order to receive a refund, you **MUST** present the Original Receipt.

Taken by:

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0275	Issue Date:	CBL: 013 E012001
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Location of Construction: 44 WASHINGTON AVE	Owner Name: ALI ABDUL & HABIBO ADAM J	Owner Address: 46 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Michael Nadeal	Contractor Address: 143 Grant St Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-2b

Past Use: Retail Grocery Store & One dwelling unit on 2nd floor (No CO issued Permit #06-0192)	Proposed Use: Retail Groc Store, 2nd floor DU and new 3rd Floor DU, 714sf existing rear building to be storage of goods. Separate fire areas for mixed uses	Permit Fee: \$125.00	Cost of Work: \$3,000.00	CEO District: 1
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: M/S/R Type: SB
Signature: (KG)	Signature: JMB 6/10/10

Proposed Project Description:
 New 3rd Floor DU, 714sf existing rear building to be storage of goods, Separate fire areas for mixed uses

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: Ldobson	Date Applied For: 04/06/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied ABM
Date: 12/7/09 ABM	Date: _____	Date: _____

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JUN 10 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0275	Date Applied For: 04/06/2009	CBL: 013 E012001
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Location of Construction: 44 WASHINGTON AVE	Owner Name: ALI ABDUL & HABIBO ADAM J	Owner Address: 46 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Michael Nadeal	Contractor Address: 143 Grant St Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Retail Groc Store, 2nd floor DU and new 3rd Floor DU, 714sf existing rear building to be storage of goods. Separate fire areas for mixed uses	Proposed Project Description: New 3rd Floor DU, 714sf existing rear building to be storage of goods, Separate fire areas for mixed uses
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Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado Approval Date: 12/07/2009

Note: - Need 1,000 sf of land area per dwelling unit above the first floor. Lot is 7247 so OK. Ok to Issue:
 - Retail area is shown as 1518 sf, so does not require parking for that. Need one parking space for existing dwelling unit and one parking space for proposed third floor unit. Change of use needs a total of two parking spaces. Two can fit in driveway.

- 1) With the issuance of this permit and the certificate of occupancy, this property will be first floor, front - retail & rear -storage; second floor - one dwelling unit; and third floor - one dwelling unit. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 06/10/2010

Note: Ok to Issue:

- 1) This permit recognizes the 3rd floor has been previously occupied as a dwelling unit without benefit of approvals. It does not require or certify compliance with the City's current building code, however it shall meet all state statutes for existing apartments and the City's Housing Code.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant, with revisions. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire Status: Approved with Conditions Reviewer: Capt Keith Gautreau Approval Date: 06/10/2010

Note: Ok to Issue:

- 1) Two means of egress are required from every story. "State Law Title 25 ~ 2453"
- 2) All construction shall comply with NFPA 1 and 101.
- 3) All smoke detectors and smoke alarms shall be photoelectric. Carbon Monoxide detectors are required in the dwelling units by State law.

PERMIT ISSUED

JUN 10 2010

Comments:	City of Portland
6/2/2010-jmb: Received floor plans from Jim M., will have fire review, egress was approved on permit #091359.	
6/10/2010-jmb: Received from fire, ok to issue	
12/15/2009-jmb: Reviewed plans with Ben W. And feel we need to inspect to fully understand the layout.	

Location of Construction: 44 WASHINGTON AVE	Owner Name: ALI ABDUL & HABIBO ADAM J	Owner Address: 46 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Michael Nadeal	Contractor Address: 143 Grant St Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

2/11/2010-jmb: Inspected apartment layout on both 2nd and 3rd floors, there are many issues with egress and separation from the mercantile occupancy. Ben W. Was not available, will reschedule for fire to accompany. The 3rd floor has obviously been occupied as an apartment, has a kitchen and several rooms, but does not meet several codes.

2/18/2010-jmb: Inspected with Keith G., egress from the 3rd floor will be built, when approved. The front hall at 2nd floor will be sheetrocked in 5/8" type x, fire doors installed at apt doors and the winding stair to 3rd flr removed and floored over. The old nonconforming railing on the shed roof needs to be removed as this is not to be occupied. Revised plans for the exterior stair need to be submitted.

4/30/2010-jmb: Spoke to Jim M., he will submit floor plans of the whole building prior to this issuance.

4/8/2009-amachado: Need to talk to Jeanie. No plot plan. Can't follow the floor plans. What is the size of the building? Is the egress shown existing?

4/9/2009-amachado: Jeanie & I met with Abdul Ali at the counter. We told him what we need. Need plot plan, scaled floor plans - before & after, & need to know what the storage area is being used for.

12/7/2009-amachado: Received permit application on 11/24/09 to build exterior egress from third floor to ground across one story rear storage area. Contained a plot plan. Found previous plot plans with permits on file showing a 10' wide driveway.

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JUN 10 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**

NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

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City of Portland



General Building Permit Application

If you, or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>44 & 46 Washington</u>			Total Square Footage of Proposed Structure/Area <u>1st 34'x80' 2nd 34'x52' 3rd 34'x36' 112'x62' = 6,944sq FT</u>		Square Footage of Lot <u>3</u>		Number of Stories <u>3</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>E</u> Lot# <u>12</u>			Applicant <u>must be owner, Lessee or Buyer</u> Name <u>ABDUL ALI</u> Address <u>46 Washington AU</u> City, State & Zip <u>Portland Me 04101</u>			Telephone: <u>899 5818</u>		
Lessee/DBA (If Applicable)			Owner (if different from Applicant) Name <u>MAIL</u> Address City, State & Zip			Cost Of Work: \$ <u>3,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>125</u>		
Current legal use (i.e. single family) <u>Grocery</u>			Number of Residential Units <u>1</u>			If vacant, what was the previous use?		
Proposed Specific use:			Is property part of a subdivision? _____ If yes, please name _____			Project description: <u>one dwelling 2nd floor</u>		
Fire code <u>UNIT 2nd FLOOR & ADD dwelling unit ON 3rd Floor</u>			Grocery store <u>with storage (714 SF) storage Room behind Grocery</u>			Contractor's name: <u>Michael Nadeau</u>		
Address: <u>143 Grant St</u>			City, State & Zip <u>Portland Me 04101</u>			Telephone: <u>7741871</u>		
Who should we contact when the permit is ready: <u>Abdul Ali</u>			Telephone: <u>8995818</u>			Mailing address: <u>44 Washington Ave Port. Me 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

APR -3 2009

Signature: Abdul Ali

Date: 040609

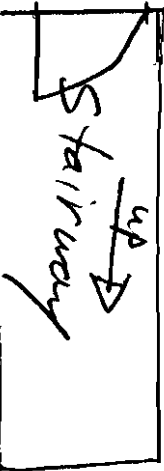
This is not a permit; you may not commence ANY work until the permit is issue

Dept. of Building Inspections
City of Portland Maine

JUN - 2 2010

RECEIVED

NEW
revised



Garage

Counter

Bathroom

office

office

Hallway

Walkin

Storage

Stairway
closed off

1st Floor
Abdul Ali
44 Washington Ave.

City of Portland Maine
Dept. of Building Inspections
JUN - 2 2010

RECEIVED

New Revised

Bedroom

Bedroom

Fire Doors

Hall

Living room

Bathroom

Bedroom

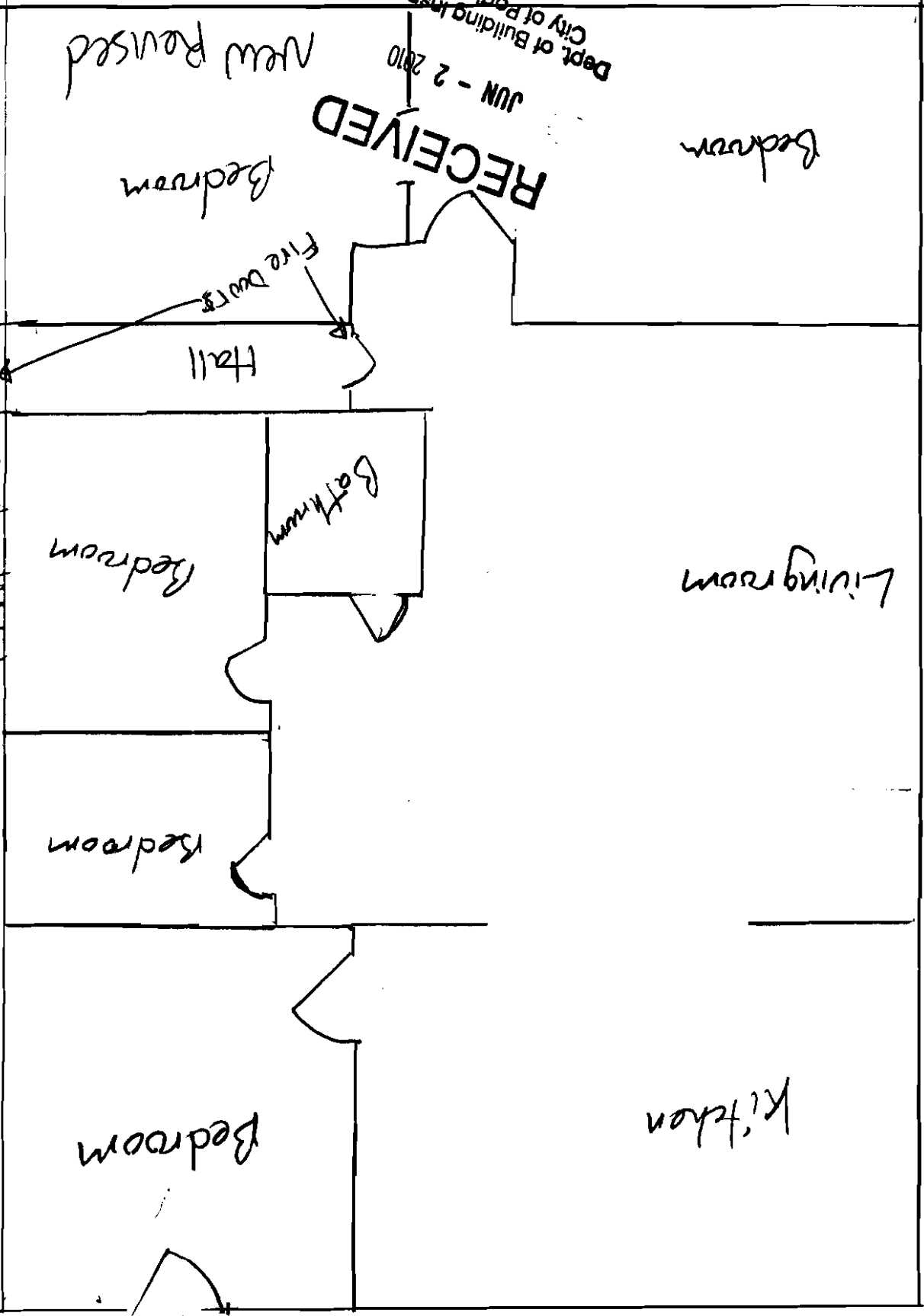
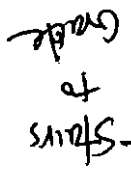
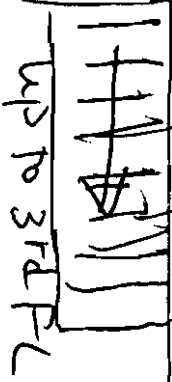
Bedroom

Kitchen

Bedroom

2nd Floor

Egress to Roof & Stairs to Grade

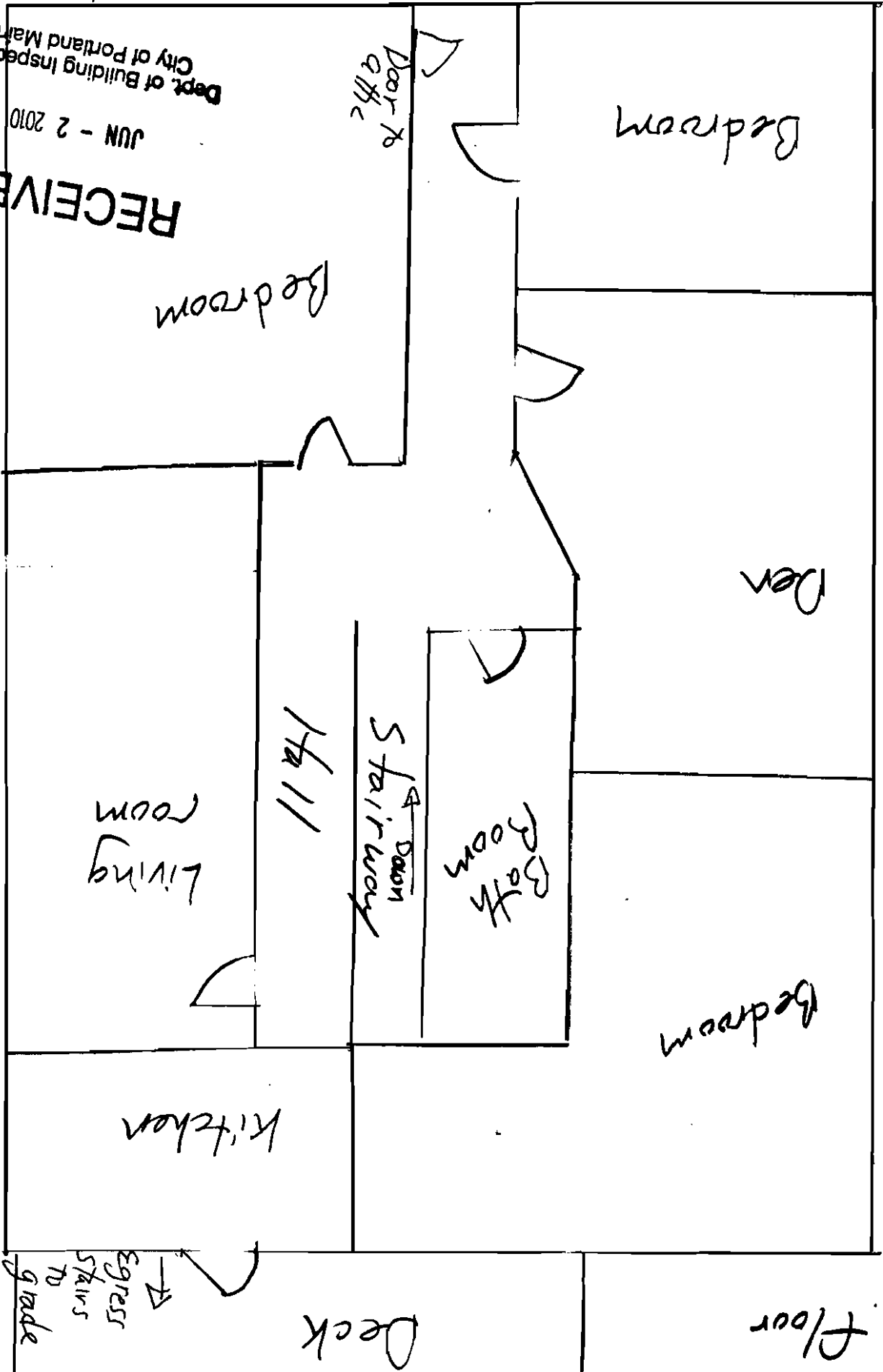


New Revised

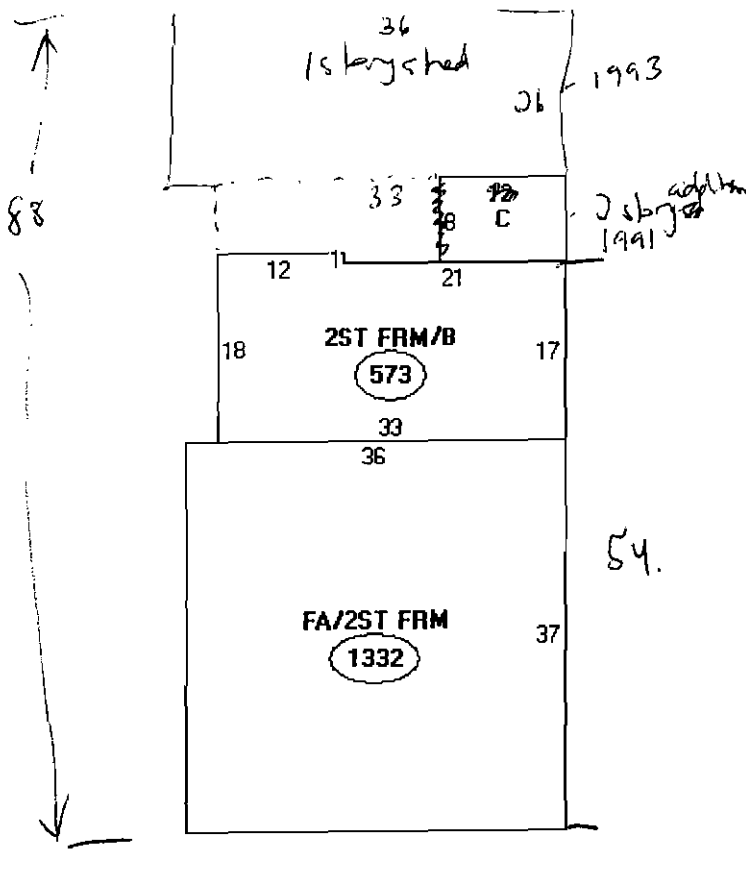
Dept. of Building Inspections
City of Portland Maine

JUN - 2 2010

RECEIVED



3rd Floor



- Desc:
- A: FA/2ST 1332
 - B: 2ST F 573 s
 - C: EFP/I 96 sq

Permit 91-2361- 2 story addition 8' 33 (in rear)

existing was 36' x 54'

Permit 93-0476 - add 26' x 36' shed to rear

permit# - 03 - 1344
plot plan

#44-46 Washington Avenue

ENTRANCE DOOR

34' x 36' = 1224
each floor

doorway secured shut

48' W

D 42" x 83"

Main Entrance

48' W

driveway holds 3 Vehicles

W 32' x 54'

str to 2 flr

Open Rail Stairway

Living Room 28 FT x 36 FT

Sliding Doors 74" x 80"

UNIT ONE

all one room

One Bedroom 7 FT x 13 FT

Privacy Partition

One Bedroom 7 FT x 11 FT

Full Bath 6 FT x 11 FT

Kitchen 11 FT x 22 FT

1/2 Bath 45" x 60"

36" x 80" D

34 FT

32' x 36" D

36 FT

W 30' x 36"

LAND'S DIMENSION 147' x 147'

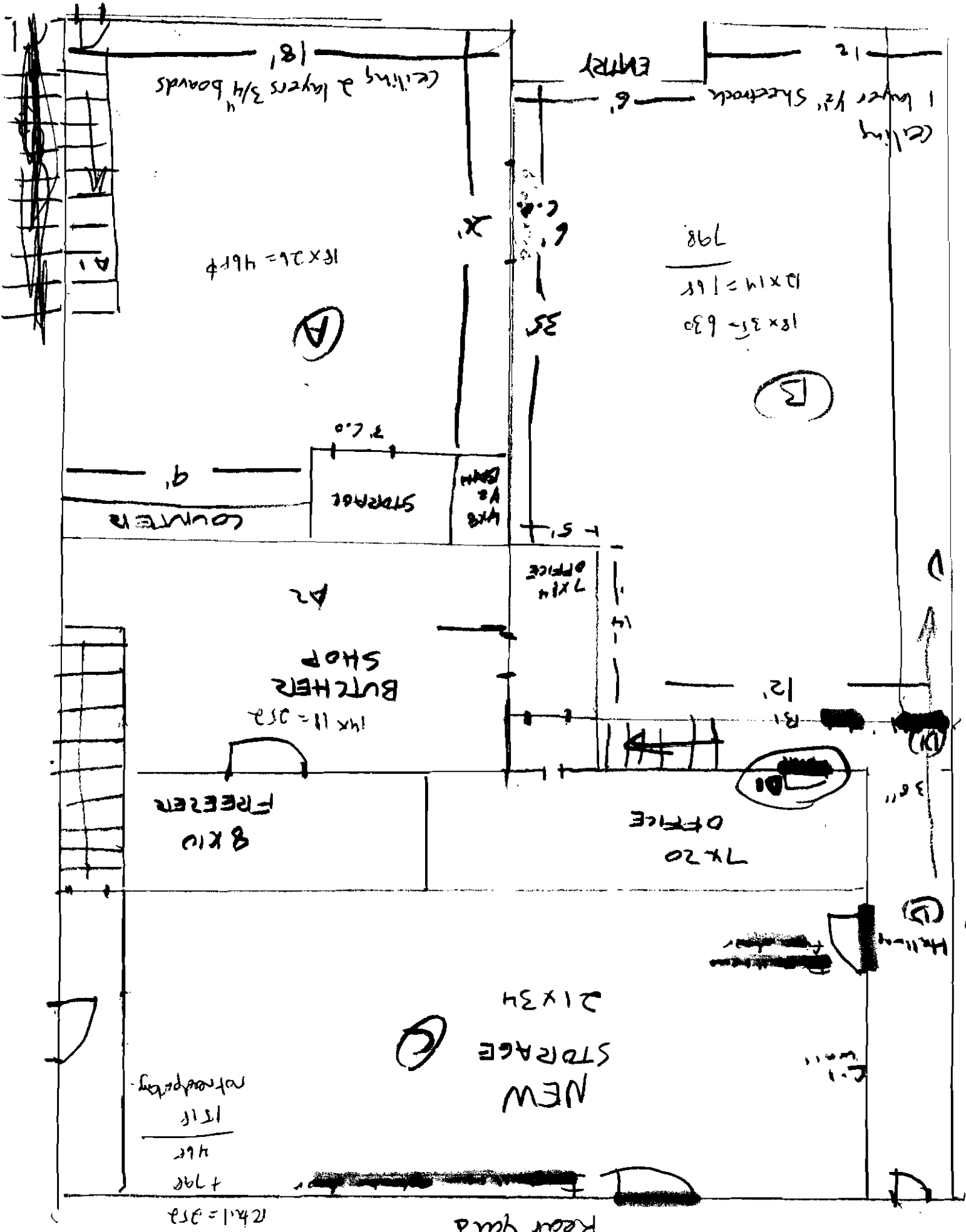
1st floor

lot: 48' frontage
147' depth

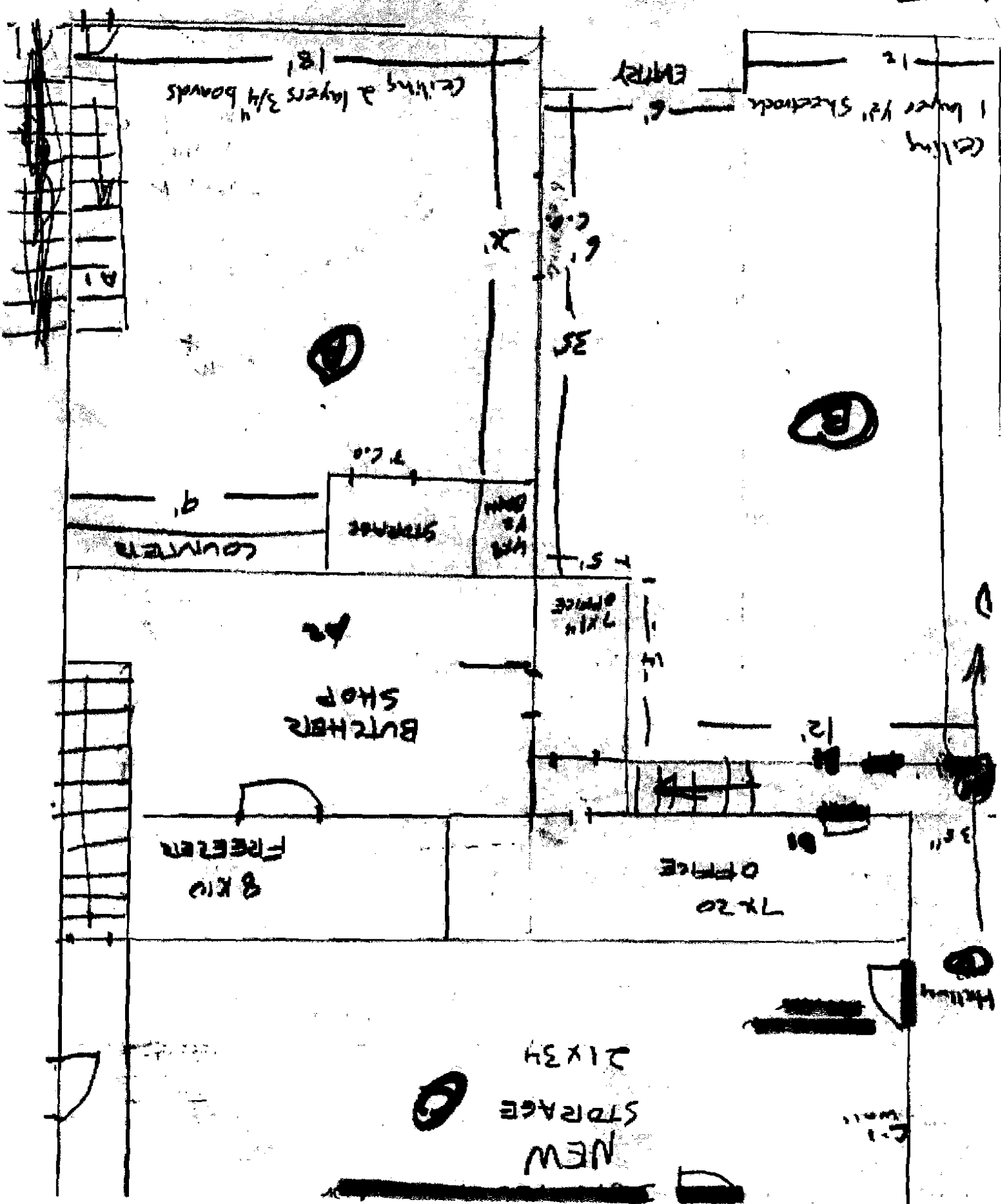
W = window
D = door

013 E 012
08 1344

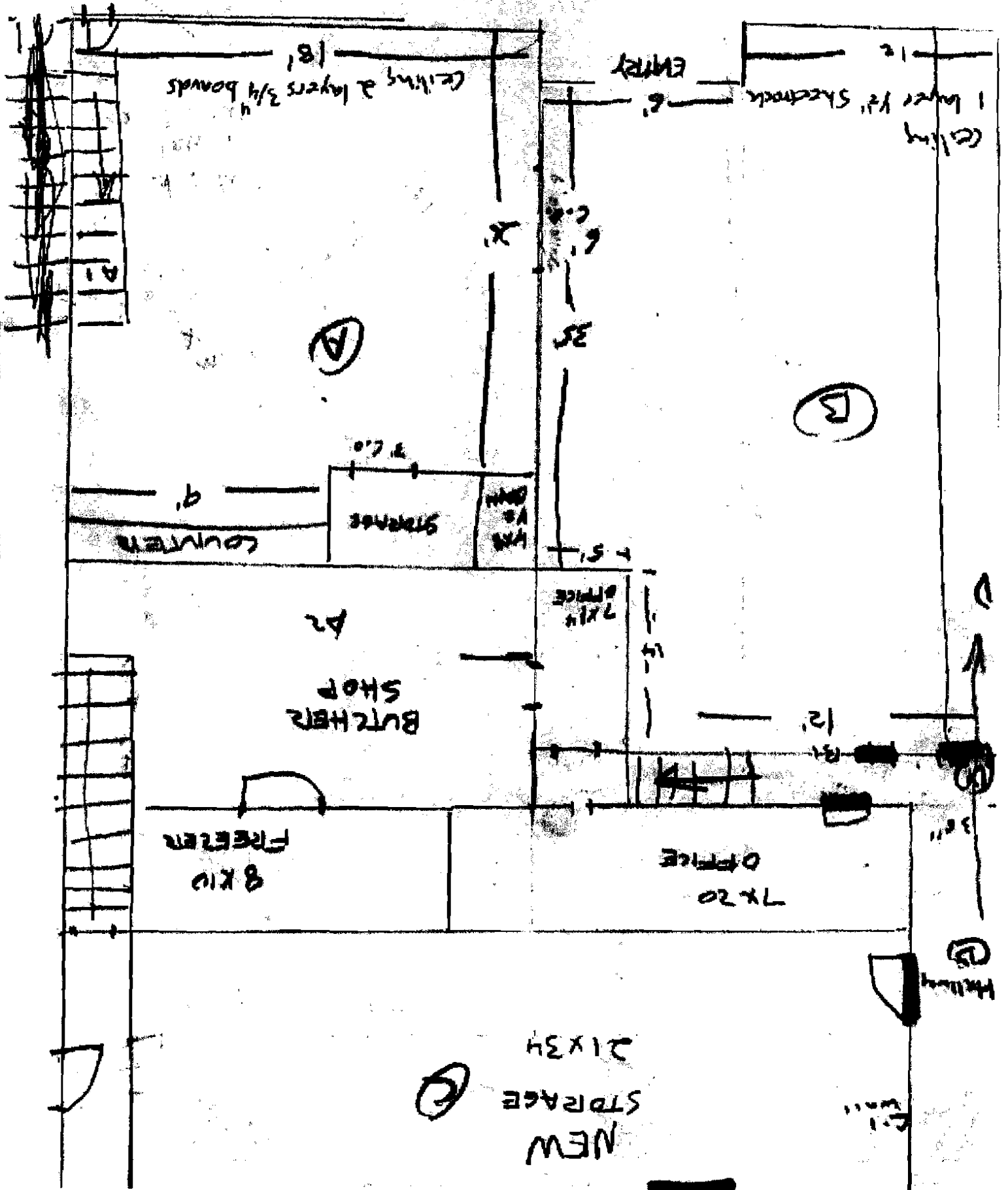
1st Floor



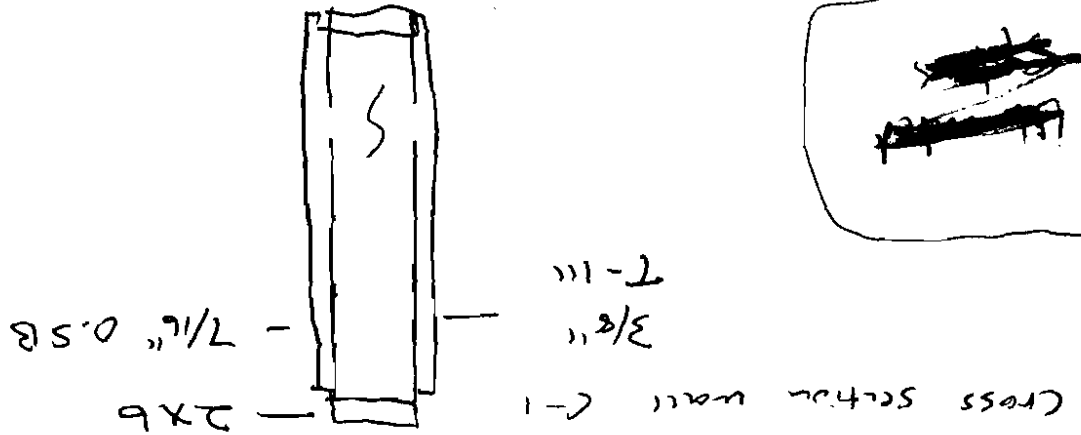
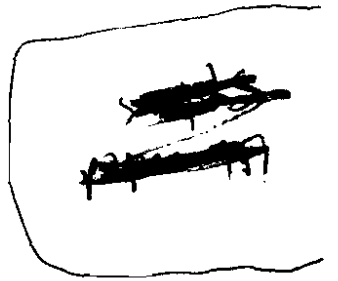
1st Floor



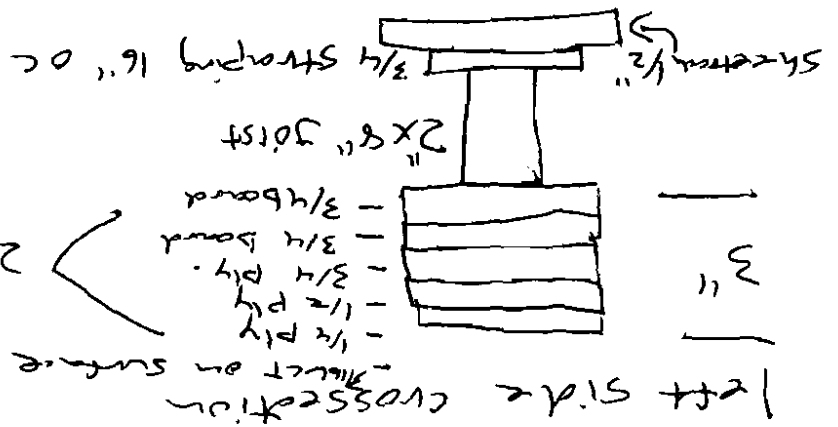
1st Floor



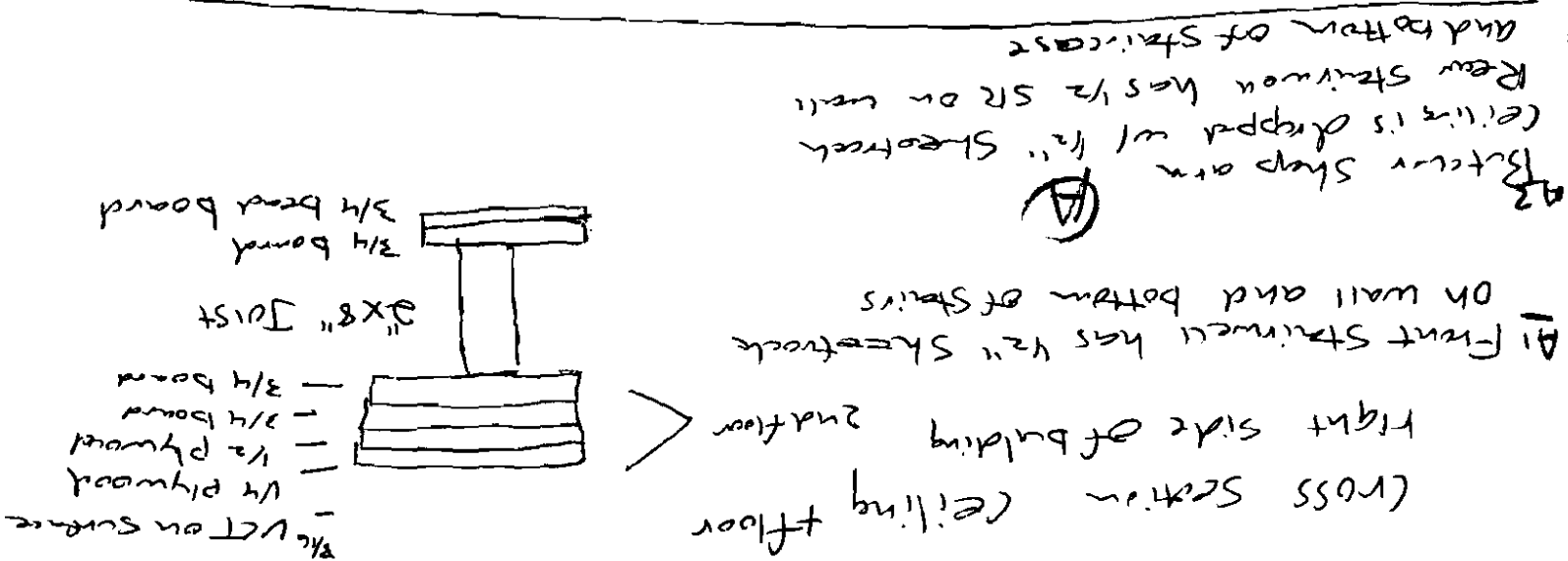
(Over)



Storage area has $\frac{1}{2}$ ~~plywood~~ O.S.B. on all interior walls and on ceiling. Hall side has $\frac{3}{8}$ " T-111 on wall.

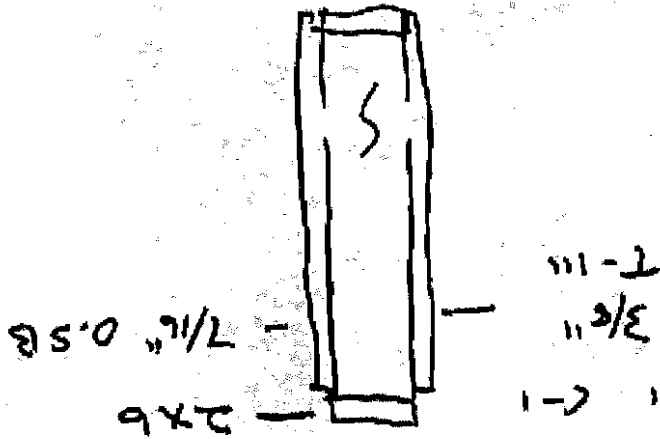


B1 wall has $\frac{1}{2}$ SR on both sides plus $\frac{1}{4}$ " ply on stair side



A1 Front stairwell has $\frac{1}{2}$ " Sheetrock on wall and bottom of stairs
 Butcher Shop area $\frac{1}{2}$ " Sheetrock ceiling is dropped w/ $\frac{1}{2}$ " SR on wall
 Rear stairwell has $\frac{1}{2}$ SR on wall
 and bottom of stairwell

(Over)

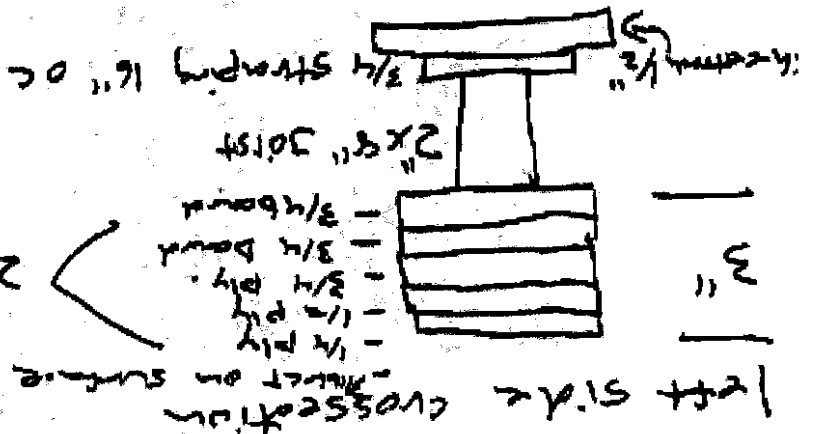


Cross section wall C-1

on wall.

Storage area has ~~1/2~~ O.S.B. on all interior walls and on ceiling. Hall side has 3/8\"/>

ⓐ



3/4\"/>

2nd floor

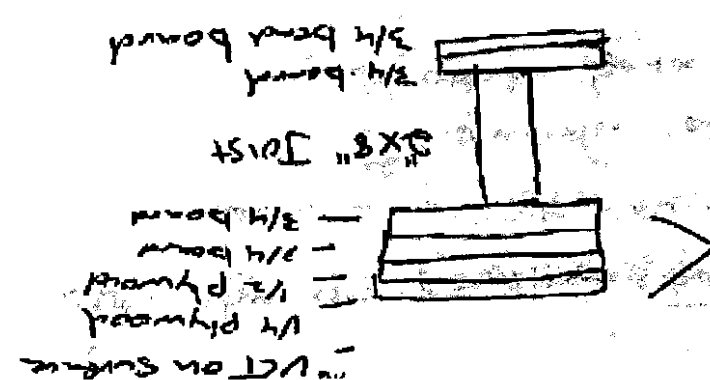
ⓑ

ⓑ 1 wall has 1/2 SR on both sides plus 1/4\"/>

SR Sharp on 1/2\"/>

ⓐ

Right side of building Ceiling floor 2nd floor



3/4\"/>

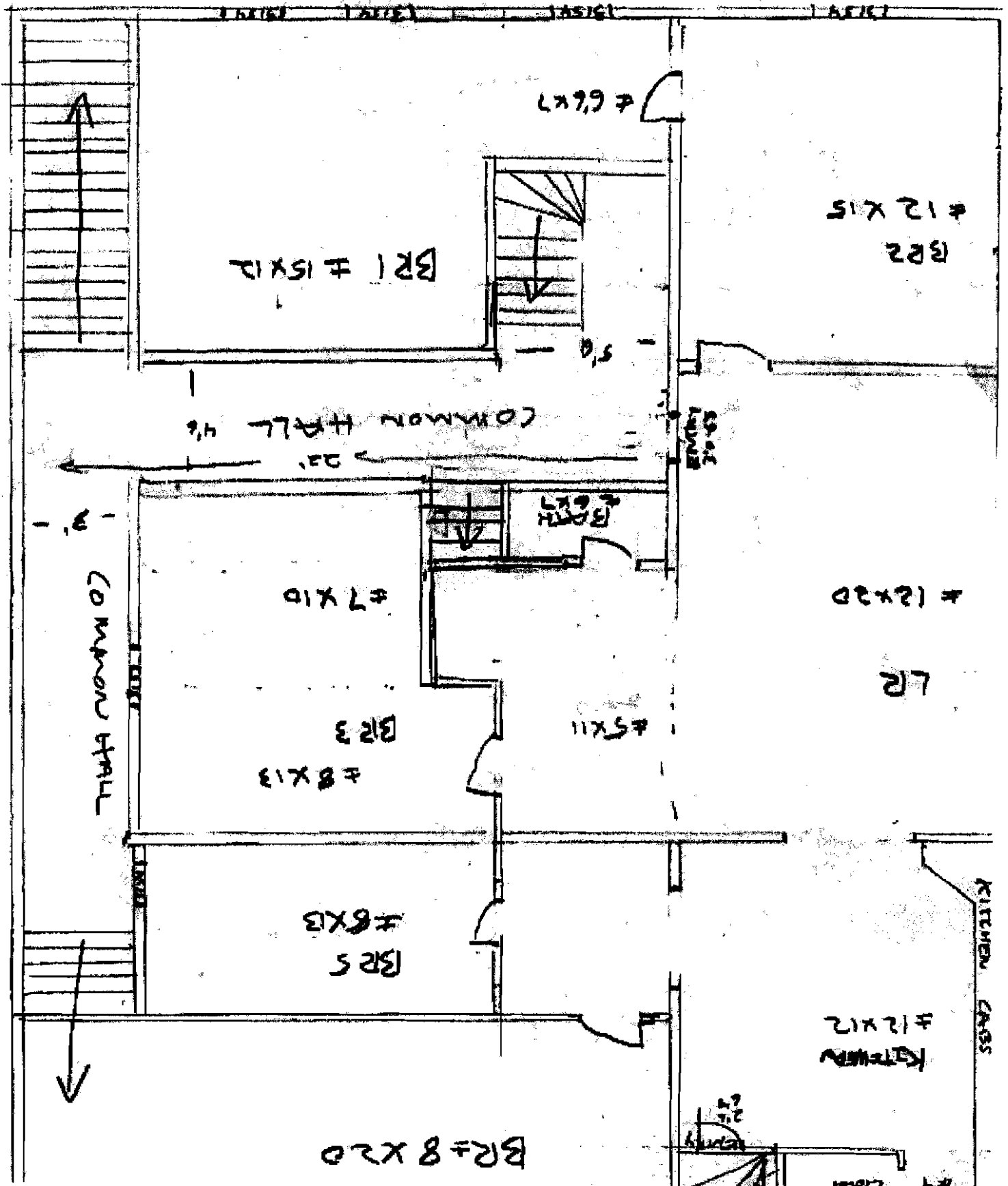
2x8\"/>

3/4\"/>

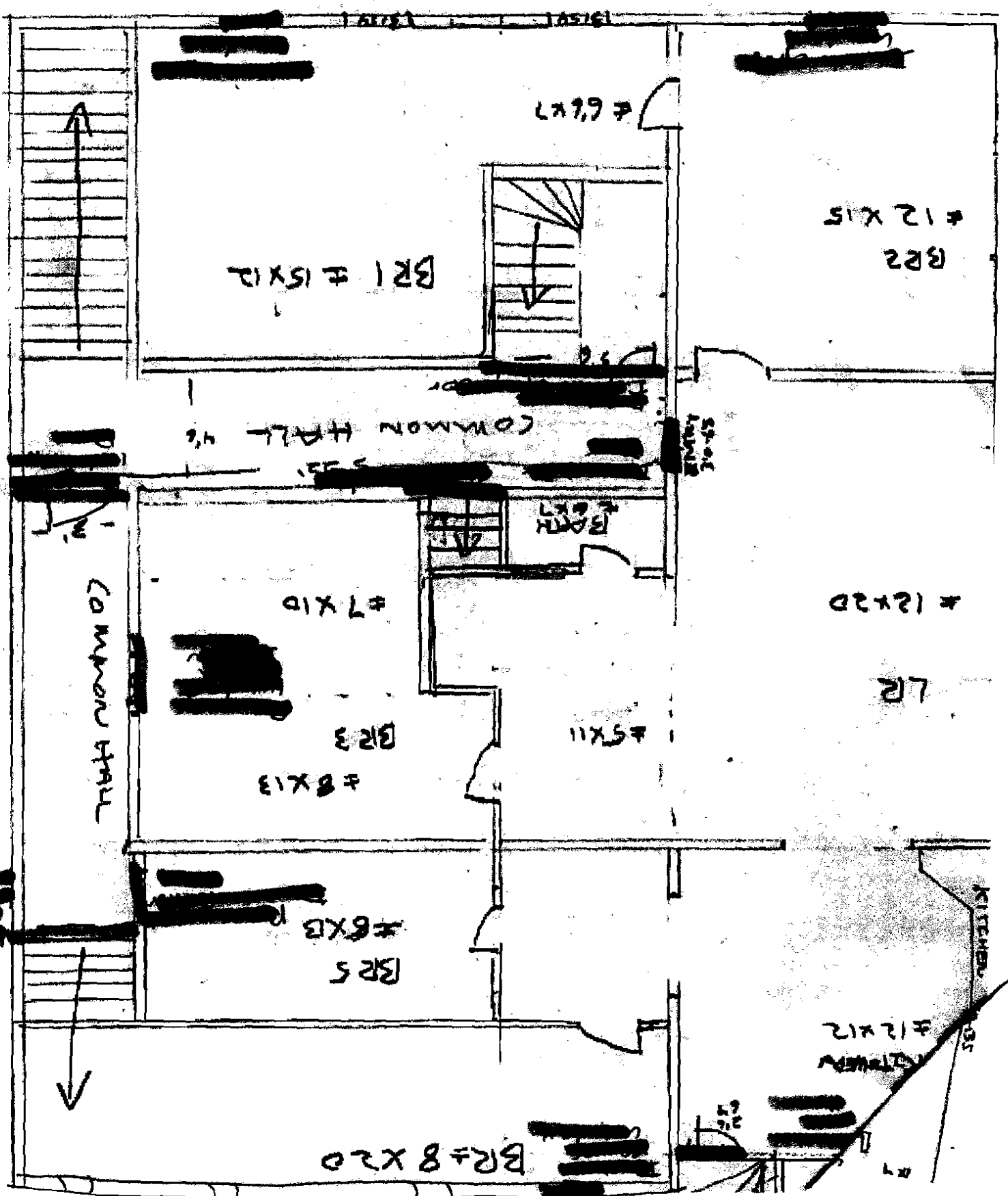
1/2\"/>

1/4\"/>

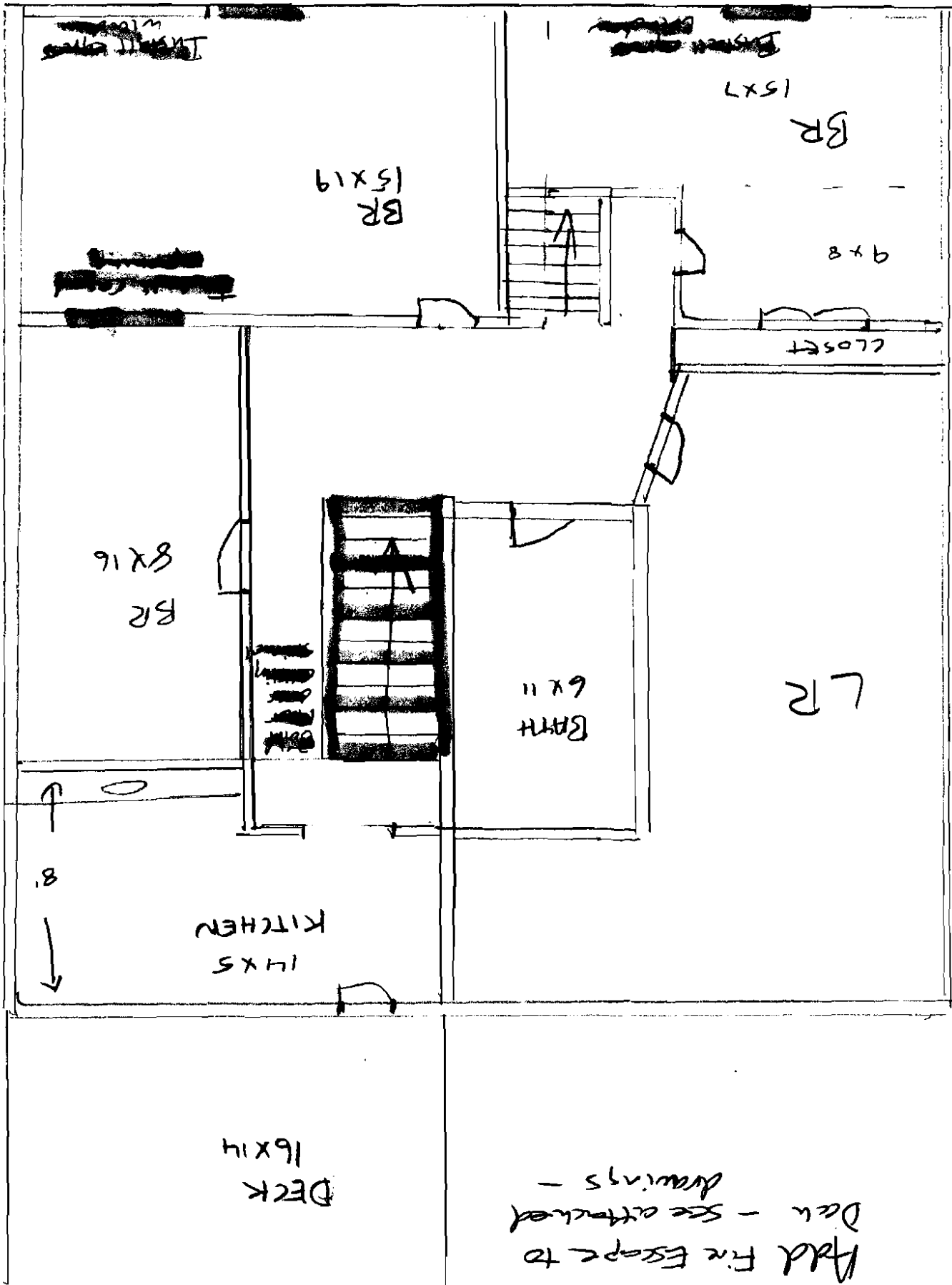
2ND FLOOR
34K52



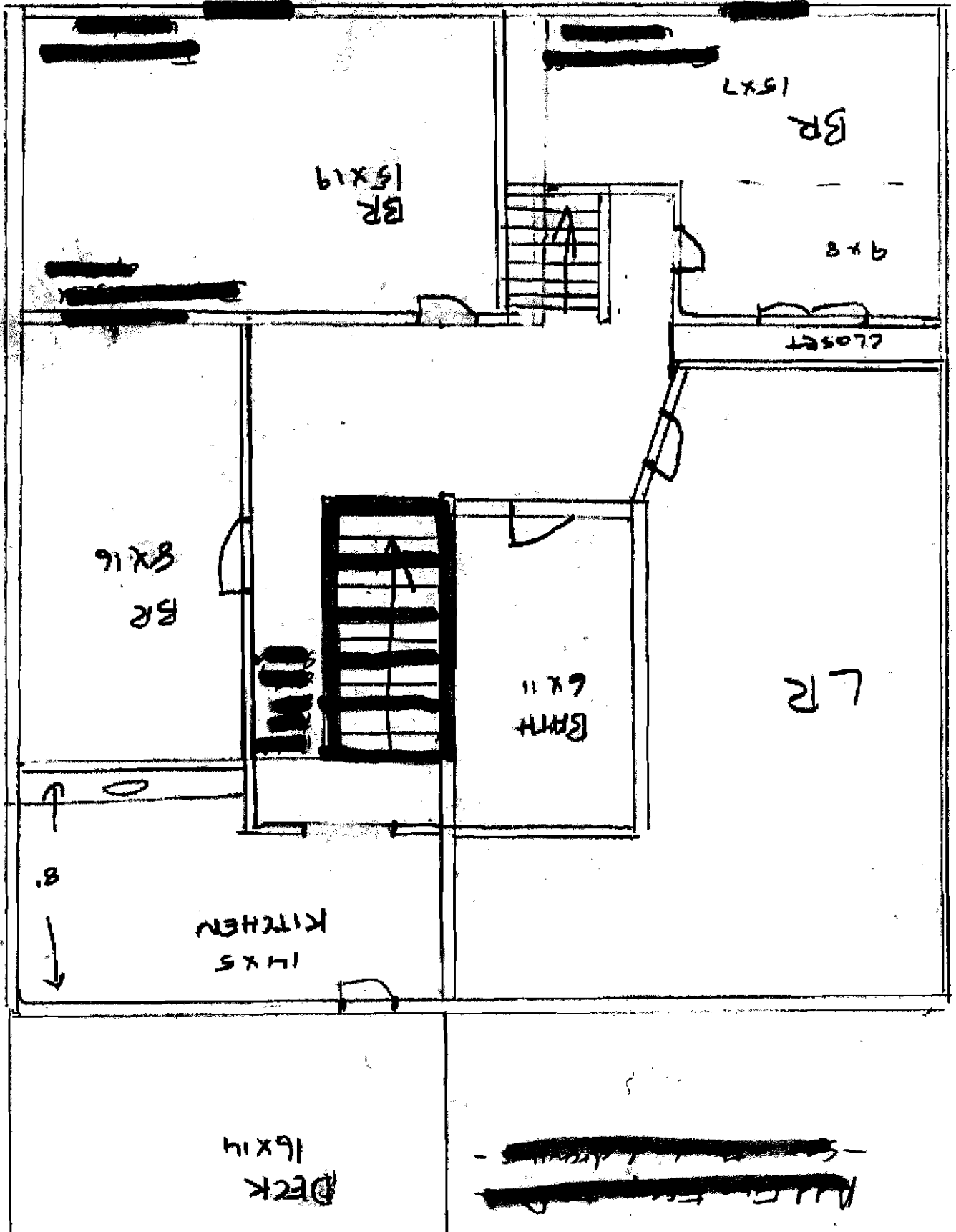
2ND FLOOR
34x52'



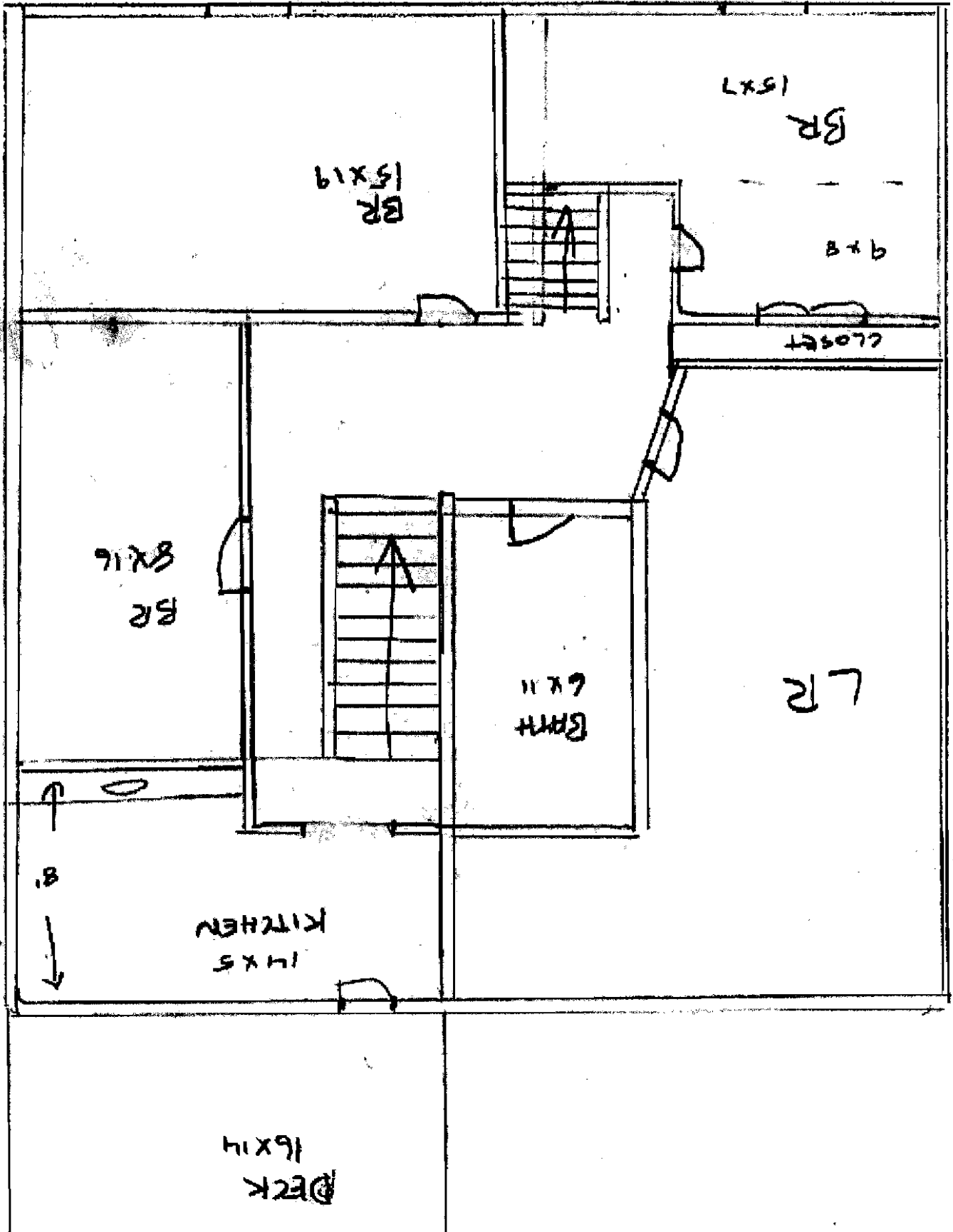
3RD FLOOR
34736



3RD FLOOR
94736



3RD FLOOR
34736



EXISTING 3 STORY BUILDING

34'



14'

15'

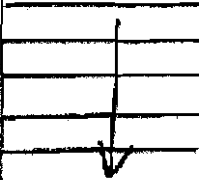
EXISTING DECK

16' x 34'

EXISTING 2 STORY BUILDING

LANDING
4'

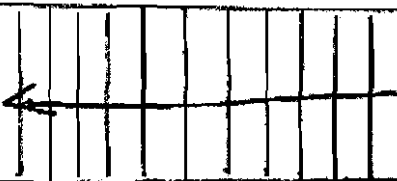
RAMP



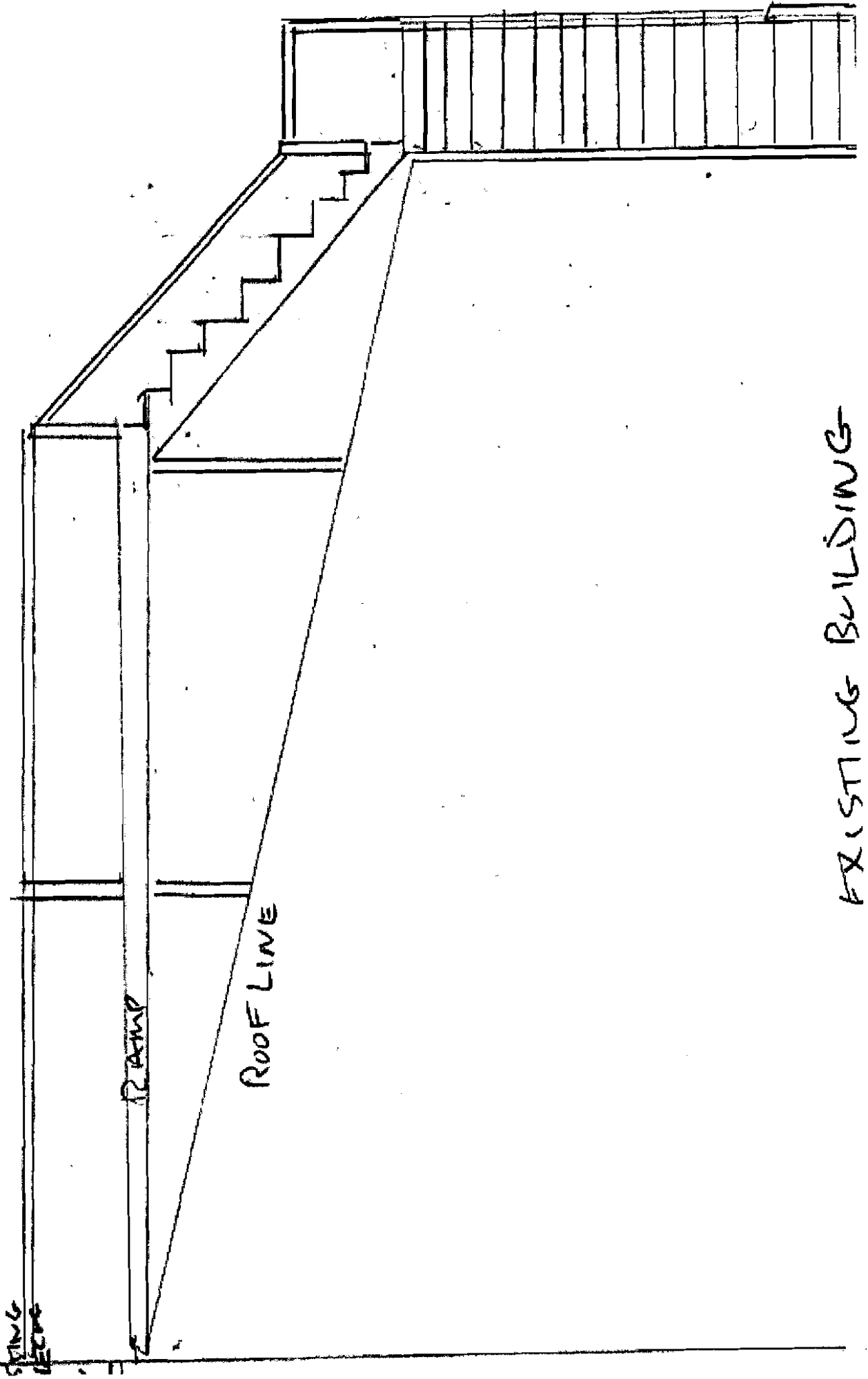
21' x 34'

EXISTING 1 STORY BUILDING

LANDING
4'



Elevation - Fire Escape



EXISTING BUILDING

EXISTING 3 STORY BUILDING

34'

EXISTING DECK

14'

15'

16' x 34'

EXISTING 2 STORY BUILDING

3' LANDINGS

RAMP

21' x 34'

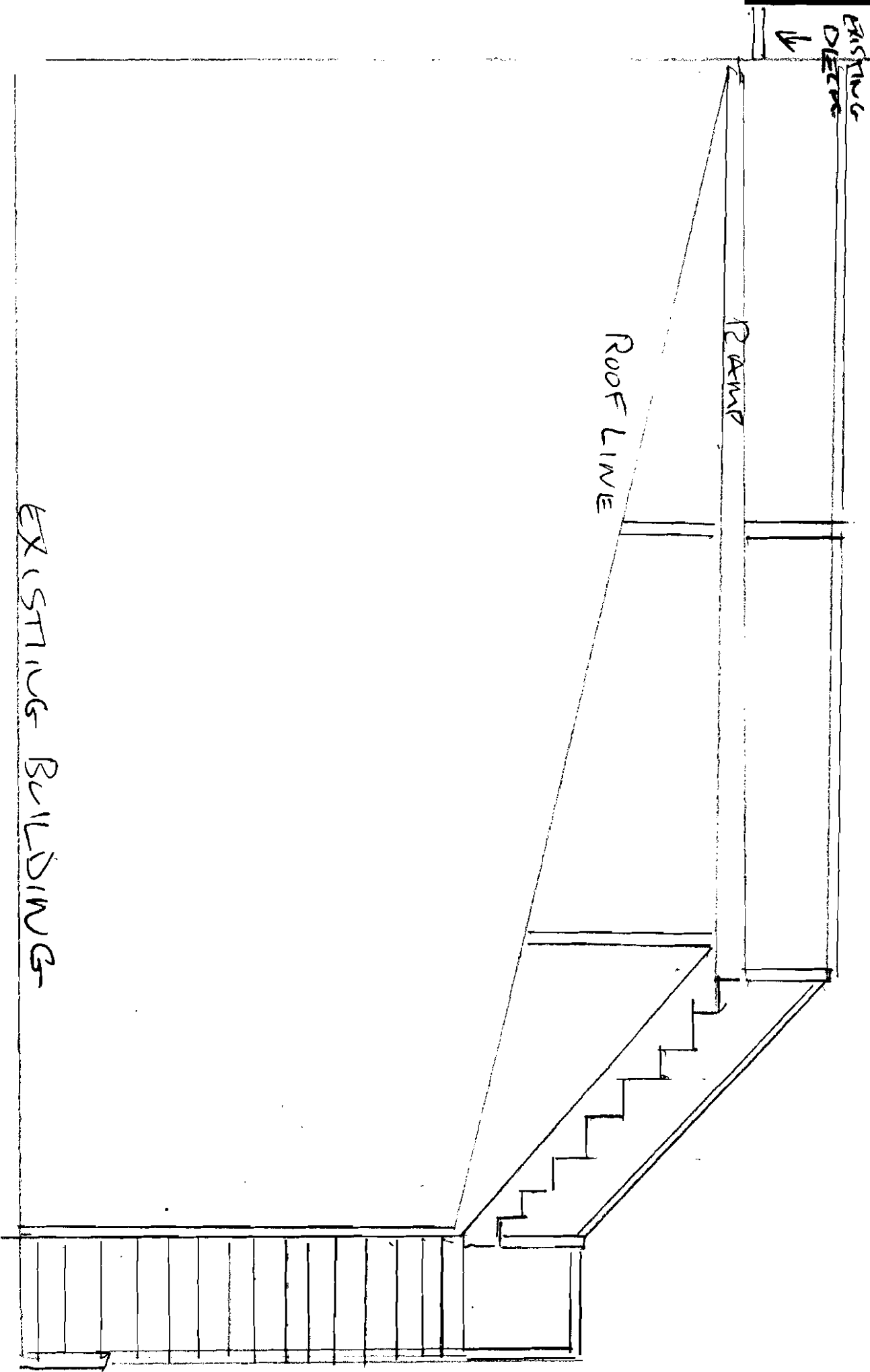
EXISTING 1 STORY BUILDING

4' LANDINGS

4'

←

Elevation - Fire Escape



APPLICATION FOR PERMIT

PERMIT ISSUED

FEB 21 1944

CITY OF PORTLAND

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 0155
ZONING LOCATION PORTLAND, MAINE 194. 24. 194

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 44-46 Washington Avenue
1. Owner's name and address Michael P. Bocal & Son, Carpenter- 81 Kibbutz India St. Telephone 73-9234
2. Lessee's name and address
3. Contractor's name and address A-1 Remodeling - Telephone
Proposed use of building 2 apts and store No. of sheets
Last use 4 apts and store No. families
Material No. stories Height Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$1,400

FIELD INSPECTOR - Mr.

Send permit to # 775-3451 # 1 6410

Appeal Fees \$
Base Fee 20.00
Late Fee ch of 25.00
TOTAL \$ 45.00

Change of use from 4 family and store to 2 family and store, apts are to be on 2nd floor, with alterations and structural changes as per plans. Certificate of design to be brought in at later date for carrying beam.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

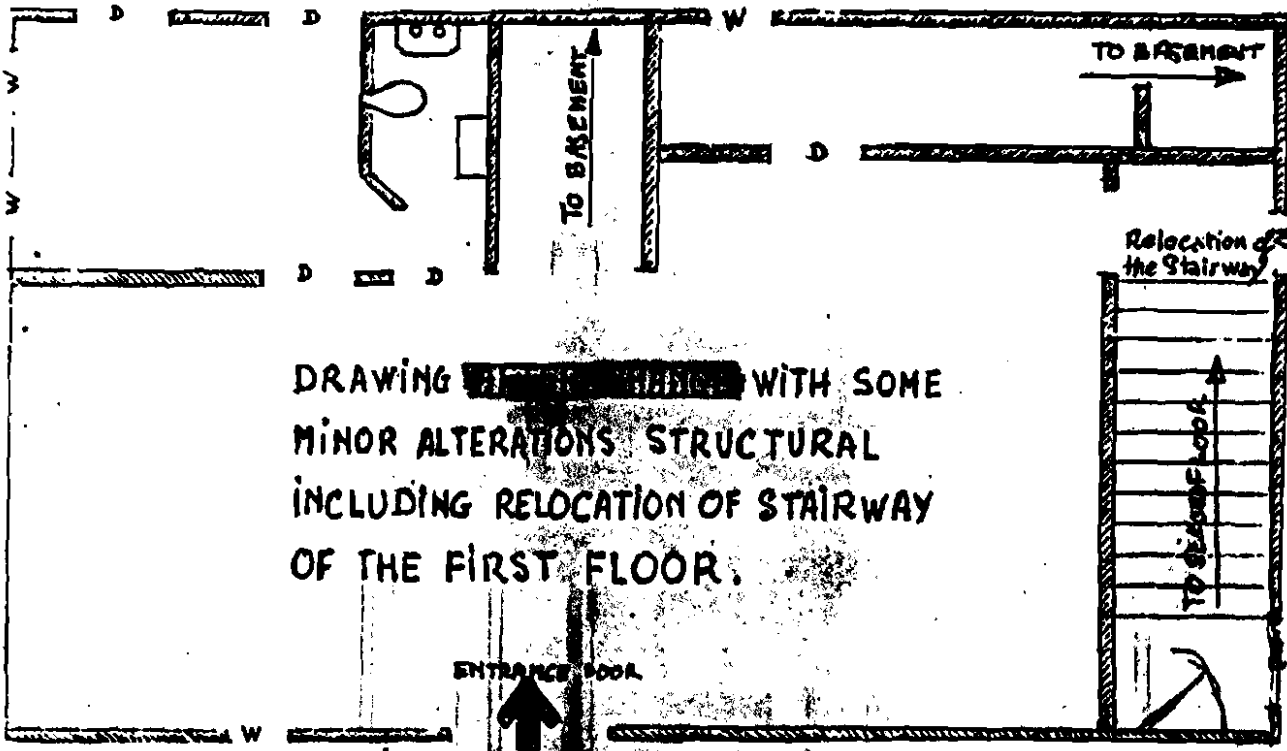
Is any plumbing involved in this work? YES Is any electrical work involved in this work? YES
Is connection to be made to public sewer? existing
Has septic tank notice been sent?
Height average grade to top of plate
Height average grade to highest point of roof
Size, front depth earth or rock?
Material of foundation cellar
Kind of roof Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

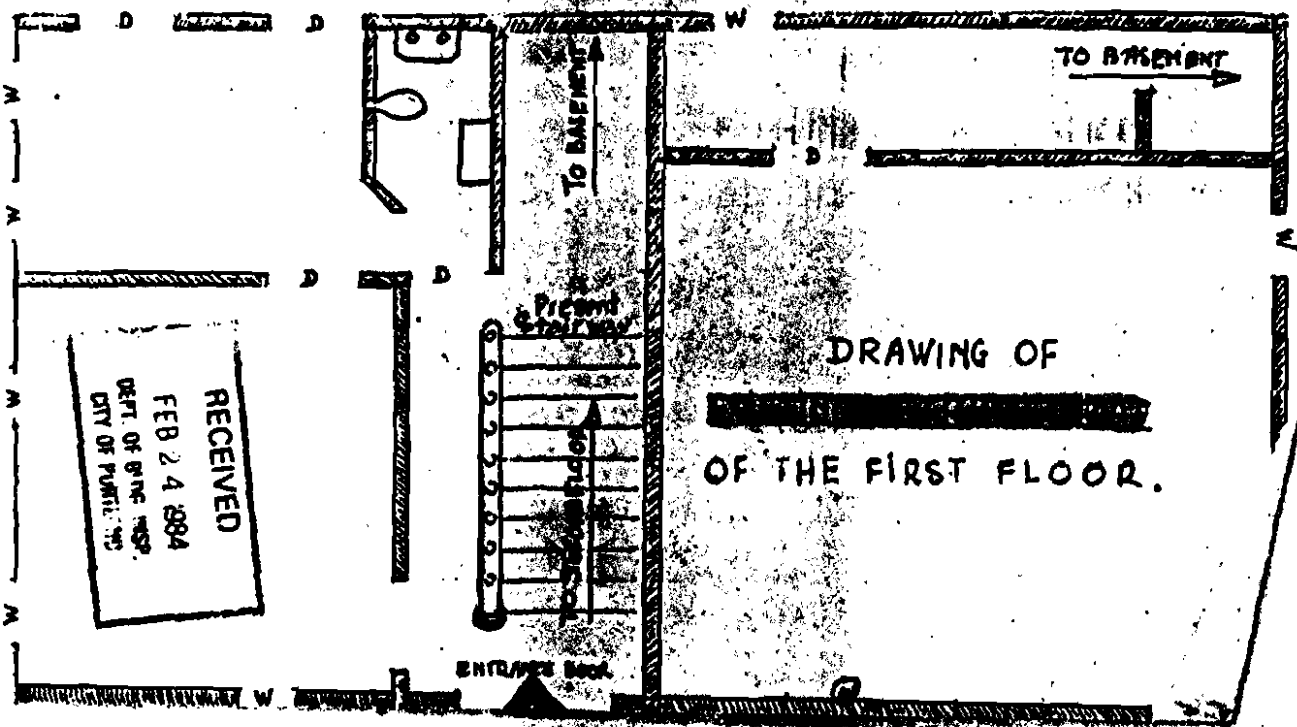
No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that they observe and City requirements pertaining thereto
Health Dept.:
Others:

D = Door
W = Window



DRAWING ~~XXXXXXXXXX~~ WITH SOME
MINOR ALTERATIONS STRUCTURAL
INCLUDING RELOCATION OF STAIRWAY
OF THE FIRST FLOOR.



DRAWING OF
~~XXXXXXXXXX~~
OF THE FIRST FLOOR.

RECEIVED
FEB 24 1984
DEPT. OF PUBLIC WORKS
CITY OF PHOENIX, AZ

CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION: 44-46 Washington Avenue

DATE: July 2, 1964

This certificate is issued upon the building, structure, or part thereof, hereinafter described, which has been found to conform with the provisions of the Building Code, Chapter 241, Title 25, of the Revised Statutes of the State of Maine, and the rules and regulations of the Department of Building Inspection, and is hereby approved for occupancy for the purpose stated herein.

APPROVED: _____
Inspector of Buildings

This certificate represents
condition found

Approved:
7-2-64

[Signature]

Inspector of Buildings

Notes: This certificate is valid only if building or structure, and shall not be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lease for use within.

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

541

MAY 24 1984

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION ...

B-2 ...

1984

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION DEPARTMENT:

The undersigned hereby applies for a permit to erect, alter, demolish, repair or install the following building, structure, equipment or change use in accordance with the Laws of the City of Portland, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications submitted herewith on the following specifications:

LOCATION ... 44-46 Washington Avenue

Fire District 91 92

1. Owner's name and address ... Michael P. ...

Telephone ... 773-9724

2. Lessee's name and address

Telephone

3. Contractor's name and address ...

Telephone

Proposed use of building ... 1 store and 2 spots

No. of stories

Last use ...

No. families

Material ... No. stories ... Heat ...

No. families

Other buildings on same lot

Roofing

Estimated contractual cost \$

Roofing

FIELD INSPECTOR - Mr. *addate*

Roofing

775-5451

Special Fee	\$
Plan Fee	\$ 16.20
Site Fee	\$
TOTAL	\$ 16.20

To erect sign on front of building (17 letters at 6" x 102" floor)

NOTE TO APPLICANT:

Separate permit for plumbing and mechanicals.

DETAILS OF CONSTRUCTION

Is any plumbing involved in this work? ...

Is connection to be made to public sewer? ...

Has septic tank notice been sent? ...

Height average grade to top of plate ...

Size, front ... depth ...

Material of foundation ...

Kind of roof ...

No. of chimneys ...

Framing Lumber—Kind ...

Size Girder ...

Studs (outside walls and carrying partitions) ...

Joists and rafters: 1st floor ...

On centers: 1st floor ...

Maximum span: 1st floor ...

If one story building with masonry walls, the foundation shall be ...

No. cars now accommodated on same lot ...

APPROVALS BY:

BUILDING INSPECTION: *[Signature]*

ZONING: *[Signature]*

BUILDING CODE:

Fire Dept.

Health Dept.

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

OCT 23 1985

ZONING LOCATION

CORVALLIS, MAINE

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICE, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following building structure, equipment or change use in accordance with the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with the following specifications:

LOCATION: 449-95 Washington Avenue, Fire District: #10, #2

1. Owner's name and address: Telephone: 872-9724

2. Lessee's name and address: Telephone: 772-8538

3. Contractor's name and address: Telephone: 772-8538

Proposed use of building: No. of stories: No. of units:

Last use: No. of stories: No. of units:

Material: No. of stories: No. of units:

Other buildings on same lot: No. of stories: No. of units:

Estimated contractual value: \$5,000

FIELD INSPECTOR: 69/86

To make interior renovation of building as per plans

NOTE TO APPLICANT

and mechanical... It is the applicant's responsibility to provide the following information to the Building Department...

BUILDING CODE: Fire Dept. James J. ... Others: ...

NU T. CARPENTER and MICHAEL BOCA
44-46 Washington Avenue
Portland, Maine 04101

August 22, 1985

EXHIBIT - 7A

SPECIFICATIONS

General Notes

1. All measurements are approximate and shall be verified by the Contractor.
2. All materials having color or finish shall be selected by the Owner.
3. All work shall be performed by a journeyman journeyman mechanic or better where required.
4. The premises shall be kept in good order during the course of the work and removed to original condition at the completion of the work.
5. Building permits, if any, shall be obtained by the Contractor. All materials purchased by the Contractor shall be of the highest quality. Payment will mean that payment has been received by the Contractor and will not be made until the necessary work has been completed.
6. Workmanship shall be guaranteed for a period of one year from the date of completion of the work. The Contractor shall be covered by a bond for the full amount of the contract price for one year from date of completion of the work.
7. All work shall be done in accordance with the specifications and drawings.
8. The Contractor shall be responsible for the safety of all workers and shall provide all necessary safety equipment.

NOTE: NO BIDDING OR CONTRACT SHALL BE MADE WITHOUT THE SIGNATURE OF THE OWNER.

RECEIVED

August 22, 1945

EXHIBIT 'A'

SPECIFICATIONS FOR REHABILITATION WORK TO BE DONE ON PROPERTY AT 44 - 46 WASHINGTON AVENUE, PORTLAND, MAINE 04101 FOR MISS CARPENTER and MICHAEL BOCAL

A. FRONT HALL

1. Install 5/8" sheetrock on the front hall, not taped. Finish by Omer - Approx. 200 SF
2. Install 1" x 4" pine door on the front hall. Door furnished by Omer.

B. FRONT ROOM

1. Install 1" x 4" pine door on the front room. Door furnished by Omer.
2. Erection of door on the front room. (100 SF)
3. Erection of door on the front room. (100 SF)
4. Repair of floors, walls, and ceilings in the front room. (100 SF)
5. Install 1" x 4" pine door on the front room. Door furnished by Omer.

C. REAR ROOM

1. Install 1" x 4" pine door on the rear room. Door furnished by Omer.

STORAGE ROOM

1. Erection of door on the storage room. (100 SF)
2. Erection of door on the storage room. (100 SF)
3. Erection of door on the storage room. (100 SF)
4. Erection of door on the storage room. (100 SF)
5. Erection of door on the storage room. (100 SF)
6. Erection of door on the storage room. (100 SF)
7. Erection of door on the storage room. (100 SF)
8. Erection of door on the storage room. (100 SF)
9. Erection of door on the storage room. (100 SF)
10. Erection of door on the storage room. (100 SF)

SPECIFICATIONS FOR REHABILITATION
OF PROPERTY AT 44 WASHINGTON AVENUE
PORTLAND, MAINE 04101

AUGUST 22, 1983

EXHIBIT "A"

D. DIVING ROOM REPAIRS

1. Block off on exterior of diving room and apply aluminum siding on exterior.
2. Repair 22 window panes on exterior of diving room. (Install vinyl track and insulate with foam).
3. Block off on exterior of diving room.
4. Install 22 window panes on exterior of diving room. (Install vinyl track and insulate with foam). Approx. \$20.00 per pane. Ready to install.
5. Install 22 window panes on exterior of diving room. (Install vinyl track and insulate with foam). Approx. \$20.00 per pane. Ready to install.
6. Install 22 window panes on exterior of diving room. (Install vinyl track and insulate with foam). Approx. \$20.00 per pane. Ready to install.

E. DIVING ROOM REPAIRS

1. Block off on exterior of diving room and apply aluminum siding on exterior.
2. Repair 22 window panes on exterior of diving room. (Install vinyl track and insulate with foam).
3. Block off on exterior of diving room.
4. Install 22 window panes on exterior of diving room. (Install vinyl track and insulate with foam). Approx. \$20.00 per pane. Ready to install.
5. Install 22 window panes on exterior of diving room. (Install vinyl track and insulate with foam). Approx. \$20.00 per pane. Ready to install.
6. Install 22 window panes on exterior of diving room. (Install vinyl track and insulate with foam). Approx. \$20.00 per pane. Ready to install.

SPECIFICATIONS FOR REHABILITATION
OF PROPERTY AT 44 1/2 WASHINGTON
AVENUE, PORTLAND, MAINE 04102

AUGUST 22, 1985

EXHIBIT "A"

F. BATHROOM 7'4" x 5'4"

1. Build approx. 10" L. of wall on north side. Approx. 7/8" thick cross-section. Ready to paint. Painted on both sides.
2. Frame for door opening into hall. Frame to be furnished by Owner. Leading into hall.

G. KITCHEN 12'4" x 12'

1. Repair ceiling. Patch, sand, prime. Install popcorn. Install vinyl track lighting. (12' x 12')
2. Frame for door opening into living room. Door to be furnished by Owner.
3. Install 3/8" thick floor of tile. (Including grout). (Including grout). Approx. 500 SF.
4. Install approx. 20' of wall on north side. Ready to paint.

H. REAR PORCH

1. Install 3/8" thick floor of tile. (Including grout). (Including grout). Approx. 500 SF. Ready to paint. Painted on both sides.

I. REAR ENTRANCE

1. Build on 2000' of wall on north side. Ready to paint.

J. REAR STEPS

1. Build on 10' of wall on north side. (Including grout). (Including grout). Approx. 500 SF. Ready to paint. Painted on both sides.

K. FRONT PORCH 12' x 12'

1. Install 3/8" thick floor of tile. (Including grout). (Including grout). Approx. 500 SF.
2. Install approx. 20' of wall on north side. Ready to paint.

SPECIFICATIONS FOR REHABILITATION
OF PROPERTY AT 46 & 48 WASHINGTON
AVENUE, PORTLAND, MAINE 04101

AUGUST 22, 1985

EXHIBIT A

L. HALLWAY 3rd FLOOR

1. Install underlayment
2. Install 3/8" sheetrock ready for painting. Priming by Owner.

II. BATH

1. Install floor
2. Build approx. walls
3. Build on vanity
4. Install 3/8" sheetrock ready for painting. Priming by Owner.
5. Install underlayment

III. FRONT PORCH

1. Repair concrete
2. Etc.
3. Remove concrete
4. Etc.
5. Etc.

IV. ETC.

1. Etc.
2. Etc.
3. Etc.

SPECIFICATIONS FOR REHABILITATION
OF PROPERTY AT 46 1/2 WASHINGTON
AVENUE, PORTLAND, MAINE 04101

AUGUST 22, 1981

EXHIBIT A

REAR BEDROOM (211)

1. Repair on window. Patch and sand the window pocket. Apply 1/2" of 100 mesh sandpaper to the window pocket.
2. Taps, patch and sand the window pocket. Apply 1/2" of 100 mesh sandpaper to the window pocket. Ready compound 1/2" in the window pocket.
3. Install 1/2" of 100 mesh sandpaper to the window pocket. Apply 1/2" of 100 mesh sandpaper to the window pocket.

ELECTRIC (211)

1. Install 100 mesh sandpaper to the window pocket.
2. Patch and sand the window pocket.
3. Patch and sand the window pocket.
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13. Patch and sand the window pocket.
14. Patch and sand the window pocket.

RECEIVED

SPECIFICATIONS FOR REHABILITATION
OF PROPERTY AT 44 & 46 WASHINGTON
AVENUE, PORTLAND, MAINE

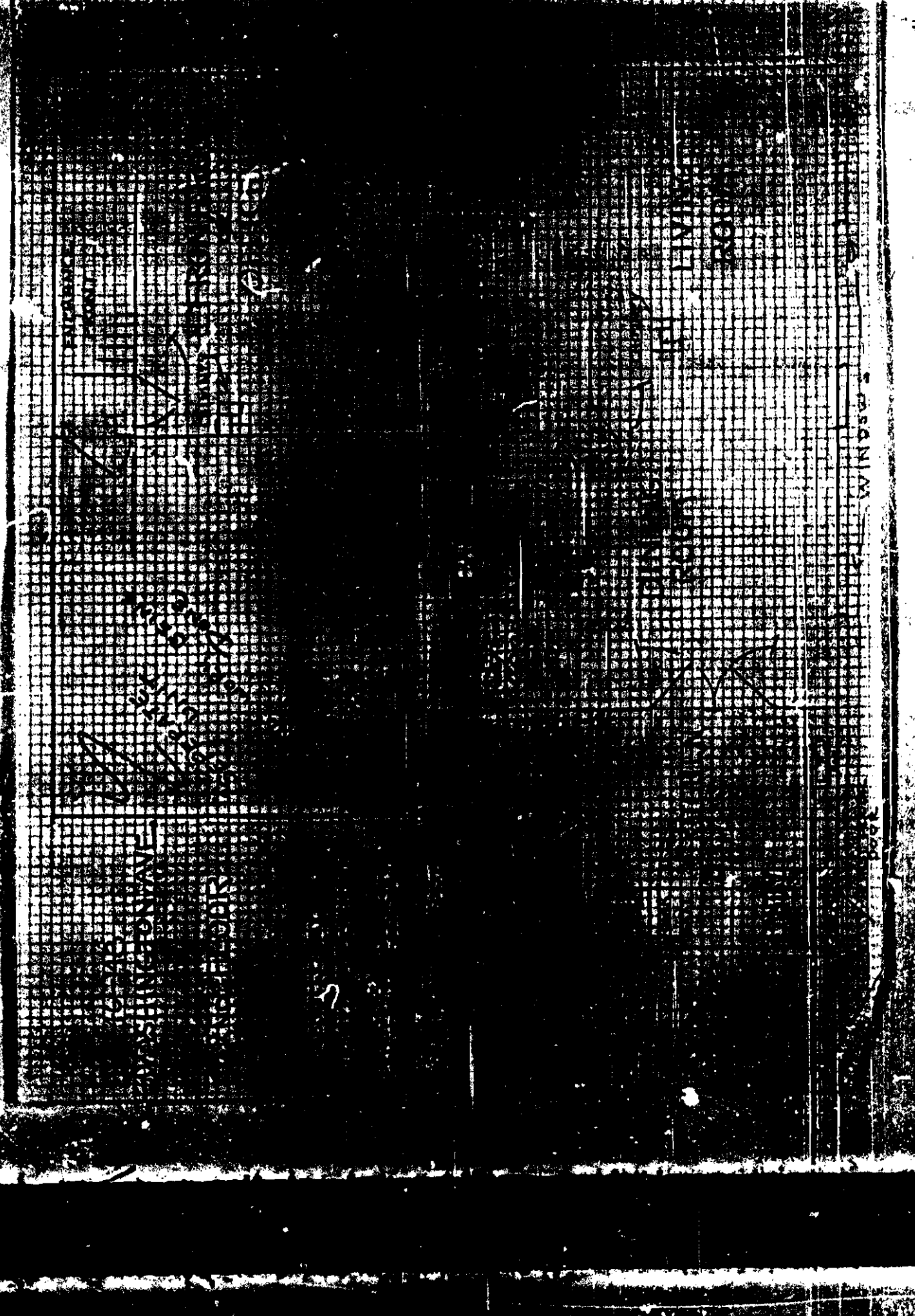
AUGUST 22, 1985

EXHIBIT A

PIPELINE (10)

1. ALL EXISTING PIPELINE SHALL BE REMOVED.
2. ALL EXISTING PIPELINE SHALL BE REMOVED AND REINSTALLED AS SHOWN ON THE ATTACHED DRAWINGS.
3. ALL EXISTING PIPELINE SHALL BE REMOVED AND REINSTALLED AS SHOWN ON THE ATTACHED DRAWINGS.
4. ALL EXISTING PIPELINE SHALL BE REMOVED AND REINSTALLED AS SHOWN ON THE ATTACHED DRAWINGS.
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7. ALL EXISTING PIPELINE SHALL BE REMOVED AND REINSTALLED AS SHOWN ON THE ATTACHED DRAWINGS.
8. ALL EXISTING PIPELINE SHALL BE REMOVED AND REINSTALLED AS SHOWN ON THE ATTACHED DRAWINGS.

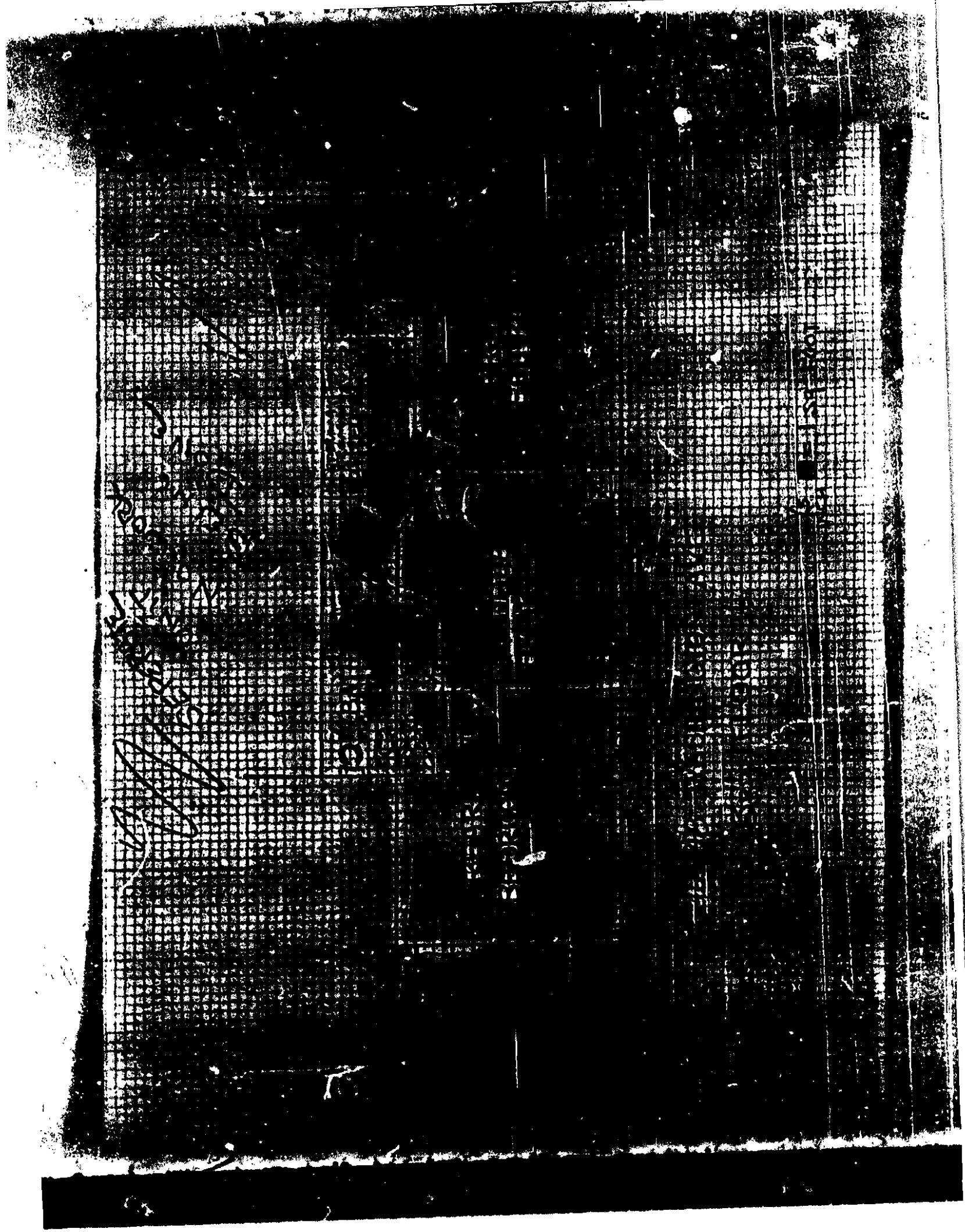
1985 in tent renovation



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WINN-DIXIE

WINN-DIXIE



912361

CITY OF Portland BUILDING PERMIT APPLICATION MAP # LOT#

107N

PERMIT # _____ CITY OF Portland BUILDING PERMIT APPLICATION MAP # LOT#

Owner: Michael Bocal and Ru TH Carpenter 773-9734

Address: 44-46 Washington Avenue, Portland 04101

LOCATION OF CONSTRUCTION: 44-46 Washington Avenue

CONTRACTOR: owner SUBCONTRACTOR: _____

Est. Construction Cost: \$25,000 Type of Use: 2 Family and Retail

CONTRACTOR'S OR OWNER'S SIGNATURE AND DATE: _____

DATE: _____

CONTRACTOR'S OR OWNER'S SIGNATURE AND DATE: _____

DATE: _____

CONTRACTOR'S OR OWNER'S SIGNATURE AND DATE: _____

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CONTRACTOR'S OR OWNER'S SIGNATURE AND DATE: _____

DATE: _____

CONTRACTOR'S OR OWNER'S SIGNATURE AND DATE: _____

DATE: _____

FOR OFFICIAL USE ONLY

PERMIT # _____

CONSTRUCTION COST: \$25,000

TYPE OF USE: 2 Family and Retail

CITY OF PORTLAND

Callings: B-2

1. Building Access Sign _____ Spacing _____

2. Building Striping Sign _____ Spacing _____

3. Type Challenge _____ Spacing _____

4. Installation Type _____ Spacing _____

5. Other _____ Spacing _____

6. Other _____ Spacing _____

7. Other _____ Spacing _____

8. Other _____ Spacing _____

9. Other _____ Spacing _____

10. Other _____ Spacing _____

11. Other _____ Spacing _____

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27. Other _____ Spacing _____

28. Other _____ Spacing _____

29. Other _____ Spacing _____

30. Other _____ Spacing _____

31. Other _____ Spacing _____

32. Other _____ Spacing _____

33. Other _____ Spacing _____

Signature of Applicant: _____ Date: 2/3/89

Signature of Inspector: _____ Date: 2-25-91

Inspection Dates: _____

White Tag - CEO: _____

White Tag Assessor: _____

Yellow-GPOC: _____



CITY OF PORTLAND, MAINE

100 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOPFES, CHIEF
INSPECTION SERVICES DIVISION

July 11, 1989

44-46 WASHINGTON AVENUE
Alteration and Addition to permit

Michael Bocal
Nu Thi Carpenter
44-46 Washington Avenue
Portland, Maine 04101

As a result of an inspection on 7-10-89, it was noted that a new addition was added to this building. It was also noted that other exterior alterations are in progress.

We have no records on file pertaining to this work. Permits are required and must be obtained immediately. You must submit a plot plan and detailed drawings of work completed and in process of being completed at time of application.

As we discussed, using the straight line method, estimating cost, we arrived at a cost of \$40,000. There will be a related fee of \$100.00 added to permit costs.

We also hold a permit for 10/10/87, 10/10/87, for interior renovations for 44-46 Washington Avenue. Progress is very slow, we therefore have a permit for this permit also.

We are looking forward to your assistance in resolving these important issues.

In consideration of the findings about these findings, we will give a time frame to complete this work.

If we can be of any further assistance, please do not hesitate to call at 874-8300 extension 1705.

Sincerely,
Arthur Addato
Arthur Addato
Code Enforcement Officer

P. Samuel Hopfes
P. Samuel Hopfes
Chief, Inspection Services

Inspection Services
Samuel P. Hoffner
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

February 28, 1991

Michael J. O'Connell
111-45 Washington Ave.
Portland, ME 04101

Re: [Illegible]

Dear Sir:

Your application for [Illegible] has been reviewed and approved. It is hereby certified that [Illegible] is in compliance with [Illegible].

No certificate of occupancy will be issued until [Illegible] requirements are met.

Very truly yours,
[Illegible Signature]

Director of Planning and Urban Development

[Illegible Signature]

[Illegible]

[Illegible]

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

DRIVE WAY

EXISTING HOLES

33'

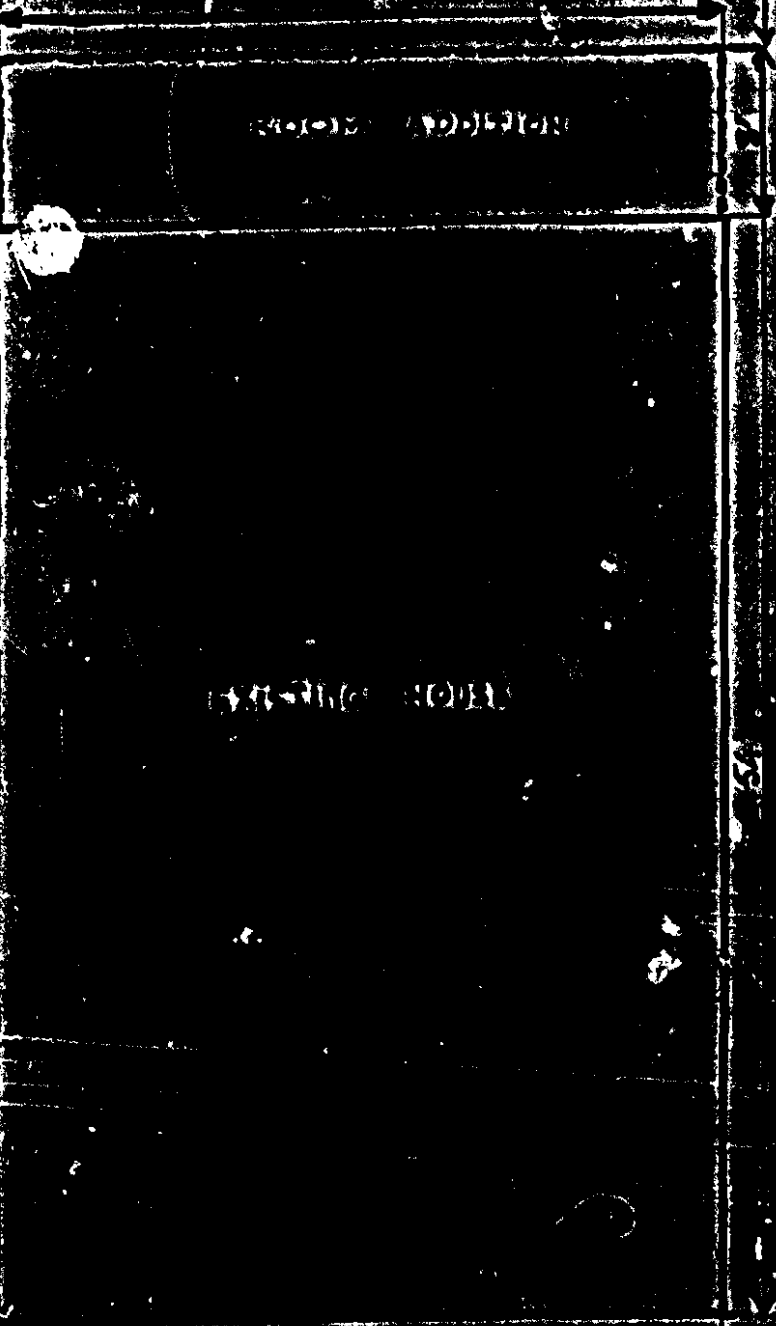
34'

16'

115'

1/2" = 10'

APR 19 1964



← WASHINGTON AVENUE →

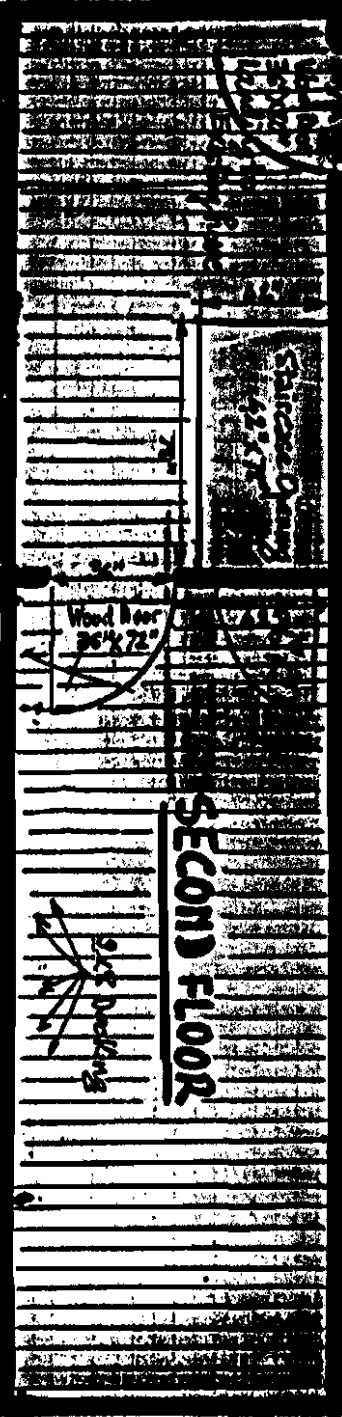


UP
TO 2nd FLOOR



Wood Door
36" x 72"

FIRST FLOOR



Wood Door
36" x 72"

SECOND FLOOR

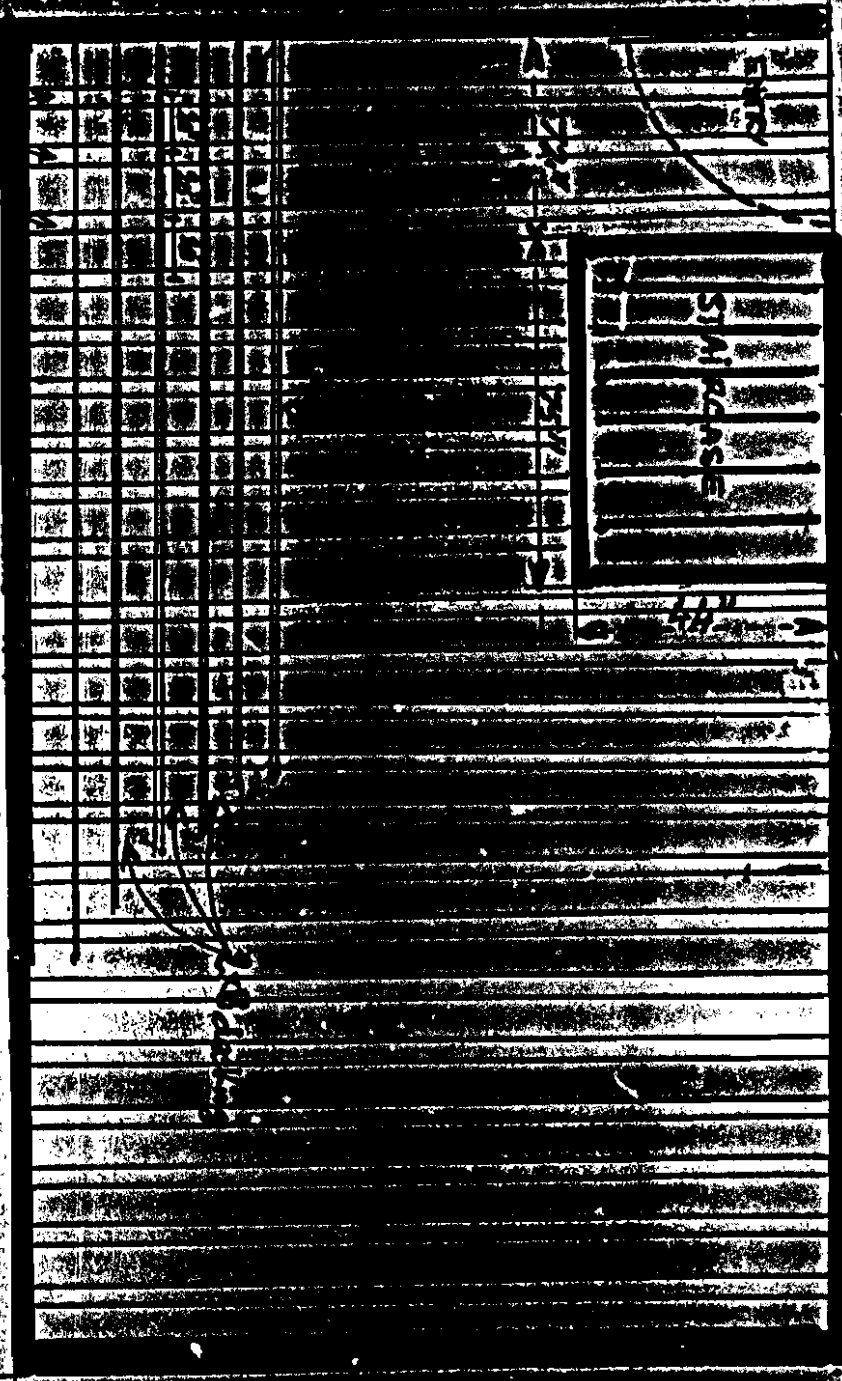
GAS PIPING

ADDITION FLOOR PLAN
FIRST AND SECOND FLOOR

33'-0"

TWO SQUARES = 1 FOOT

Existing House

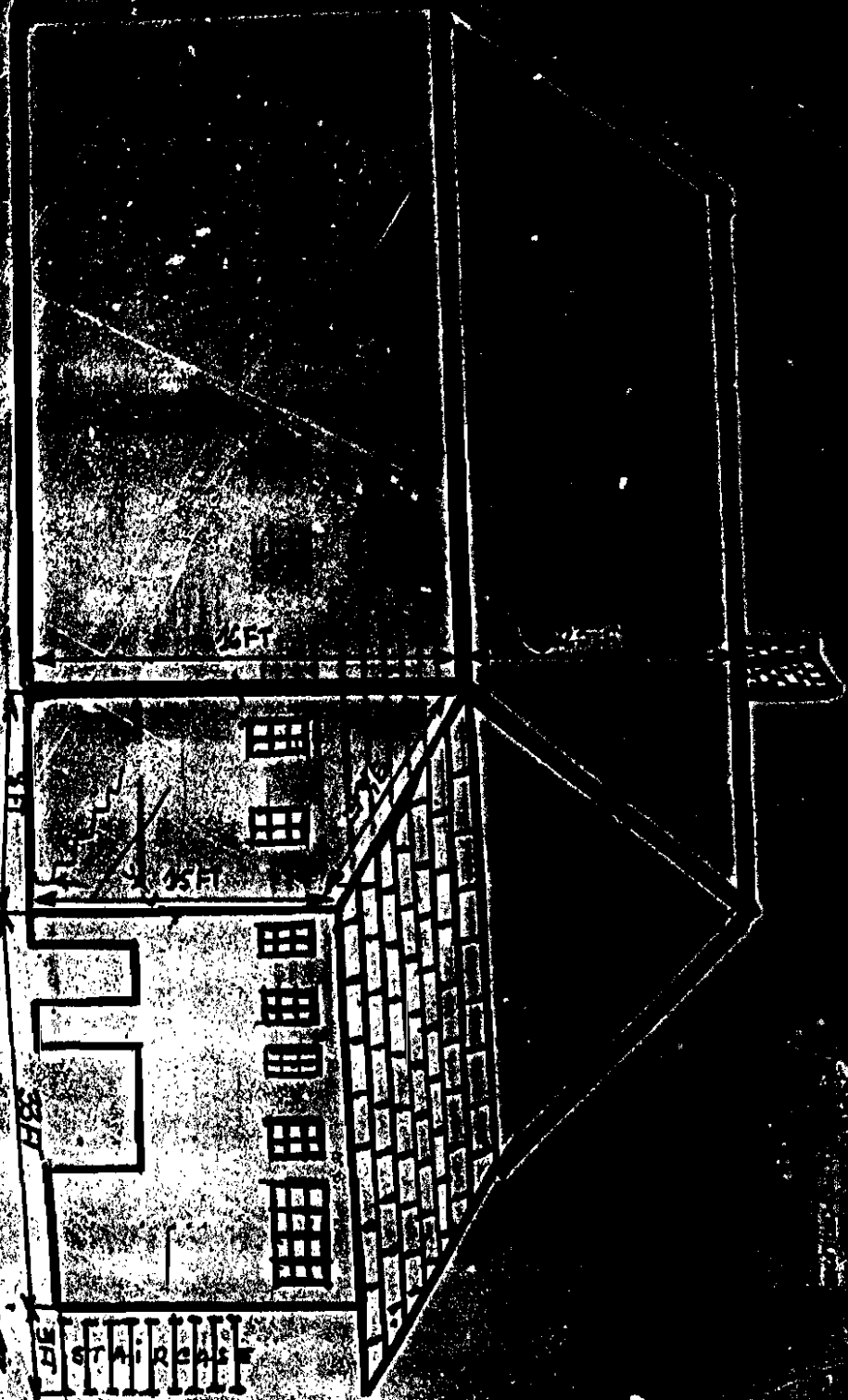


2x6 Joists

53'

SECOND FLOOR PLAN

2



Cherry Lane

RECEIVED

APR 25 1988

Existing House
 Room Addition (Living Room)

FOUNDATION WALL

FRONT SIDE VIEW

RIGHT SIDE VIEW

FOUNDATION WALL

WINDING
GLASS

WINDING
GLASS

9'6"

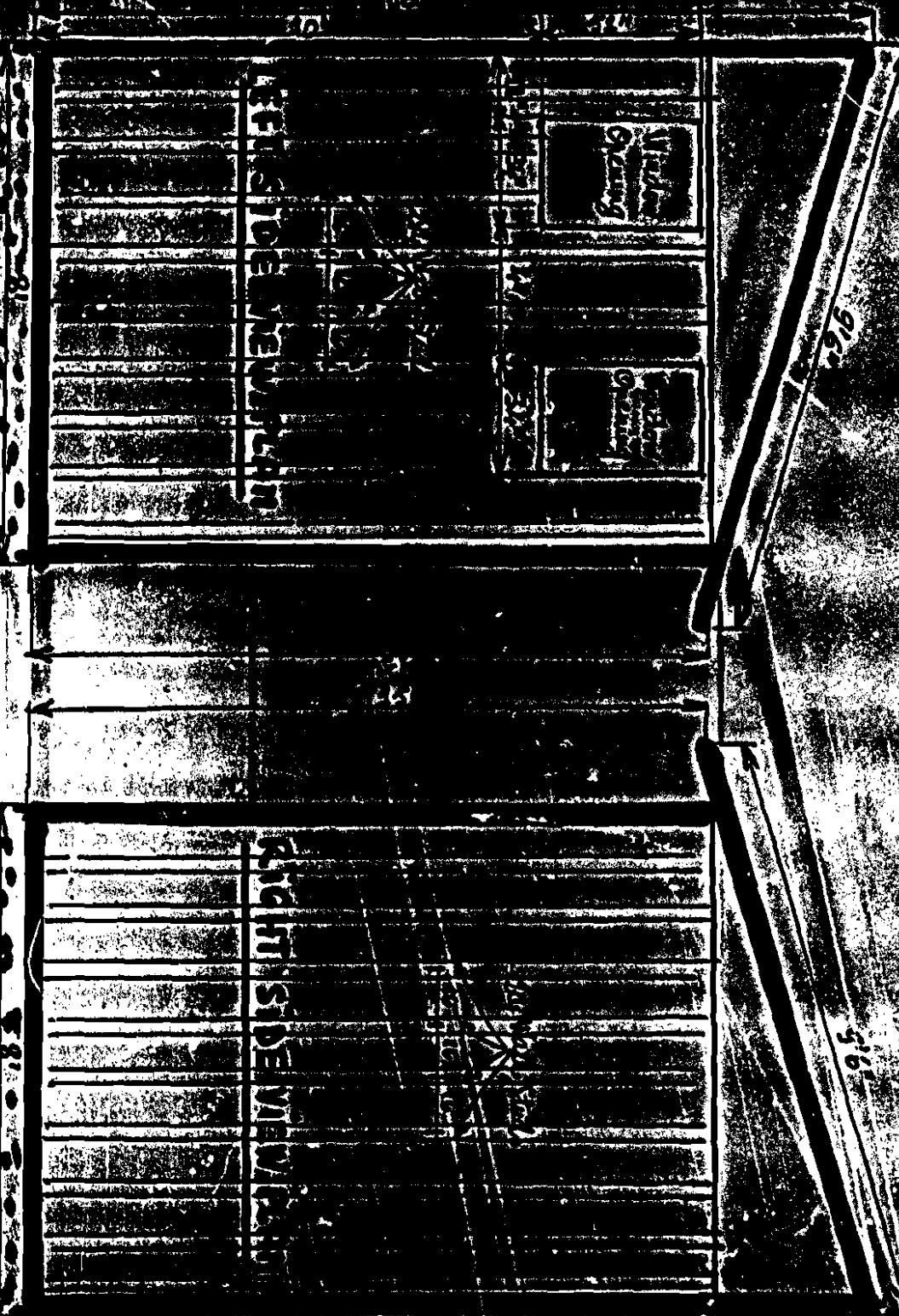
9'6"

16

16

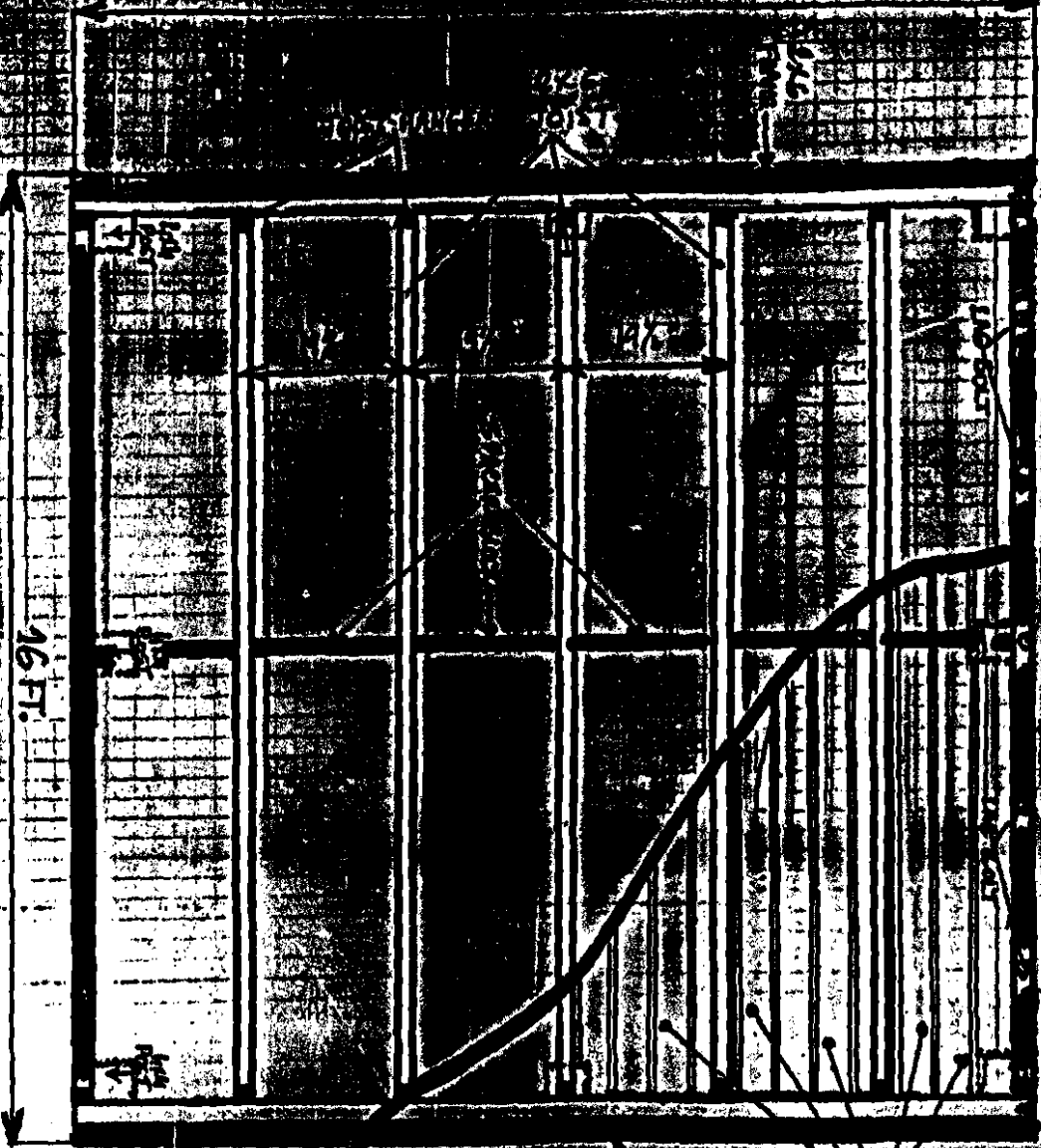
WINDING
GLASS

16



Washington, D.C.

TOP VIEW OF THE DECK



* This deck system
 is a standard type
 used in the
 Navy and the
 Air Force.
 - Pressure tested
 (according to spec)

16 DECK RAILS

17

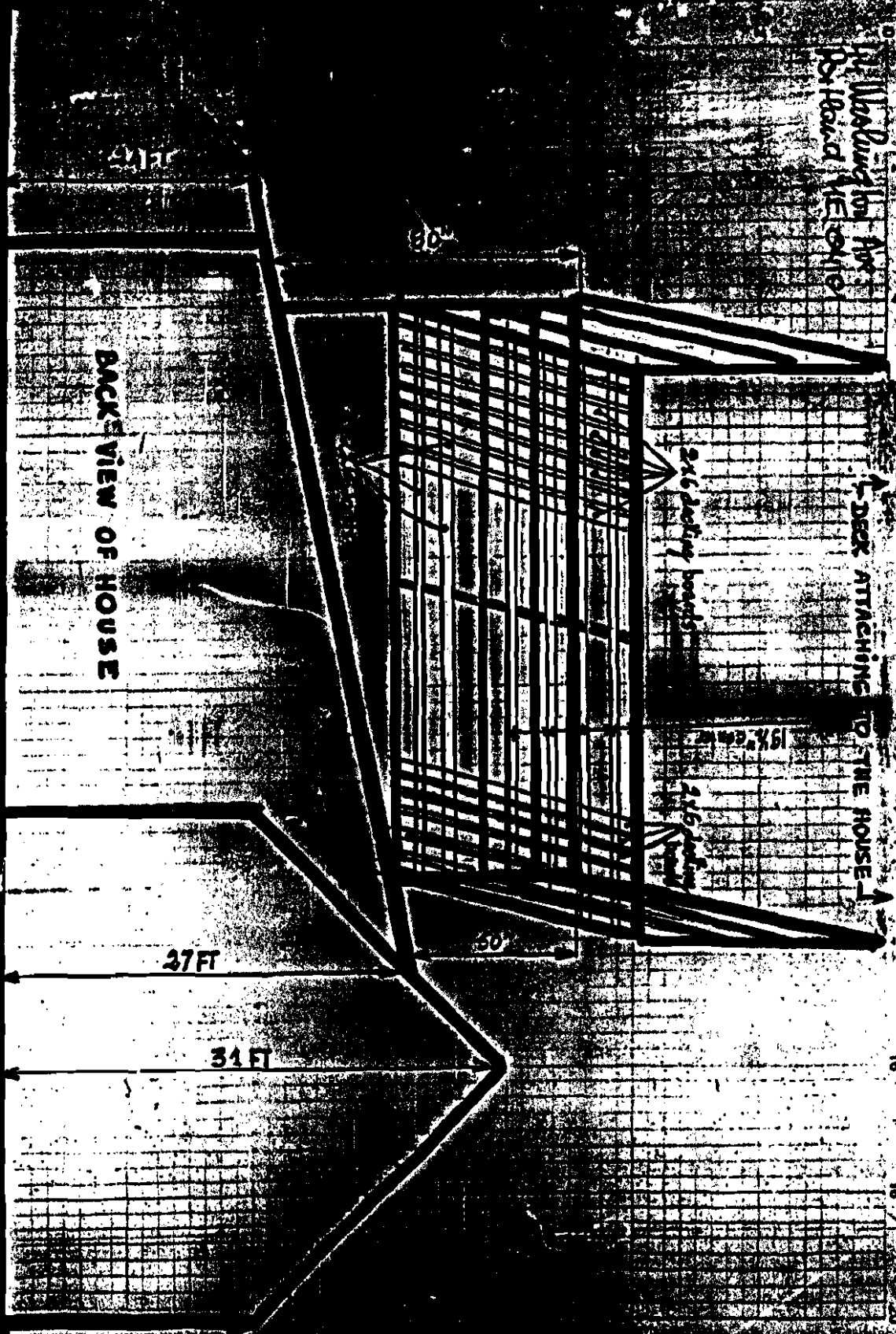
18 19 20 21 22 23 24 25 26 27 28 29 30

HOUSE

Dr. Wm. D. ...
P.O. Box ...

DECK ATTACHING TO THE HOUSE

2x6 decking boards
2x6 railing posts
2x6 railing rails



BACK VIEW OF HOUSE

DECK (attaching to the house)

33 FT.

27 FT

31 FT

60"

60"

16 18 20

900681 City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone Map #

Please fill out any part which applies to job. Proper plans must accompany form.

Name: Michael P. Bocal Phone # For Official Use Only

Address: 1 N. T. Carpenter 44-46 Washington Ave. Phone # 5129190

LOCATION OF CONSTRUCTION: 44-46 Washington Ave. PETD, NE 041

Proposed Use: 2-family w market & restaurant

Permit Type: 2-family w market & restaurant

Change of Use: from 2-family w market to

2-family w market & restaurant

City: Portland

Neighborhood: SE 15th

Block: 1500

Lot: 1500

Building Type: Restaurant

Other Materials: None

1. Building Size: 1000 sq ft

2. No. Windows: 10

3. No. Doors: 10

4. Elevation Type: 1

5. Elevation Type: 2

6. Elevation Type: 3

7. Elevation Type: 4

8. Elevation Type: 5

9. Elevation Type: 6

10. Elevation Type: 7

11. Elevation Type: 8

12. Elevation Type: 9

13. Elevation Type: 10

14. Elevation Type: 11

15. Elevation Type: 12

16. Elevation Type: 13

17. Elevation Type: 14

18. Elevation Type: 15

19. Elevation Type: 16

PERMIT ISSUED WITH LETTER

Signature of Applicant: Michael P. Bocal
Signature of CEO: [Signature]
Inspection Dates: [Blank]

Permit Received By: Louise E. Chase

Signature of Applicant: Michael P. Bocal

Signature of CEO: [Signature]

Inspection Dates: [Blank]

White-Tax Assessor

Yellow-GPCOG

White Tag-CEO

Copyright [Blank] M.A. [Blank]

92708

RECEIVED

RECEIVED

7-13-78

010

VA

100

100

PERMANENT RECORDS SECTION

RECORDS SECTION

RECORDS SECTION

ALBANY COUNTY

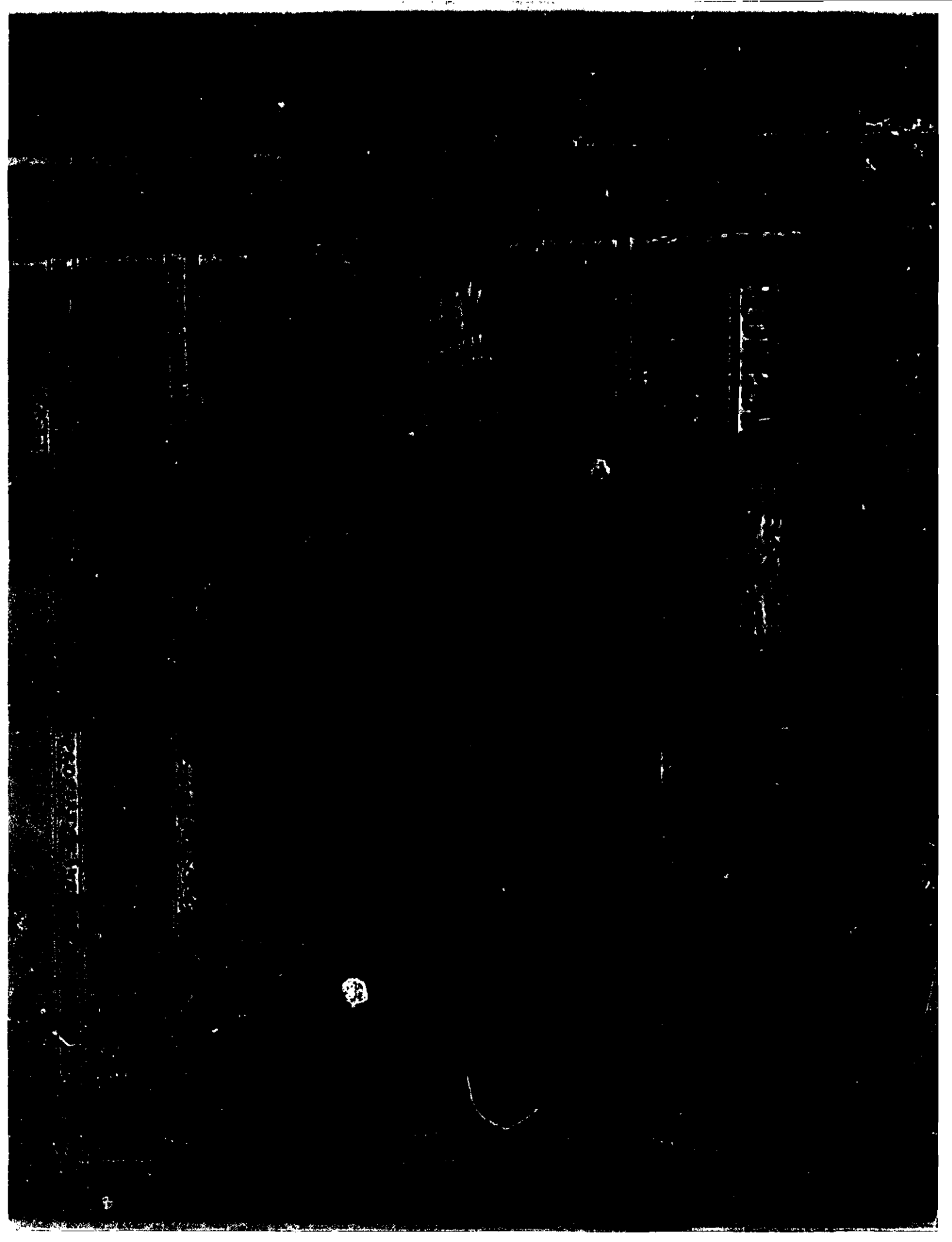
ALBANY COUNTY

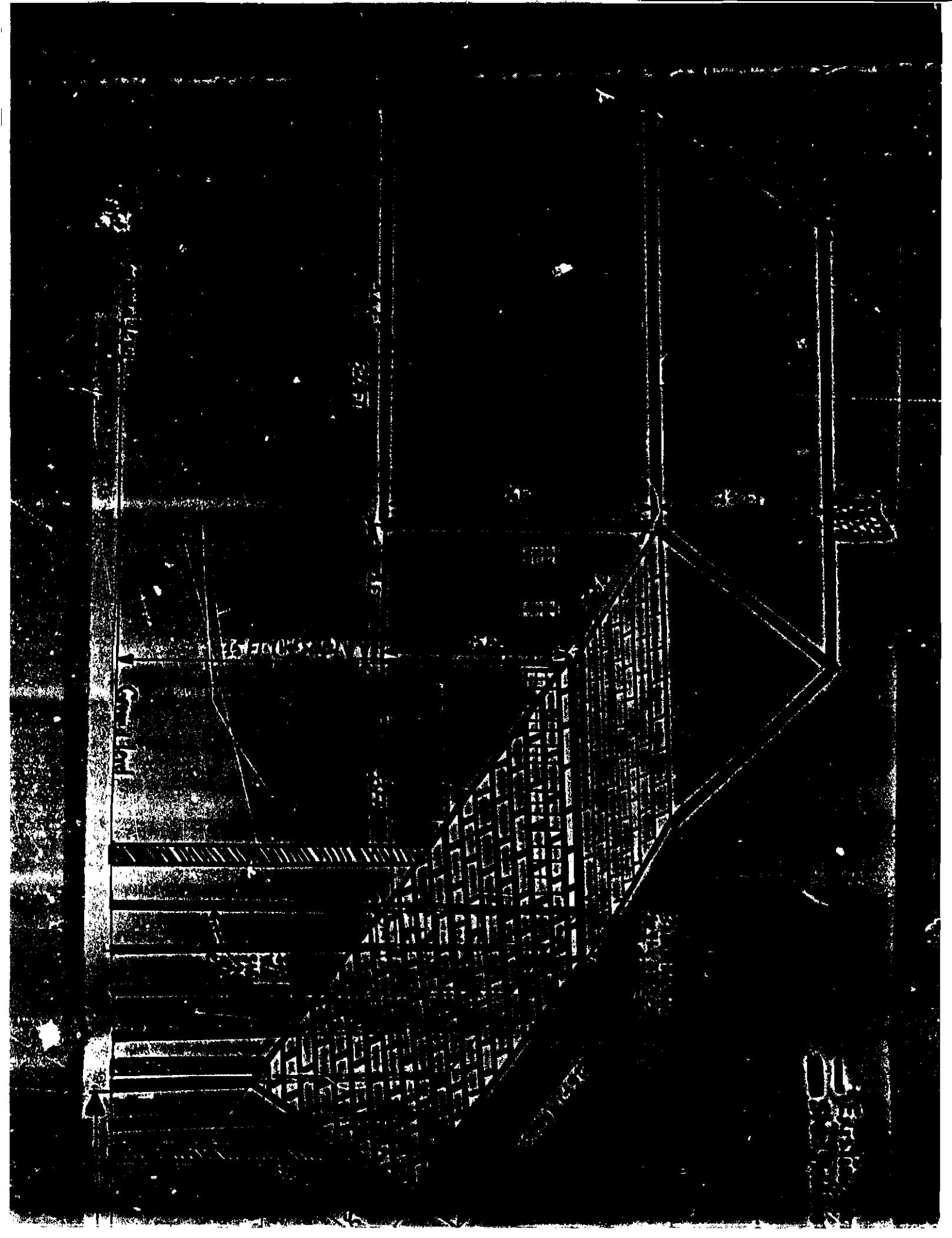
ALBANY COUNTY

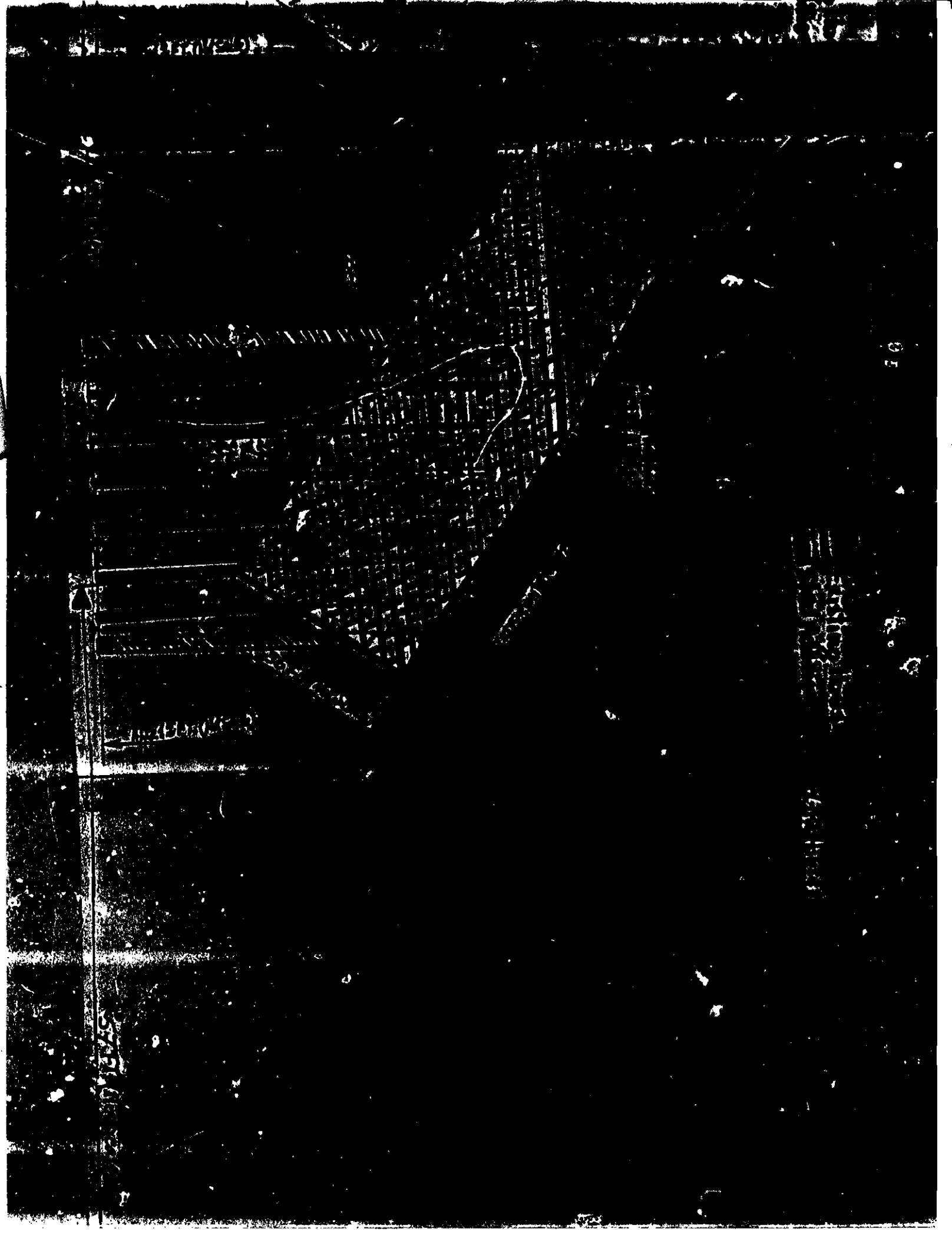
[Handwritten signature]

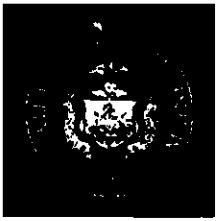
PROPERTY LINE

ROBAM ESTATE









PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Director of Planning and Urban Development
Penny St. Louis Littell*

June 9, 2010

Abdul Ali
46 Washington Avenue
Portland, ME 01101

Hand Deliver

RE: 44 Washington Ave.
CBL: 013 E012001

Dear Abdul,

This letter serves as a follow up to the inspection at the above property on June 4, 2010 by Capt. Keith Gautreau and me. The following is a list of items we discussed, with some modifications based on further discussion with your contractor Jim, and Keith. We have separated the corrections into priority categories in order for you to proceed with timely occupancy of the 2 residential apartments.

Primary corrections for temporary Certificate of Occupancy:

1. Install self closing hinges on the 3rd floor entry door.
2. Install all working smoke detectors in both units to be tested upon inspection.
3. Install permanent signage on the 2nd floor rear egress door to read "EMERGENCY EXIT ONLY, NO ROOF ACCESS ALLOWED".
4. 3rd floor apartment stairs shall have finished floor/carpet or be checked for repair and painted/sealed.
5. Repair broken floor tile at top of front entry stairs hallway and inspect apartments for the same.
6. Insect screens, either permanent or portable shall be provided for every operable window.
7. Clean both apartments and common areas to move in condition.

Conditions on temporary CO to be corrected before September 15, 2010:

1. All gas fired heaters shall be serviced by a licensed technician for proper installation and ventilation.
Reminder: The City of Portland Housing Code requires habitable rooms, other than rooms used primarily for sleeping to be provided with a minimum temperature of 68 degrees from September 15 through May 15 each year.
2. Relocate the gate access onto the rear exterior egress stairs as per the approved plans on building permit #09-1359. Install steps to access this gate for the 2nd floor apartment.
3. Install storm windows or an alternative equally effective for heat retention of all single pane window units.
4. Submit an agreement for winter maintenance of the rear exterior secondary egress stairs.

Thank you for your attention to these matters, contact me at 874-8715 with any questions.

Sincerely,

Jeanie Bourke
CEO/Plan Reviewer

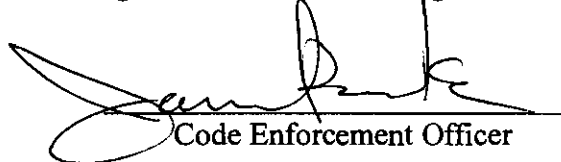
**City Of Portland
Inspection Services
RETURN OF SERVICE**

On the 10 day of June, 2010, I made service of the Follow up letter
upon, Abdul Alifim, at Rm 315 City Hall
maschiovecchio

- By delivering a copy in hand.
- By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is _____.
- By delivering a copy to an agent authorized to receive service of process, and whose name is JIM MASSCIOVECCHIO.
- By (describe other manner of service) _____.

DATED: 6/10/10

Signature of Person Making Service


Code Enforcement Officer

I have received the above referenced documents

Person Receiving Service



- Refused to sign
 Unable to sign