



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 44 WASHINGTON AVE CBL 013 E012001

Issued to Ali Abdul & Habibo Adam Jts/Michael Nadeal Date of Issue 07/27/2010

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-0275, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

1st fl - retail with 714 s.f. Space in rear  
2nd & 3rd fl - 1 residential dwelling each  
Type 5B  
Use Group M/S, R

**Limiting Conditions:**

Temporary until Sept. 15, 2010, see attached conditions.

This certificate supersedes  
certificate issued

Approved:

7/27/10 *Janine Banke*  
-----  
(Date) Inspector

*[Signature]*  
-----  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

CAPT. *[Signature]*  
7/28/10



# PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development  
Penny St. Louis Littell

June 9, 2010

Abdul Ali  
46 Washington Avenue  
Portland, ME 01101

**Hand Deliver**

RE: 44 Washington Ave.  
CBL: 013 E012001

Dear Abdul,

This letter serves as a follow up to the inspection at the above property on June 4, 2010 by Capt. Keith Gautreau and me. The following is a list of items we discussed, with some modifications based on further discussion with your contractor Jim, and Keith. We have separated the corrections into priority categories in order for you to proceed with timely occupancy of the 2 residential apartments.

**Primary corrections for temporary Certificate of Occupancy:**

1. Install self closing hinges on the 3<sup>rd</sup> floor entry door. 7/19/10 JMB
2. Install all working smoke detectors in both units to be tested upon inspection. 7/19/10 JMB
3. Install permanent signage on the 2<sup>nd</sup> floor rear egress door to read "EMERGENCY EXIT ONLY, NO ROOF ACCESS ALLOWED". 7/19/10 JMB
4. 3<sup>rd</sup> floor apartment stairs shall have finished floor/carpet or be checked for repair and painted/sealed. 7/19/10 JMB
5. Repair broken floor tile at top of front entry stairs hallway and inspect apartments for the same. 7/19/10 JMB
6. Insect screens, either permanent or portable shall be provided for every operable window. 7/19/10 JMB
7. Clean both apartments and common areas to move in condition. 7/19/10 JMB

**Conditions on temporary CO to be corrected before September 15, 2010:**

1. All gas fired heaters shall be serviced by a licensed technician for proper installation and ventilation. Reminder: The City of Portland Housing Code requires habitable rooms, other than rooms used primarily for sleeping to be provided with a minimum temperature of 68 degrees from September 15 through May 15 each year.
2. Relocate the gate access onto the rear exterior egress stairs as per the approved plans on building permit #09-1359. Install steps to access this gate for the 2<sup>nd</sup> floor apartment.
3. Install storm windows or an alternative equally effective for heat retention of all single pane window units.
4. Submit an agreement for winter maintenance of the rear exterior secondary egress stairs.

Thank you for your attention to these matters, contact me at 874-8715 with any questions.

Sincerely,

Jeanie Bourke  
CEO/Plan Reviewer

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

# PERMIT

PERMIT ISSUED

Permit Number: 090275

JUN 10 2010

Please Read Application And Notes, If Any, Attached

This is to certify that ALI ABDUL & HABIBO ADAM JTS/Michael Nadeal

has permission to New 3rd Floor DU, 714sf existing rear building to be storage of goods, Separate fire areas for mixed uses

AT 44 WASHINGTON AVE - CBL 013 E012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Soutrean

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Janne Benke* 6/10/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**



**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0275	Issue Date:	CBL: 013 E012001
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Location of Construction: 44 WASHINGTON AVE	Owner Name: ALI ABDUL & HABIBO ADAM J	Owner Address: 46 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Michael Nadeal	Contractor Address: 143 Grant St Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-2b

Past Use: Retail Grocery Store & One dwelling unit on 2nd floor (No CO issued Permit #06-0192)	Proposed Use: Retail Groc Store, 2nd floor DU and new 3rd Floor DU, 714sf existing rear building to be storage of goods. Separate fire areas for mixed uses	Permit Fee: \$125.00	Cost of Work: \$3,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: m/s/r Type: SB	

Proposed Project Description: New 3rd Floor DU, 714sf existing rear building to be storage of goods, Separate fire areas for mixed uses	Signature: <i>KG</i>	Signature: <i>JMB 6/10/10</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Ldobson	Date Applied For: 04/06/2009	<b>Zoning Approval</b>
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ cond. need</i> Date: <i>12/7/09 ABN</i>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABN</i>  Date:
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**PERMIT ISSUED**

JUN 10 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0275	Date Applied For: 04/06/2009	CBL: 013 E012001
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Location of Construction: 44 WASHINGTON AVE	Owner Name: ALI ABDUL & HABIBO ADAM J	Owner Address: 46 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Michael Nadeal	Contractor Address: 143 Grant St Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Retail Groc Store, 2nd floor DU and new 3rd Floor DU, 714sf existing rear building to be storage of goods. Separate fire areas for mixed uses	Proposed Project Description: New 3rd Floor DU, 714sf existing rear building to be storage of goods, Separate fire areas for mixed uses
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 12/07/2009
Note: - Need 1,000 sf of land area per dwelling unit above the first floor. Lot is 7247 so OK. - Retail area is shown as 1518 sf, so does not require parking for that. Need one parking space for existing dwelling unit and one parking space for proposed third floor unit. Change of use needs a total of two parking spaces. Two can fit in driveway.			Ok to Issue: <input checked="" type="checkbox"/>
1) With the issuance of this permit and the certificate of occupancy, this property will be first floor, front - retail & rear -storage; second floor - one dwelling unit; and third floor - one dwelling unit. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 06/10/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This permit recognizes the 3rd floor has been previously occupied as a dwelling unit without benefit of approvals. It does not require or certify compliance with the City's current building code, however it shall meet all state statutes for existing apartments and the City's Housing Code.			
2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.			
3) Application approval based upon information provided by applicant, with revisions. Any deviation from approved plans requires separate review and approval prior to work.			

Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 06/10/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Two means of egress are required from every story. "State Law Title 25 ~ 2453"			
2) All construction shall comply with NFPA 1 and 101.			
3) All smoke detectors and smoke alarms shall be photoelectric. Carbon Monoxide detectors are required in the dwelling units by State law.			

**PERMIT ISSUED**

JUN 10 2010

Comments:	City of Portland
6/2/2010-jmb: Received floor plans from Jim M.. will have fire review, egress was approved on permit #091359.	
6/10/2010-jmb: Received from fire, ok to issue	
12/15/2009-jmb: Reviewed plans with Ben W. And feel we need to inspect to fully understand the layout.	

<b>Location of Construction:</b> 44 WASHINGTON AVE	<b>Owner Name:</b> ALI ABDUL & HABIBO ADAM J	<b>Owner Address:</b> 46 WASHINGTON AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Michael Nadeal	<b>Contractor Address:</b> 143 Grant St Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

2/11/2010-jmb: Inspected apartment layout on both 2nd and 3rd floors, there are many issues with egress and separation from the mercantile occupancy. Ben W. Was not available, will reschedule for fire to accompany. The 3rd floor has obviously been occupied as an apartment, has a kitchen and several rooms, but does not meet several codes.

2/18/2010-jmb: Inspected with Keith G., egress from the 3rd floor will be built, when approved. The front hall at 2nd floor will be sheetrocked in 5/8" type x, fire doors installed at apt doors and the winding stair to 3rd flr removed and floored over. The old nonconforming railing on the shed roof needs to be removed as this is not to be occupied. Revised plans for the exterior stair need to be submitted.

4/30/2010-jmb: Spoke to Jim M., he will submit floor plans of the whole building prior to this issuance.

4/8/2009-amachado: Need to talk to Jeanie. No plot plan. Can't follow the floor plans. What is the size of the building? Is the egress shown existing?

4/9/2009-amachado: Jeanie & I met with Abdul Ali at the counter. We told him what we need. Need plot plan, scaled floor plans - before & after, & need to know what the storage area is being used for.

12/7/2009-amachado: Received permit application on 11/24/09 to build exterior egress from third floor to ground across one story rear storage area. Contained a plot plan. Found previous plot plans with permits on file showing a 10' wide driveway.

**PERMIT ISSUED**

JUN 10 2010

City of Portland

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.

NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

PERMIT ISSUED

JUN 10 2010

City of Portland





# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>44 &amp; 46 Washington</u>		
Total Square Footage of Proposed Structure/Area <u>1st 34' x 80' 2nd 34' x 52' 3rd 34' x 36'</u>	Square Footage of Lot <u>112' x 62' = 6,944 sq FT</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>E</u> Lot# <u>12</u>	Applicant <u>must be owner, Lessee or Buyer</u> Name <u>ABDUL ALI</u> Address <u>46 Washington Ave</u> City, State & Zip <u>Portland Me 04101</u>	Telephone: <u>899 5818</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip <u>MAIL</u>	Cost Of Work: \$ <u>3,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>125</u>
Current legal use (i.e. single family) <u>Grocery</u>	one dwelling 2nd Floor	Number of Residential Units <u>1</u>
If vacant, what was the previous use?	Proposed Specific use:	
Is property part of a subdivision? _____	If yes, please name _____	
Project description: Fire code <u>unit 2nd Floor &amp; ADD dwelling unit on 3rd Floor</u> <u>Grocery store with storage (714 SF) storage room behind Grocery</u>		
Contractor's name: <u>Michael Nadool</u>		
Address: <u>143 Grant St</u>		
City, State & Zip: <u>Portland Me 04101</u>	Telephone: <u>7741871</u>	
Who should we contact when the permit is ready: <u>Abdul Ali</u>	Telephone: <u>8995818</u>	
Mailing address: <u>44 Washington Ave Port. Me 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

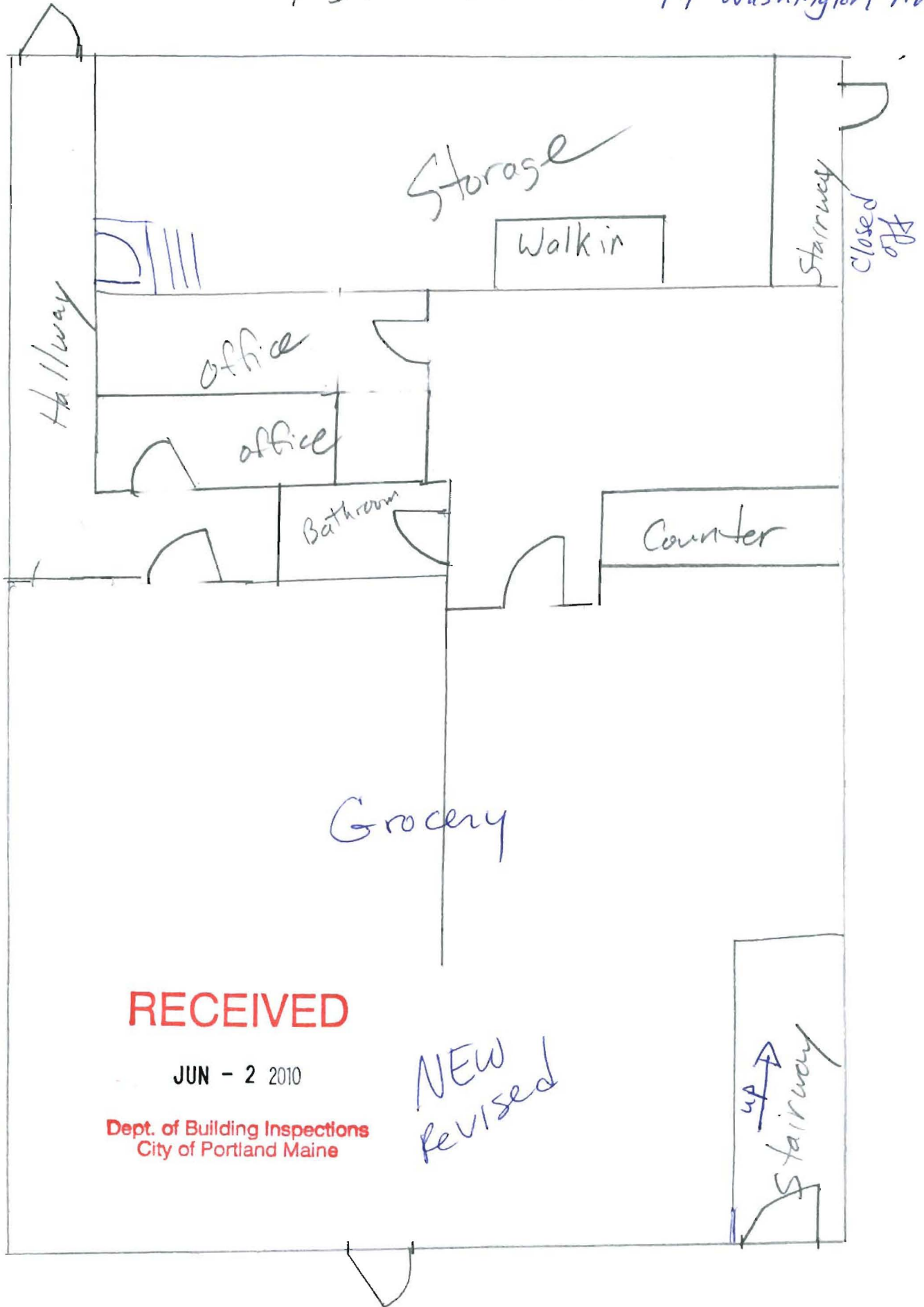
APR - 3 2009

Signature: Abdul Ali Date: 040609

This is not a permit; you may not commence ANY work until the permit is issue

1st floor

Abdul Ali  
44 Washington Ave.



**RECEIVED**

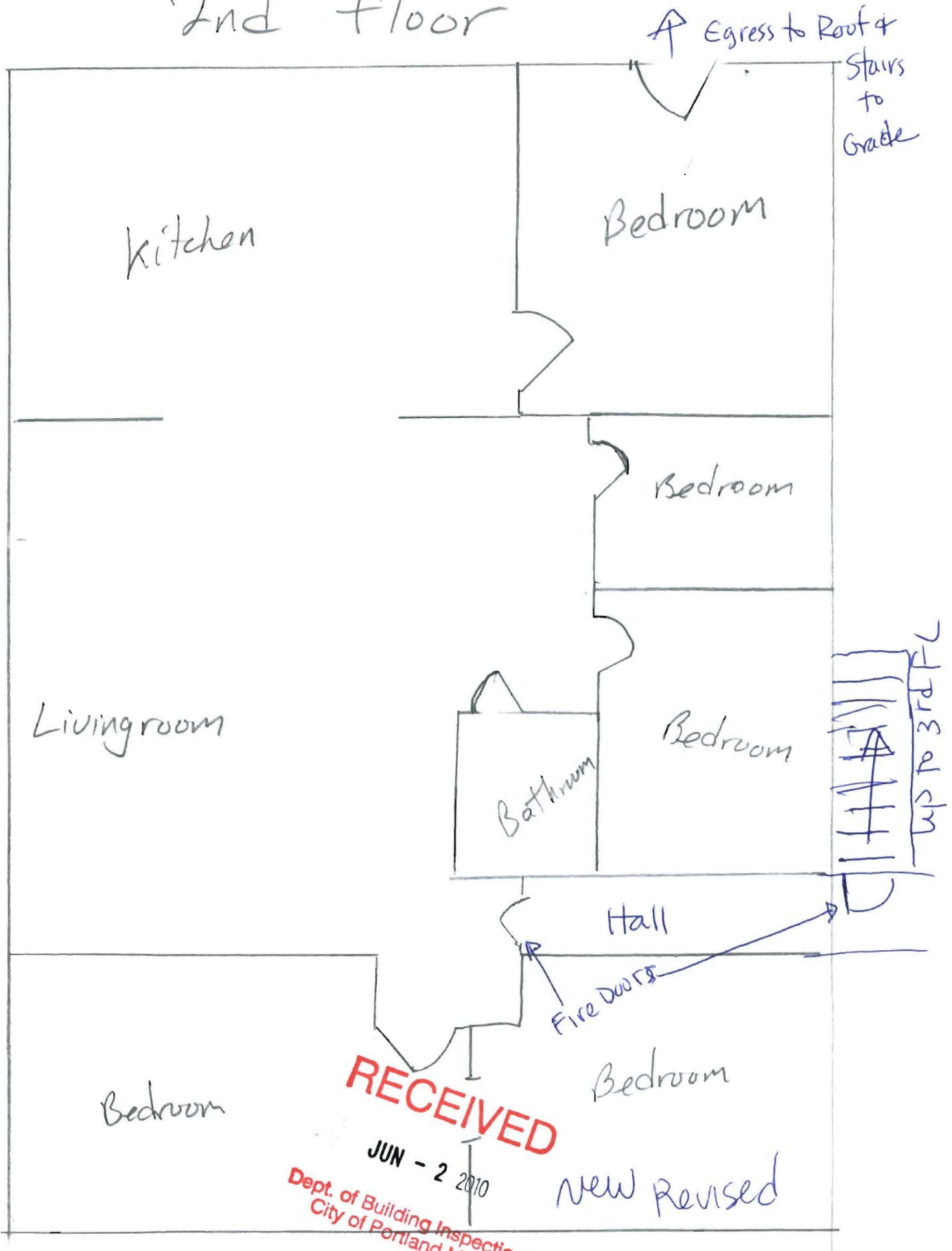
JUN - 2 2010

Dept. of Building Inspections  
City of Portland Maine

NEW  
Revised

up  
Stairway

# 2nd floor



**RECEIVED**

JUN - 2 2010

Dept. of Building Inspections  
City of Portland Maine

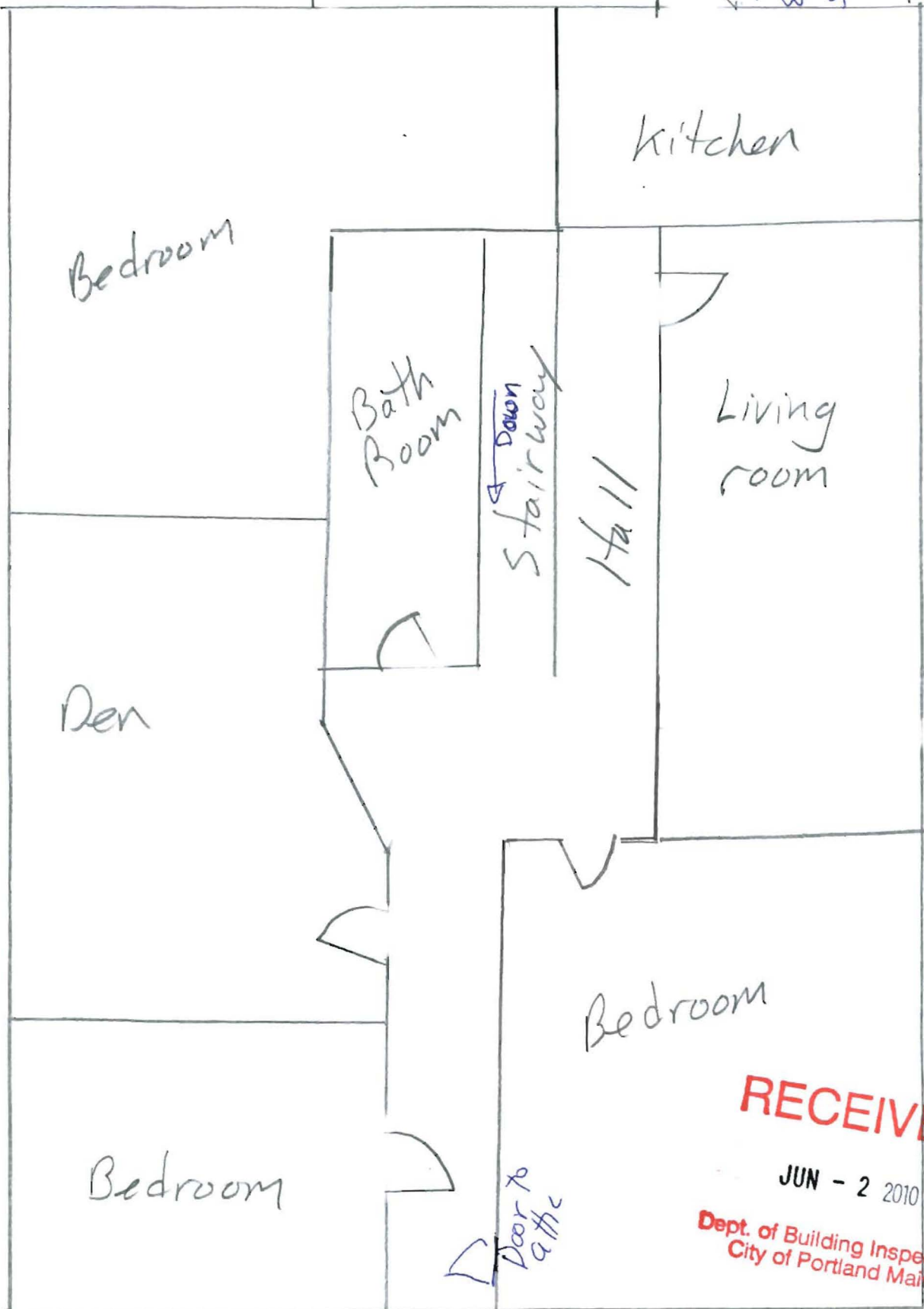
new Revised



3rd floor

Deck

↑ Egress stairs to grade

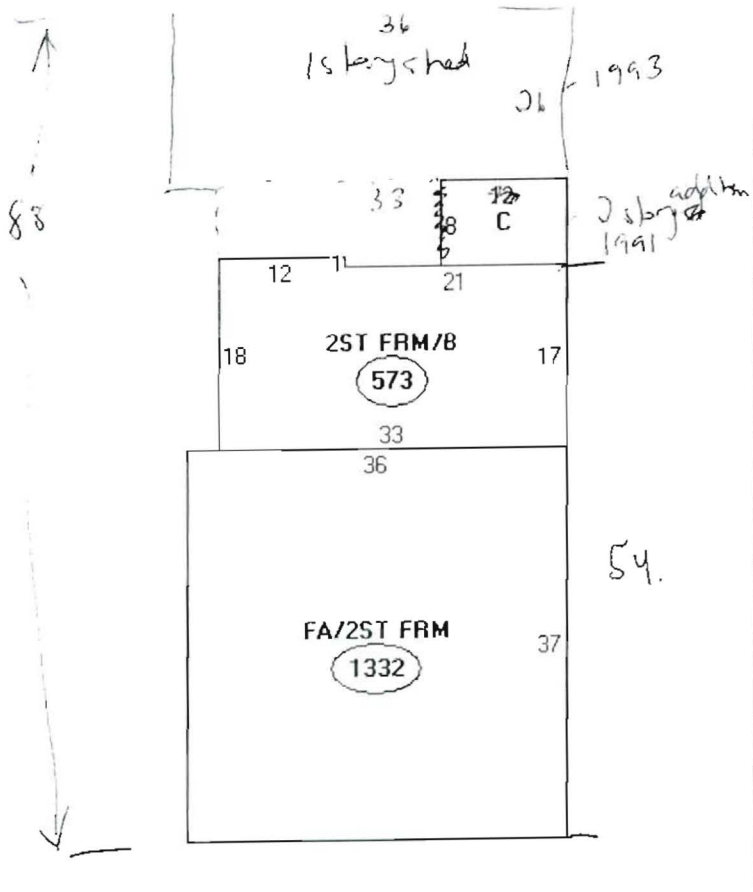


**RECEIVED**

JUN - 2 2010

Dept. of Building Inspections  
City of Portland Maine

New Revised



Descr
A: FA/2ST 1332
B: 2ST F 573 s
C: EFP/I 96 sq

Permit 91-2361 - 2 story addition 8' 33' (in rear)

existing was 36' x 54'

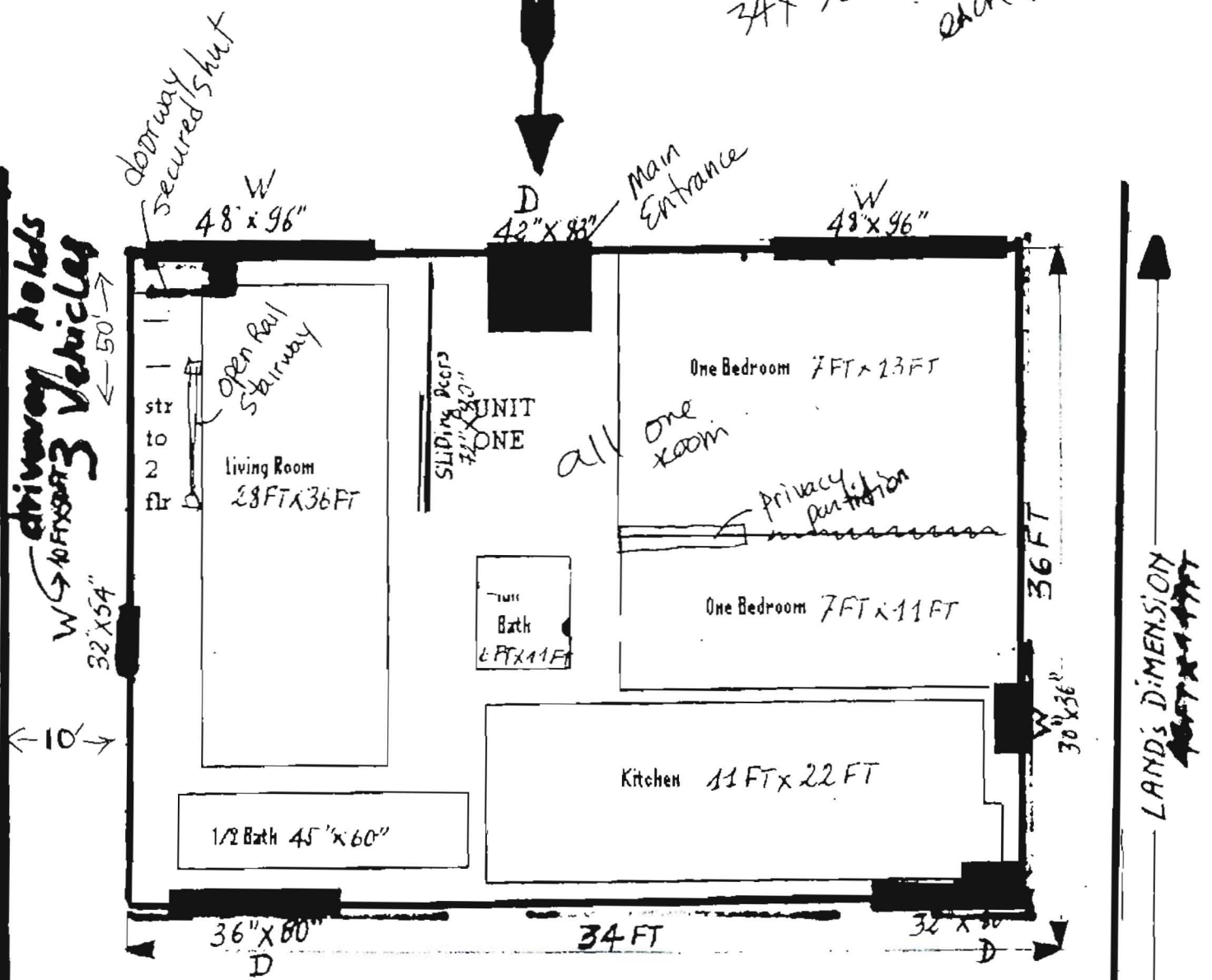
Permit 93-0976 - add 26' x 36' shed to rear

permit # - 03 - 13 44  
plot plan

#44-46 Washington Avenue

ENTRANCE DOOR

34' x 36' = 1224  
each floor



driveway holds 3 Vehicles  
W → 10 FT x 30 FT  
← 50' →  
32' x 54'

← 10' →

LAND'S DIMENSION  
147' x 44' x 117'

1st floor

lot : 48' frontage  
147' depth

W = Window  
D = door

013 E 012  
08 13 44



Rear Yard

12x11 = 252

Install new exterior door

+ 798

468

1518

not need painting

NEW STORAGE

21x34

C-1 wall

Install new fire door

Hallway

28'

7x20 OFFICE

8x10 FREEZER

35"



B1

12'

14x18 = 252

BUTCHER SHOP

A2

7x14 OFFICE

14'

5'

4x8 1/2 BATH

STORAGE

COUNTER

9'

3' C.O.



18x35 = 630

12x14 = 168

798

35'



18x26 = 468

6' C.O.

26'

A1

ceiling

1 layer 1/2" Sheetrock

6' ENTRY

ceiling 2 layers 3/4" boards

18'

1st FLOOR

Install new exterior door  
NEW STORAGE  
21x34

2-1  
Wall

Install new fire door

Hallway

7x20  
OFFICE

8x10  
FREEZER

BUTCHER  
SHOP

7x14  
OFFICE

4x8  
1/2  
BATH

STORAGE

COUNTER

9'

3' C.O.

35'

6' C.O.

2'

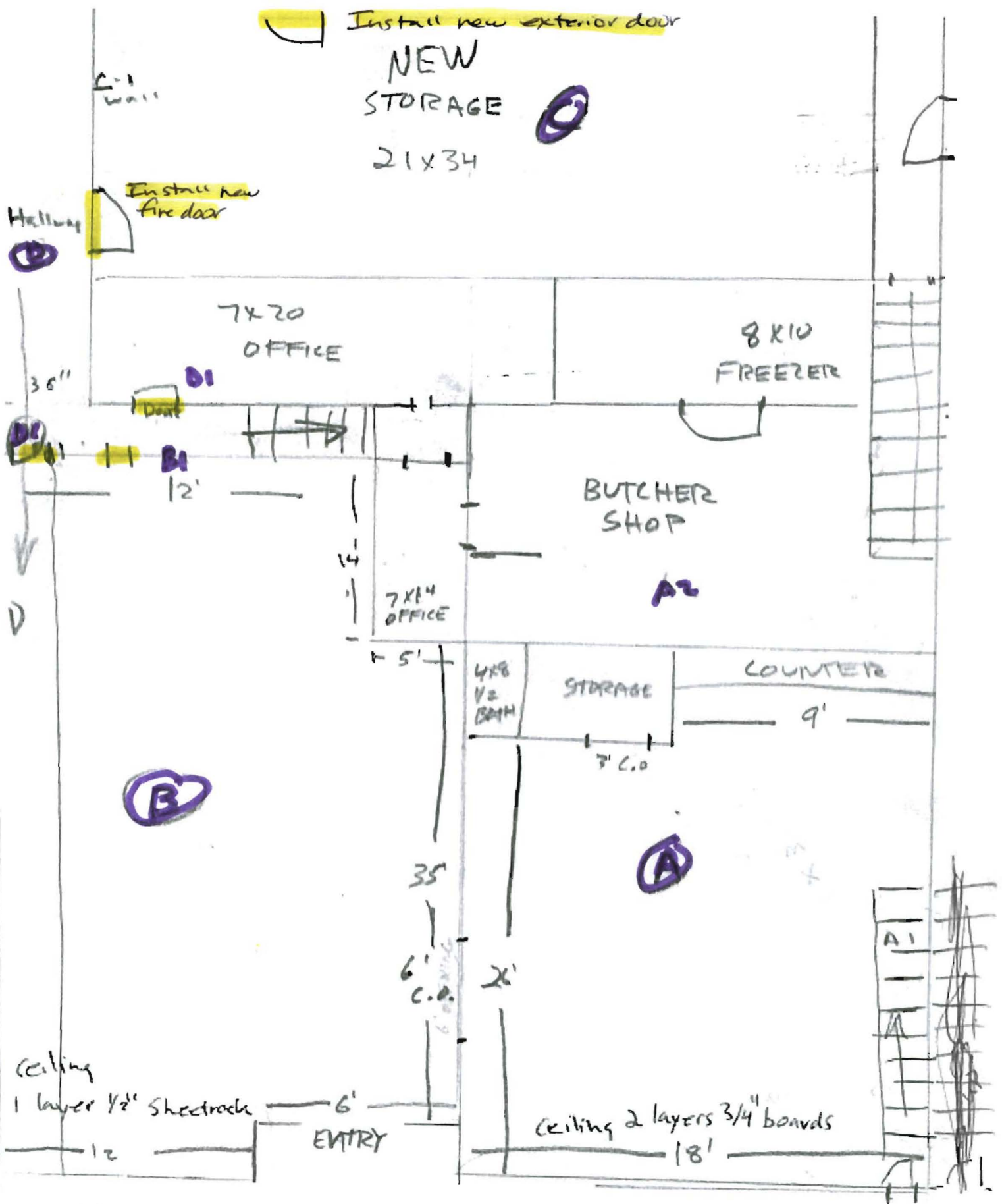
Ceiling  
1 layer 1/2" Sheetrock

6'  
ENTRY

Ceiling 2 layers 3/4" boards

18'

1st FLOOR



NEW  
STORAGE  
21x34

(C)

Hallway  
(D)

2-1  
Wall

7x20  
OFFICE

8x10  
FREEZER

BUTCHER  
SHOP

A2

7x14  
OFFICE

4x8  
1/2  
BATH

STORAGE

COUNTER

9'

3' C.O.

(B)

(A)

35'

6'  
C.O.

2'

Ceiling  
1 layer 1/2" Sheetrock

12

ENTRY

Ceiling 2 layers 3/4" boards

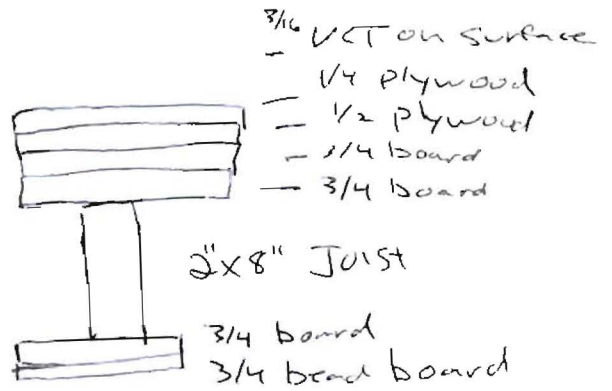
18'

A1

1st FLOOR



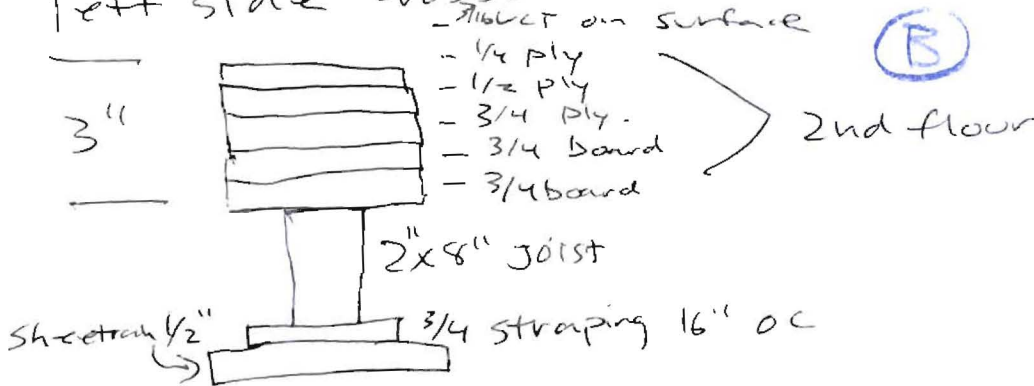
Cross section ceiling + floor  
right side of building 2nd floor



A1 Front Stairwell has  $\frac{1}{2}$ " Sheetrock on wall and bottom of stairs

A2 Butcher Shop area ceiling is dropped w/  $\frac{1}{2}$ " Sheetrock  
Rear stairwell has  $\frac{1}{2}$  SR on wall and bottom of staircase

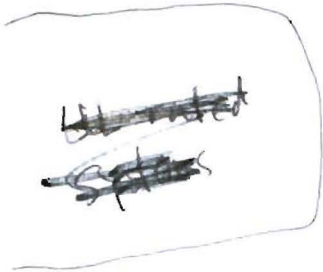
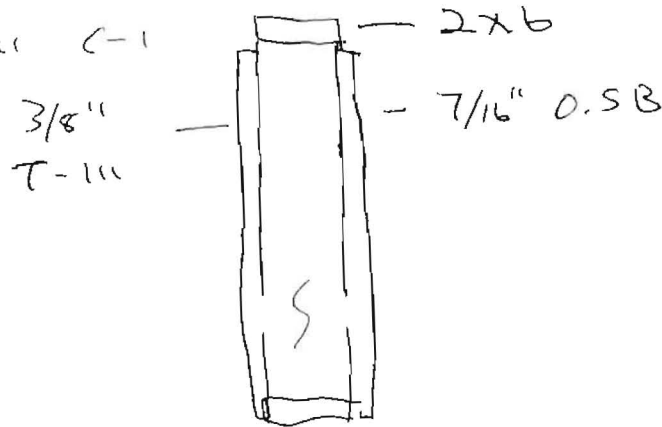
left side cross section



B1 wall has  $\frac{1}{2}$  SR on both sides plus  $\frac{1}{4}$ " padding on store side

C Storage area has  $\frac{1}{2}$  plywood O.S.B. on all interior walls and on ceiling. Hall side has  $\frac{3}{8}$ " T-111 on wall.

Cross section wall C-1



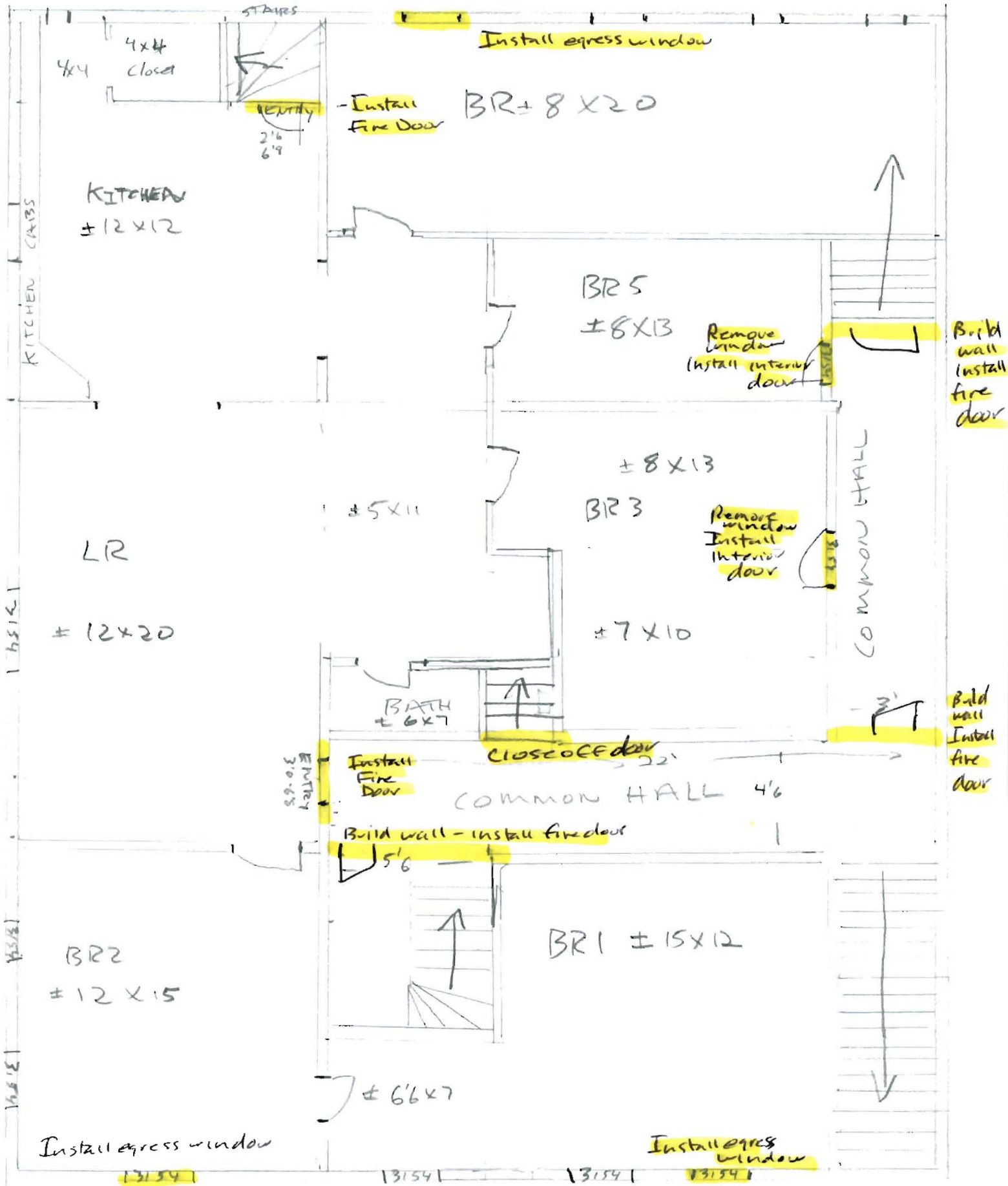
(over)

D

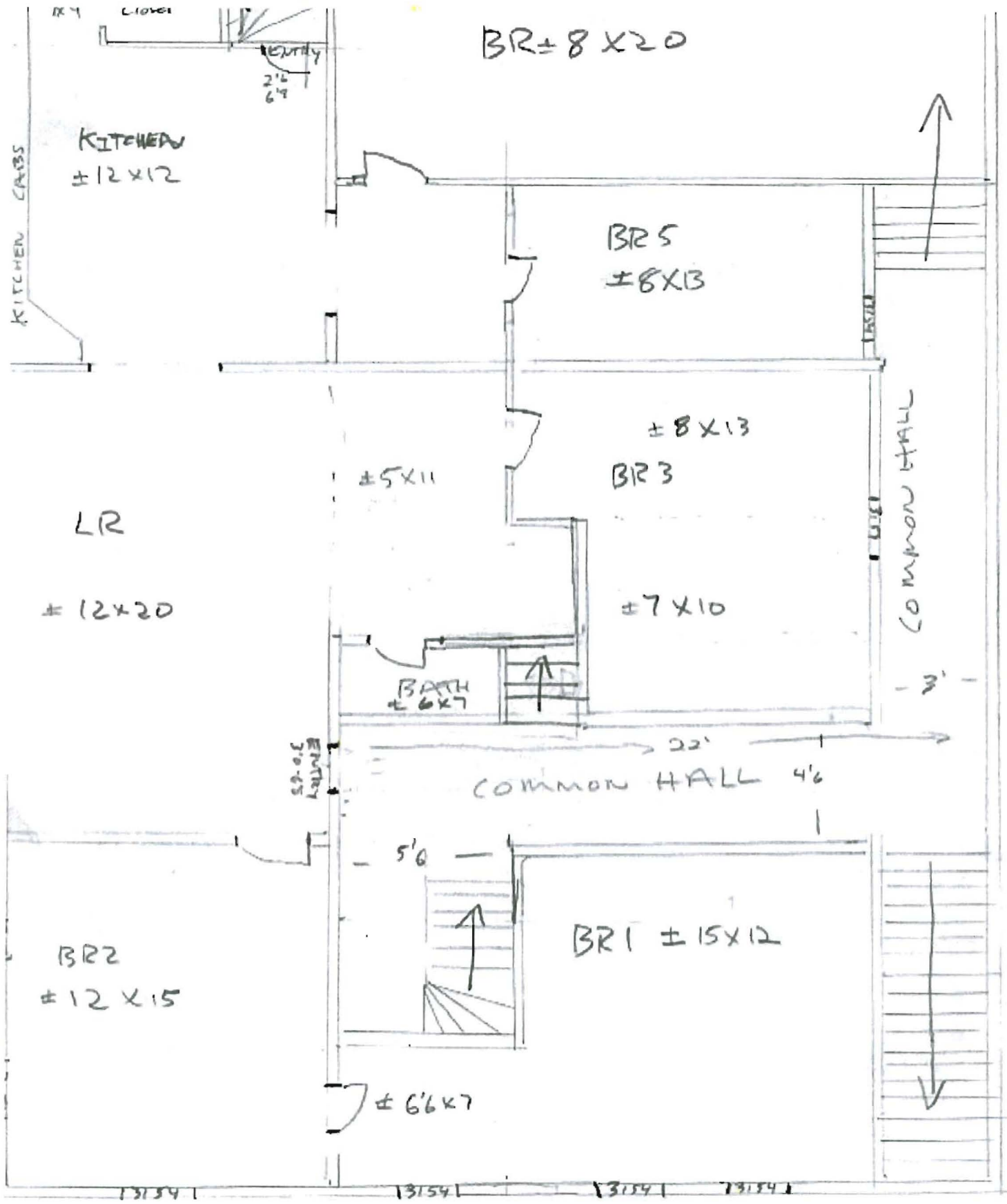
Hallway - ~~At~~ Install 2 fire doors in hallway  
between storage aisle at location D-1.

Install fire door in hallway at location  
B-1 - between store and hall



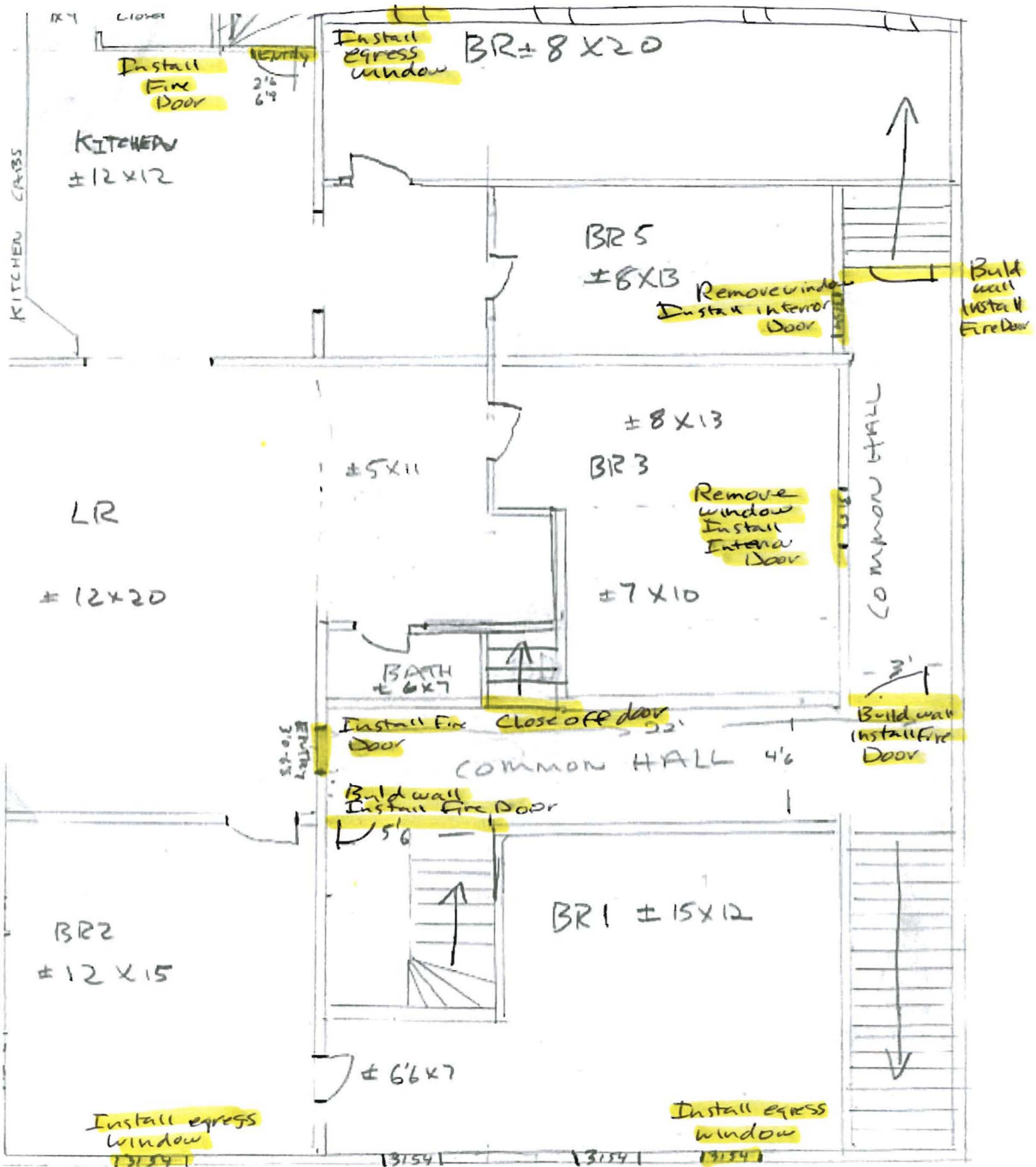


2ND FLOOR  
 ± 34' x 52'



2ND FLOOR  
34' x 52'

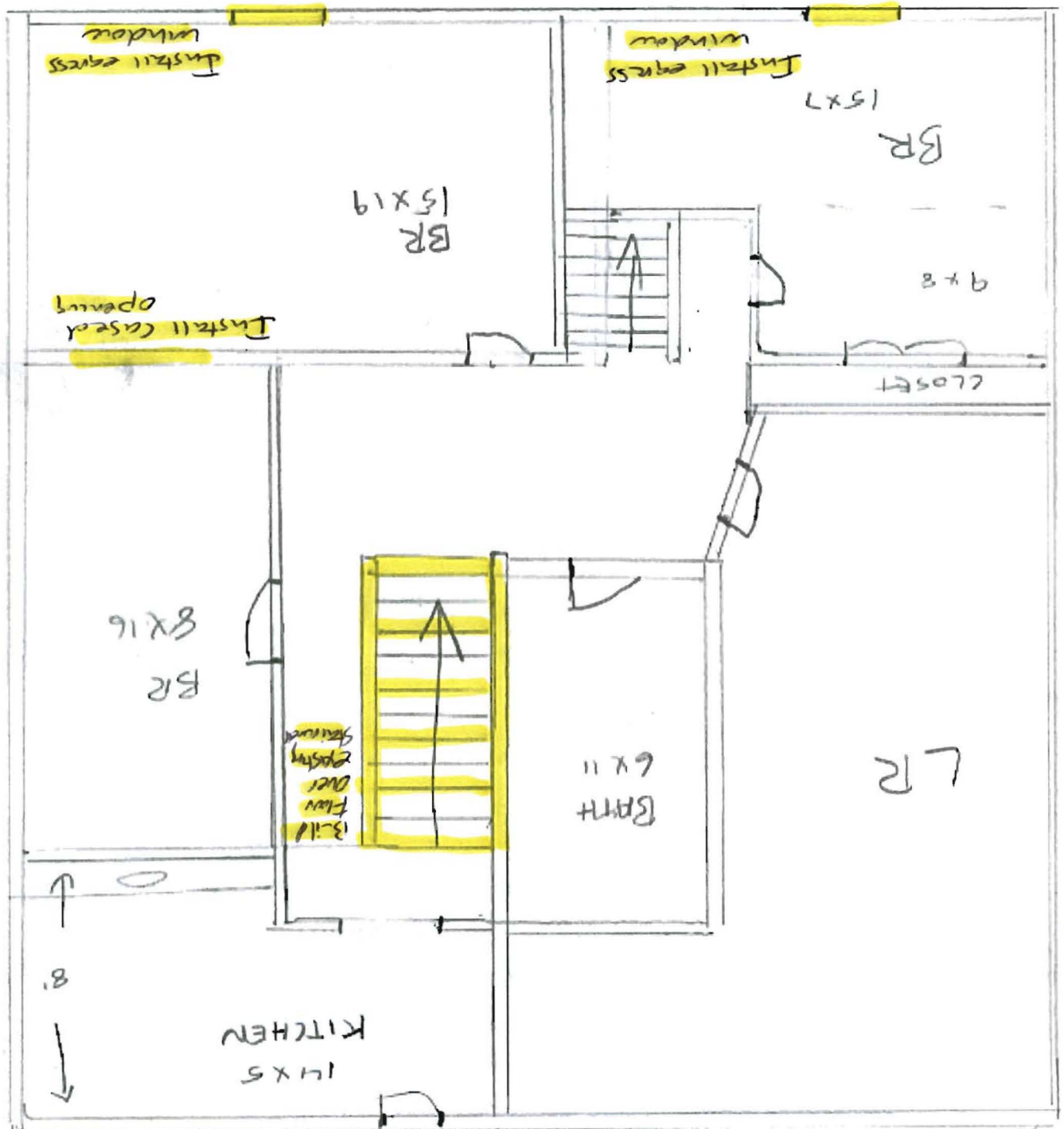




2ND FLOOR  
 34' x 52'



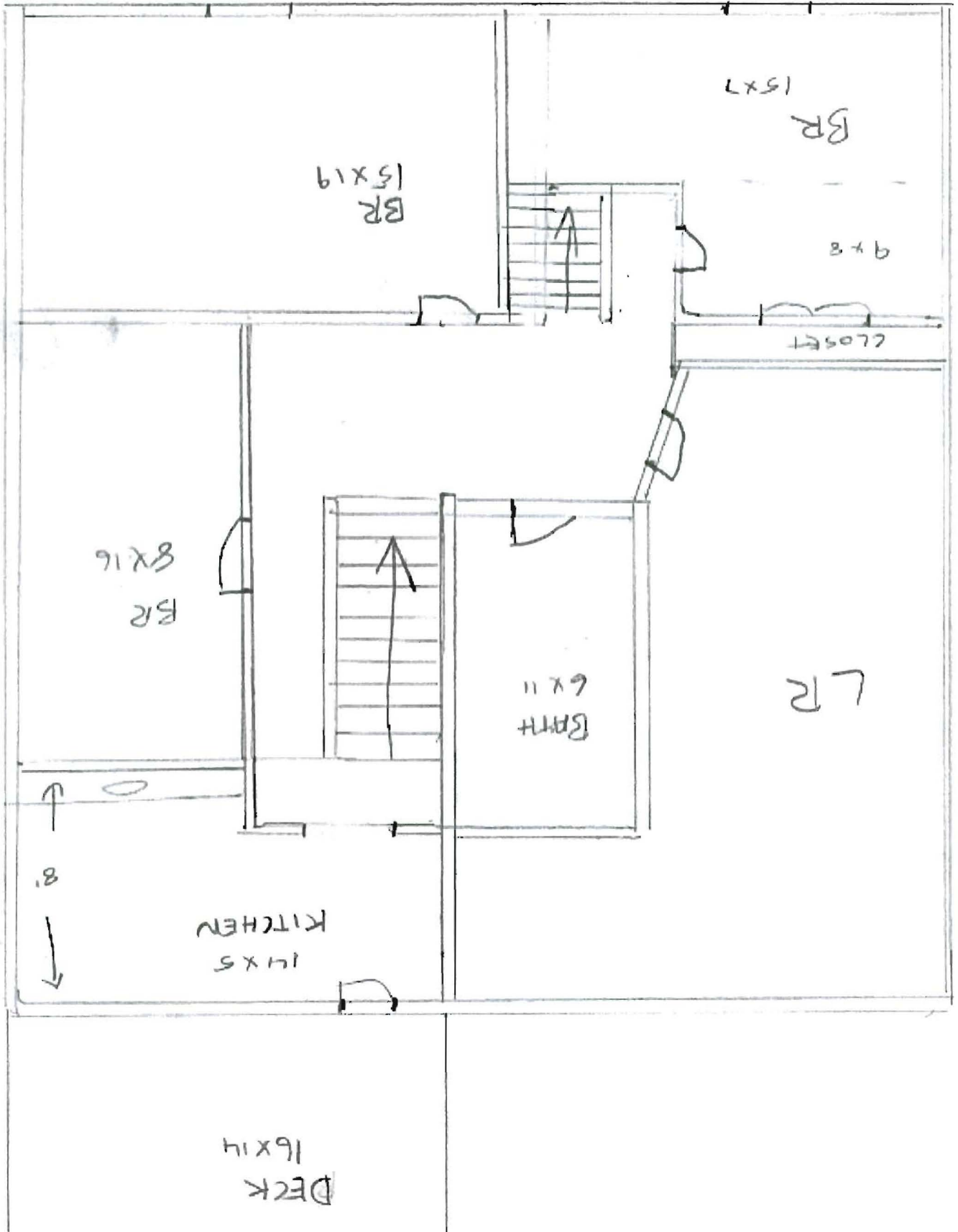
3RD FLOOR  
34x36



DECK  
16x14

Add Fire Escape to Deck  
- see attached drawings -

3RD FLOOR  
34736





EXISTING 3 STORY BUILDING

34'

14'

15'

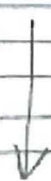
EXISTING DECK

16' x 34'

EXISTING 2 STORY BUILDING

4'  
LANDING

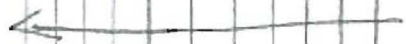
RAMP



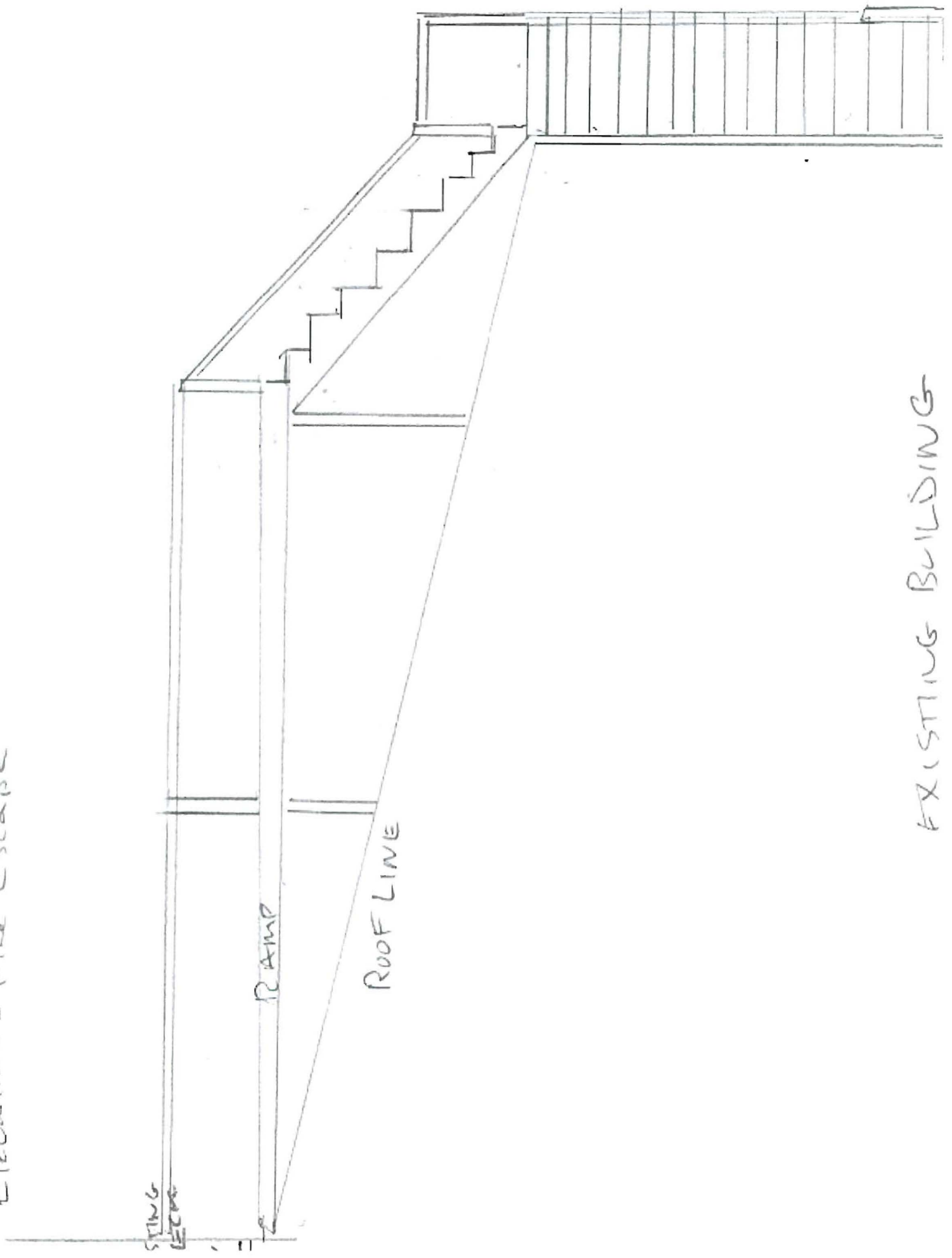
2' x 34'

EXISTING 1 STORY BUILDING

4'  
LANDING



Elevation - Fire Escape



EXISTING BUILDING

EXISTING 3 STORY BUILDING

34'



14'

15'

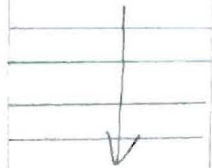
EXISTING DECK

16' x 34'

EXISTING 2 STORY BUILDING

3' LANDING  
4'

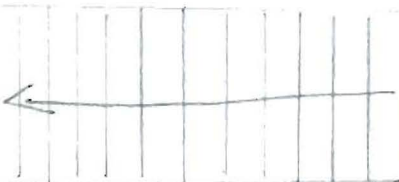
RAMP



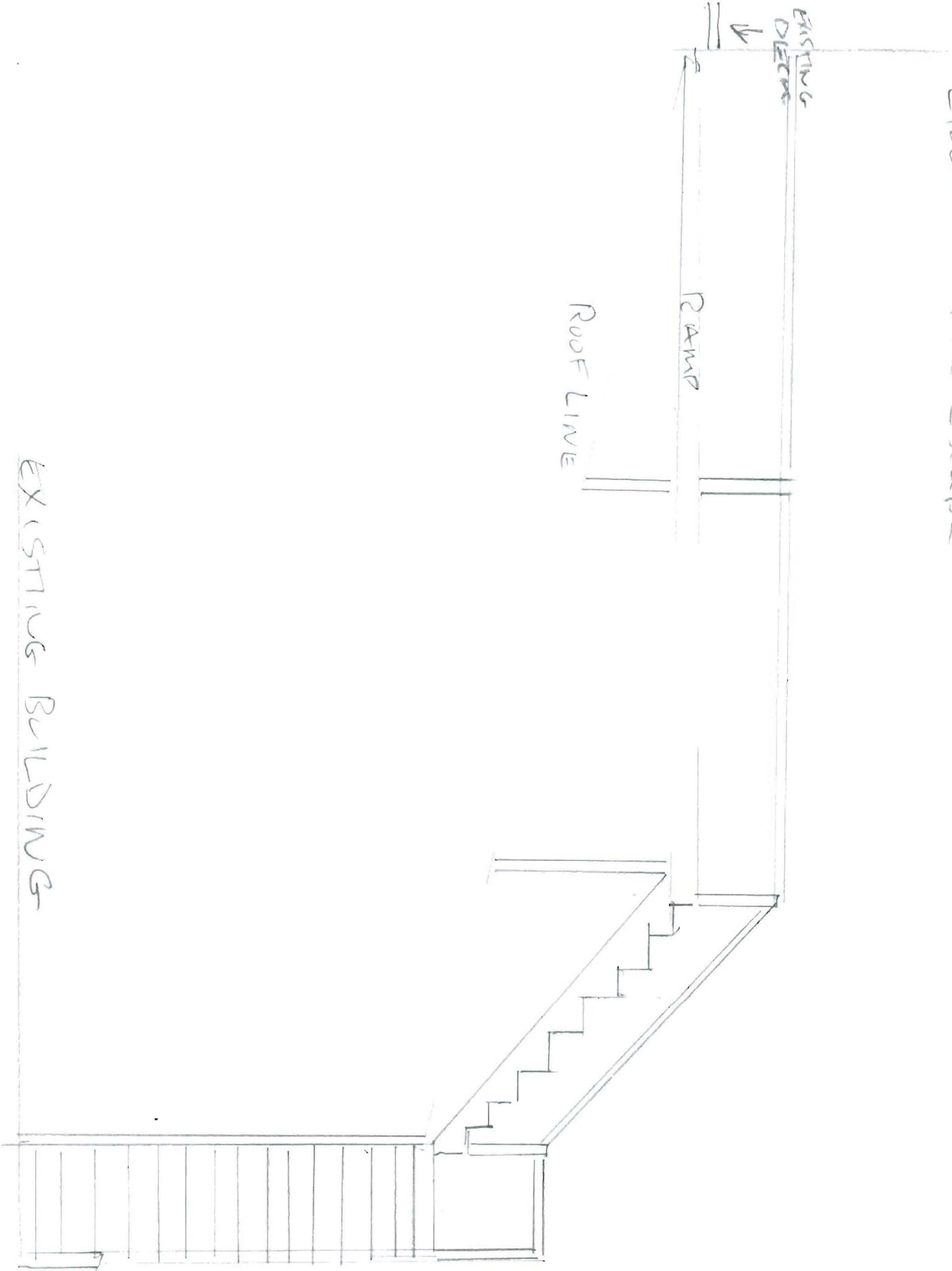
21' x 34'

EXISTING 1 STORY BUILDING

4' LANDING  
4'



Elevation - Fire Escape



EXISTING BUILDING



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 0155
ZONING LOCATION PORTLAND, MAINE Feb. 24, 1984

FEB 24 1984

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 44-46 Washington Avenue
1. Owner's name and address Michael P Bocal & Nu T Carpenter- 83 Kumbot India St.
2. Lessee's name and address
3. Contractor's name and address A-1 Remodeling -
Proposed use of building 2 apts and store
Last use 4 apts and store
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 1,800

FIELD INSPECTOR-- Mr.

Send permit to @ 775-5451 1 04101

Appeal Fees \$
Base Fee 20.00
Late Fee ch of 25.00
TOTAL \$ 45.00

Change of use from 4 family and store to 2 family and store, apts are to be on 2nd floor, with alterations and structural changes as per plans. Certificate of design to be brought in at later date for carrying beam.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes
Is any electrical work involved in this work? yes
Is connection to be made to public sewer? existing
Has septic tank notice been sent?
Height average grade to top of plate
Size, front depth No. stories so'ld or filled land? carth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber- Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

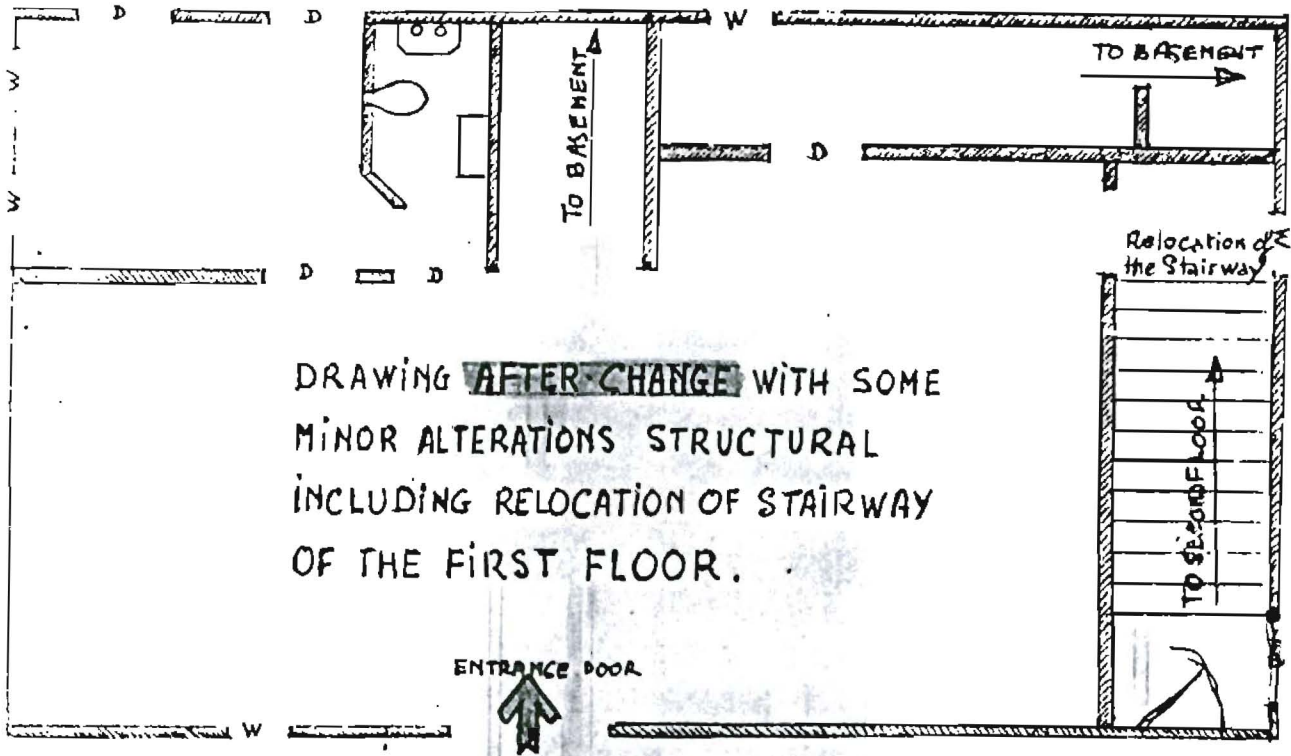
IF A GARAGE

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

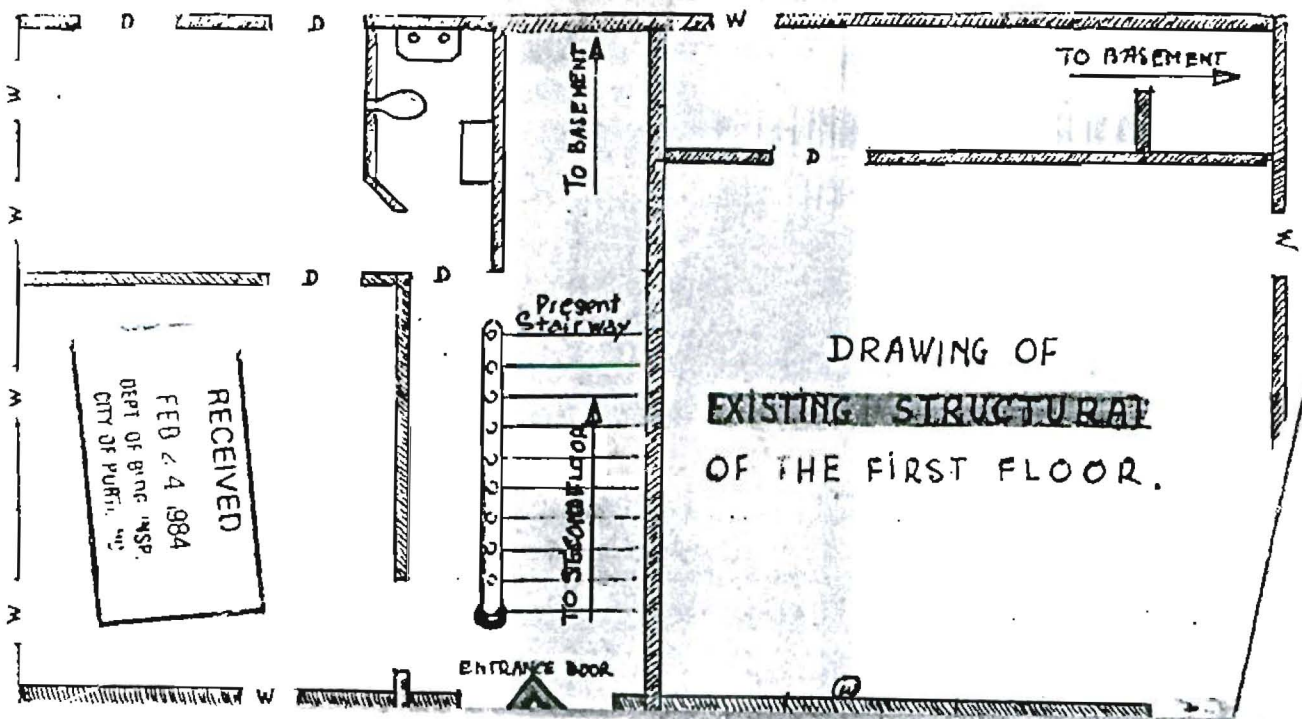
APPROVALS BY: DATE
BUILDING INSPECTION-PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the Code and City requirements pertaining thereto are observed?

D = Door  
W = Window



DRAWING ~~AFTER CHANGE~~ WITH SOME  
MINOR ALTERATIONS STRUCTURAL  
INCLUDING RELOCATION OF STAIRWAY  
OF THE FIRST FLOOR.



DRAWING OF  
~~EXISTING STRUCTURAL~~  
OF THE FIRST FLOOR.





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 44-46 Washington Avenue

Issued to **M. T. Carpenter**

Date of Issue **July 2, 1984**

This is in certifying that the building, premises, or part thereof, at the above location, well-~~altered~~  
—changed as to use under Building Permit No. 84-155, has had final inspection, has been found to conform  
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for  
occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

**Entire**

**2 Apts and store**

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

7-2-84

(Date)

*[Signature]*

Inspector of Buildings

Note: This certificate identifies in whole use of building or premises and ought to be transferred from  
owner to owner when property changes hands. Copy will be furnished to owner of lease for one dollar.



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP ..... 541 .....

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION ... B-2 ... PORTLAND, MAINE ... May 22, 1984

MAY 24 1984

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 44-46 Washington Avenue ... Fire District #1  #2

1. Owner's name and address ... Michel P Bocal - same ... Telephone ... 773-9734

2. Lessee's name and address ... Telephone .....

3. Contractor's name and address ... Owner ... Telephone .....

Proposed use of building ... 1 store and 2 apts. ... No. of sheets .....

Last use ... same ... No. families .....

Material ... No. stories ... Heat ... Style of roof ... Roofing .....

Other buildings on same lot .....

Estimated contractual cost \$ .....

FIELD INSPECTOR—Mr. Addato ... Appeal Fees \$ .....

@ 775-3451 ... Base Fee ... 16.20

Late Fee .....

TOTAL \$ ... 16.20

To erect sign on front of building (store on 1st floor) 17 letters at 6" = 102"

Stamp of Special Conditions

No's Oriental Market

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ... Form notice sent? .....

Height average grade to top of plate ... Height average grade to highest point of roof .....

Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? .....

Material of foundation ... Thickness, top ... bottom ... cellar .....

Kind of roof ... Rise per foot ... Roof covering .....

No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel .....

Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills .....

Size Girder ... Columns under girders ... Size ... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ... 2nd ... 3rd ... roof .....

On centers: 1st floor ... 2nd ... 3rd ... roof .....

Maximum span: 1st floor ... 2nd ... 3rd ... roof .....

If one story building with masonry walls, thickness of walls? ... height? .....

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY:

DATE

MISCELLANEOUS

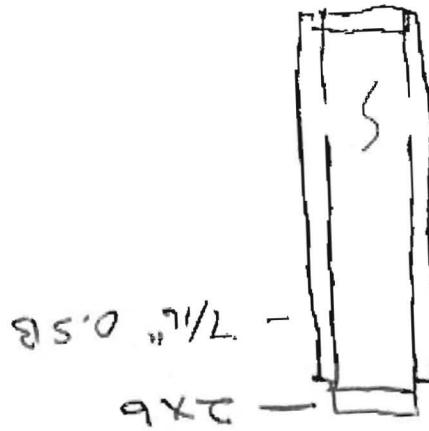
BUILDING INSPECTION—PLAN EXAMINER ... Will work require disturbing of any tree on a public street? .....

ZONING: ... BUILDING CODE: ... Fire Dept.: ... Health Dept.: ...

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....



(over)



T-111  
3/8"

7/16" O.S.B

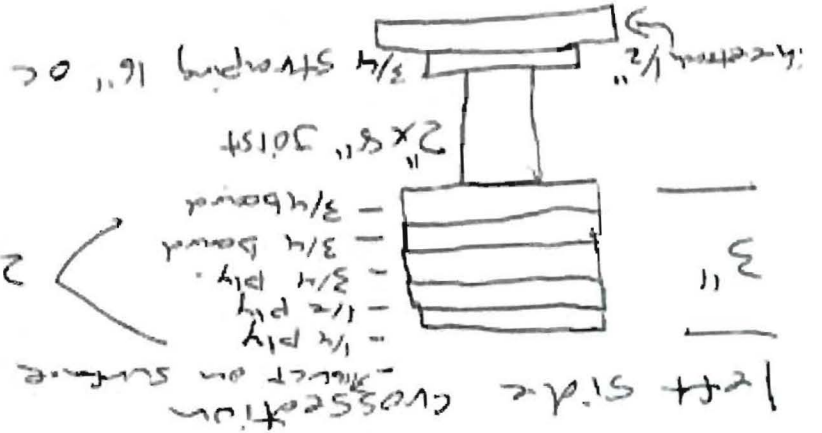
2XB

Cross section wall C-1

on wall.

Storage area has 1/2" ~~plywood~~ O.S.B. on all interior walls and on ceiling. Hall side has 3/8" T-111

ⓐ



1/2" Sheetrock  
3/4\"/>

2\"/>

3/4\"/>

3/4\"/>

1/2\"/>

1/4\"/>

1/2\"/>

2nd floor

ⓑ

Left side cross section - Mount on surface

B1 wall has 1/2" SR on both sides plus 1/4" gpm on stair side

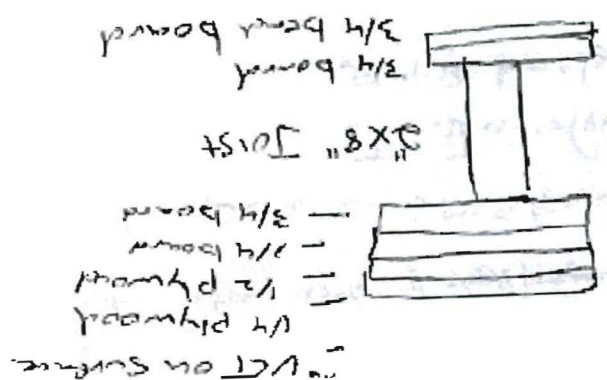
direction of staircase

in staircase has 1/2" SR on wall  
it is dropped w/ 1/2" Sheetrock

ⓐ

front staircase has 1/2" Sheetrock  
in wall and bottom of stairs

Cross Section Ceiling floor  
Right side of building 2nd floor



3/4\"/>

2\"/>

3/4\"/>

1/4\"/>

1/2\"/>

1/4\"/>

Mount on surface

①

Hallway - ~~At~~ Install 2 fire doors in hallway  
between storage aisle at location D-1.

Install fire door in hallway at location  
B-1 - between store and hall



CITY OF PORTLAND, MAINE

200 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOPFES, CHIEF  
INSPECTION SERVICES DIVISION

July 11, 1989

115-12  
Alteration and Addition to permit

Michael Bocal  
Nu Thi Carpenter  
44-46 Washington Avenue  
Portland, Maine 04101

As a result of an inspection on 7-10-89, it was noted that a new addition was added to this building. It was also noted that other exterior alterations are in progress.

We have no records on file pertaining to this work. Permits are required and must be obtained immediately. You must submit a plot plan and detailed drawings of work completed and in process of being completed at time of application.

As we discussed, using the straight line method of estimating cost, we arrived at a cost of \$40,000. There will be a related fee of \$100.00 added to permit costs.

We also hold a permit for the work on 7-10-89. Due to interior renovations for leveling and other work, the permit program is very slow, we therefore have to wait for the permit also.

We are looking forward to your attention in resolving these important issues.

In consideration of the information brought about by these findings, we can give a time frame to complete the work by 7/25/89.

If we can be of any further assistance, please do not hesitate to call at 874-8300 extension 7077.

Sincerely,

*Arthur Addato*  
Arthur Addato  
Code Enforcement Officer

*P. Samuel Hopfes*  
P. Samuel Hopfes  
Chief, Inspection Services Division



Inspection Services  
Samuel P. Hoffman  
Chief

Planning and Urban Development  
Joseph E. Gray Jr.  
Director

CITY OF PORTLAND

February 29, 1991

Michael J. [unclear]  
11447 Washington Avenue  
Portland, OR 97229

16 [unclear]  
Dear Sirs:

Your application for [unclear] and [unclear] permit  
has been reviewed and approved by the [unclear] (OU)

Department of [unclear] and [unclear] of [unclear]

The [unclear] and [unclear] of [unclear] and [unclear] of [unclear]

If you have any questions, please call [unclear] or [unclear]

Very truly yours,  
[unclear]

PROPERTY LINE

PROPERTY LINE

PROJECT ADDITION

EXISTING HOULS

33' NET SALE

54'

DRIVE WAY

PROPERTY LINE

45'

1/2" = 1' - 0"



← WASHINGTON AVENUE →

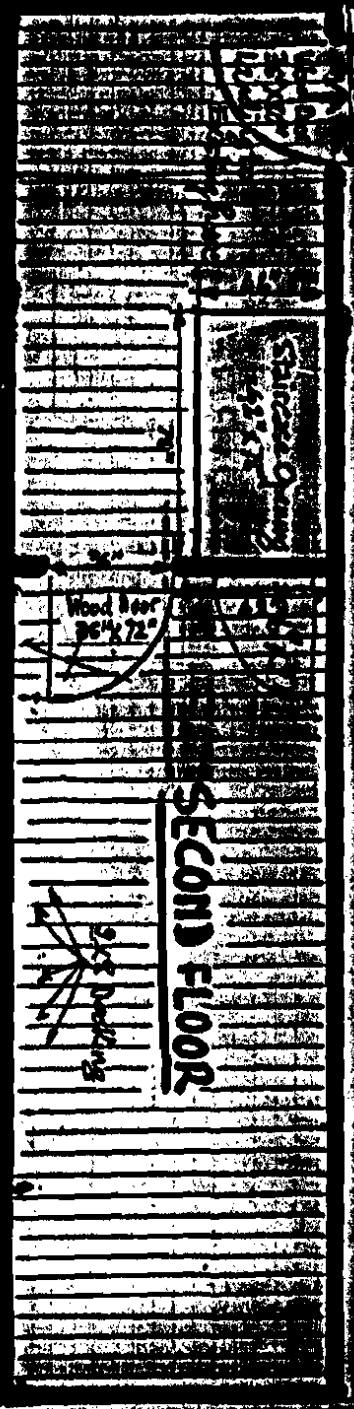


EXISTING HOUSE

UP  
DOWN  
Stairs Down

FIRST FLOOR

CONCRETE FLOOR



SECOND FLOOR

Staircase

Wood Door  
36" x 72"

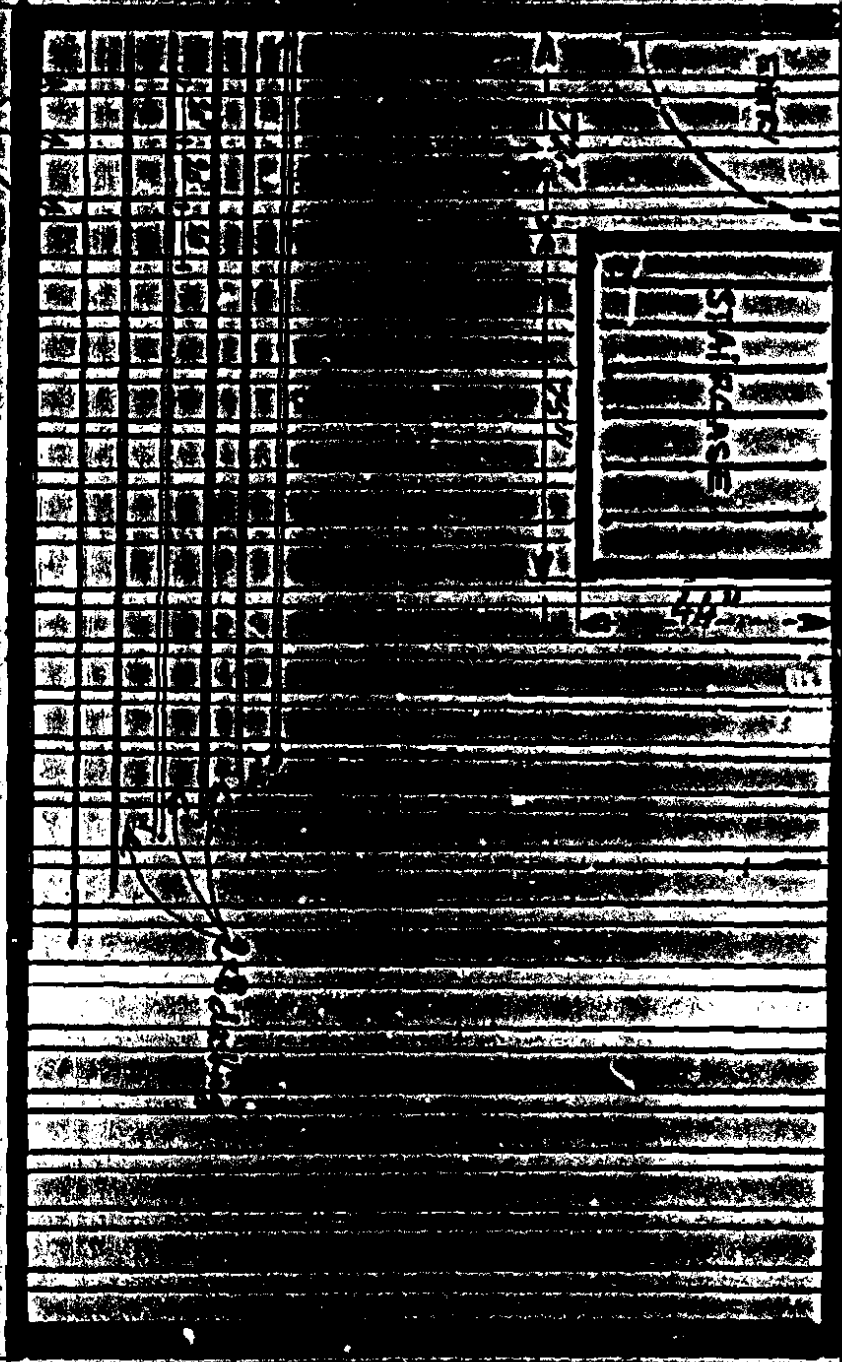
2nd Floor

33'-0"

ADDITION FLOOR PLAN  
FIRST AND SECOND FLOOR

TWO SQUARES = 1 FOOT

Existing Hoopse

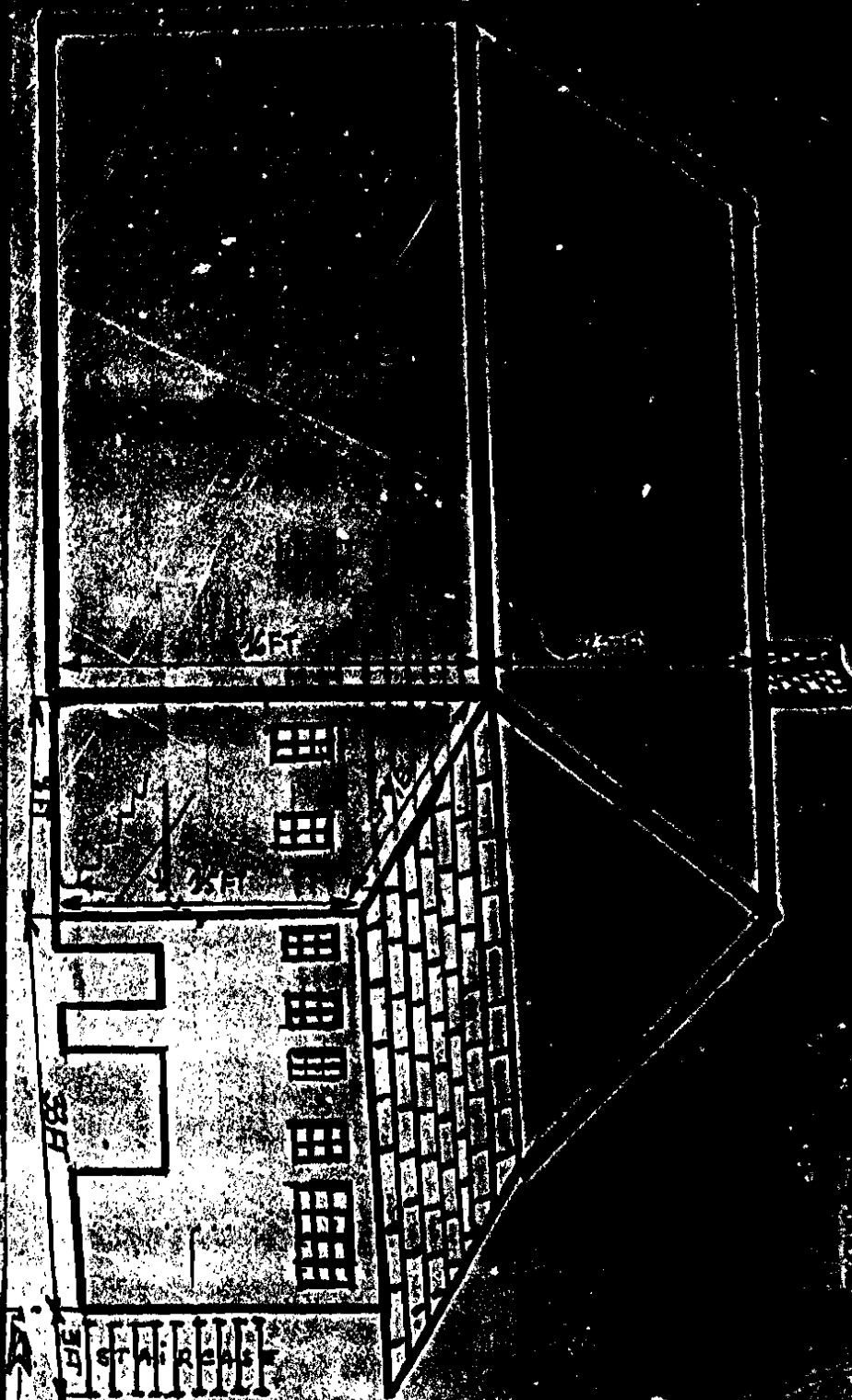


3' 6"

3'

SECOND FLOOR PLAN

2



Charleston Place

RECEIVING

APR 13 1988

■ Existing House  
 ■ Room Addition (May 1988)

FOUNDATION WALL

FOUNDATION WALL

RESIDUAL VIEW

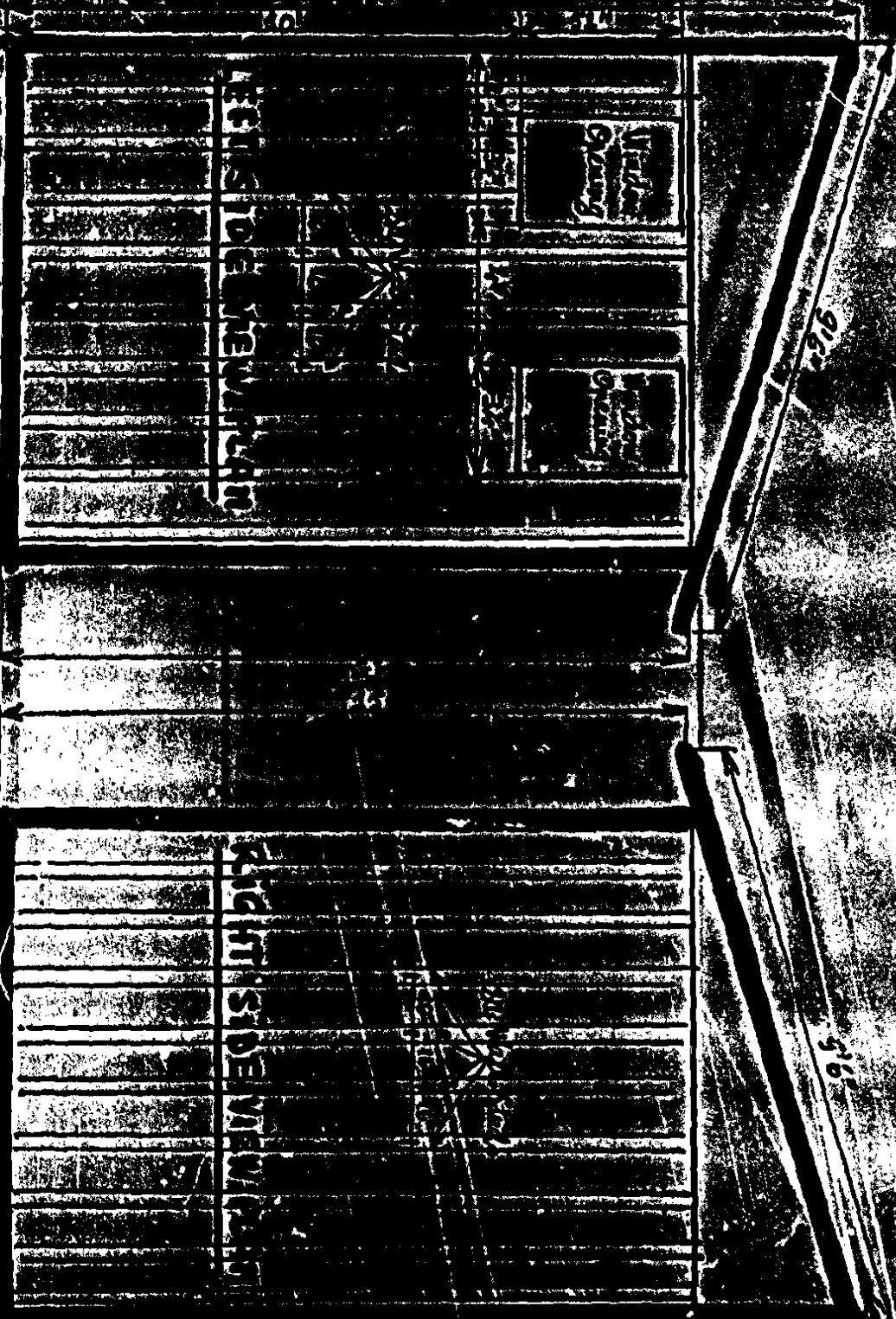
RIGHT SIDE VIEW

WINDING  
GRATING

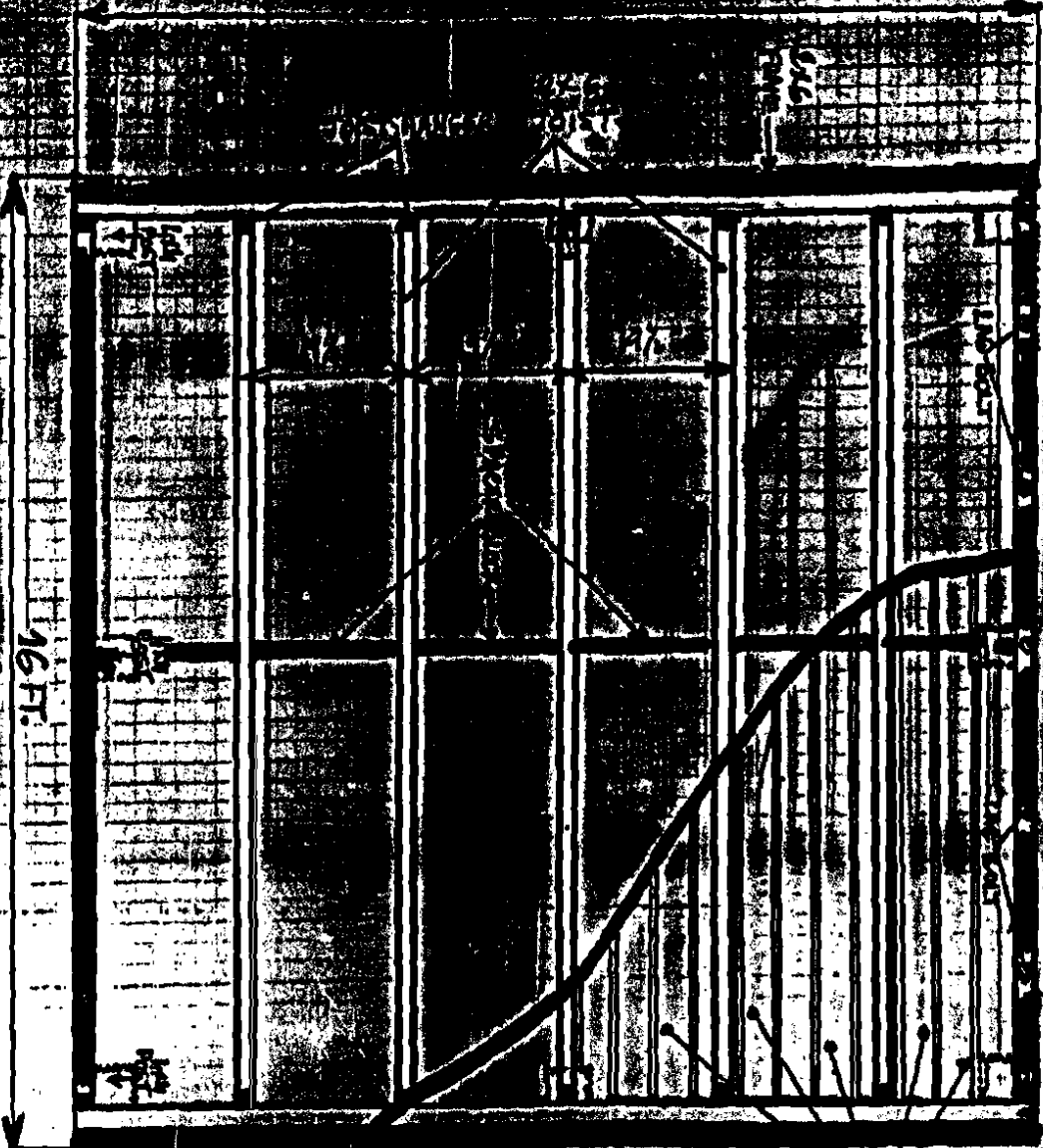
WINDING  
GRATING

91.5

91.5



**TOP VIEW OF THE DECK**



\* This deck system  
is a standard boiler  
type and the top  
is supported by  
Pressure treated  
lumber, see spec.

2 1/2" DECK BOARD

2 1/2" BOARD

16 FT. 16 FT.

16 FT.

14

18

20

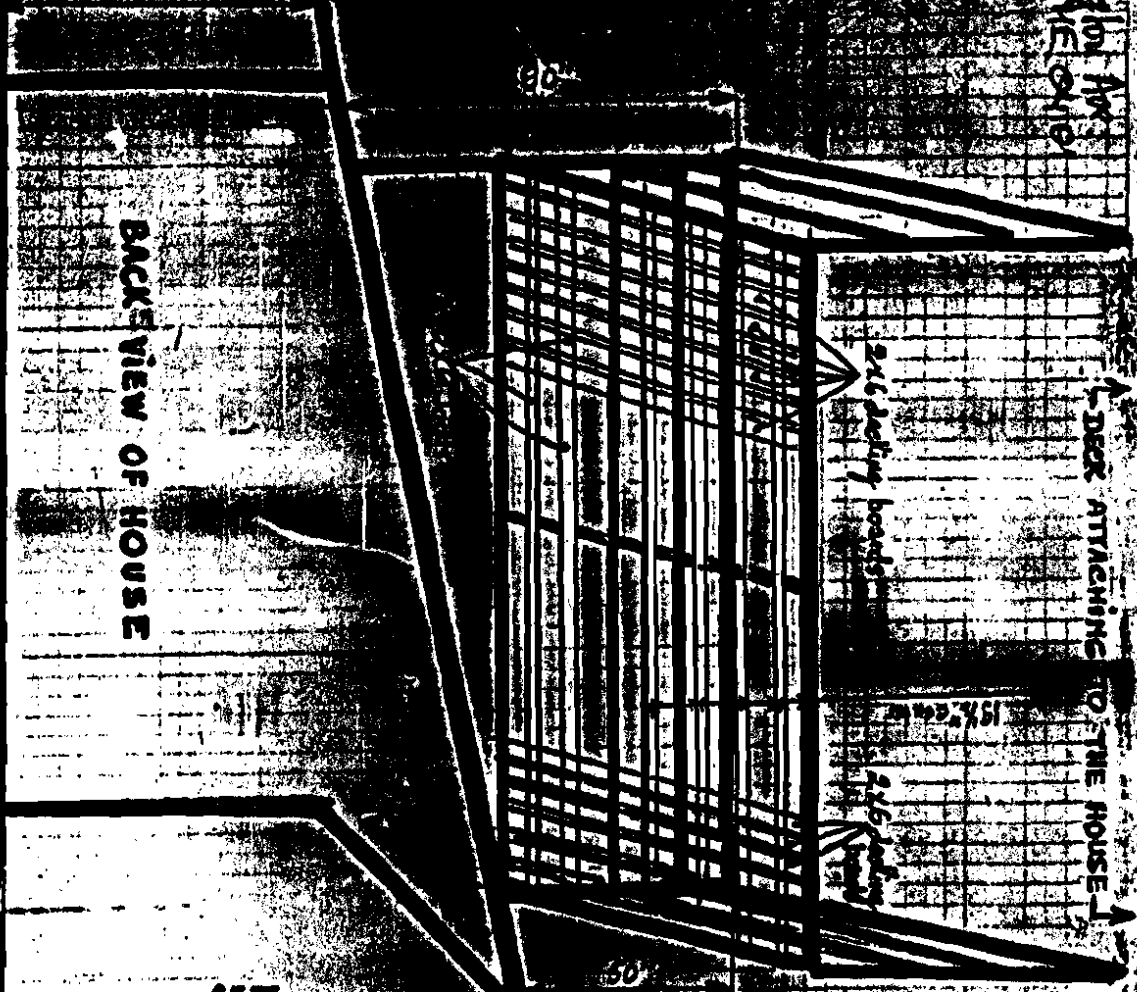


10' 20' 30'  
The Washington Ave  
As Head NE side

HOUSE

DECK ATTACHING TO THE HOUSE

2x6 decking boards



BACK VIEW OF HOUSE

33 FT.

DECK (attaching to the house)

37 FT

31 FT

50'

900681 City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone Map # Lot #

Please fill out any part which applies to job. Proper place must accompany form.

Permit # Michael P. Boccal Phone # 44-46 Washington Ave.

Address # Michael P. Boccal Carpenter - 44-46 Washington Ave. PEID, NE 041

LOCATION OF CONSTRUCTION 44-46 Washington Ave

Contractor: Michael P. Boccal Sub: Michael P. Boccal

Address: Michael P. Boccal Phone # Michael P. Boccal

Per. Construction Code: Michael P. Boccal Proposed Use: 2-Fam w Market & Restaurant

Per. Use: 2-Fam w Market & Restaurant Zoning: R-2 Business

Per. of Existing Bldg. Under: Michael P. Boccal Total Sq. Ft. Michael P. Boccal

Building Foundation: Michael P. Boccal Foundation: Michael P. Boccal

Foundation: Michael P. Boccal Foundation: Michael P. Boccal

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Foundation: Michael P. Boccal Foundation: Michael P. Boccal

PERMIT ISSUED WITH LETTER

For Official Use Only  
5/28/50  
5/28/50

1. Approval of soil test if required  
2. No. of Tests or Strains  
3. No. of Foundations  
4. No. of Lateralities  
5. No. of Other Features

1. Type  
2. Post Size  
3. Material conforms to National Electrical Code and Standards

Signature of Applicant  
Signature of CEO  
Inspection Dates

Permit Received By Louise E. Chase  
Signature of Applicant  
Signature of CEO  
Inspection Dates

White-Tax Assessor Yellow-GPCOG White Tag-CEO

Copyrighted by M.K. Paddy

POSTAGE WILL BE PAID BY ADDRESSEE

*Handwritten signature*

RESEARCH BARRAC  
1000 1/2 S. 22ND ST. ST. LOUIS, MO. 63104

CRUISE SHIP

1000 1/2 S. 22ND ST. ST. LOUIS, MO. 63104

1000 1/2 S. 22ND ST. ST. LOUIS, MO. 63104

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POSTAGE WILL BE PAID BY ADDRESSEE

*Handwritten signature*

RESEARCH BARRAC  
1000 1/2 S. 22ND ST. ST. LOUIS, MO. 63104

CRUISE SHIP

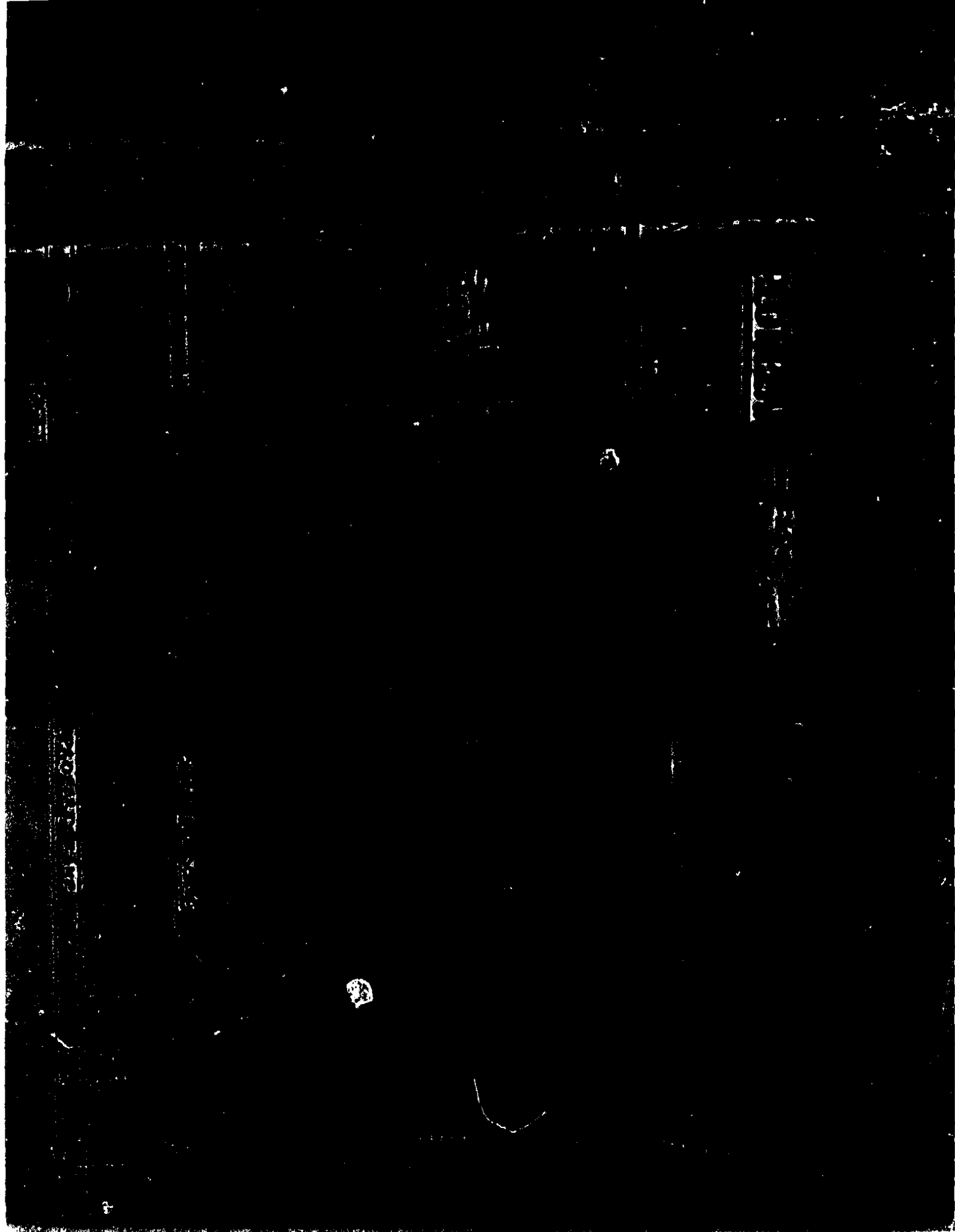
1000 1/2 S. 22ND ST. ST. LOUIS, MO. 63104

PROPERTY LINE

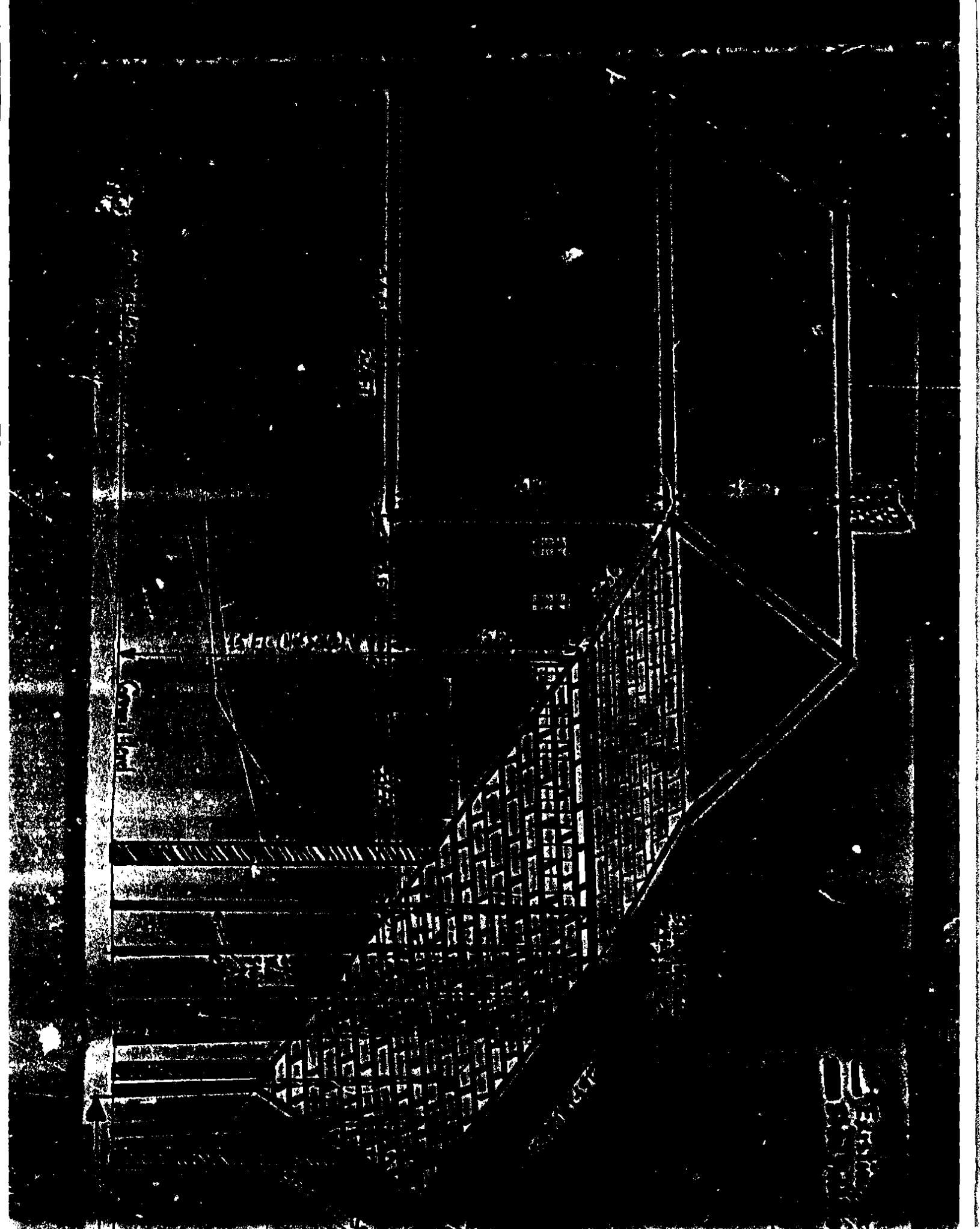
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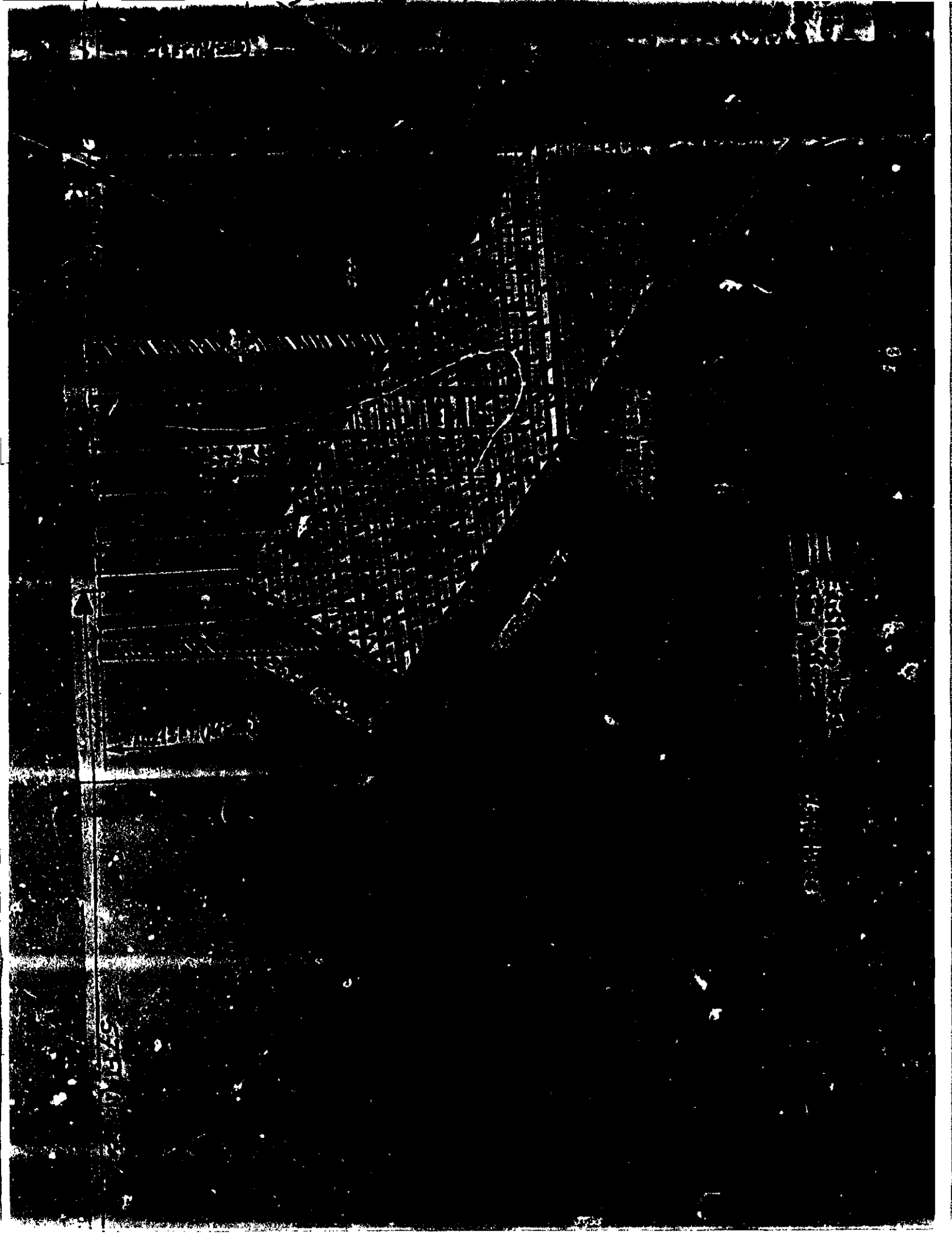
1000 1000













# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* - [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis Littell

Inspection Services, Director  
Tammy Munson

April 15, 2009

Abdul Ali  
46 Washington Avenue  
Portland, ME 04102

**CBL: 013 E012001**  
**Located at 44 WASHINGTON AVE**

Hand Deliver

**COPY**

**POSTING NOTICE**

Dear Abdul:

This letter serves as a notice of posting against occupancy of the 3<sup>rd</sup> floor of the building at the above referenced property. In the letter dated March 16, 2009 you were notified that the 3<sup>rd</sup> floor of this building has never been approved by this office to be occupied as a dwelling. You have filed an application for permit for a change of use to occupy the 3<sup>rd</sup> floor as a dwelling unit; however, as you have been informed, it cannot be reviewed due to incomplete zoning, building and fire code details. Attached is a list of violations for the posting of the 3<sup>rd</sup> floor against occupancy

Pursuant to Section 6-121 of the City of Portland Housing Code, this office declares the 3<sup>rd</sup> floor unfit for human habitation and posted against occupancy. **The occupants shall no longer use the space for habitation as of May 4, 2009. An inspection of the premises will be conducted at this time to confirm the vacancy of the 3<sup>rd</sup> floor. At this time the 3<sup>rd</sup> floor must remain totally vacated and secured from entry and vandalism.** Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code in Title 30-A of M.R.S.A ss 4452.

This constitutes an appealable decision pursuant to Section 6-127 of the Housing Code and Sec.112.5 of the Building Code as amended by the City of Portland. Please feel free to contact me if you have any questions or would like to discuss this matter further.

**CITY OF PORTLAND  
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
Portland, Maine 04101

**Inspection Violations**

<b>Owner/Manager</b> ALI ABDUL &		<b>Inspector</b> Jeanie Bourke	<b>Inspection Date</b> 4/15/2009
<b>Locatation</b> 44 WASHINGTON AVE	<b>CBL</b> 013 E012001	<b>Status</b>	<b>Inspection Type</b> Building Permit-Inspection

Code	Int/Ext	Floor	Unit No.	Area	Compliance Date
1) 6-116.(b)	Interior	3			
<b>Violation:</b>	Egress				
<b>Notes:</b>	Two code compliant means of egress(exit) are required from this floor				
2) 6-116.(e)	Interior	3			
<b>Violation:</b>	Fire Protection				
<b>Notes:</b>	Hardwired battery back up smoke detectors installed to code will be required for habitation of this floor.				
3) 6-116.(e)	Interior				
<b>Violation:</b>	Fire Protection				
<b>Notes:</b>	Code compliant fire separation is required in common halls and between dwelling units, including fire doors.				
4) 6-120.(c)	Interior	3			
<b>Violation:</b>	Properties unfit for human habitation; and posted against occupancy				
<b>Notes:</b>	This floor has not been approved for occupancy as a dwelling unit per zoning ordinance Sec. 14-52, building code (IBC 2003) Sec. 110, and life safety code( NFPA 101).				
5) 6-120.(e)	Interior	3			
<b>Violation:</b>	Properties unfit for human habitation; and posted against occupancy				
<b>Notes:</b>	Per the letter dated March 16, 2009, notice was given to vacate the 3rd floor of the building. The application for permit is insufficient at this time and for the safety of the occupants and the building it shall be vacated.				

**Comments:**

**COPY**



**City Of Portland  
Inspection Services  
RETURN OF SERVICE**

On the 16<sup>th</sup> day of April, 2004. I made service of the Posting Notice  
upon, Abdul Ali, at 44 Washington Ave

X

By delivering a copy in hand.

\_\_\_\_\_ By leaving copies at the individual's dwelling house or usual place  
of abode with a person of suitable age or discretion who resides  
therein and whose name is \_\_\_\_\_.

\_\_\_\_\_ By delivering a copy to an agent authorized to receive service of  
process, and whose name is \_\_\_\_\_.

\_\_\_\_\_ By (describe other manner of service) \_\_\_\_\_.

DATED: 4/16/09

Joanne Bouke  
Signature of Person Making Service

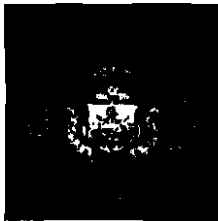
CEO

Title

I have received the above referenced documents

[Signature]  
Person Receiving Service

\_\_\_\_\_ Refused to sign  
\_\_\_\_\_ Unable to sign



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis Littell

Inspection Services, Director  
Tammy Munson

April 10, 2009

Abdul Ali  
46 Washington Avenue  
Portland, ME 04101

# COPY

**CBL: 013 E012001**  
**Located at 44 Washington Ave**

**Hand Deliver**

Dear Abdul,

An evaluation of the above-referenced property on April 2, 2009 revealed that the premises fail to comply with Section 22.3 Rodent and Vermin Control and Section 12.79 Junked Motor Vehicles of the Municipal Ordinance of the City of Portland. The rear yard has an accumulation of debris and unregistered broken down vehicles.

Attached is a list of the violations.

This is a Notice of Violation pursuant to Section 22.9, and 12.79 of the Municipal Code. All referenced violations shall be corrected within 30 days of the date of this notice. A re-inspection will occur on May 12, 2009, at which time compliance will be required. Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Section 4452. This is an appealable decision pursuant to Section 22.21 and 12.80 of the Municipal Code.

Please feel free to contact me if you wish to discuss this matter, or if you have any questions.

Sincerely,

**CITY OF PORTLAND**  
**DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
Portland, Maine 04101

**Inspection Violations**

<b>Owner/Manager</b> Ali Abdul &		<b>Inspector</b> Jeanie Bourke	<b>Inspection Date</b> 4/2/2009
<b>Locatation</b> 44 Washington Ave	<b>CBL</b> 013 E012001	<b>Status</b> Passed	<b>Inspection Type</b> Food Service-Food Service Inspe

<b>Code</b>	<b>Int/Ext</b>	<b>Floor</b>	<b>Unit No.</b>	<b>Area</b>	<b>Compliance Date</b>
1) 12-79	Exterior			BackYard	
<b>Violation:</b>	Junk Vehicles				
<b>Notes:</b>	Isuzu Rodeo - Green, registration 2007, Lic. Plate #8044NF				
2) 12-79				BackYard	
<b>Violation:</b>	Junk Vehicles				
<b>Notes:</b>	Chrysler/Plymouth minivan - Brown, registration 2007, Lic. Plate #7865PD				
3) 22-3 (a)	Exterior			BackYard	
<b>Violation:</b>	Rodent Harborage				
<b>Notes:</b>	Items include but are not limited to: Piles of brush, commercial cooler, mechanical duct, scrap wood/lumber and construction debris, tires, barrels truck liner, trash bags, 2 oil tanks and miscellaneous loose trash				

**Comments:** FSE passing, but code violations from notice still need to be addressed for April 15, 2009 compliance. Also new violation notice for cleaning of rear yard.


**COPY**

**City of Portland  
Inspection Services  
RETURN OF SERVICE**

On the 10<sup>th</sup> day of April, 2009, I made service of the  
Violation Notice upon 44-Washington Ave  
at same Abdul Ali 11:48-11:56

- By delivering a copy in hand.
- By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is \_\_\_\_\_
- By delivering a copy to an agent authorized to receive service of process, and whose name is \_\_\_\_\_
- By (describe other manner of service) \_\_\_\_\_

DATED: 4/10/09

  
\_\_\_\_\_  
Signature of Person Making Service  
CEO  
\_\_\_\_\_  
Title

I have received the above-referenced documents

  
\_\_\_\_\_  
Signature of Person Receiving Service

- Refused to Sign
- Unable to Sign





# PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development  
Penny St. Louis Littell

June 9, 2010

Abdul Ali  
46 Washington Avenue  
Portland, ME 01101

**Hand Deliver**

RE: 44 Washington Ave.  
CBL: 013 E012001

Dear Abdul,

This letter serves as a follow up to the inspection at the above property on June 4, 2010 by Capt. Keith Gautreau and me. The following is a list of items we discussed, with some modifications based on further discussion with your contractor Jim, and Keith. We have separated the corrections into priority categories in order for you to proceed with timely occupancy of the 2 residential apartments.

**Primary corrections for temporary Certificate of Occupancy:**

1. Install self closing hinges on the 3<sup>rd</sup> floor entry door. 7/19/10 JMB
2. Install all working smoke detectors in both units to be tested upon inspection. 7/19/10 JMB
3. Install permanent signage on the 2<sup>nd</sup> floor rear egress door to read "EMERGENCY EXIT ONLY, NO ROOF ACCESS ALLOWED". 7/19/10 JMB
4. 3<sup>rd</sup> floor apartment stairs shall have finished floor/carpet or be checked for repair and painted/sealed. 7/19/10 JMB
5. Repair broken floor tile at top of front entry stairs hallway and inspect apartments for the same. 7/19/10 JMB
6. Insect screens, either permanent or portable shall be provided for every operable window. 7/19/10 JMB
7. Clean both apartments and common areas to move in condition. 7/19/10 JMB

**Conditions on temporary CO to be corrected before September 15, 2010:**

1. All gas fired heaters shall be serviced by a licensed technician for proper installation and ventilation.  
Reminder: The City of Portland Housing Code requires habitable rooms, other than rooms used primarily for sleeping to be provided with a minimum temperature of 68 degrees from September 15 through May 15 each year.
2. Relocate the gate access onto the rear exterior egress stairs as per the approved plans on building permit #09-1359. Install steps to access this gate for the 2<sup>nd</sup> floor apartment.
3. Install storm windows or an alternative equally effective for heat retention of all single pane window units.
4. Submit an agreement for winter maintenance of the rear exterior secondary egress stairs.

Thank you for your attention to these matters, contact me at 874-8715 with any questions.

Sincerely,

Jeanie Bourke  
CEO/Plan Reviewer

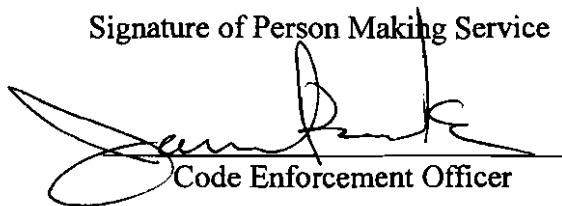
**City Of Portland  
Inspection Services  
RETURN OF SERVICE**

On the 10 day of June, 2010, I made service of the Follow up letter  
upon, Abdul Alif Jim, at Rm 315 City Hall  
Maschiovecchio

- By delivering a copy in hand.
- By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is \_\_\_\_\_.
- By delivering a copy to an agent authorized to receive service of process, and whose name is Jim Maschiovecchio.
- By (describe other manner of service) \_\_\_\_\_.

DATED: 6/10/10

Signature of Person Making Service

  
Code Enforcement Officer

I have received the above referenced documents

Person Receiving Service



- Refused to sign
- Unable to sign

## Jeanie Bourke - Re: 44 Washington

---

**From:** Keith Gautreau  
**To:** Jeanie Bourke  
**Date:** 6/9/2010 8:54 AM  
**Subject:** Re: 44 Washington

---

I agree totally Jeanie. I am comfortable with all that you are proposing.  
Keith

Keith Gautreau, Fire Captain  
Fire Prevention Bureau  
Portland Fire Department  
380 Congress Street  
Portland, ME 04101  
(207)874-8405  
kng@portlandmaine.gov

>>> Jeanie Bourke 6/8/2010 12:04 PM >>>

I'm putting together a list of corrections from our inspection last Friday. The contractor called me Monday appealing for some relief from the additional platform construction. He is right in some ways, the approved permit did not show the access from the 2nd floor. It did however show the gate closer to the rear wall and door.

I do feel the owner has really tried to comply and spent a lot of money in reconfiguring the apartment layout and building the exterior egress stairs and walkway. At this point he needs some income and I feel the building is much safer than it was.

What do you think about having a permanent sign on the door stating "Emergency Exit Only, No Roof Access Allowed". Seeing that there are several other items that will not come into play until cold weather, I will issue a temp CO for a fall date to comply.

I'm thinking with that sign on the door, it may be ok to just move the gate to the original location and just run a set of steps up to it.

Let me know what you think.....I want to get him the list of items so he can start working on things.  
Thanks

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING PERMIT

Permit Number: 091359

This is to certify that Ali Abdul & James Mascione

has permission to Install stairs and ramp from 3rd level to ground level sheet piling

AT 44 Washington Ave CB 013 E012001

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information. **PERMIT ISSUED**

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or other work is done-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS APR 30 2010  
Fire Dept. CAPT. R. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board City of Portland  
Other \_\_\_\_\_  
Department Name

James Burke 4/30/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# SCANNED



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1359	Date Applied For: 11/24/2009	CBL: 013 E012001
-----------------------	---------------------------------	---------------------

Location of Construction: 44 Washington Ave	Owner Name: Ali Abdul &	Owner Address: 46 Washington Ave	Phone:
Business Name:	Contractor Name: James Mascioneuchio	Contractor Address: 24 Powderhorn Drive Scarborough	Phone (207) 653-4528
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial / Install stairs and ramp from 3rd level to ground level to meet egress.	Proposed Project Description: Install stairs and ramp from 3rd level to ground level to meet egress.
--	---

Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 12/07/2009
Note: Reviewed revised plot plan (4/20/10). Meets zoning requirements.			Ok to Issue: <input checked="" type="checkbox"/>
1) This permit is being approved on the basis of revised plans submitted on /20/10. Any deviations shall require a separate approval before starting that work.			
2) With the issuance of this permit and the certificate of occupancy, this property will be first floor, front - retail & rear -storage; second floor - one dwelling unit; and third floor - one dwelling unit. Any change of use shall require a separate permit application for review and approval.			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 04/30/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Elevation of the final stairs to grade shows 12', if more an intermediate landing will be required			
2) Application approval based upon information provided by applicant, with revisions dated 4/20/10. Any deviation from approved plans requires separate review and approval prior to work.			

Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 04/21/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Please comply with all building codes in reference to stairs, handrails, nosing, etc.			

*Need floor plans for building for application (09-0275) for 3rd FL & storage Jeanine*

<p><b>Comments:</b></p> <p>4/5/2010-jmb: Several inspections have been ongoing for compliance with previous violatoin notices. The 2nd floor became vacant and issues with the configuration of the egresses through the retail space and lack of egress windows in the bedrooms along the driveway side. These have been resolved and Keith G. And I agreed a door should be installed to exit onto the shed roof which will connect with this stair and ramp to grade. Jim M. Called today with questions on how this will connect, he will speak with the architect to submit the details.</p> <p>4/20/2010-jmb: Jim M. Submitted revised plans, routed to fire</p> <p>4/30/2010-jmb: Spoke to Jim M. About the 12' height to grade, he thinks it is less, but will notify if more and may have to do an intermediate landing, ok to issue</p> <p>12/17/2009-jmb: I reviewed again and called James M.(contractor) with list of issues. He will contact the architect to revise. Also discussed with Ben W. Including conditions prohibiting 3rd floor occupancy, this stair does not affect the approval of the new unit, and the plans for addressing the separation issues for the CO of the mercantile/2nd floor dwelling from the previous notice shall be submitted and approved with this permit. Could not get through to Abdul at 899-5818, left wcmng for James M. to call. James called back with a new contact # for Abdul 210-9580.</p>
---

**PERMIT ISSUED**

APR 30 2010

City of Portland

<b>Location of Construction:</b> 44 Washington Ave	<b>Owner Name:</b> Ali Abdul &	<b>Owner Address:</b> 46 Washington Ave	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> James Mascioneuchio	<b>Contractor Address:</b> 24 Powderhorn Drive Scarborough	<b>Phone</b> (207) 653-4528
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	

12/21/2009-jmb: Spoke with James M. And reviewed the items from the NOV sent 3/16/09 of which items 1, 4, 5, 9 and 10 have been corrected. This permit will be required to address the remaining violations and plans shall be submitted for approval of this work.

James has not been able to contact Abdul, will inform if so.

12/15/2009-jmb: Ben W. And I reviewed the plans and he called the contractor to set up a meeting time to discuss.

**PERMIT ISSUED**

**APR 30 2010**

City of Portland

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

  X   Final for framing, guards and handrails

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

PERMIT ISSUED

APR 30 2010

City of Portland

# 09 1359



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>44 Washington Ave. Hala/Market</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>013</u> Block# <u>E</u> Lot# <u>012</u>		Applicant *must be owner, Lessee or Buyer* Name <u>Abdul Ali</u> Address <u>44 Washington Ave.</u> City, State & Zip <u>Portland, Me 04101</u>
Lessee/DBA (If Applicable) <b>RECEIVED</b> NOV 24 2009		Owner (if different from Applicant) Name <u>Same</u> Address <u>Same</u> City, State & Zip <u>Same</u>
Current Dept. of Building Inspections City of Portland If vacant, what was the previous use? <u>1st floor Retail 2nd, 3rd Apartment</u>		
Proposed Specific use: <u>Add 3rd floor Apartment</u>		
Is property part of a subdivision? <u>No</u> If yes, please name _____		
Project description: <u>Install stairs and ramp to ground level from 3rd floor to meet egress requirements</u>		
Contractor's name: <u>James Mascarenhas</u>		
Address: <u>24 Powderhorn Dr</u>		
City, State & Zip <u>Scarborough Me. 04074</u>		Telephone: <u>207-653-4528</u>
Who should we contact when the permit is ready: <u>James Mascarenhas</u>		Telephone: <u>207-653-4528</u>
Mailing address: <u>24 Powderhorn Dr. Scarborough ME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

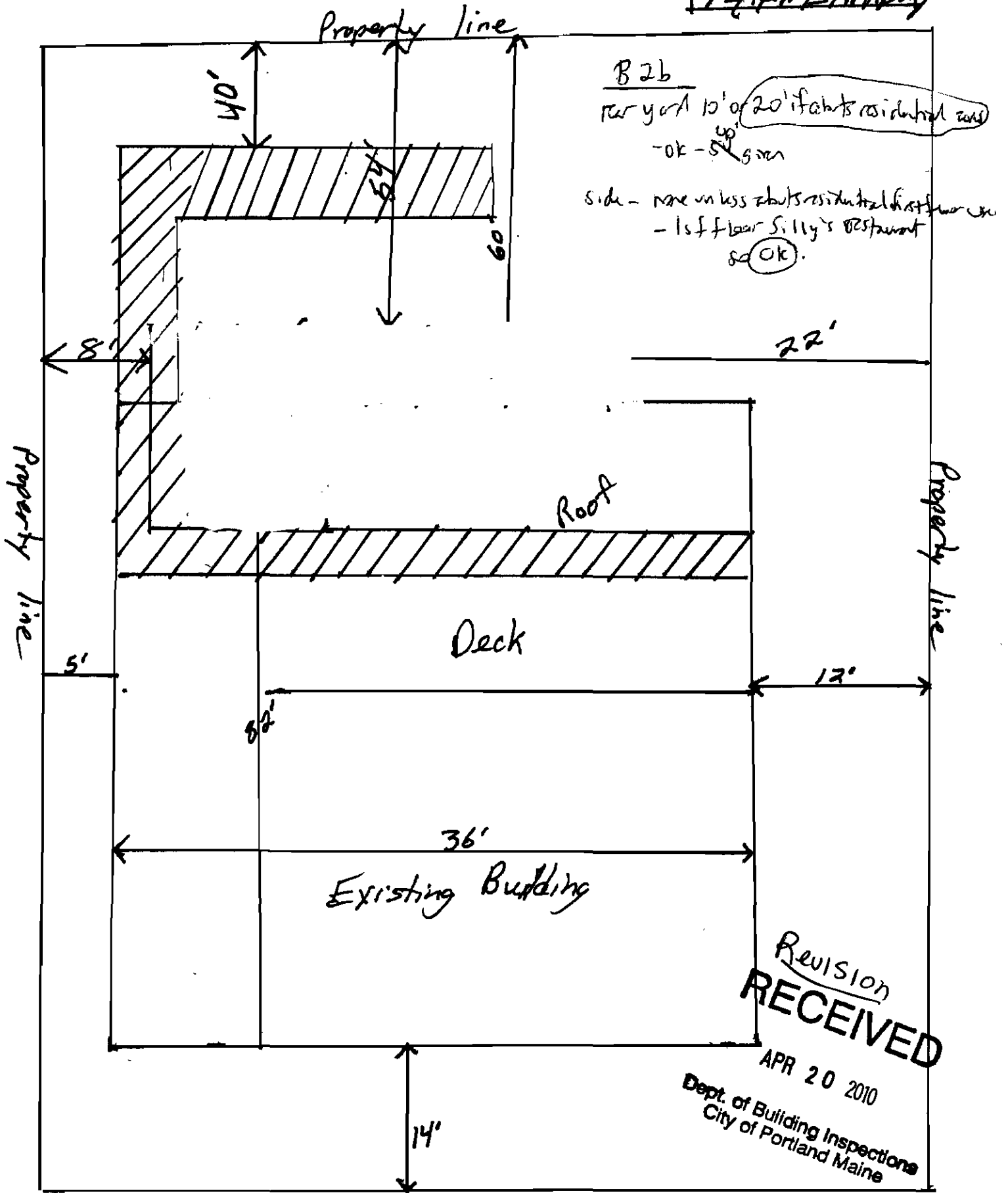
Signature: [Signature] Date: 11/24/09

This is not a permit; you may not commence ANY work until the permit is issued



# Plot Plan

Proposed  
Starts Here



B2b  
per yard 10' or 20' if abuts residential zone  
-ok - 5' given  
side - none unless abuts residential first floor  
- 1st floor Silly's Restaurant  
so OK.

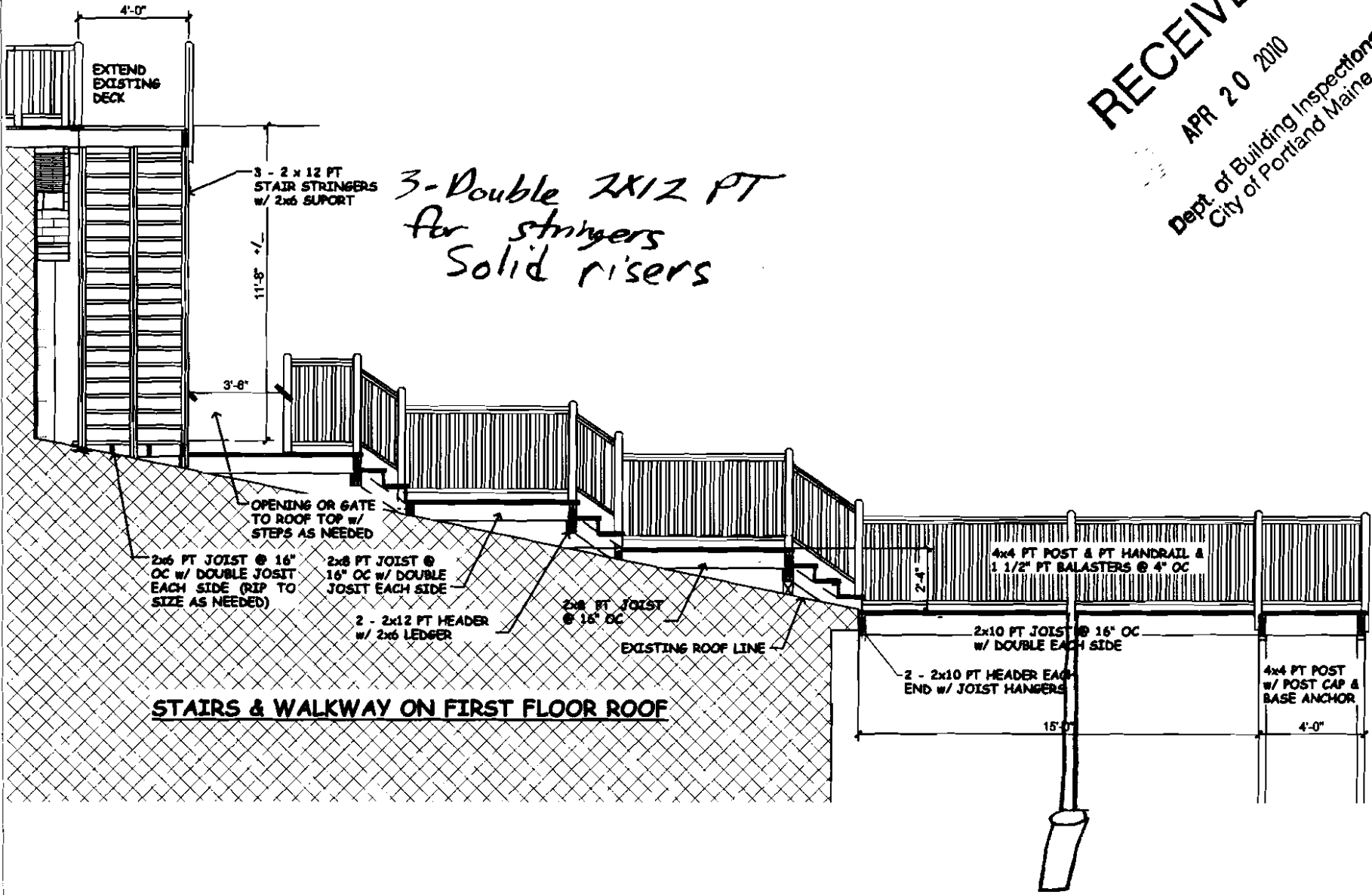
Revision  
**RECEIVED**

APR 20 2010  
Dept. of Building Inspections  
City of Portland Maine

44 Washington Ave.

RECEIVED  
APR 20 2010

Dept of Building Inspections  
City of Portland Maine



ELEVATION @  
ROOF RAMP

Third Floor  
Egress Stairway

Abdul Ali  
44 Washington Street  
Portland, Maine

3

Drawn By: Jerry Dugal  
Scale: 3/16" = 1'-0"  
Date: 8/22/2008  
Revised: 4/18/2010

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1359	Issue Date:	CBL: 013 E012001
-----------------------	-------------	---------------------

Location of Construction: 44 Washington Ave	Owner Name: Ali Abdul &	Owner Address: 46 Washington Ave	Phone:
Business Name:	Contractor Name: James Mascioneuchio	Contractor Address: 24 Powderhorn Drive Scarborough	Phone: 2076534528
Lessee/Buyer's Name	Phone:	Permit Type: <i>Alterations</i> - Commercial	Zone: B-2b.

Past Use: Commercial - <i>connected to permit 09-0275 (see for use)</i>	Proposed Use: Commercial / Install stairs and ramp from 3rd level to ground level to meet egress.	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	INSPECTION: Use Group: <i>M/R-2m</i> Type: <i>SB</i> <i>IBC-2003</i>	

Proposed Project Description:  
Install stairs and ramp from 3rd level to ground level to meet egress.

Signature: *(Signature)*  
Signature: *JMB 4/30/10*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
Action:  Approved  Approved w/Conditions  Denied  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: *gg*  
Date Applied For: *11/24/2009*

**Zoning Approval**

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews

Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan

Maj  Minor  MM

*OK w/ conditions*  
Date: *12/7/09 ABU*

Zoning Appeal

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

Date: \_\_\_\_\_

Historic Preservation

Not in District or Landmark  
 Does Not Require Review  
 Requires Review  
 Approved  
 Approved w/Conditions  
 Denied

*(Signature)*  
Date: \_\_\_\_\_

**PERMIT ISSUED**

APR 30 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

RECEIVED

APR 20 2010

Dept. of Building Inspections  
City of Portland Maine

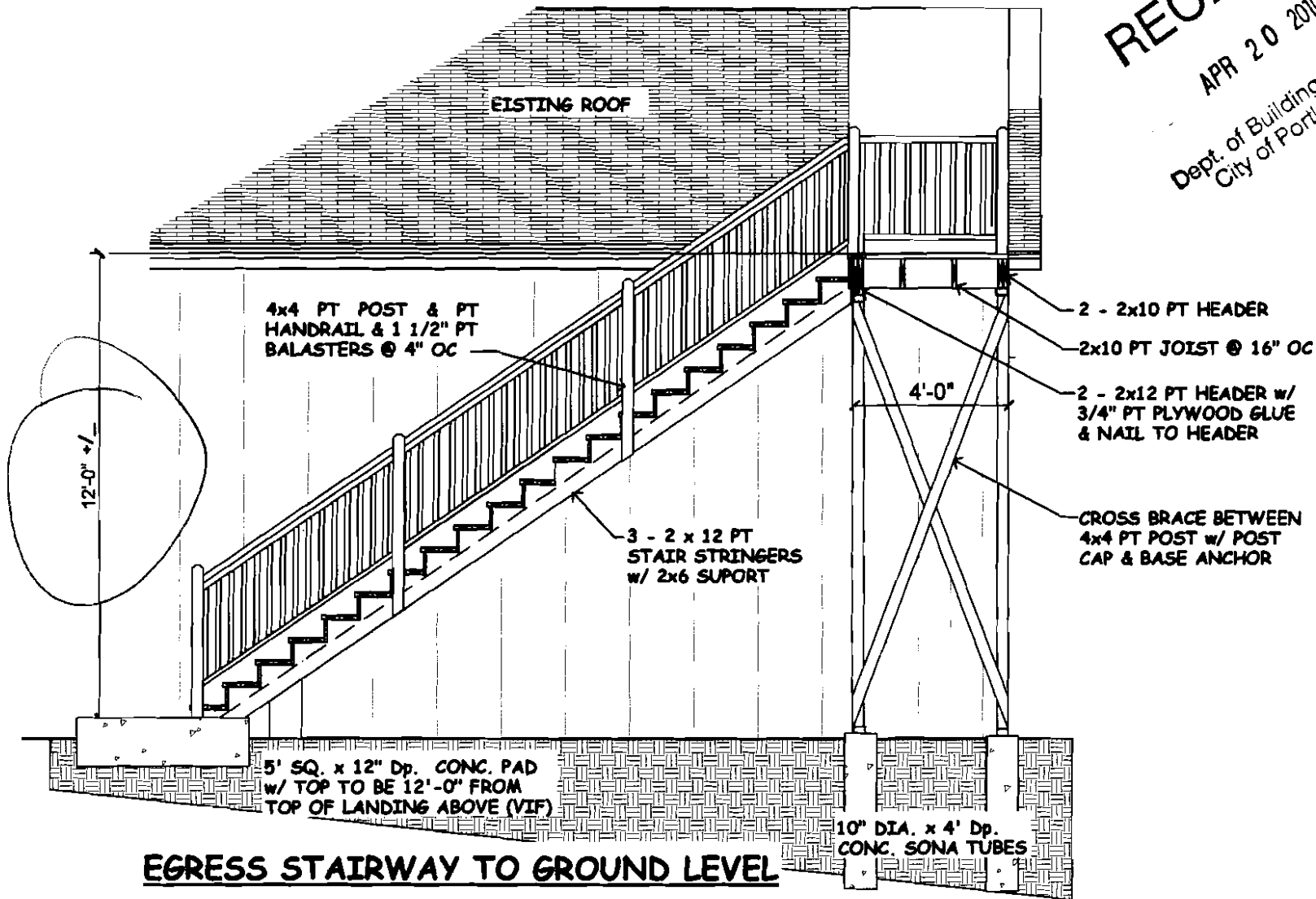
ELEVATION @ GRADE  
TO FIRST FLOOR ROOF  
LANDING

Third Floor  
Egress Stairway

Abdul Ali  
44 Washington Street  
Portland, Maine

2

Drawn By: Jerry Dugal  
Scale: 1/4" = 1'-0"  
Date: 6/22/2008  
Revised: 4/18/2010



RECEIVED

APR 20 2010

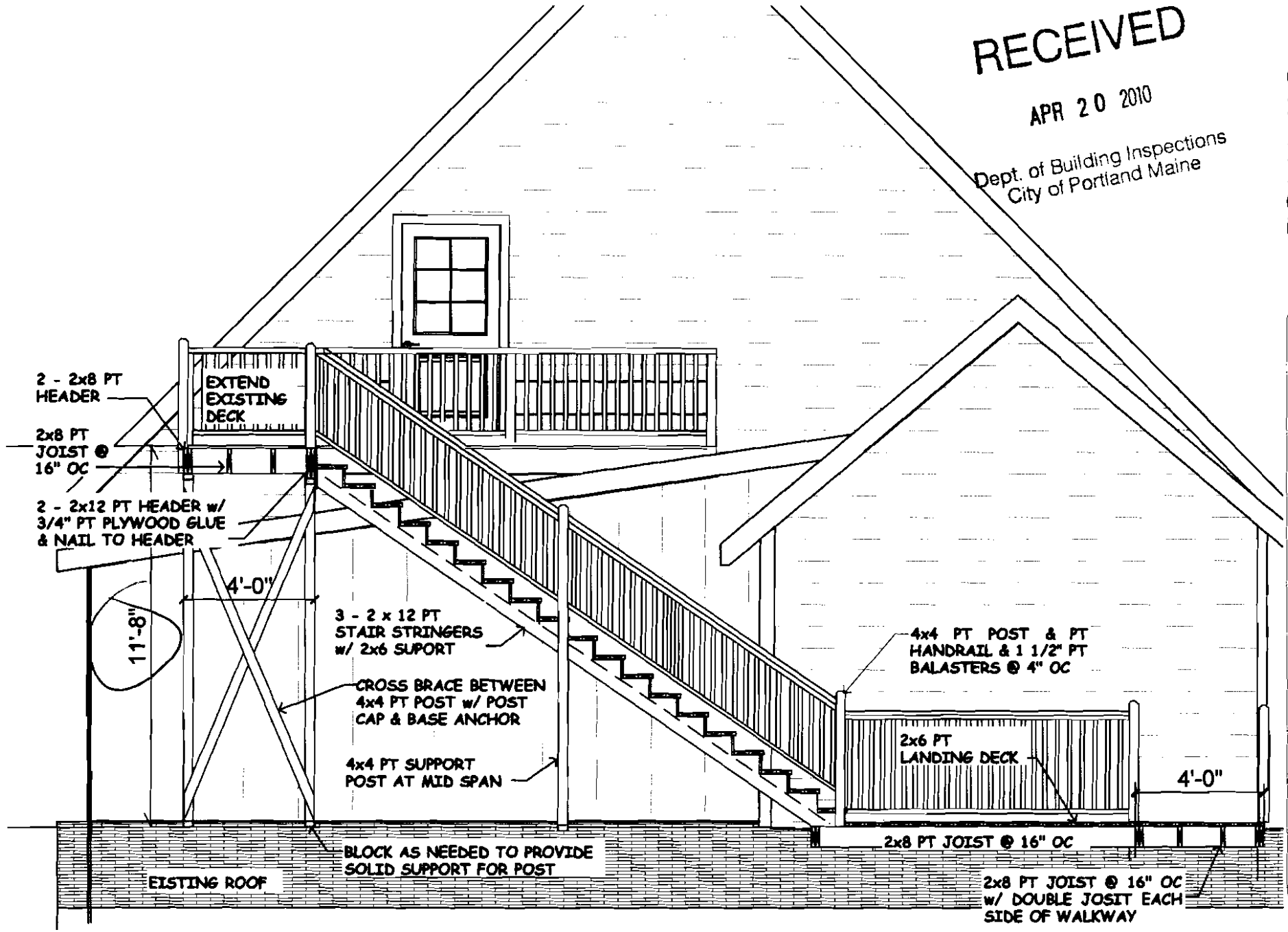
Dept. of Building Inspections  
City of Portland Maine

ELEVATION @  
SECOND TO THIRD  
FLOOR STAIRWAY

Third Floor  
Egress Stairway

Abdul Ali  
44 Washington Street  
Portland, Maine

4



**THIRD FLOOR EGRESS STAIRWAY**

Drawn By: Jenny Dugal  
Scale: 1/4" = 1'-0"  
Date: 5/22/2009  
Revised: 4/16/2010

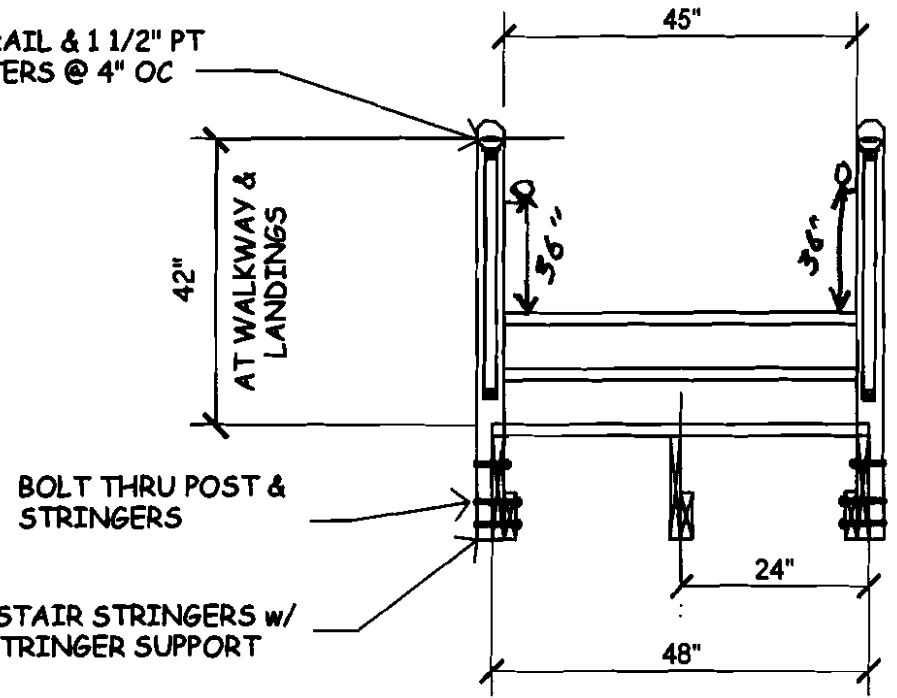
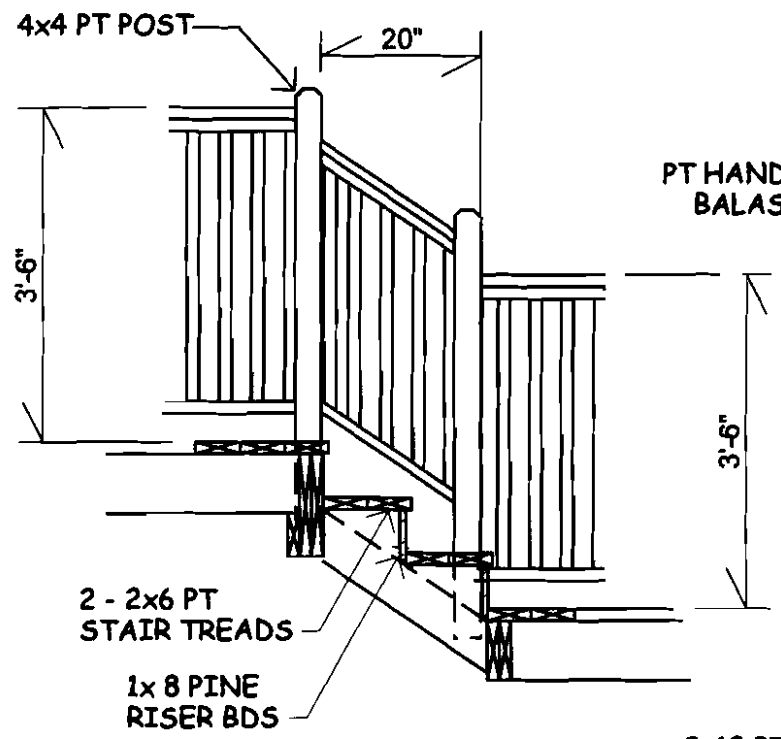


RECEIVED

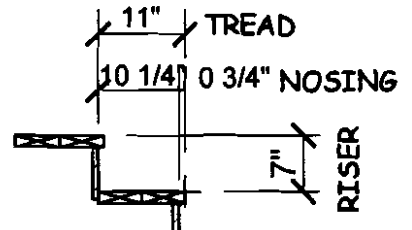
APR 20 2010

Dept. of Building Inspections  
City of Portland Maine

STAIR  
DETAILS



TYPICAL @ STAIRWAYS & WALKWAYS & LANDINGS



TYP. STAIR DIM'S

*Hand rails on  
stair sections only  
both sides  
with returned ends*

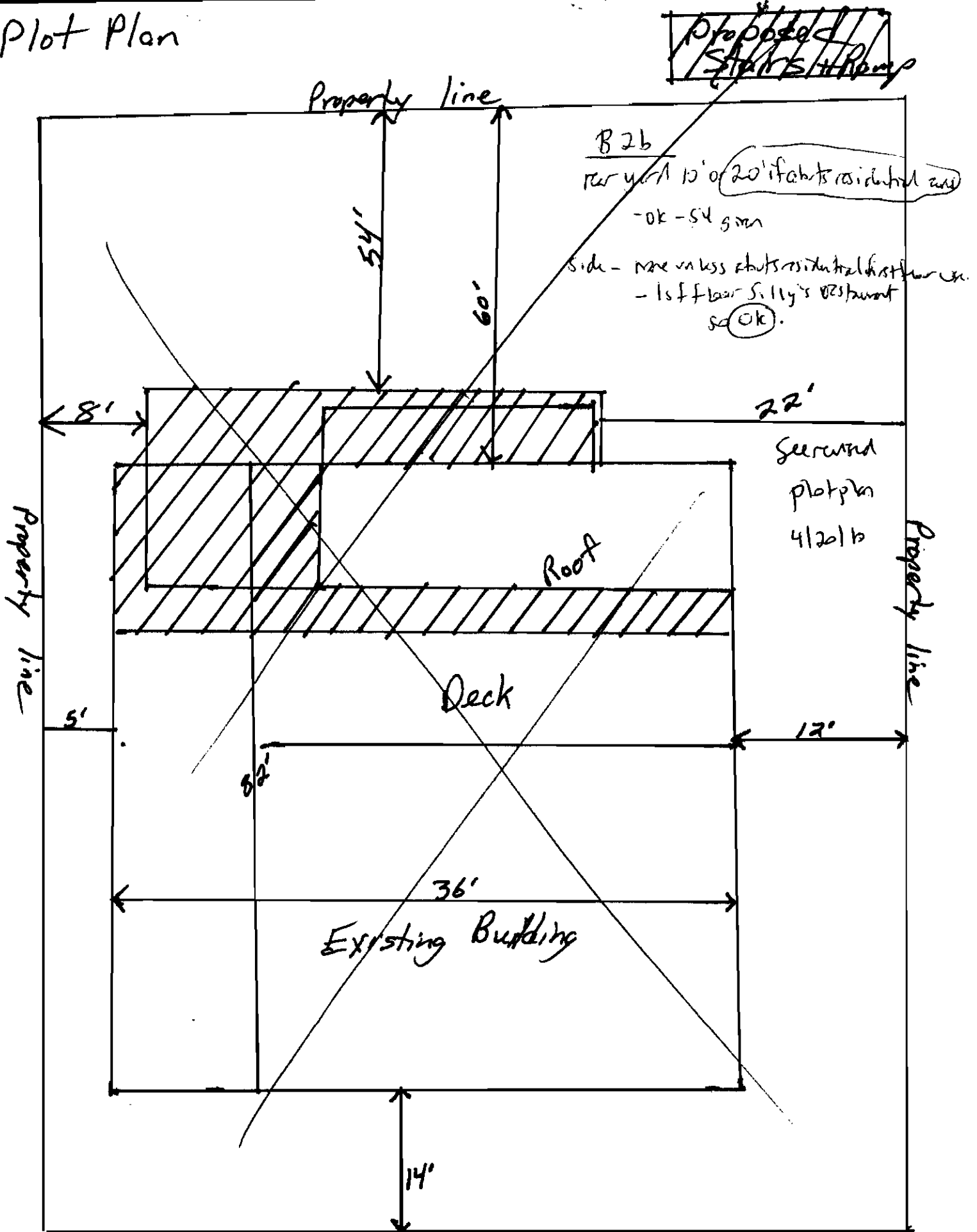
Third Floor  
Egress Stairway

Abdul Ali  
44 Washington Street  
Portland, Maine

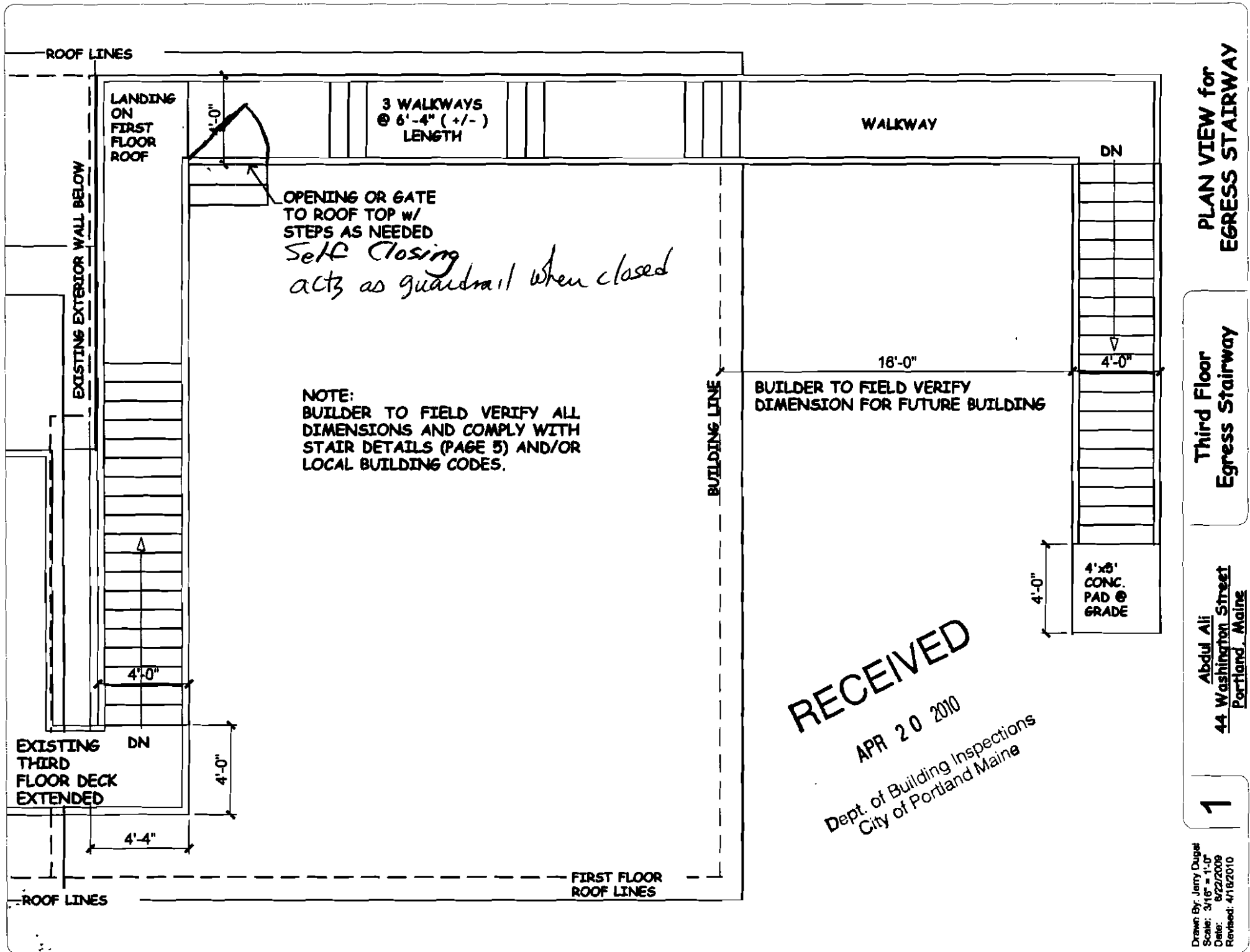
5

Drawn By: Jerry Dugal  
Scale: 1/2" = 1'-0"  
Date: 6/22/2009  
Revised: 4/16/2010

# Plot Plan



44 Washington Ave.



PLAN VIEW for  
EGRESS STAIRWAY

Third Floor  
Egress Stairway

Abdul Ali  
44 Washington Street  
Portland, Maine

1

Drawn By: Jerry Dugal  
Scale: 3/16" = 1'-0"  
Date: 8/22/2009  
Revised: 4/16/2010

ROOF LINES

LANDING ON FIRST FLOOR ROOF

3 WALKWAYS @ 6'-4" (+/-) LENGTH

WALKWAY

DN

OPENING OR GATE TO ROOF TOP w/ STEPS AS NEEDED  
*Self Closing acts as guardrail when closed*

NOTE: BUILDER TO FIELD VERIFY ALL DIMENSIONS AND COMPLY WITH STAIR DETAILS (PAGE 5) AND/OR LOCAL BUILDING CODES.

BUILDER TO FIELD VERIFY DIMENSION FOR FUTURE BUILDING

4'x5' CONC. PAD @ GRADE

RECEIVED

APR 20 2010  
Dept. of Building Inspections  
City of Portland Maine

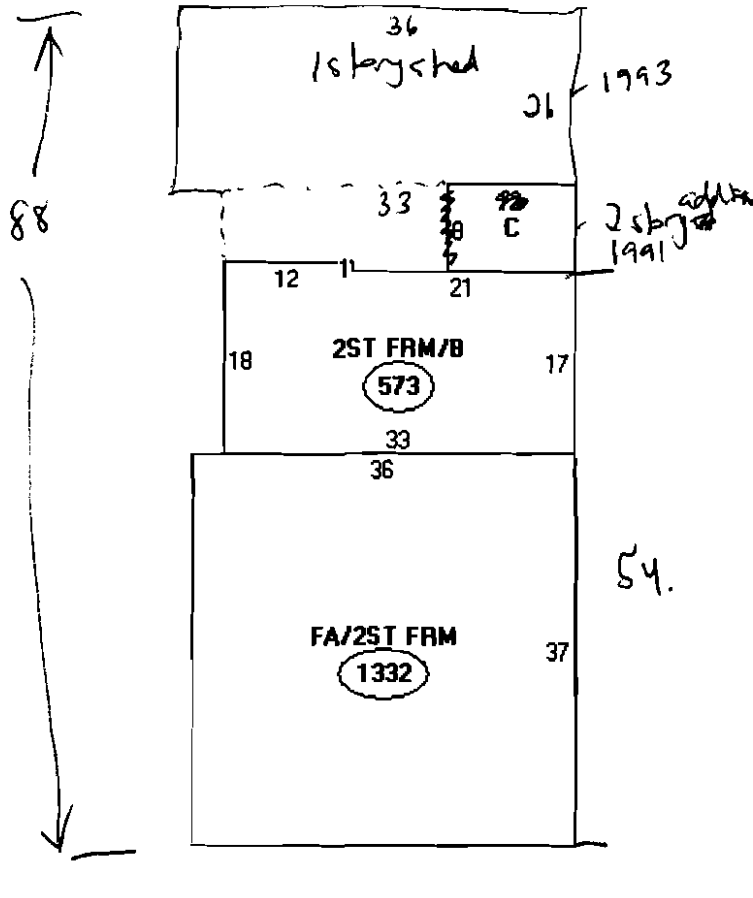
EXISTING EXTERIOR WALL BELOW

BUILDING LINE

EXISTING THIRD FLOOR DECK EXTENDED

ROOF LINES

FIRST FLOOR ROOF LINES



Desc:  
 A: FA/2ST  
 1332  
 B: 2ST F  
 573 s  
 C: EFP/1  
 96 sq

$$\begin{array}{r}
 34 \times 36 = 1224 \\
 33 \times 25 = 825 \\
 \hline
 2049
 \end{array}$$

Permit 91-2361- 2 story addition 8' 33'(in rear)

existing was 36' x 54'

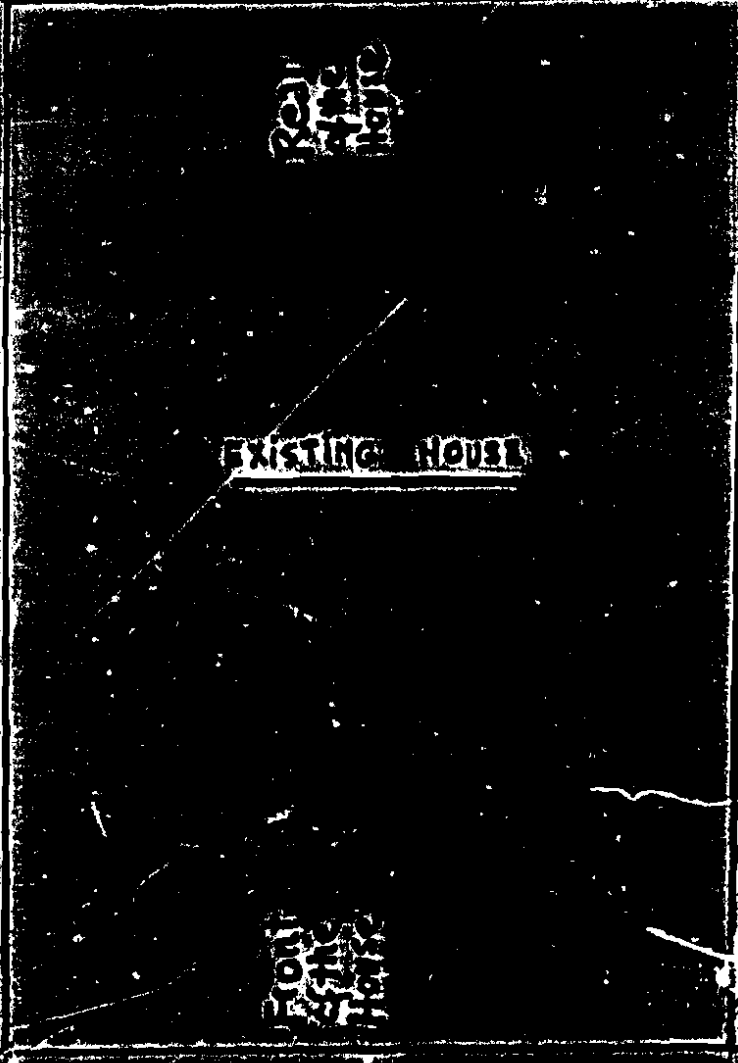
Permit 93-0476 -add 26' x 36' shed to rear.

**PLOT PLAN**

Existing House  
Shed

PROPERTY LINE

136



EXISTING HOUSE

REAR  
FACING  
PORCH

FRONT  
FACING  
PORCH

26 FT (Notat)

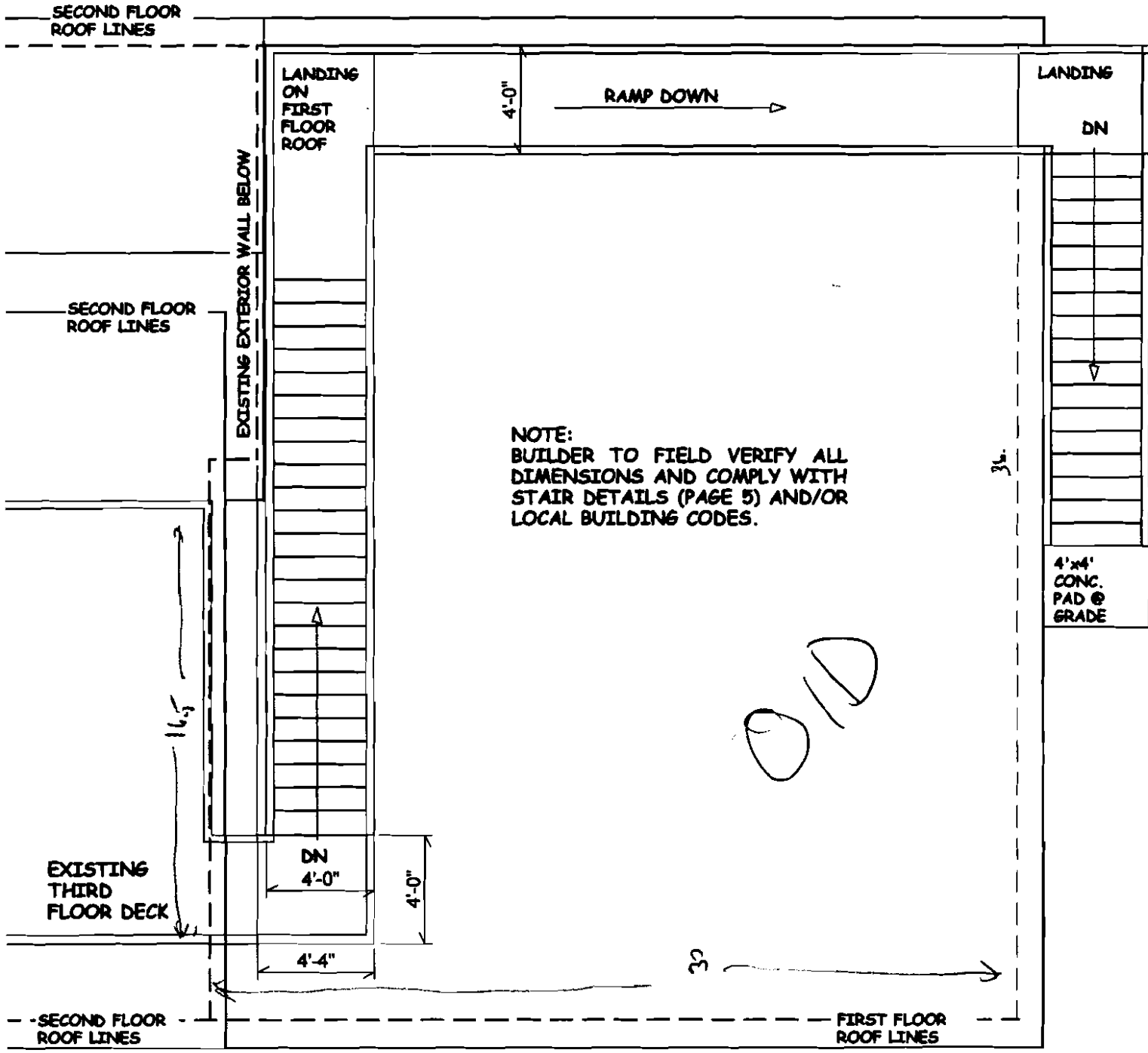
DRIVE WAY

PROPERTY LINE

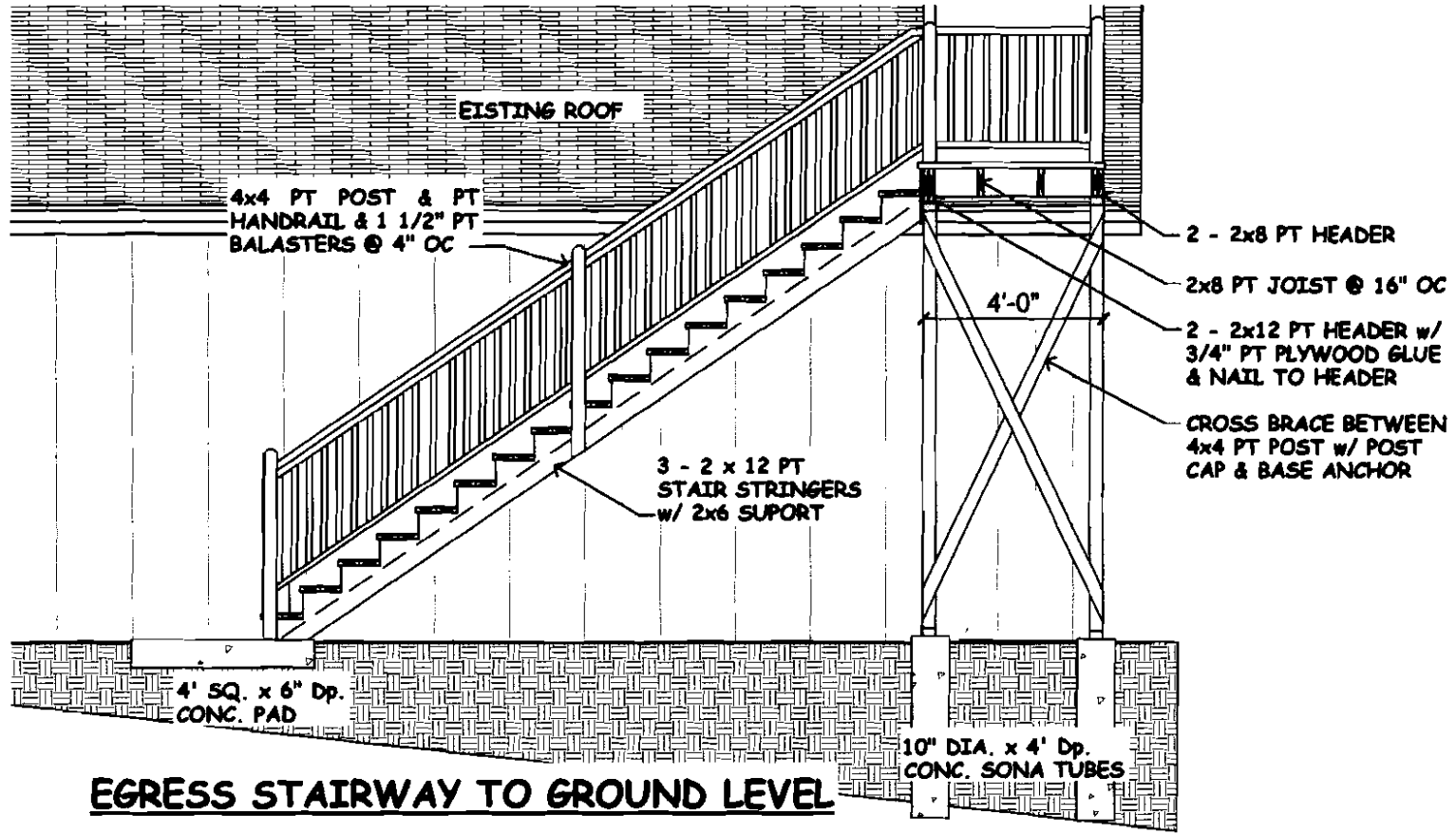
145 FT

PLAT PLAN 148

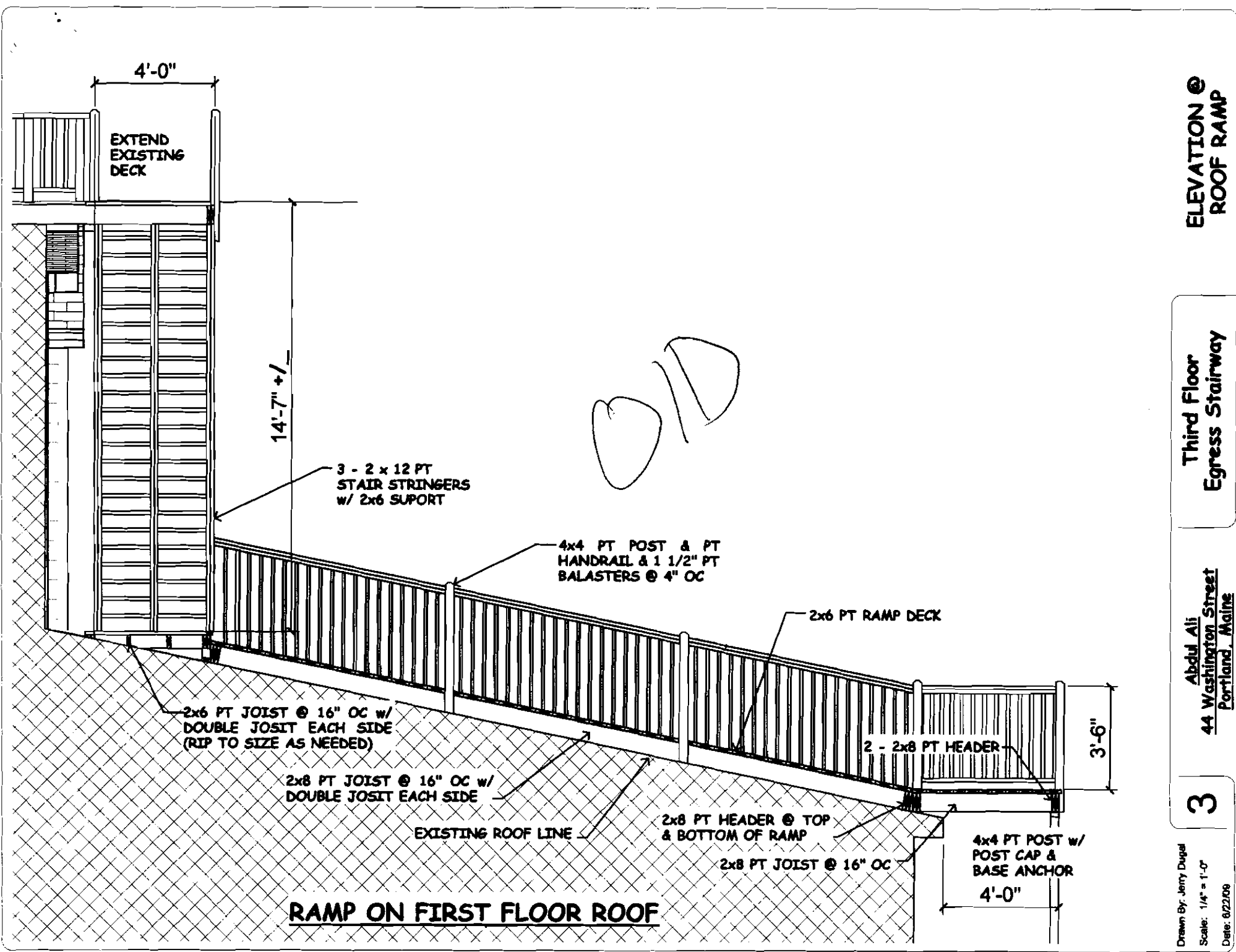




NOTE:  
 BUILDER TO FIELD VERIFY ALL  
 DIMENSIONS AND COMPLY WITH  
 STAIR DETAILS (PAGE 5) AND/OR  
 LOCAL BUILDING CODES.



O/b



**ELEVATION @  
ROOF RAMP**

**Third Floor  
Egress Stairway**

**Abdul Ali  
44 Washington Street  
Portland, Maine**

**3**

Drawn By: Jerry Dugal  
Scale: 1/4" = 1'-0"  
Date: 8/22/09

EXTEND  
EXISTING  
DECK

4'-0"

14'-7" +/-

3 - 2 x 12 PT  
STAIR STRINGERS  
w/ 2x6 SUPORT

4x4 PT POST & PT  
HANDRAIL & 1 1/2" PT  
BALASTERS @ 4" OC

2x6 PT RAMP DECK

2x6 PT JOIST @ 16" OC w/  
DOUBLE JOSIT EACH SIDE  
(RIP TO SIZE AS NEEDED)

2x8 PT JOIST @ 16" OC w/  
DOUBLE JOSIT EACH SIDE

EXISTING ROOF LINE

2x8 PT HEADER @ TOP  
& BOTTOM OF RAMP

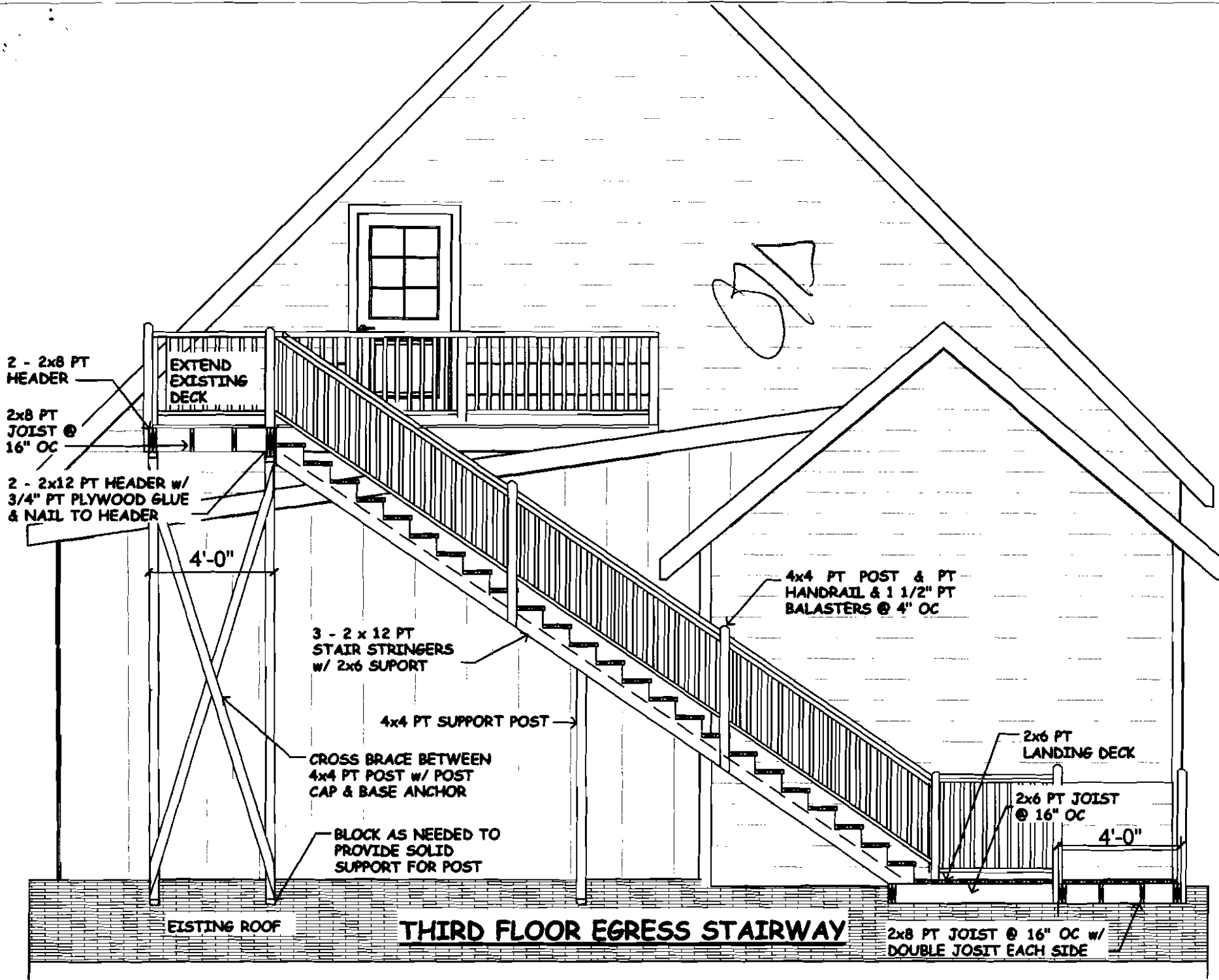
2x8 PT JOIST @ 16" OC

2 - 2x8 PT HEADER

3'-6"

4x4 PT POST w/  
POST CAP &  
BASE ANCHOR  
4'-0"

**RAMP ON FIRST FLOOR ROOF**



**THIRD FLOOR EGRESS STAIRWAY**

2 - 2x8 PT  
HEADER

2x8 PT  
JOIST @  
16" OC

2 - 2x12 PT HEADER w/  
3/4" PT PLYWOOD GLUE  
& NAIL TO HEADER

EXTEND  
EXISTING  
DECK

4'-0"

3 - 2 x 12 PT  
STAIR STRINGERS  
w/ 2x6 SUPORT

4x4 PT SUPPORT POST

CROSS BRACE BETWEEN  
4x4 PT POST w/ POST  
CAP & BASE ANCHOR

BLOCK AS NEEDED TO  
PROVIDE SOLID  
SUPPORT FOR POST

4x4 PT POST & PT  
HANDRAIL & 1 1/2" PT  
BALASTERS @ 4" OC

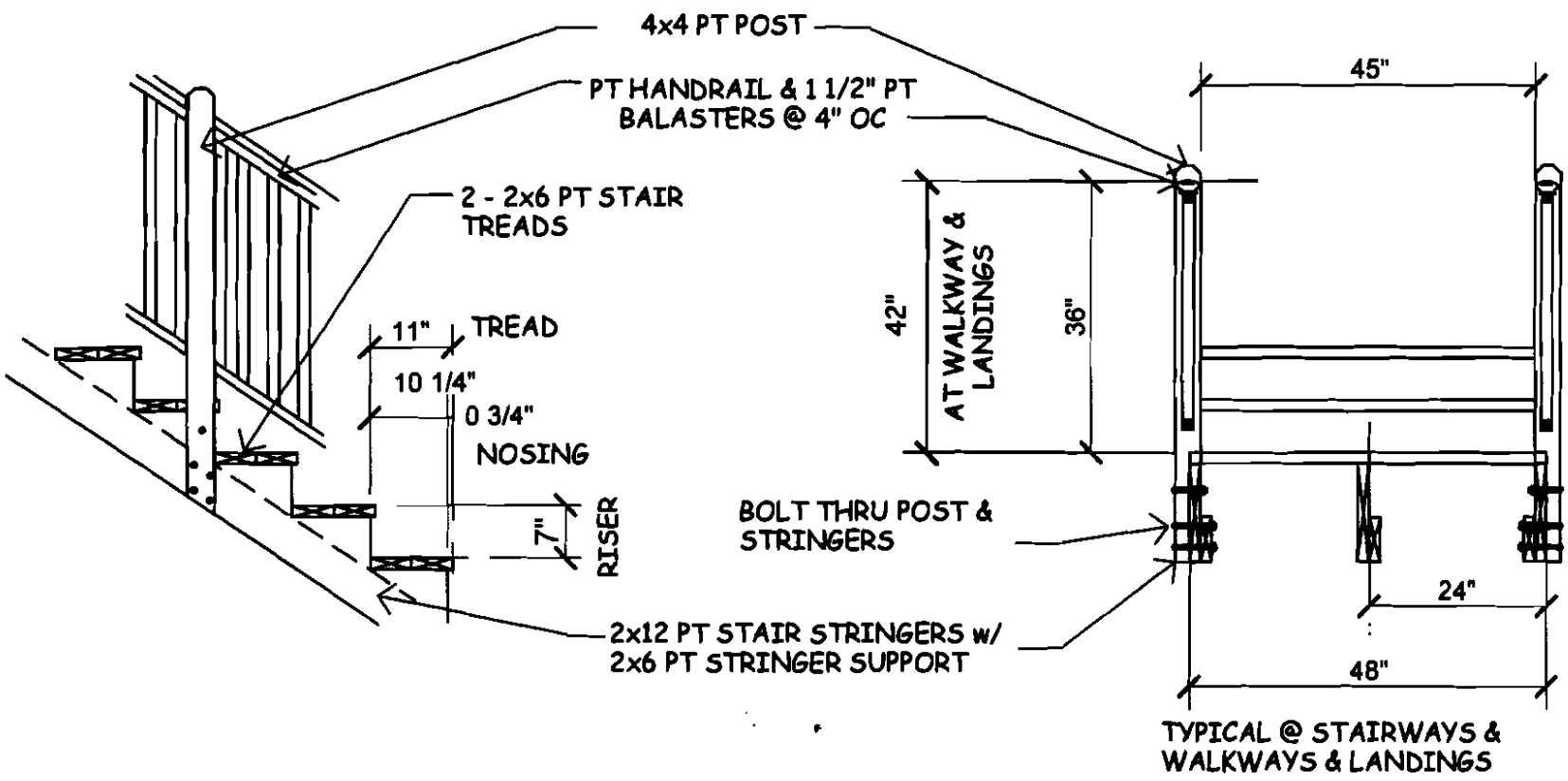
2x6 PT  
LANDING DECK

2x6 PT JOIST  
@ 16" OC

4'-0"

EXISTING ROOF

2x8 PT JOIST @ 16" OC w/  
DOUBLE JOIST EACH SIDE





# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING DEPARTMENT

# PERMIT

Permit Number: 060192

Please Read Application And Notes, If Any, Attached

This is to certify that ALI ABDUL M /n/a

has permission to Change of use from single family to retail grocery store and dwelling unit

AT 44 WASHINGTON AVE

013 E012001

PERMIT ISSUED	
MAR 28 2006	

provided that the person or persons performing or supervising this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland relating to the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is started or closed-in 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

- Fire Dept. \_\_\_\_\_
- Health Dept. \_\_\_\_\_
- Appeal Board \_\_\_\_\_
- Other \_\_\_\_\_  
Department Name

*[Signature]* 3/27/06  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# SCANNED

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0192	Issue Date: MAR 28 2006	CBL: 013 E012001
-----------------------	----------------------------	---------------------

Location of Construction: 44 WASHINGTON AVE	Owner Name: ALI ABDUL M	Owner Address: 46 WASHINGTON AVE <b>CITY OF PORTLAND</b>	Phone:
Business Name:	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B2b

Past Use: <del>Commercial</del> single family legeluse :	Proposed Use: Commercial change of use from <del>restaurant</del> to retail grocery store grocery store 1st floor 1 dwelling unit.	Permit Fee: \$105.00	Cost of Work: \$105.00	CEO District: 1
Proposed Project Description: Change of use from <del>restaurant</del> to retail grocery store : one dwelling unit		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied See conditions	INSPECTION: Use Group: <i>U1</i> Type: <i>59</i> <i>3/24/06</i> Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: dmartin	Date Applied For: 02/08/2006	<b>Zoning Approval</b>		
-----------------------------	---------------------------------	------------------------	--	--

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok w/condition</i> Date: <i>3/1/06</i> <i>ABM</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____
---	---	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0192	Date Applied For: 02/07/2006	CBL: 013 E012001
-----------------------	---------------------------------	---------------------

Location of Construction: 44 WASHINGTON AVE	Owner Name: ALI ABDUL M	Owner Address: 46 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial change of use from single family to retail grocery store and one dwelling unit.	Proposed Project Description: Change of use from single family to retail grocery store and one dwelling unit
---	---

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 03/01/2006

**Note:** **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Mike Nugent      **Approval Date:** 03/24/2006

**Note:** **Ok to Issue:**

- 1) The apartment above the store **MUST REMAIN VACANT** until a 2 Hour Fire Separation assembly is installed between the two uses.

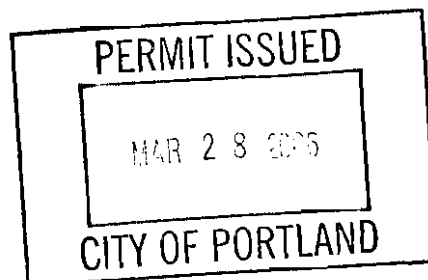
**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:** 03/02/2006

**Note:** **Ok to Issue:**

- 1) Insure one hour separation of apartment and thier means of egress
- 2) Retail space shall comply with NFPA 101 Chapter 36  
A copy is available @ the Inspection office OR at Central fire station.

**Comments:**

3/13/2006-mjn: Plans do not show fire separation , a site visit is being arranged by Art Rowe





# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>44 Washington Ave</u>		
Total Square Footage of Proposed Structure <u>13365F</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>13            E            12</u>	Owner: <u>Abdul Ali</u>	Telephone: <u>615-1784</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ _____ Fee: \$ <u>30 + 75</u> C of O Fee: \$ <u>105.00</u>
Current Specific use: <u>Commercial Single Family</u> Proposed Specific use: _____		
Project description: <u>Change of use from <del>restaurant</del> <sup>single family</sup> to retail store (grocery) and 1 dwelling unit.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Abdul Ali</u>		
Mailing address: <u>44 Washington Ave Portland ME 04101</u>	Phone: <u>615-1784</u>	

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>2-7-06</u>
-------------------------	---------------------

This is not a permit; you may not commence ANY work until the permit is issued.

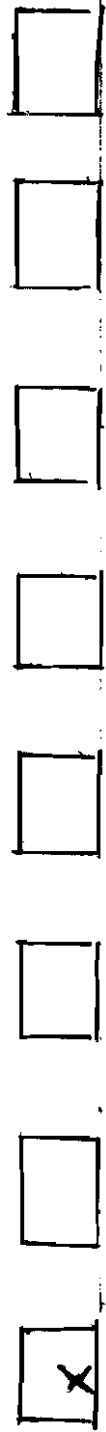
✓ # 807

13 E 12

Washington Ave

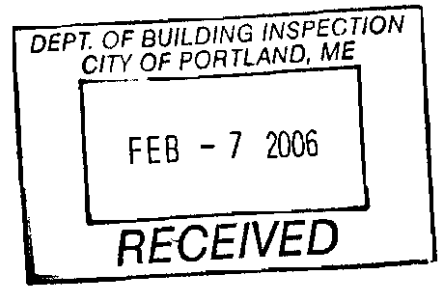
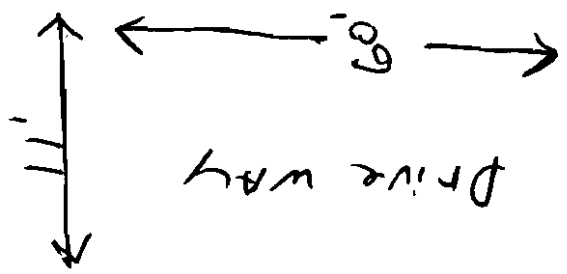
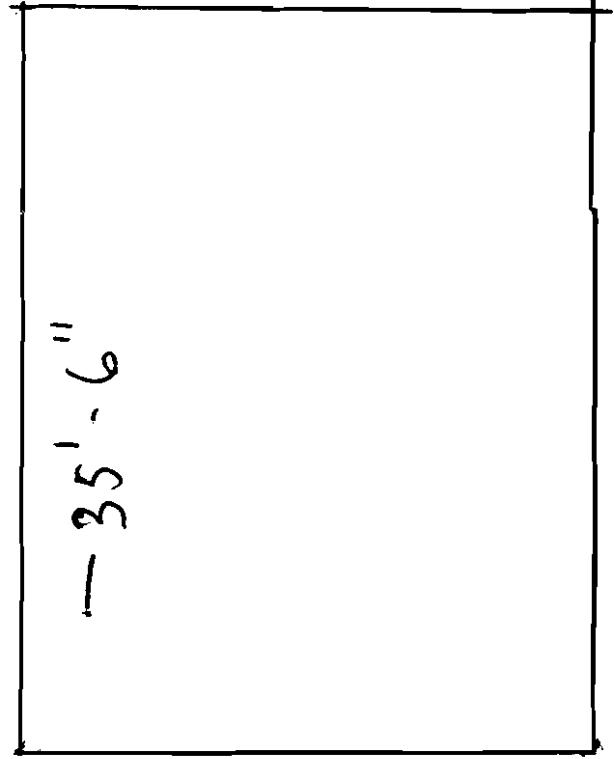
Side walk

Cumberland Ave



Buffalo wings & things

Silly's

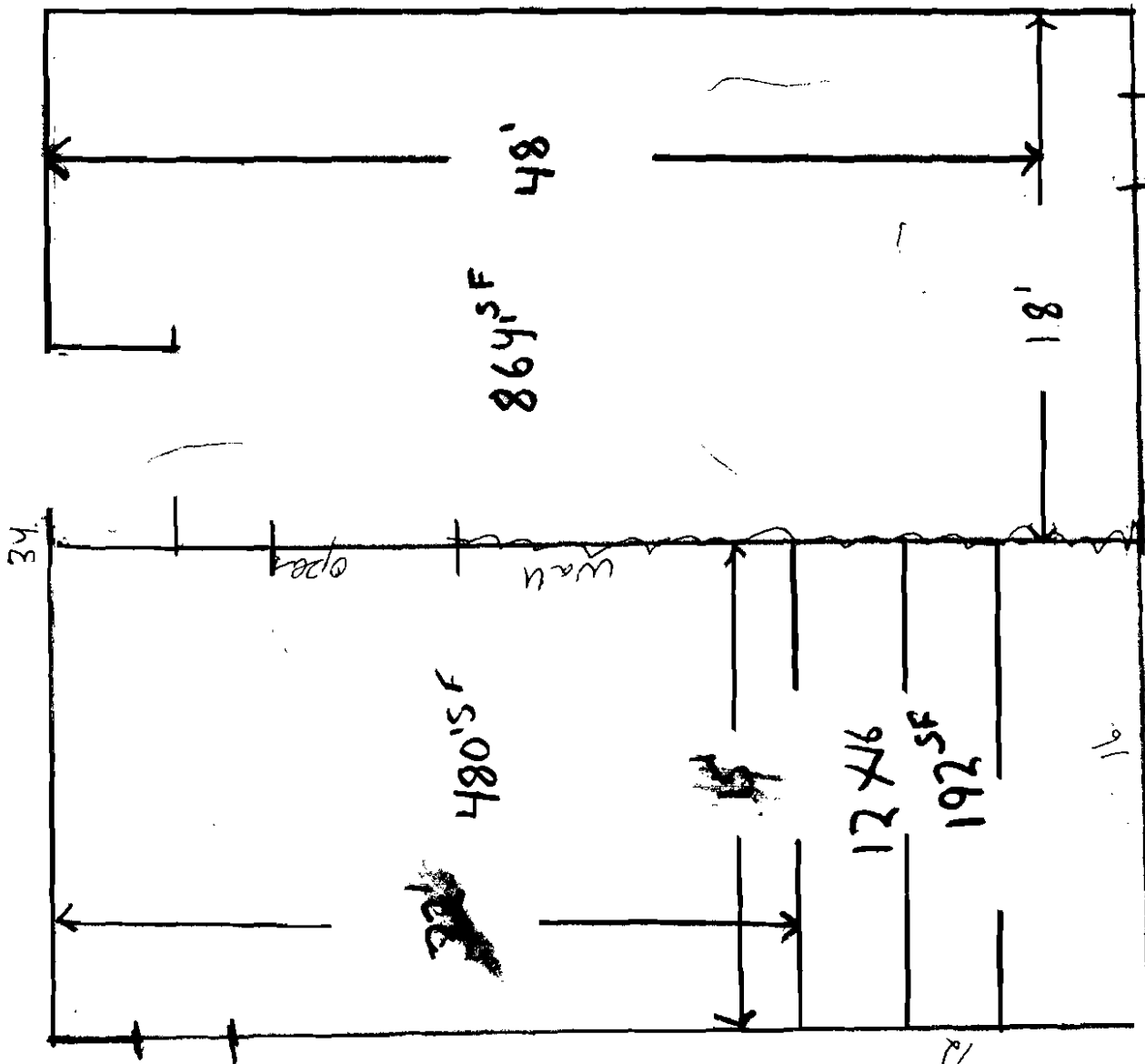




ON-Street Parking Only

13 E 012

street.



480  
 2864  
 192  
1536 SF  
 no parking required.  
 under 2000 sq ft  
 Grocery Store -

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 FEB - 7 2006  
 RECEIVED

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1344	Date Applied For: 10/27/2003	CBL: 013 E012001
-----------------------	---------------------------------	---------------------

Location of Construction: 44 Washington Ave	Owner Name: Carpenter Nu T Wid Vn Vet &	Owner Address: 46 Washington Ave	Phone: ( ) 774-2326
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	

Proposed Use: Change of use to a Single Family dwelling	Proposed Project Description: Change of of use to a Single Family dwelling
--	---

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 12/18/2003  
**Note:** **Ok to Issue:**

- 1) In its present state, the kitchen on the second floor has a range top and a sink. This area is completely full of furniture and accessories and shut off from the rest of the house. There is no heat or water in this area presently. This kitchen shall remain out of use. If in the future it is desired to make this kitchen operable, an application for a permit and change of use shall be required.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) Any and all old signage SHALL be removed from this building.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 01/13/2004  
**Note:** 12/24/03 Met w/owners to assess the existing and proposed floor plan and work entailed. **Ok to Issue:**   
12/29 Spoke w/Marge about the use/zoning for the property. It was legally used for a single family and there is a kitchen on the second floor that is not being used. It would be difficult and expensive to make the second unit code compliant for fire separation. It will be suggested that the property become a single family dwelling.  
1/13/04 Met w/Nu & Michel to discuss options. They agree to apply for the use to be a single family dwelling. The second floor kitchen has a sink and range top only and the space is packed full of furniture & accessories - it is clearly not in use.  
The kitchen in use is from the old restaurant on the first floor.

- 1) There is no construction work associated with this permit - it is just a change of use
- 2) The owners agree to either install battery smoke detectors or hardwired battery back up in the first floor living area.

**Comments:**  
10/30/2003-kwd: contacted applicant; need more information on floor plans, as what was submitted does not specify interior dimensions or locations of kitchens and baths. Said they will bring in current and proposed floor plans by 11/3/03.  
11/14/2003-gg: Received additional plans as requested. /gg

1/4/03 met w/owners to assess the existing and proposed floor plan and work entailed. All signage has been removed JB

1/2/04 Spoke w/ Marge about use/zoning for property - to make a single family home will have to remove 2nd kitchen & put in smoke detectors. JB

1/13/04 met w/Nu & Michel to discuss options - They will get back to me by 1/20 - agree to change permit to SF dwelling.

Second kitchen has sink & range only - space is packed full with furniture & accessories - it is clearly not in use. JB

They will put battery smokes at minimum in the 1st floor of the dwelling and will try to put ~~hard~~ hardwired battery back-up. JB

1/29/04 Final inspection - one kitchen in use - 2 battery smoke detectors installed in first floor living area/bedrooms. Reviewed permit conditions with Nu & Michel - They understand only one kitchen allowed - OK to issue C.O. JB



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 44 Washington Ave

CBL 013 E012001

Issued to Carpenter Nu T Wid Vn Vet &

Date of Issue 01/29/2004

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 03-1344 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family  
Use Group R3  
Type 5B

Limiting Conditions:

Only one functioning kitchen is allowed in the dwelling

This certificate supersedes  
certificate issued

Approved:

1/29/04  
(Date)

*Jeanie Bouke*  
Inspector

*[Signature]*  
Inspector of Buildings

Notice: This certificate identifies legal use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

03-1344

#44-46 Washington Avenue

34' x 36' = 1224  
each floor

ENTRANCE DOOR



doorway secured shut

48' W x 96"

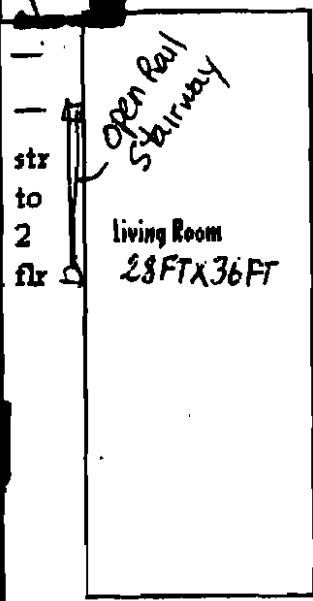
42' x 83" D

Main Entrance

48' W x 96"

driveway holds 3 Vehicles

50' →



Living Room 28 FT x 36 FT

SLIDING DOOR 31' x 80"

UNIT ONE

all one room

One Bedroom 7 FT x 13 FT

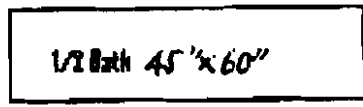
privacy partition

One Bedroom 7 FT x 11 FT



Full Bath 6 FT x 11 FT

Kitchen 11 FT x 22 FT



1/2 Bath 45' x 60"

36' x 80" D

34 FT

32' x 36" D

36 FT

30' x 36"

LAND'S DIMENSION 45 FT x 147 FT

1st floor

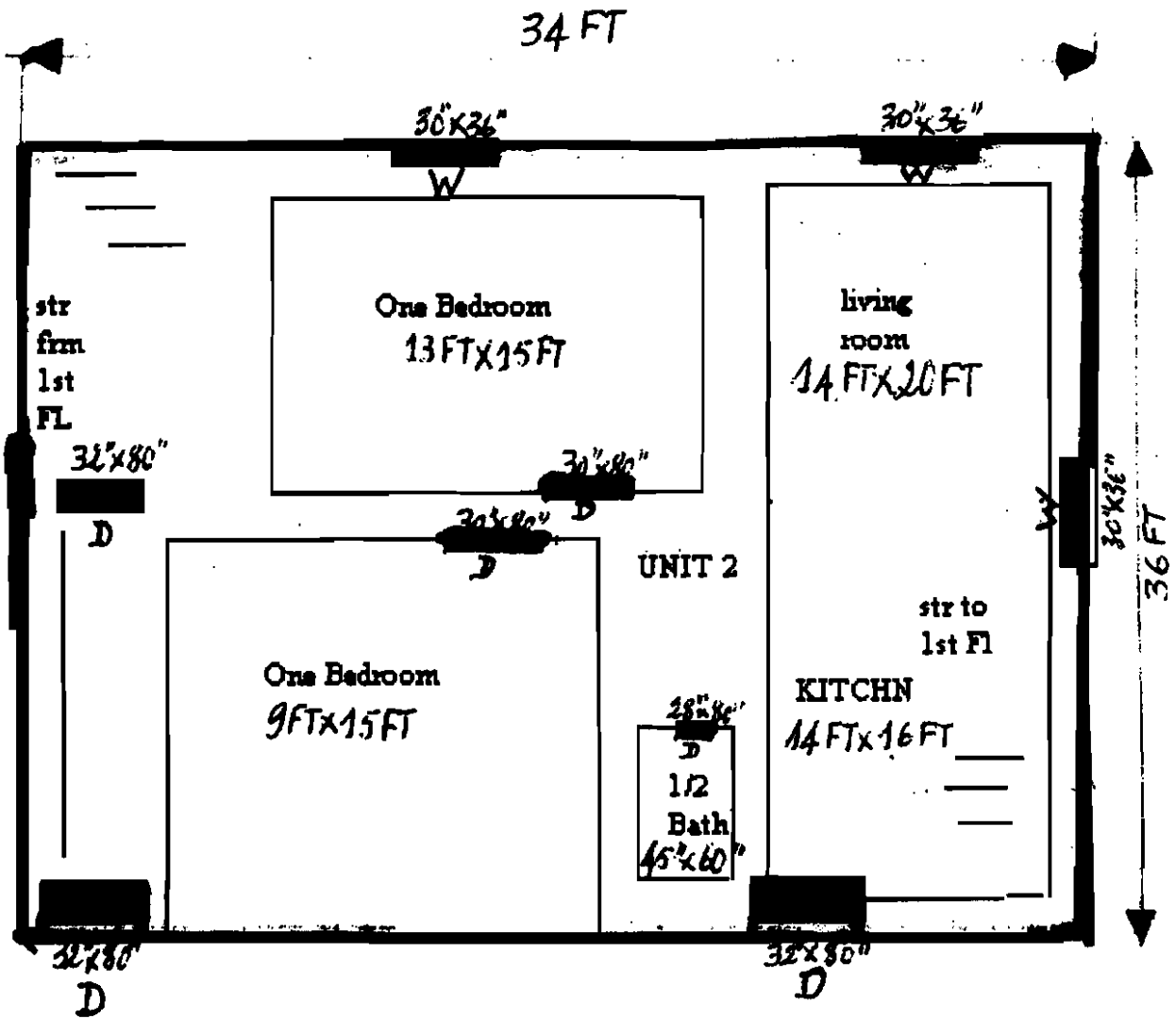
lot: 48' frontage  
147' depth

W = window  
D = door

013 E 012  
08 1344

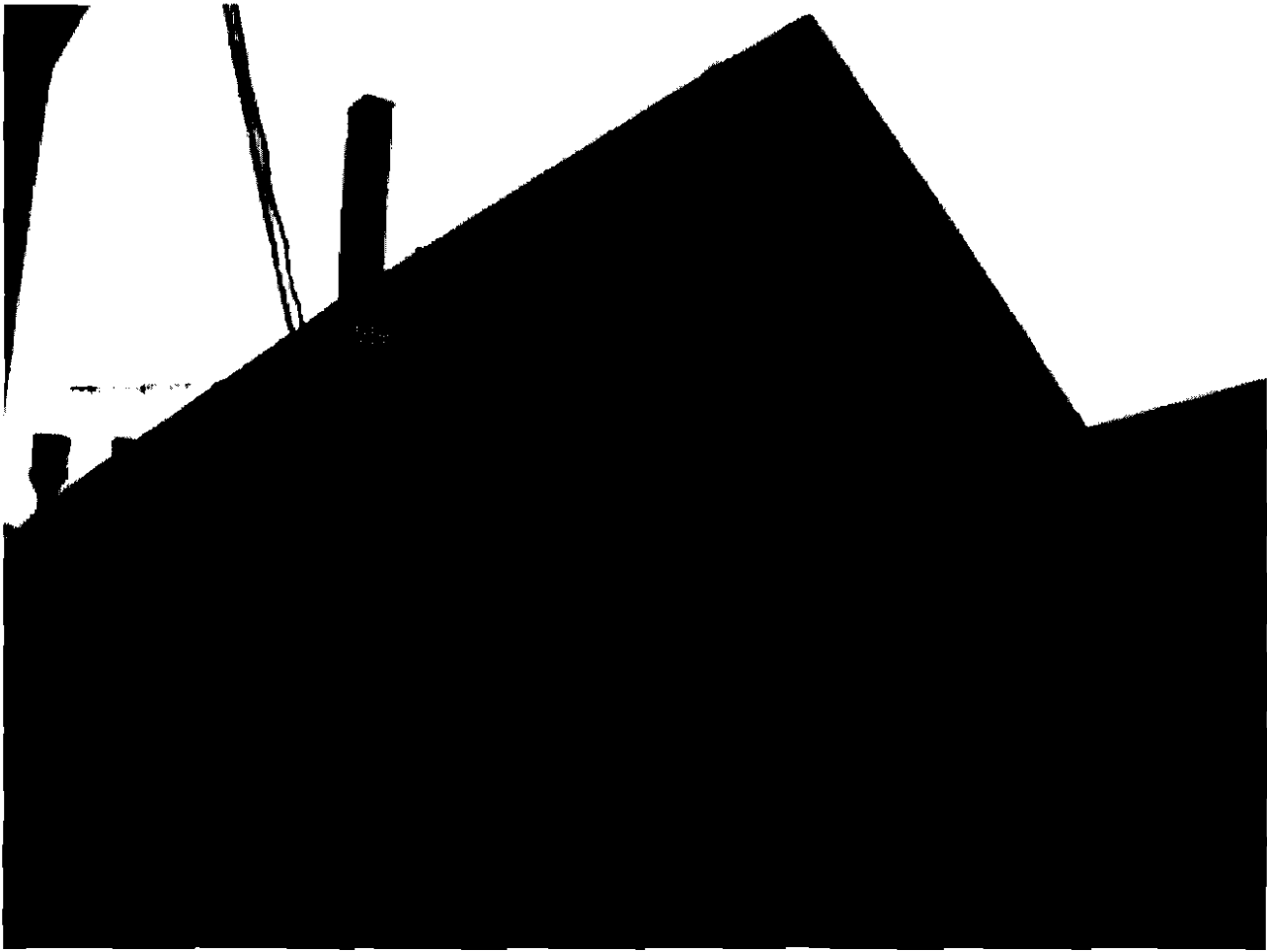
Washington Avenue

permit 03-1344



2nd floor

W = Window  
D = Door





This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

**Card Number** 1 of 1  
**Parcel ID** 013 E012001  
**Location** 44 WASHINGTON AVE  
**Land Use** SINGLE FAMILY

**Owner Address** ALI ABDUL M  
 46 WASHINGTON AVE  
 PORTLAND ME 04101

**Book/Page** 23428/202  
**Legal** 13-E-12-13  
 WASHINGTON AVE 42-46  
 4031 SF

**Current Assessed Valuation For Fiscal Year 2006**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$52,900	\$134,010	\$186,910

**Estimated Assessed Valuation For Fiscal Year 2007\***

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$66,000	\$194,100	\$260,100

\* Value subject to change based upon review of property status as of 4/1/06.  
 The tax rate will be determined by City Council in May 2006.

**Property Information**

<b>Year Built</b> 1900	<b>Style</b> Old Style	<b>Story Height</b> 2	<b>Sq. Ft.</b> 4143	<b>Total Acres</b> 0.093		
<b>Bedrooms</b> 3	<b>Full Baths</b> 2	<b>Half Baths</b>	<b>Total Rooms</b> 10	<b>Attic</b> Part Finsh	<b>Basement</b> Full	

**Outbuildings**

<b>Type</b> CARPORT	<b>Quantity</b> 1	<b>Year Built</b> 1900	<b>Size</b> 1X840	<b>Grade</b> D	<b>Condition</b> F
------------------------	----------------------	---------------------------	----------------------	-------------------	-----------------------

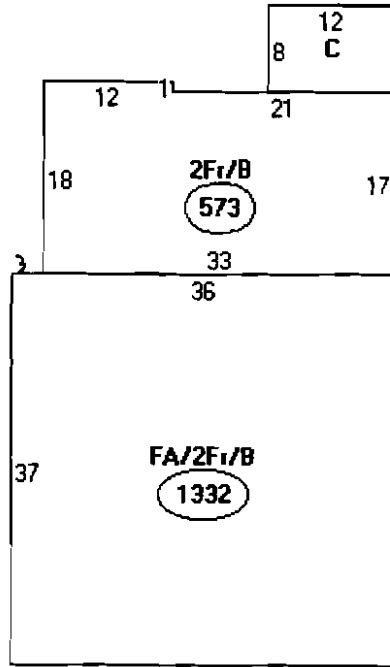
**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
11/28/2005	LAND + BLDING	\$375,000	23428-202
07/26/2004	LAND + BLDING	\$105,000	21590-155

**Picture and Sketch**

[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here to view Tax Roll Information.](#)



Descriptor/Area

A: FA/2Fr/B  
1332 sqft

B: 2Fr/B  
573 sqft

C: EP/FUB  
96 sqft



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* - [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis Littell

Inspection Services, Director  
Tammy Munson

March 16, 2009

Abdul Ali  
46 Washington Avenue  
Portland, ME 01101

**Hand Deliver**

RE: 44 Washington Ave.  
CBL: 013 E012001  
Building Permit #06-0192

**Notice of Violation/Posting Notice**

Dear Mr. Ali,

This letter is a follow up to the inspection performed at the above mention property on March 5, 2009 by Ben Wallace P.F.D. and me. Thank you for your prompt response in having your electrician come to the property while we inspected to re-install smoke detectors that had been removed from their electrical connection and update the battery.

We did not perform a full housing inspection due to the numerous issues that will need to be first addressed by you. The above referenced building permit was issued for a change of use from a Single Family Home to a Market and 1 *Dwelling Unit* on the 2<sup>nd</sup> floor. A Certificate of Occupancy is required to occupy this building, and has not been issued. The conditions of approval on the permit to occupy the dwelling above the market state clearly that there shall be a 2 hour fire separation between the market and the dwelling unit. The inspection revealed that this condition has not been met. The following is a list of additional violations:

1. The 3<sup>rd</sup> floor is being occupied at this time. This has not been approved by this Department. A separate **permit** application must be submitted with the required information for review. The 3<sup>rd</sup> floor is in violation of Sec. 14-52 of the Land Use Ordinance, Sec. 105.1 of the Building Code and Sec. 6-107 of the Housing Code of the City of Portland. It appears that the 3<sup>rd</sup> floor is

<sup>1</sup> *Dwelling unit* shall mean one (1) or more rooms forming a single unit including food preparation, living, sanitary and sleeping facilities used or intended to be used by two (2) or more persons living in common or by a person living alone.

Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code.

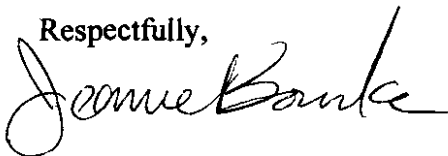
This constitutes an appealable decision pursuant to Sections 112.5, 14-472 and 6-127 and of the Municipal Code. You have 10 or 30 days from the date of this letter in which to exercise your right to appeal. Please contact this office for the necessary information and documents to apply.

Please be advised that the Portland City Council has amended the Building regulations to include a \$75.00 re-inspection fee. This violation will automatically cause a re-inspection at no charge. If there are any subsequent inspections; however, the \$75.00 fee will be assessed for each inspection.

Enclosed is a Building Permit Application for a Change of Use for this property. Please review the material and determine if you wish to pursue this legal change to occupy the 3<sup>rd</sup> floor. If you do not follow through with the permit process, the appropriate use of the property (market and 1 dwelling unit) shall be restored by the April 15, 2009 re-inspection.

Please note that an application for permit is still required for the rear storage area including fire separation between the occupancies and egresses. Be advised that designed plans are required to address the code issues throughout the building. Please feel free to contact me if you wish to discuss the matter or have any questions.

Respectfully,



Jeanie Bourke  
Code Enforcement Officer/Plan Reviewer  
874-8715

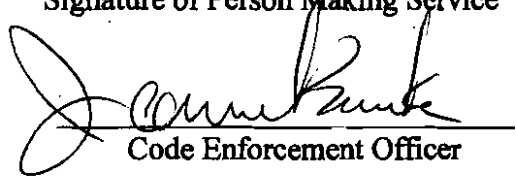
COPY

**City Of Portland  
Inspection Services  
RETURN OF SERVICE**

On the 17<sup>th</sup> day of March, 2009, I made service of the Notice/Posting  
upon, ~~Ali Abdul.~~ Abdul Ali, at 44 Washington Ave  
013-E-012

- By delivering a copy in hand.
- By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is \_\_\_\_\_.
- By delivering a copy to an agent authorized to receive service of process, and whose name is \_\_\_\_\_.
- By (describe other manner of service) \_\_\_\_\_.

DATED: 3/17/09

Signature of Person Making Service  
  
Code Enforcement Officer

I have received the above referenced documents

Person Receiving Service  


- Refused to sign
- Unable to sign

# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 3-8-10  
 Permit # 20104139  
 CBL# 013 E 012

LOCATION: 44 Washington Ave. METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER ABDUL ALI  
 TENANT ABDUL ALI PHONE # 221-5429

**TOTAL EACH FEE**

<b>OUTLETS</b>	<u>4</u>	Receptacles		Switches		Smoke Detector		.20
<b>FIXTURES</b>		Incandescent	<u>3</u>	Fluorescent		Strips		.20
<b>SERVICES</b>		Overhead		Underground		TTL AMPS <800		15.00
		Overhead		Underground		>800		25.00
<b>Temporary Service</b>		Overhead		Underground		TTL AMPS		25.00
								25.00
<b>METERS</b>		(number of)						1.00
<b>MOTORS</b>		(number of)						2.00
<b>RESID/COM</b>		Electric units						1.00
<b>HEATING</b>		oil/gas units		Interior		Exterior		5.00
<b>APPLIANCES</b>		Ranges		Cook Tops		Wall Ovens		2.00
		Insta-Hot		Water heaters		Fans		2.00
		Dryers		Disposals		Dishwasher		2.00
		Compactors		Spa		Washing Machine		2.00
		Others (denote)						2.00
<b>MISC. (number of)</b>		Air Cond/win						3.00
		Air Cond/cent				Pools		10.00
		HVAC		EMS		Thermostats		5.00
		Signs						10.00
		Alarms/res						5.00
		Alarms/com						15.00
		Heavy Duty(CRKT)						2.00
		Circus/Carnv						25.00
		Alterations						5.00
		Fire Repairs						15.00
		E Lights						1.00
		E Generators						20.00
<b>PANELS</b>		Service		Remote		Main		4.00
<b>TRANSFORMER</b>		0-25 Kva						5.00
		25-200 Kva						8.00
		Over 200 Kva						10.00
						<b>TOTAL AMOUNT DUE</b>		
						<b>MINIMUM FEE/COMMERCIAL</b>	<b>55.00</b>	
						<b>MINIMUM FEE</b>	<b>45.00</b>	

OB E 012

**RECEIVED**

MAR - 9 2010

Dept. of Building Inspections  
 City of Portland Maine

CONTRACTORS NAME Joe Falcone MASTER LIC. # M5/0016408  
 ADDRESS 37 Danacht St. Portland, Me 04103 LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 207-318-5144

SIGNATURE OF CONTRACTOR Joe Falcone  
 White Copy - Office • Yellow Copy - Applicant

5/11/10 - Met Jim M. inspected 4 sona's for landing at end of walkway 4+ feet. No setbacks required. Gave the ok for 2 more sona's at the intermediate landing on final stairs to grade. JMB

5/20/10 Inspected w/ Jim -

- Need final step at grade slope
- Need handrails at last flight to grade
- Need intermediate H-rail support at run on roof
- Discussed w/ owner a maintenance plan in winter  
JMB

6/4/10 See attached letter for corrections  
JMB