

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 030891

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Vo Le Thi /n/a
has permission to Change of Use from Day Care to Hair Salon
AT 10 Oxford St 013 E003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

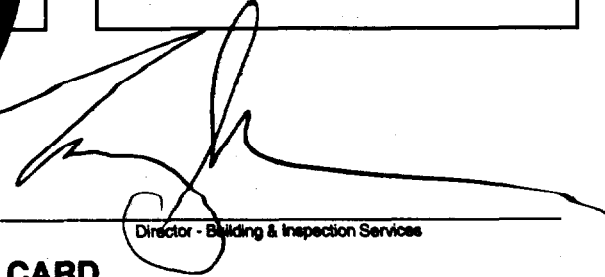
Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and written permission procured before this building or part thereof is occupied or otherwise used-in. **NO OTHER NOTICES REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
 389 Congress Street
 Portland, Maine 04101

INVOICE FOR PERMIT FEES

Application No: 3-0891	Applicant: Vo Le Thi
Project Name: Change of Use from Day Care to H	Location: 10 Oxford St
CBL: 013 E003001	Development Type:
Invoice Date: 07/23/2003	

Previous Balance	-	Payment Received	+	Current Fees	=	Total Due		Payment Due Date
\$0.00		\$0.00		\$225.00		\$120.00		On Receipt

First Billing

Previous Balance **\$0.00**

Fee Description	Qty	Fee Charge
Certificate of Occupancy	1	\$75.00
Home Occupation	1	\$150.00
		<u>\$225.00</u>
Total Current Fees:	+	\$225.00
Amount Due Now:		\$225.00

 Detach and remit with payment

Bill to: Vo Le Thi
 10 Oxford St
 Portland, ME 04101

CBL 013 E003001
Application No: 3-0891
Invoice Date: 07/23/2003
Invoice No: 10484
Total Amt Due: \$120.00
Payment Amount:

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0891	Date Applied For: 07/23/2003	CBL: 013 E003001
------------------------------	--	----------------------------

Location of Construction: 10 Oxford St	Owner Name: Vo Le Thi	Owner Address: 10 Oxford St	Phone: 207-879-2581
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Leasee/Buyer's Name: n/a	Phone: n/a	Permit Type: Change of Use - Dwellings	

Proposed Use: Single Family / Change of Use from day care to hair salon.	Proposed Project Description: Change of Use from Day Care to Hair Salon
--	---

Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 07/25/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.			
2) Separate permits shall be required for any new signage, using the home occupation criteria.			
Dept: Building	Status: Pending	Reviewer:	Approval Date:
Note:	Ok to Issue: <input type="checkbox"/>		

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

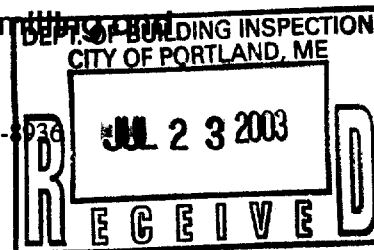
Location/Address of Construction: <u>10 East Oxford st. Portland, ME. 04101</u>		
Total Square Footage of Proposed Structure <u>Room</u> <u>182 sqf</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>013</u> Block# <u>E</u> Lot# <u>003</u>	Owner: <u>LE VO</u>	Telephone: <u>879-2581</u> <u>408-8155</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>LE VO</u> <u>10 East Oxford st.</u> <u>Portland, ME. 04101</u>	Cost Of Work: \$ <u>0</u> ^{should be \$150} Fee: \$ <u>0</u> ^{30.00}
Current use: <u>vacant</u>		<u>0.00</u> <u>75.00</u>
If the location is currently vacant, what was prior use: <u>Day Care</u>		<u>\$105.00</u>
Approximately how long has it been vacant: <u>2 years</u>		
Proposed use: <u>Hair Salon</u> <u>Change of use</u>		
Project description: <u>change of use for a home occupation, to add;</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>LE VO</u> ^{TX}		
Mailing address: <u>PO. Box 3522 Portland, ME. 04104</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>879-2581</u> <u>408-8155</u> ^{TX} <u>Call</u>		

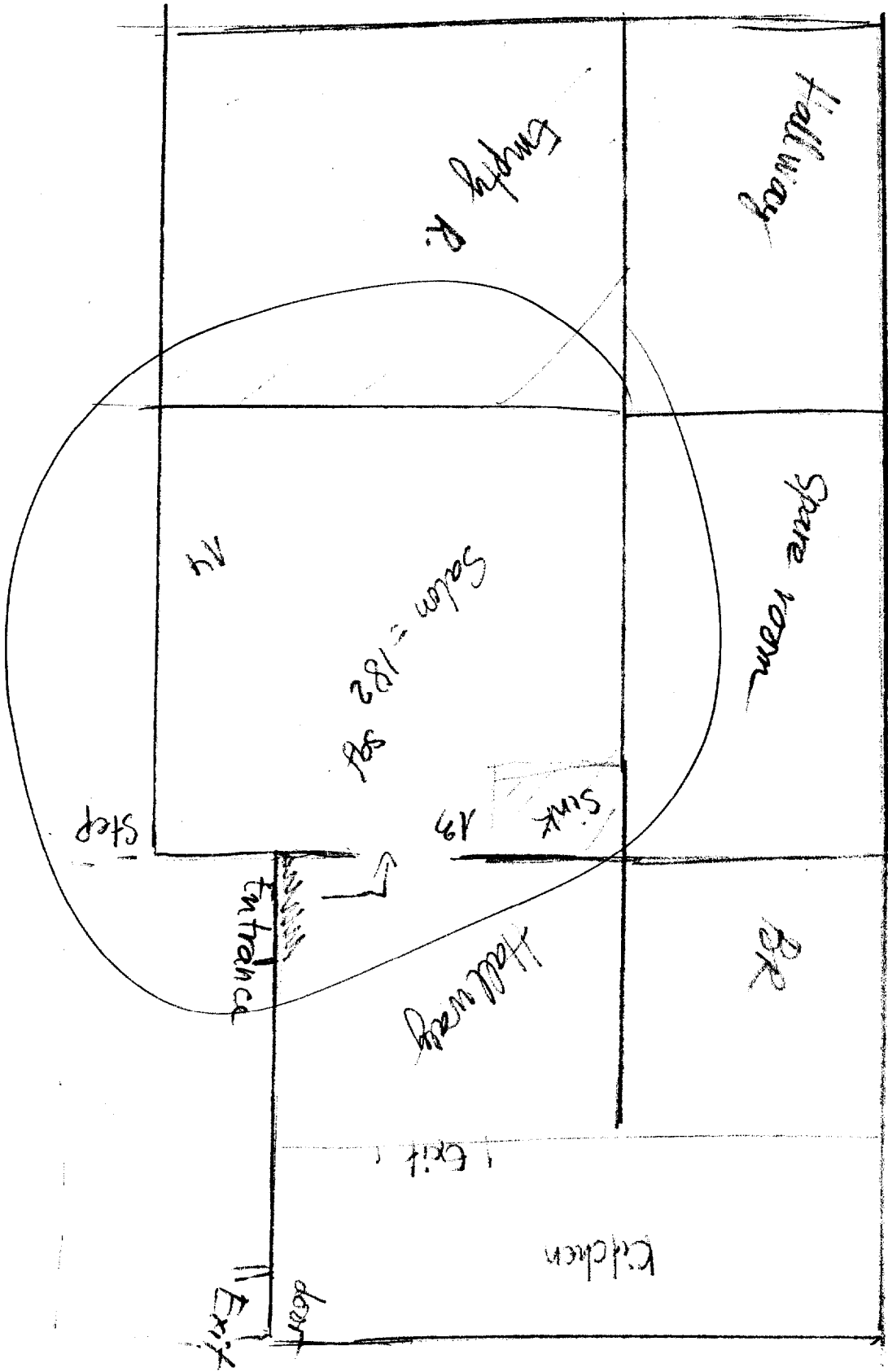
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>lew</u>	Date:
------------------------------------	-------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permit fees with the Planning Department on the 4th floor of City Hall





New Floor Plan

10 E. Oxford st.

12 kids
AD

6 children
Day care

Hallway

STAY
100%

NY

6 children
Day care

Sick room

step

Day care

13

Entrance

Hallway

BR

Exit

Kitchen

door
Exit

10 E. Oxford st.

**CITY OF PORTLAND
ASSESSOR'S OFFICE**

Thursday, October 17, 2002

Vo Le Thi
10 Oxford St
Portland, ME 04101

Re Parcel ID: 013 E003001
Located at: 10 OXFORD ST



Dear Property Owner:

The City of Portland Tax Assessor's Office seeks your assistance in verifying data regarding your property. The information listed in this mailer is on file in the Assessor's office. Our appraisers will use this data as we prepare to update tax assessments for the city's April 1, 2004 property revaluation.

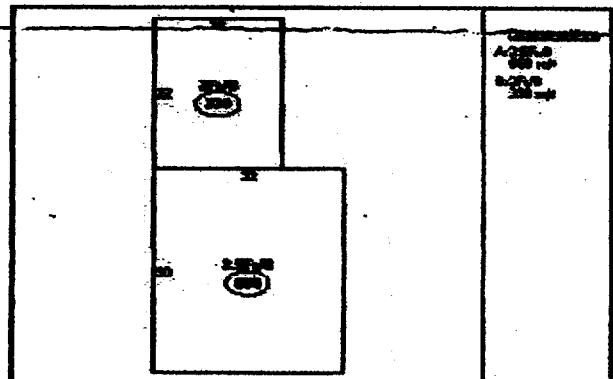
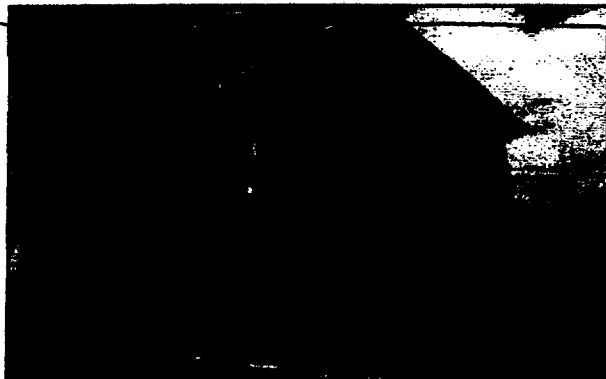
Please review the information, make corrections if needed and return the form in the self-addressed envelope provided. A photo image and sketched outline of your main structure is included and should also be reviewed for accuracy. The reverse side of this letter contains an explanation of terms used on this form.

Prompt attention to this request will help ensure that your assessment will be based on the most accurate information available. Refusal or neglect to provide this data may result in the loss of your right to appeal. Please respond within 14 days of receipt of this letter. Please include a daytime phone number so that we may call you for clarification, if necessary.

Thank you for your attention in this important matter.

Richard W. Blackburn, Portland Tax Assessor

<i>Dwelling Data</i>		
Land Use: Two Family	Attic: None	Total Full Baths: 2
Style: Old Style	Basement: Full	Total Half Baths: 0
Year Built: 1868	Fireplace Openings: 0	Total Rooms: 11 10
Exterior Walls: Alum/Vinyl	Total Living Area: 2475	System Type: Hot Water
Story Height: 2.5	Total Bedrooms: 7 6	Bas Room Area:



Name: Le Vo

Daytime Phone: 408-8155 (cell)
767-7332 (W)
879-2581 (H)

No Changes Necessar
 Further Review Requested, please contact me.
 Changes as listed, no contact requested.

Ms Marge Schmuckal
Zoning Administrator
Department of Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Dear Ms Schmuckal:

I am requesting a permit to allow me the use of my residence at 10 East Oxford Street for a home occupation. I intend to serve as Hair Salon. This is an acceptable home occupation listed under item (2) of Section 14-410 of the Portland Zoning Ordinance. The following is an explanation of how my home occupation meets the criteria listed under item(1) of the same.

- a. My home occupation will occupy approximately 182 square feet of floor area of the residence.
- b. No good will be stored displayed or be visible from outside the residence
- c. Storage of the material necessary to perform my occupation are minimal and included in the 182 square feet of floor space mentioned above.
- d. There will be no external signage related to my home occupation.
- e. No exterior alterations to the residence are necessary.
- f. No additional parking is necessary.
- g. No objectionable effects will result from my home occupation.
- h. I will not require the services of any employees.
- i. Minimal additional traffic will be generated by my home occupation

separate permits req.

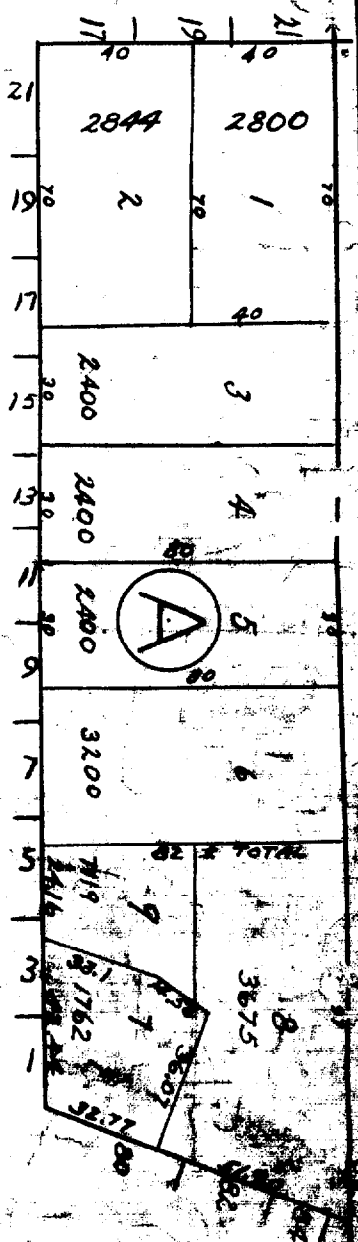
As you can see, my home occupation is a secondary and incidental use of my residence. The external activity level and impact is moderate and in keeping with the residential character of the neighborhood

Attached you will find a copy of a floor plan showing the dimensions and area of the home occupation space. Thank you for your assistance in this matter.

Le Vo

(N)

STREET

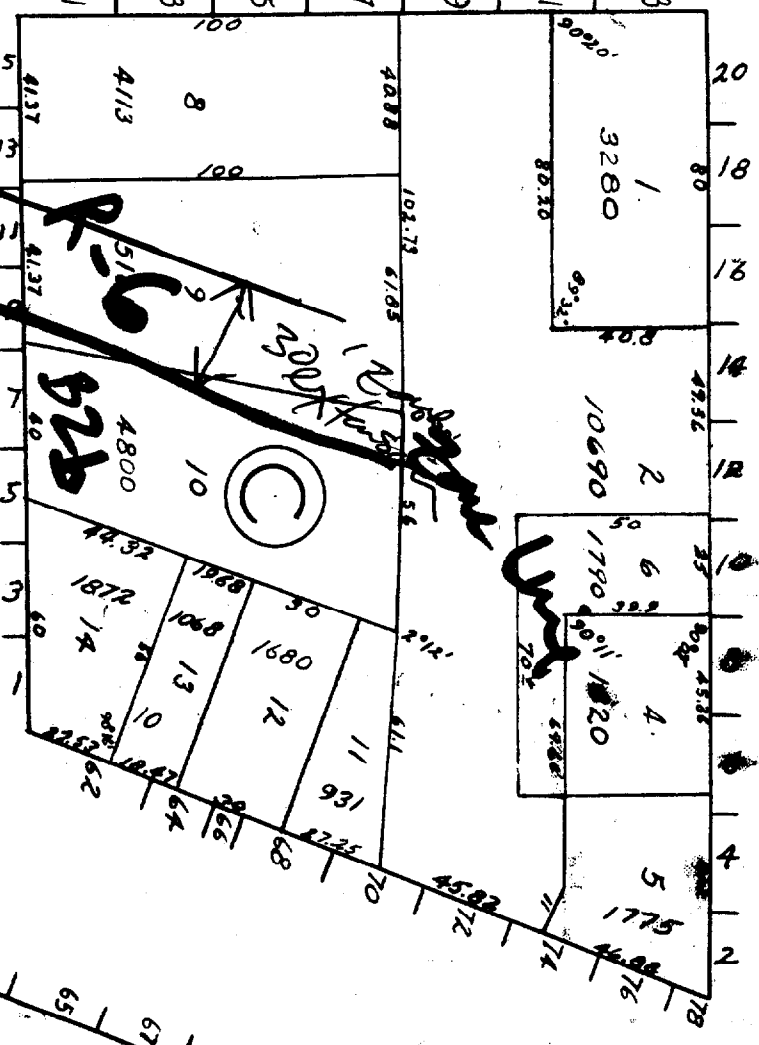


MONROE

STREET

(B)

GREENLEAF



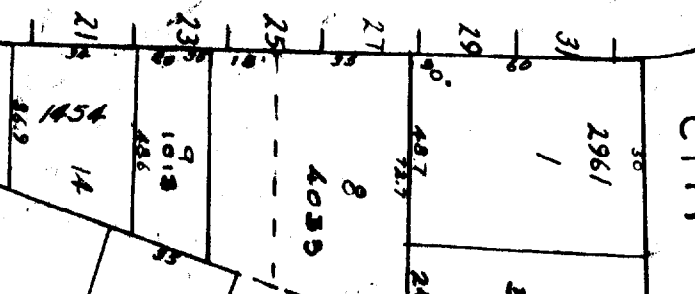
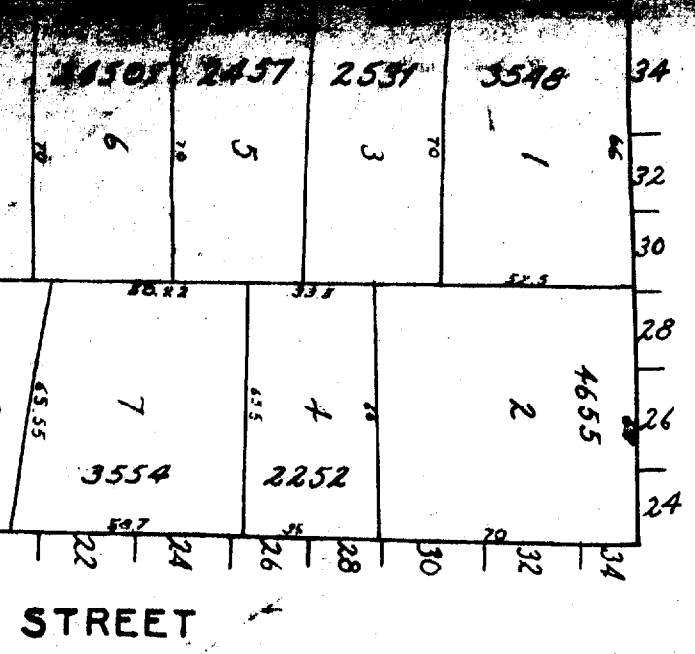
ST OXFORD

ST.

OXFORD ST. EXTENSION

AVENUE

(C)

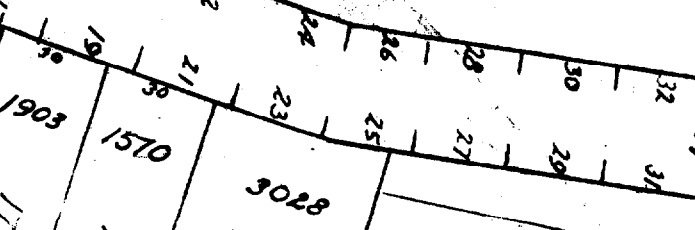


(E)

AMITY ROAD



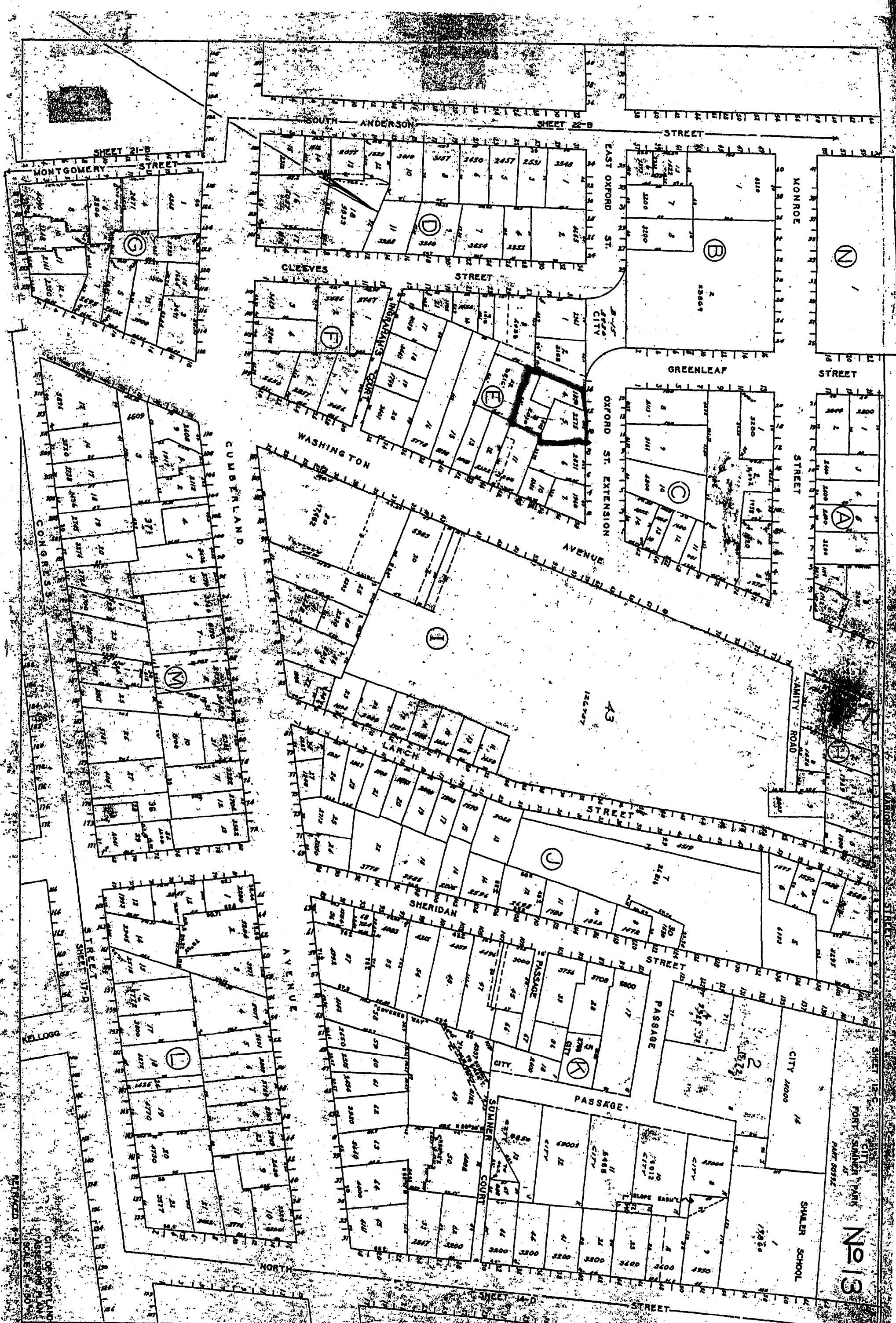
STREET



43

126757

1" = 50'



No 13

SCHOOL

CITY CITY

CITY CITY

CITY CITY

CITY CITY

CITY CITY

CITY CITY

CITY CITY

CITY CITY

CITY CITY

CITY CITY

CITY CITY

CITY OF PORTLAND
ASSESSOR'S PLAN
SCALE 1/2" = 100'