

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

PERMIT SECTION

Permit Number: 031473

Please Read Application And Notes, If Any, Attached

This is to certify that Martin Gregory S/Owner

has permission to Construct - 3 story deck, add windows and doors and remodel 2nd & 3rd Fir Kitchens & Baths

at 29 Cleve St

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and when permit is procured before this building or structure thereon is closed-in.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept.

Appeal Board

Other

Department Name

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services

[Signature]
12/18/10

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1473	Issue Date:	CBL: 013 E001001
--------------------	-------------	------------------

Location of Construction: 29 Cleeve St Martin Gregory S	Owner Name: 31 Cleeve St #3	Owner Address: 31 Cleeve St #3	Phone:
Business Name: Contractor Name: Owner	Contractor Name: Contractor Address: Owner	Contractor Address: Contractor Address: Owner	Phone: Phone: Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Alterations - Commercial	Zone: R6

Past Use: 3 Family Unit	Proposed Use: Construct - 3 story deck, add sliders and windows to 2nd & 3rd Flr. Remodel 2nd & 3rd Flr Kitchens & Baths	Proposed Project Description: Construct - 3 story deck, add sliders and windows to 2nd & 3rd Flr. Remodel 2nd & 3rd Flr Kitchens & Baths
Permit Fee: \$57.00	Cost of Work: \$3,700.00	CE0 District: 1
FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: RA <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Use Group: RA <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied
Signature: <i>John</i>	Signature: <i>John</i>	Signature: <i>John</i>
Date: 12/18/03	Date: 12/18/03	Date: 12/18/03

Permit Taken By: Idobson	Date Applied For: 12/03/2003	Zoning Approval
--------------------------	------------------------------	-----------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.	2. Building permits do not include plumbing, septic or electrical work.	3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.
Special Zone or Reviews	Advance	Miscellaneous
<input checked="" type="checkbox"/> Shoreland	<input checked="" type="checkbox"/> Wetland	<input type="checkbox"/> Flood Zone
<i>to remain 3D</i>	<i>W/L</i>	<input type="checkbox"/> Subdivision
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Conditional Use
<i>to remain 3D</i>	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
<i>to remain 3D</i>	<input type="checkbox"/> Approved w/ Conditions	<input type="checkbox"/> Denied
Date: 12/19/03	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit as any reasonable how to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

12/31/03 Met w/ owner to discuss for 5 steps.
Other questions re: inspection process. M
3/23/04 Training - 1 p.m. to 4 p.m. at work
done yet re: external checks. A/R

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716
 Permit No: 03-1473 Date Applied For: 12/03/2003 CBL: 013 E001001

Location of Construction: 29 Cleeve St		Owner Name: Martin Gregory S	Owner Address: 31 Cleeve St #3	Phone:
Business Name:		Contractor Name:	Contractor Address: Portland	Phone:
Lessee/Buyer's Name		Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Construct - 3 story deck, add sliders and windows to 2nd & 3rd Flr. Remodel 2nd & 3rd Flr Kitchens & Baths	Proposed Project Description: Construct - 3 story deck, add sliders and windows to 2nd & 3rd Flr. Remodel 2nd & 3rd Flr Kitchens & Baths
--	--

Dept: Zoning Status: Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 12/09/2003 **Note:** **Ok to Issue:**

- 1) There shall be no exterior, interconnecting stairways. This approval is for decks only.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 12/18/2003 **Note:** **Ok to Issue:**

- 1) 04/07/2004 Deck plans approved. Design professional must certify weld, woner notified that we must do setback/rebar inspection, fastener plates in walls and final at which time weld inspection report is required.
- 2) DECKS ARE NOT INCLUDED IN THIS APPROVAL. ADDITIONAL TECHNICAL SUBMISSIONS ARE REQUIRED PRIOR TO THIS PHASE OF CONSTRUCTION. THE SLIDERS MUST BE PROTECTED WITH 42" GUARDS WITH OPENINGS LESS THAN 4 INCHES, NOT A LADDER IN EFFECT. OWNER AGREED TO THIS IN A MEETING 12/17/03.

Dept: Fire Status: Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 12/10/2003 **Note:** **Ok to Issue:**

- 1) the furnace shall be seperated with a one hour enclosure or smoke seperated with a domestic sprinkler
- 2) smoke detectors shall be installed in accordance with NFPA 72 standards
- 3) vertical openings shall be fire rated with a minimum of one hour rating
- 4) guards on deck shall be a minimum of 42" high

Comments:

03/16/2004-gg: received revised plans. /gg

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>31 LIBERTY ST.</u>		Permit # <u>03-1473</u>
Total Square Footage of Proposed Structure <u>Deck, 21 sq. ft.</u>		Square Footage of Lot <u>7070</u>

Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>E</u> Lot# <u>148</u>		Owner: <u>GREGORY S. MARTIN</u>	Telephone: <u>415-1587</u>
Lessees/Buyers Name (if Applicable)		Applicant name, address & telephone: <u>31 LIBERTY ST. #3</u> <u>PORTLAND 04101</u>	Cost Of Work: \$ <u>3700</u> Fee: \$ <u>57.00</u>

Current use: <u>YARD</u> <u>3 Family</u>	If the location is currently vacant, what was prior use:
Approximately how long has it been vacant:	Proposed use: <u>FITNESS/BAW RECONSTRUCTION. NEW DECKS.</u>
Project description: <u>THREE 3 1/2 X 6 DECKS</u>	

Contractor's name, address & telephone:	
Who should we contact when the permit is ready: <u>GREGORY MARTIN</u> <u>ABOVE</u>	
Mailing address:	
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:	

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>12/2/03</u>
--	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Permit # 03-1473

31 Cleave St
House Renovation

General Plan.

Switch kitchen and bathroom for better function

replace old crumbling plaster

replace knob and tube wiring

Replace old plumbing

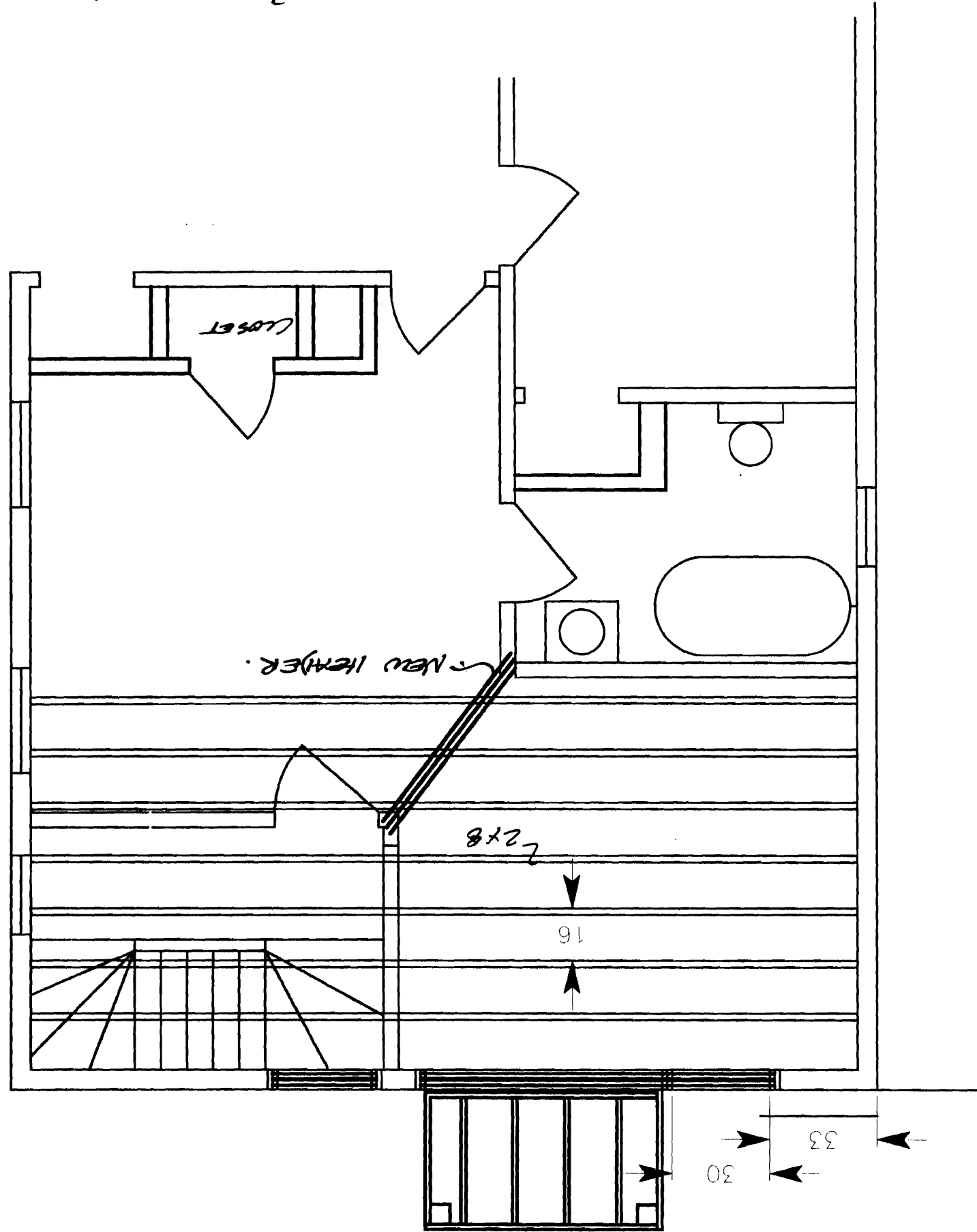
Properly insulate exterior walls and between apartments

Reframe/ remove existing closets for better function

add light and solar gain to the building with the addition of new windows/sliders

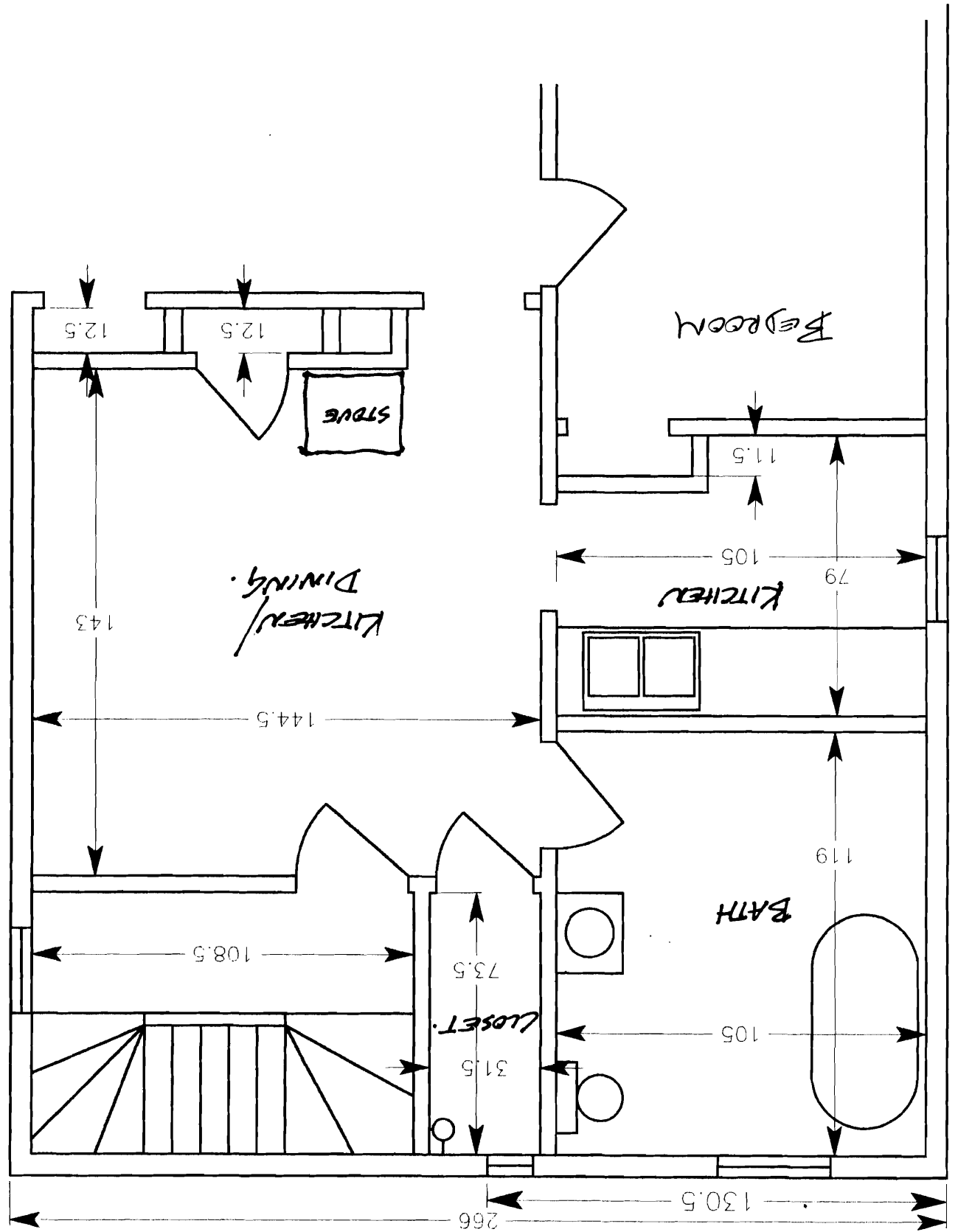
add decks.

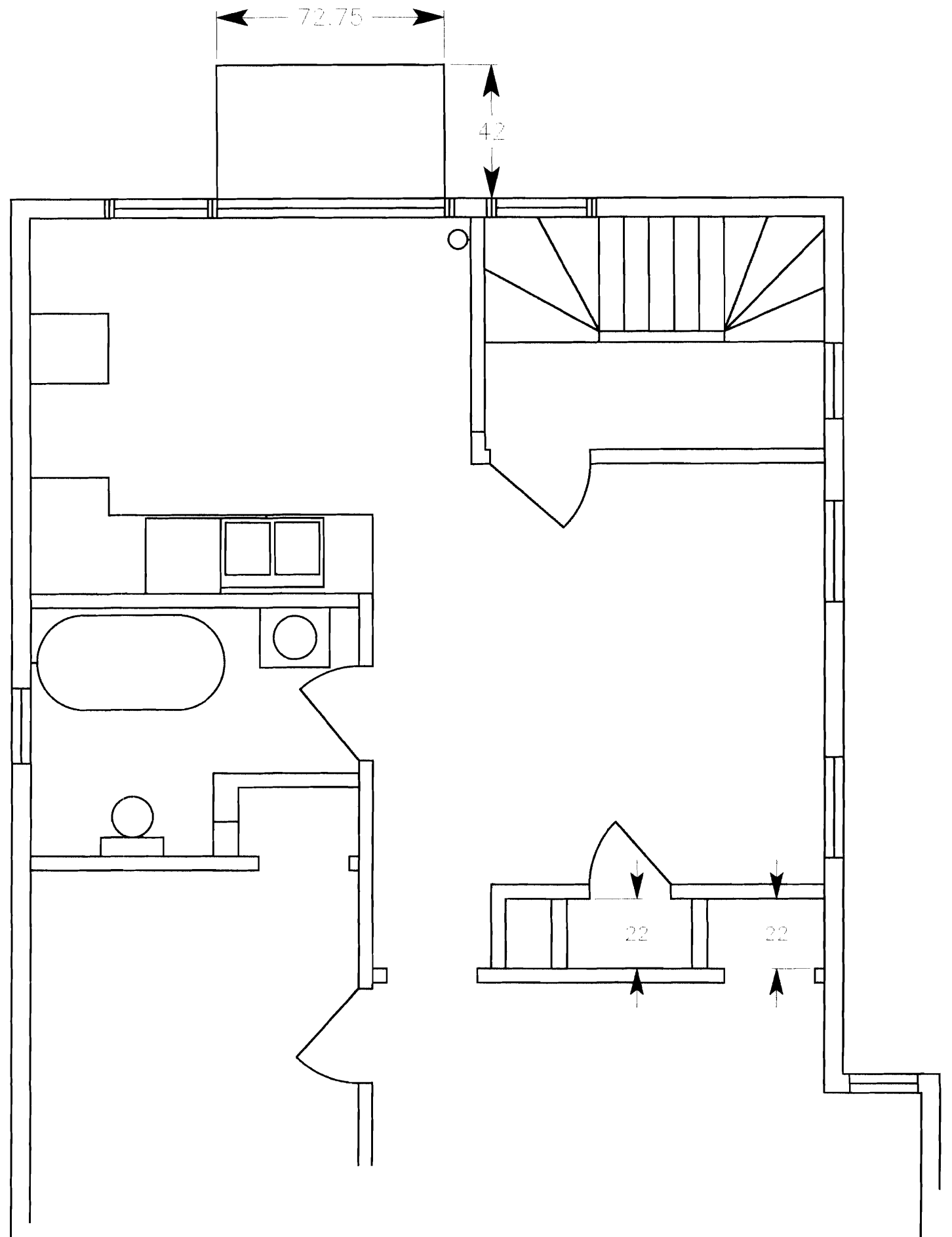
2nd Floor Ceiling / Framing.



11/28

2ND FLOOR EXISTING
& GENERAL MEASUREMENTS





2nd FLOOR NEW

Second floor plan. Kitchen, Bath and dining room

Remove plaster

Remove deep utility closet

Add 3 1/2 x 9 1/2" LVL Header (see drawing)

Remove wall and door between dining room and living room.
(non load bearing partition, no new framing needed)

Reframe existing closets from 12" to 22". Standard 2 x 4 construction

Replace existing windows on the east and west facade. Framing as required.
(Tempered glass in bathroom)

Replace window on southern exposure with 2, 29" square awning windows
(Tempered glass in lower window)

Frame for and add new six foot slider on southern exposure.

Frame for and add 29" square awning window in stairwell.
(Window at 60" above closest stair tread)

Add 3' 6" x 6' deck at slider location (see deck construction details)

New wiring and plumbing

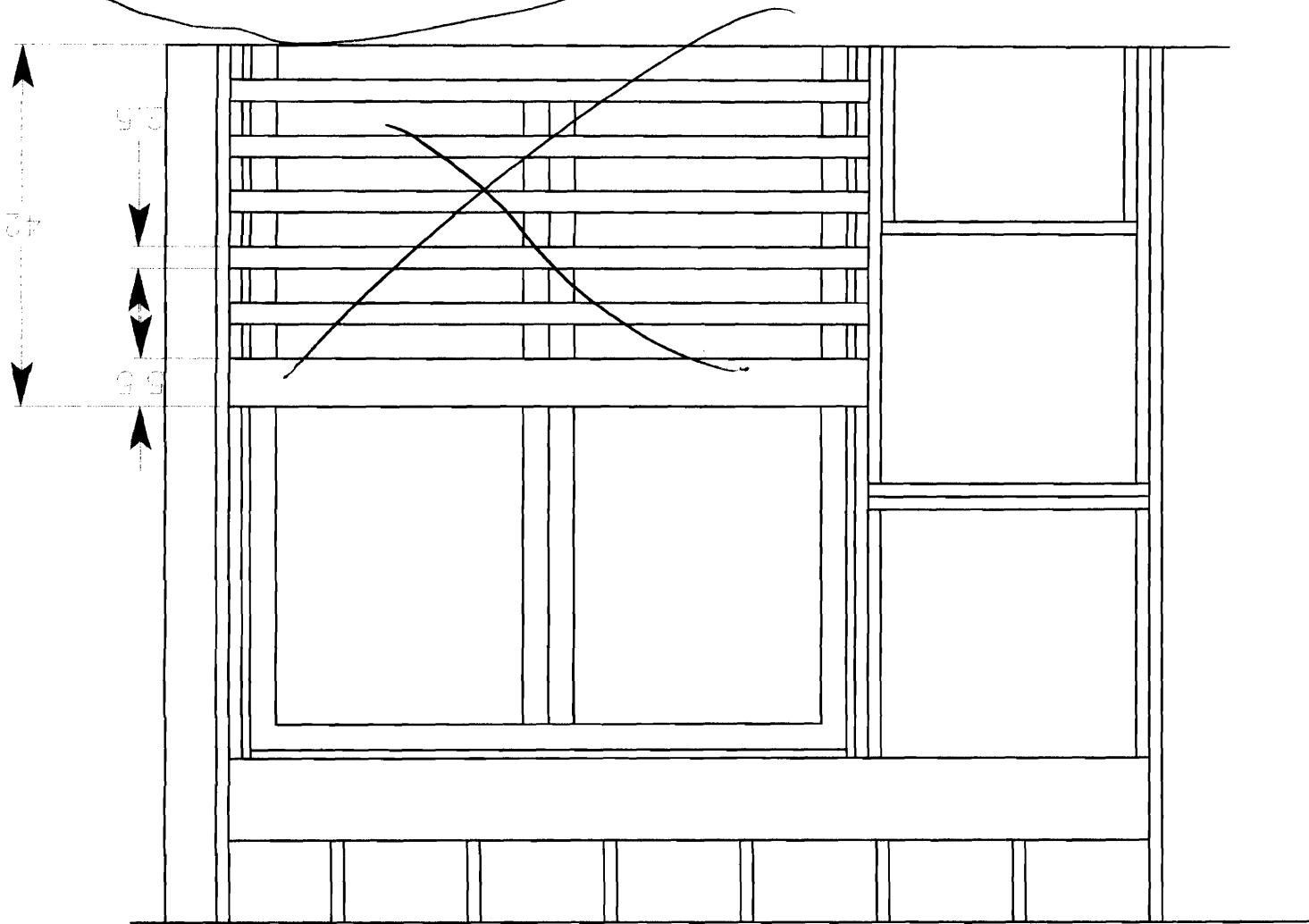
Insulation for ceiling, insulation and vapor barrier for exterior walls.

New drywall. 5/8" ceiling, 1/2" walls.

SOUTH ELEVATION INTERIOR FRAMING
WITH TEMPORARY PAIR

29/31 CREEVE ST

MDS A
NO. 2
LADDER
EFFECT



31 Cleeve St
House Renovation

Temporary interior railing

The design of the decks is proving to be out of my league. I would like to put the deck addition on hold until I can get plans from an architect/engineer.

So that the rest of the renovations can proceed sooner rather than later, I am proposing a temporary interior railing.

Top rail 2 x 6 42" above floor, screwed into framing with 4" deck screws.

Lower rails, 2 x 3 with 4" spacing, screwed into framing with 4" deck screws.

Third floor plan.
Kitchen, Bath and Dining room

Remove plaster and lath.

Remove deep utility closet.

Add 3 1/2 x 9 1/2" LVL Header (see drawing)

Remove wall and door between dining room and living room.
(non load bearing partition, no new framing needed)

Remove closets between living and dining rooms
(non load bearing partition, no new framing needed)

Reframe existing closet in bedroom from 12" to 22". Standard 2 x 4 construction

Add wall and door in stairway for new closet. Standard 2 x 4 construction

Replace existing windows on the east and west facade. Framing as required.
(Tempered glass in bathroom) NO CHANGE FROM EXISTING SIZE

Replace window on southern exposure with two 29" square awning windows
(Tempered glass in lower window) See header drawings

Frame for and add new six foot slider on southern exposure.

Frame for and add 29" square awning window in stairwell.
(Window at 60" above closest stair)

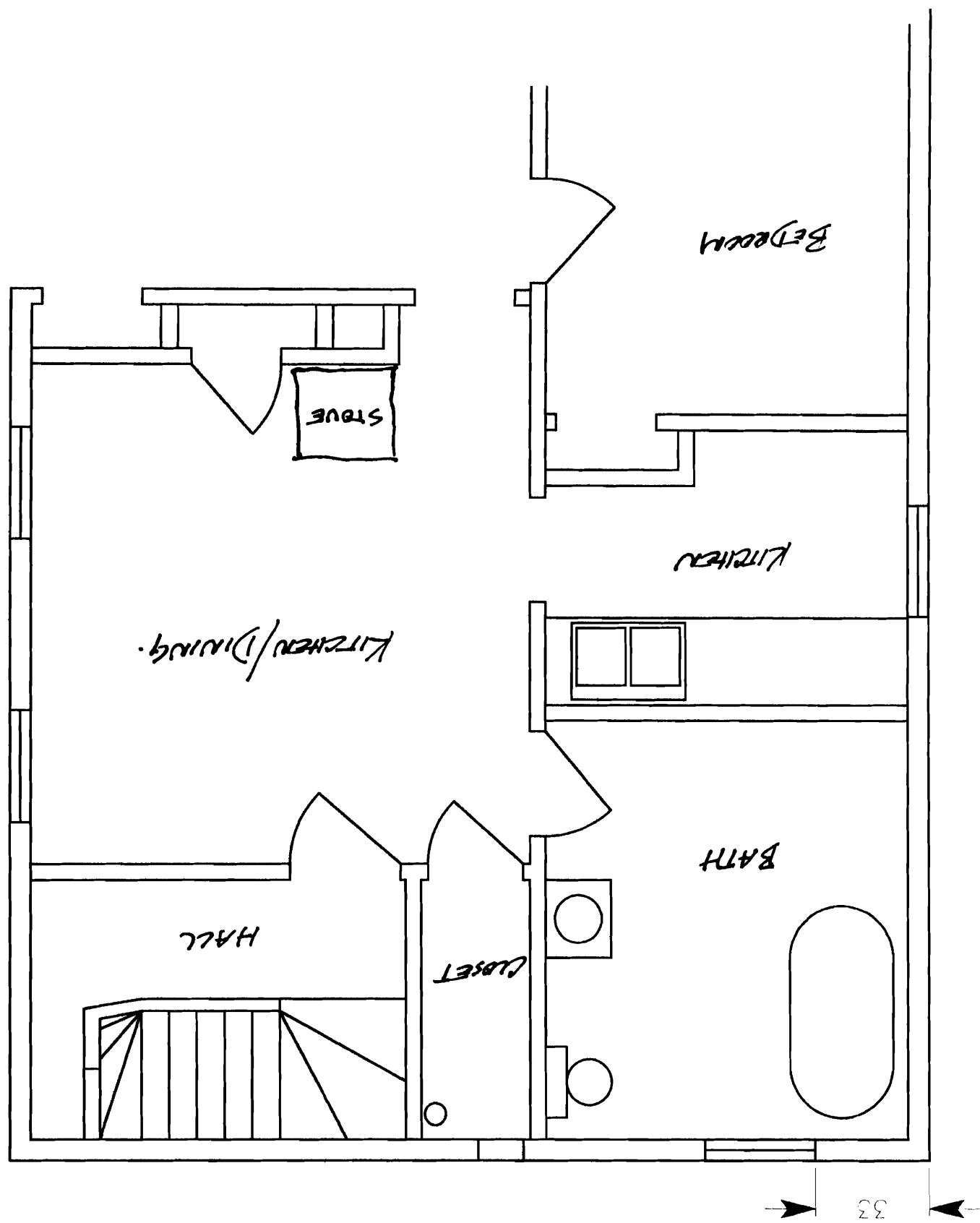
Add 3' 6" x 6' deck at slider location (see deck construction details)

New wiring and plumbing

Insulation and vapor barrier for ceiling and for exterior walls.

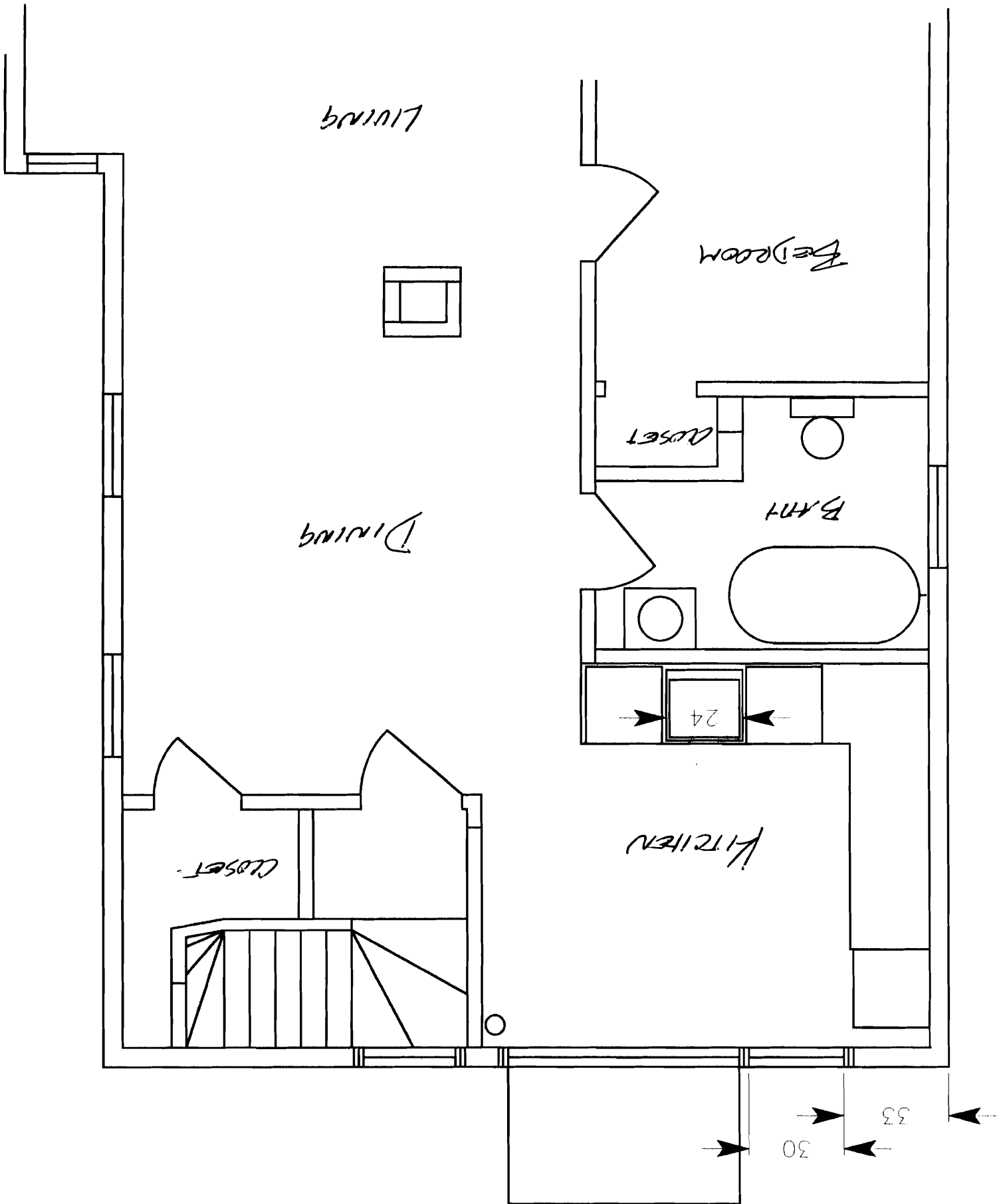
New drywall. 5/8" ceiling, 1/2" walls.

3rd Floor Existing -



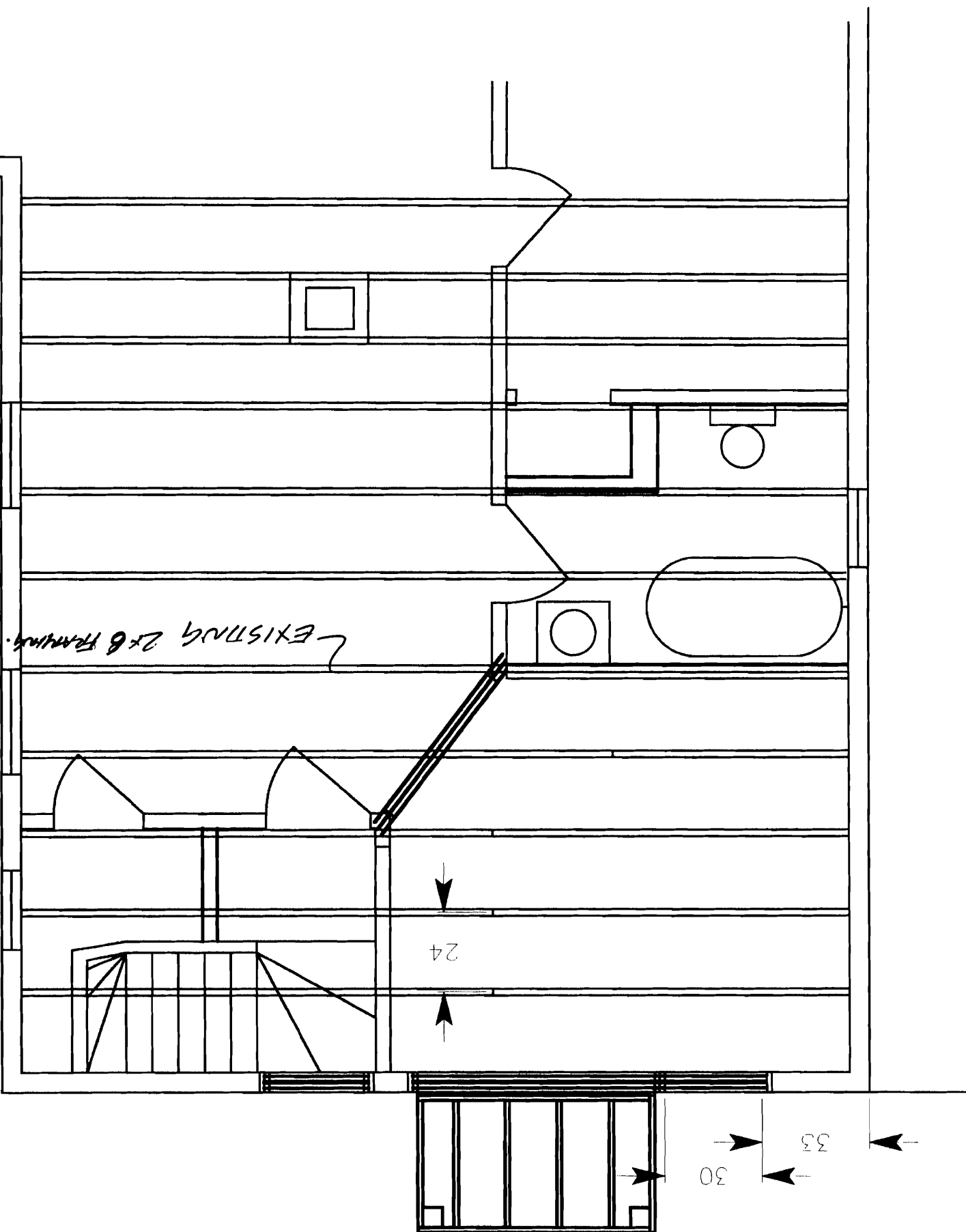
11/28

3rd Floor New.



12/2

3RD FLOOR FRAMING
CEILING / DECK



EXISTING 2x6 FRAMING

24

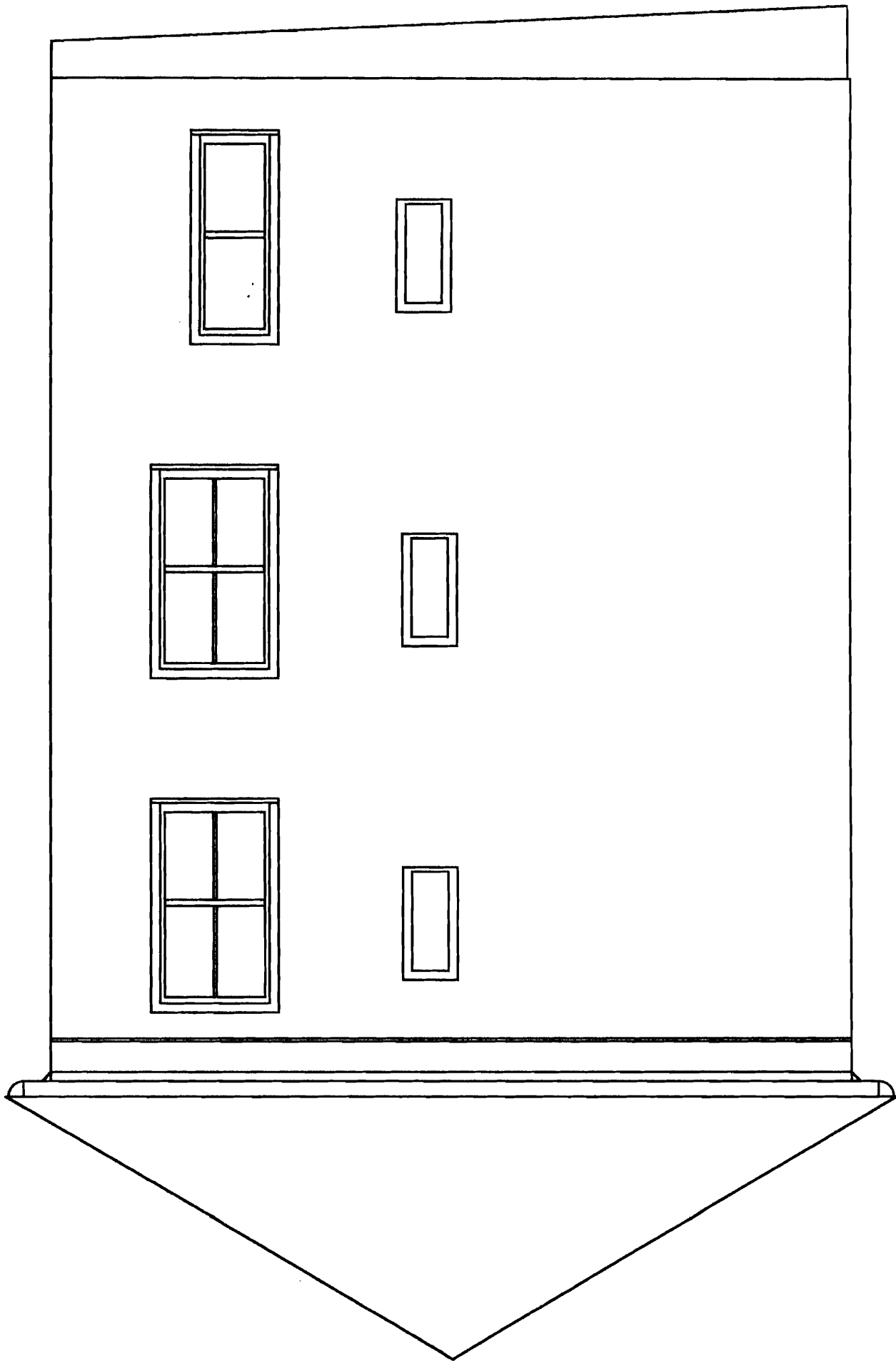
30

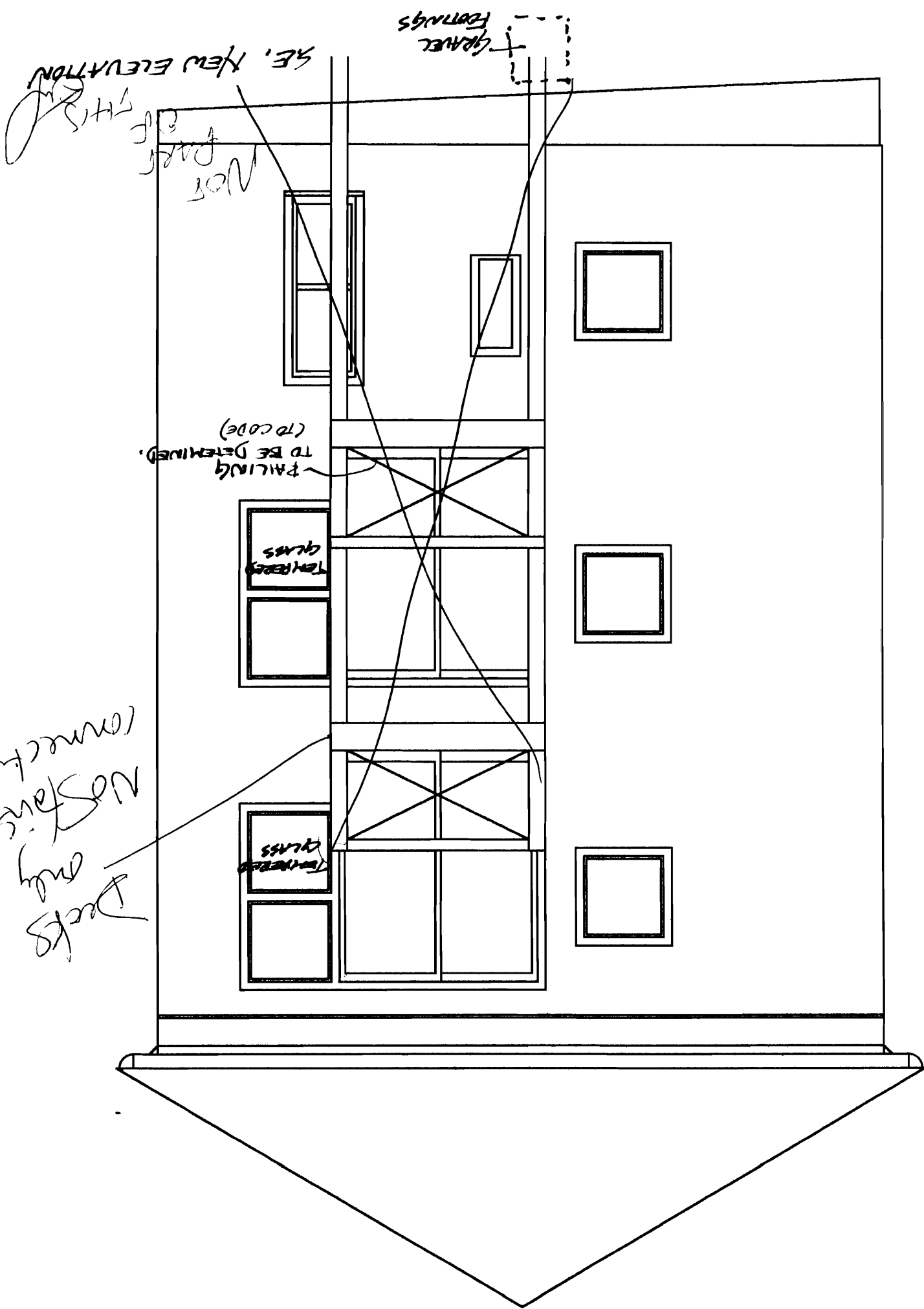
33

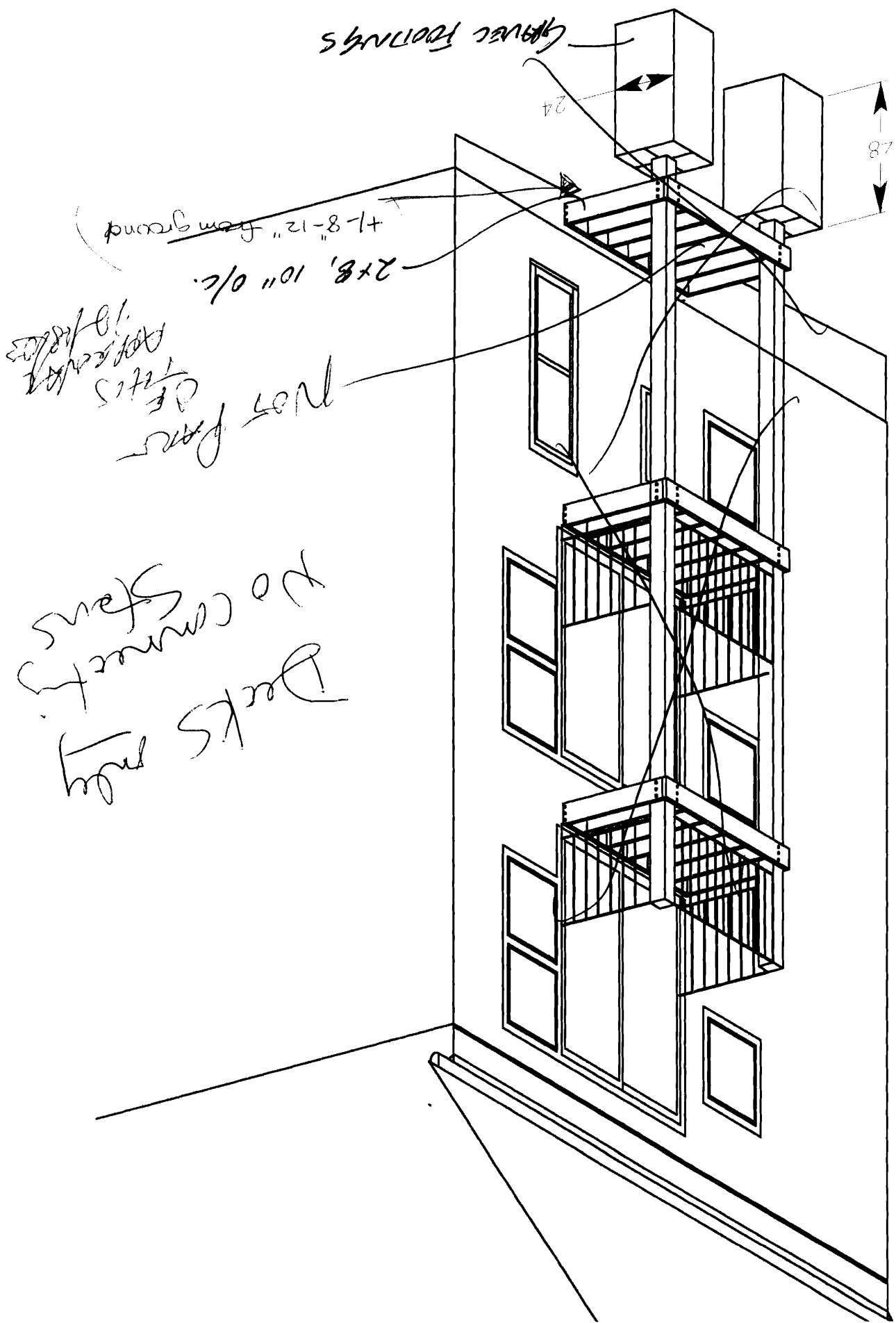
NO
PART
OF
THIS
SECTION
TO
BE
CONSIDERED

Deck construction.
Footings of Crushed stone, 24" wide, 48" deep.
Columns 6 x 6 presser treated, bolted lap joint if needed at second floor deck level.
Deck structure 2 x 8 presser treated lumber 10" on center using joist hangers
Frame of deck to be bolted together and to columns
Railings, steel 3/8 x 1 1/4 flat stock for top and bottom, 1/2" square stock for field 4" o.c.
(Top of railing to be 36" above finished deck height)
Connection to house.
3/8" bolts through existing studs of house.
Corresponding 3/8" bolts through platform frame.
Railing to be lag screwed to house and posts. 3/8" lag bolts
Deck to consist of "Trex" or similar material. 1" thick.

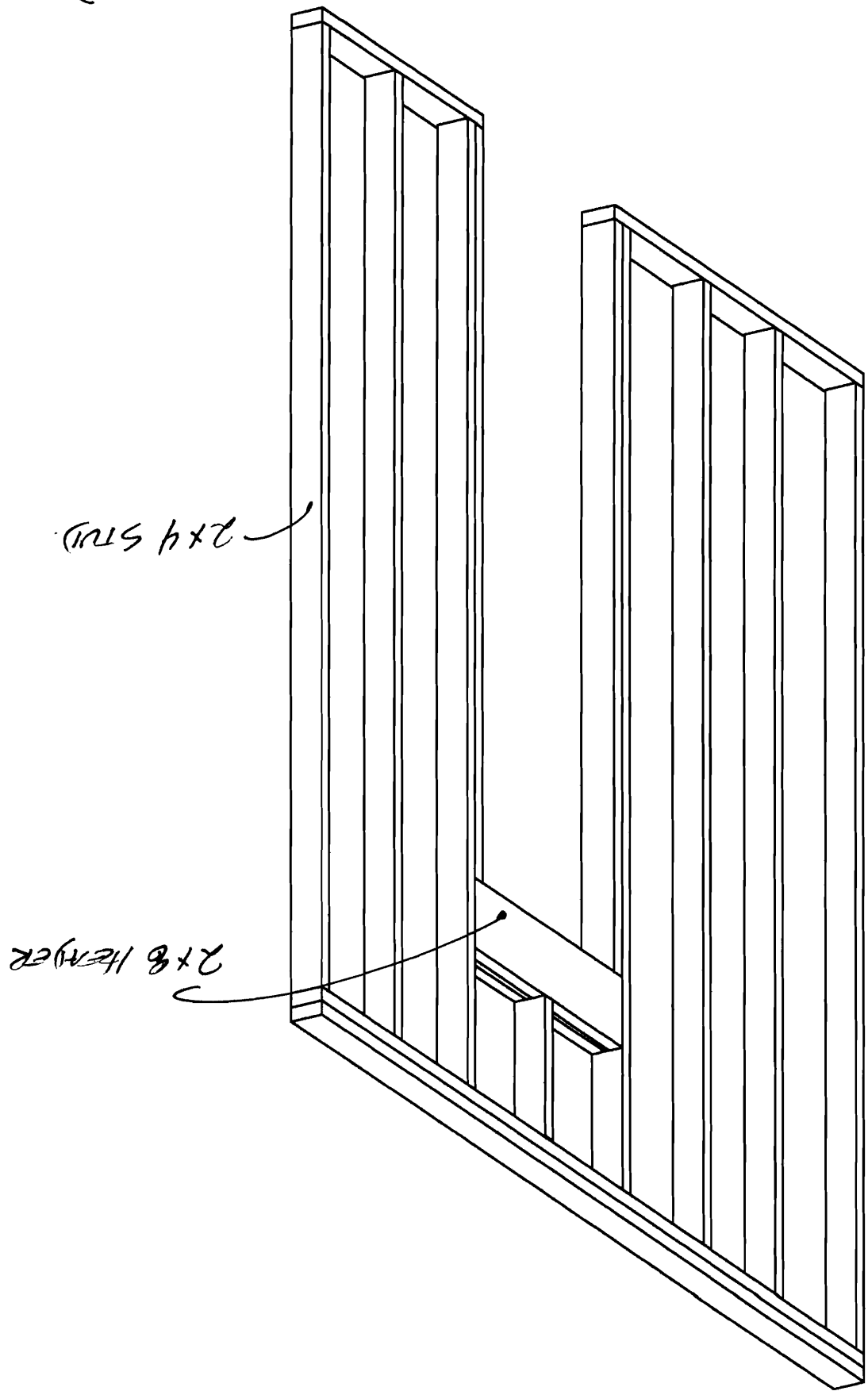
S.E. EXISTING ELEVATION



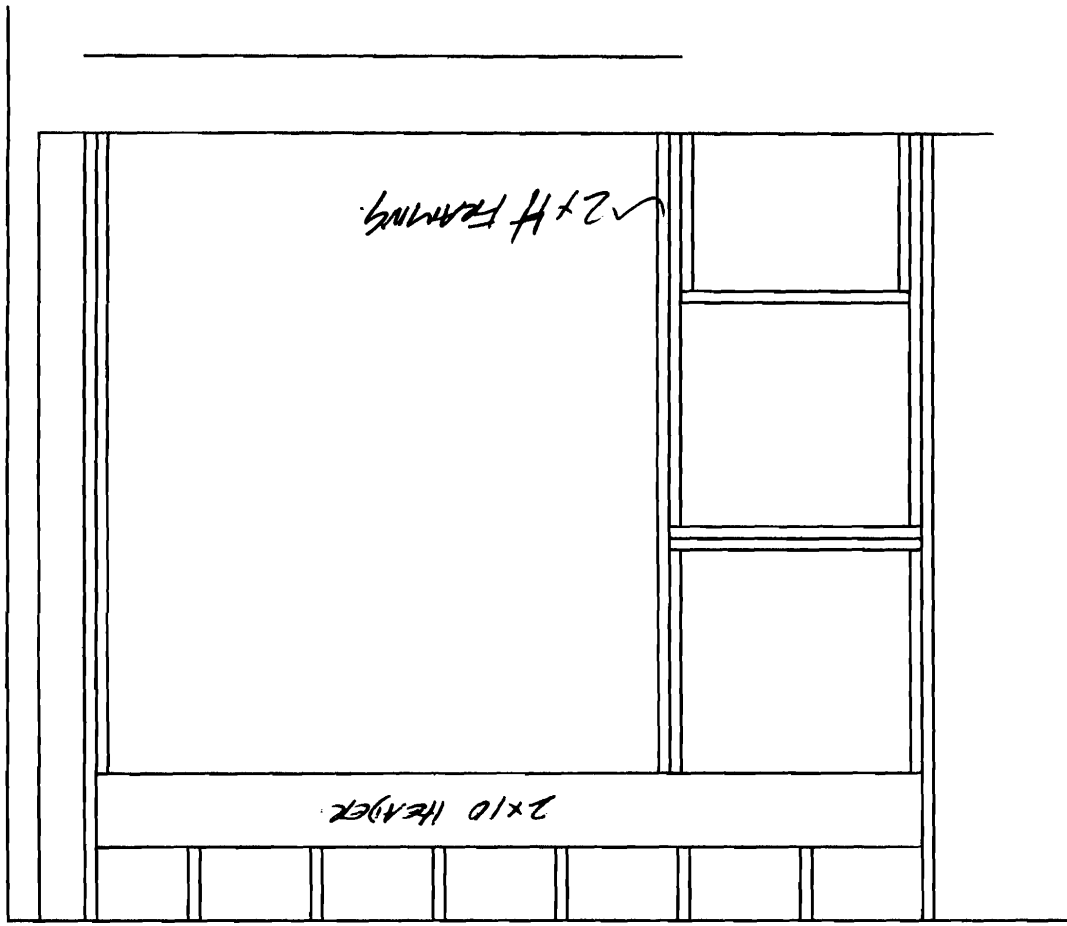




FRAMING DETAIL
(INTERIOR)



2nd/3rd
FRAMING DETAIL
S.E. ELEVATION



Stairway

Remove existing plaster and lath

Frame for three awning windows at each landing.
(2 x 8 header and 2 x 4" framing as required)

New wiring

Insulation and vapor barrier for ceiling and for exterior walls.

New drywall. 5/8" throughout.

Windows/Doors.

SOUTHERN EXPOSURE

6 Awnings windows 2'4³/₈" SQUARE.
ANDERSON A251 (2 TAMPERS)

2 SLIDERS
6'10³/₈" TALL 6'0" WIDE
ANDERSON P56R

EAST

2 TEMPERED DOUBLE HUNG.
WOODRIGHT 2052

WEST.

2 DOUBLE HUNG.
WOODRIGHT 2052
5'4⁷/₈" x 2'1⁵/₈"

4 DOUBLE HUNG
WOODRIGHT 21052
5'4⁷/₈" x 2'1⁵/₈"

STRUCTURAL STEEL NOTES

NTS

ALL STRUCTURAL STEEL WORK SHALL CONFORM TO:
 AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION, MANUAL OF STEEL CONSTRUCTION, NINTH EDITION
 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES
 STRUCTURAL STEEL MEMBERS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 ALL STEEL, UNO
 ANGLES, PLATES, BARS
 ASTM A572, GRADE 50
 ASTM A36, F_y=36 KSI
 STRUCTURAL TUBING
 ASTM A500, GRADE B, F_y=46 KSI
 BOLTED CONNECTIONS
 FIELD CONNECTIONS SHALL UTILIZE MINIMUM 3/4-INCH DIAMETER A325 HIGH STRENGTH BOLTS, UNO.
 BOLTED CONNECTION SHALL BE SLIP CRITICAL (SC) AT ALL MOMENT FRAMES, BRACED FRAMES, AND AT ADDITIONAL
 LOCATIONS INDICATED IN THE DRAWINGS. SLIP CRITICAL CONNECTIONS SHALL UTILIZE LOAD INDICATOR WASHERS
 OR TENSION CONTROL BOLTS. BOLT HOLES SHALL BE STANDARD SIZE, UNO.
 ANCHOR BOLTS SHALL CONFORM TO ASTM 307, GRADE A, STANDARD HEX HEAD FURNISHED WITH HEAVY HEX
 NUTS AND LOCK WASHERS.
 WELDED CONNECTIONS
 WELDING SHALL CONFORM TO AWS D1.1. USE LOW-HYDROGEN SMAW ELECTRODES WITH MINIMUM TENSILE STRENGTH
 OF 70 KSI.
 STRUCTURAL STEEL SHALL RECEIVE THE FOLLOWING PROTECTIVE COATINGS:
 DO NOT PAINT SURFACES TO RECEIVE METAL DECK AND/OR SHEAR CONNECTORS FASTENED BY WELDING,
 CONTACT SURFACES OF HIGH STRENGTH BOLTED CONNECTIONS, FINISHED BEARING SURFACES, AND SURFACES
 TO BE WELDED IN THE FIELD. IF REQUIRED, PROTECT THESE SURFACES BY RUST-INHIBITTING COATING THAT
 CAN BE REMOVED EASILY PRIOR TO ERECTION
 EXPOSED STRUCTURAL STEEL TO BE HOT-DIPPED GALVANIZED SHALL BE IN ACCORDANCE WITH ASTM A123.
 EXPOSED STRUCTURAL STEEL TO RECEIVE ZINC-RICH EPOXY PAINT SHALL BE FIRST CLEANED IN ACCORDANCE
 WITH SSPC-SP6, COMMERCIAL BLAST CLEANING. USE TMEC ZIN-RICH EPOXY PAINT, OR EQUIVALENT. APPLY
 FINISH COAT PER ARCHITECT.

DESIGN CRITERIA

NTS

THE FOLLOWING BUILDING CODES AND STANDARDS SHALL BE REFERENCED DURING CONSTRUCTION:
 BOCA 1999 EDITION OF THE BOCA NATIONAL BUILDING CODE
 AISC 7-98 AMERICAN SOCIETY OF CIVIL ENGINEERS, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER
 STRUCTURES
 AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION, MANUAL OF STEEL CONSTRUCTION, NINTH EDITION
 ACI 301-96 AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE
 ACI 318-95 AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 ASTM AMERICAN SOCIETY OF TESTING AND MATERIALS
 NDS NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY NATIONAL FOREST PRODUCTS
 ASSOCIATION, 2001.
 LIVE LOAD:
 BALCONY = 100 PSF
 (INCLUDES DRIFTED SNOW LOAD)
 SNOW LOADS:
 GROUND SNOW LOAD, P_g = 60 PSF
 SNOW EXPOSURE FACTOR, C_e = 1.0
 SNOW LOAD IMPORTANCE FACTOR, I = 1.0
 FLAT ROOF SNOW LOAD, P_f = 42 PSF
 MAIN WINDFORCE-RESISTING SYSTEM:
 BASIC WIND SPEED = 90 MPH
 WIND LOAD IMPORTANCE FACTOR, I = 1.1
 EXPOSURE CATEGORY = B

CONCRETE NOTES

NTS

WHERE: w/c = WATER TO CEMENT RATIO AND
 f_c = COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS
 MAXIMUM AGGREGATE SIZE SHALL BE 3/4 INCH, IN CONFORMANCE WITH ASTM C33.
 USE PORTLAND CEMENT TYPE II, IN CONFORMANCE WITH ASTM 150.
 AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C 260.
 ADMIXTURES SHALL CONFORM TO "SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE" ASTM C 494.
 FLY ASH USED AS ADMIXTURES SHALL CONFORM TO ASTM C 618.
 CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE IS NOT PERMITTED.
 MAXIMUM SLUMP AFTER THE ADDITION OF A WATER-REDUCING ADMIXTURE IS 8 INCHES.
 CONCRETE EXPOSED TO FREEZING AND THAWING, INCLUDING FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, AND
 EXTERIOR WALKWAYS SHALL BE AIR ENTRAINED WITH AIR CONTENT BETWEEN 5% AND 6%. CONTRACTOR SHALL
 NOT PLACE CONCRETE ON FROZEN GROUND OR IN WATER. ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR
 HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING NEAR-FREEZING OR FREEZING WEATHER.
 REFERENCE ACI 306, AS NOTED ABOVE, FOR RECOMMENDATIONS FOR COLD WEATHER CONCRETING.
 CONTRACTOR SHALL SUBMIT PROPOSED CONCRETE MIX DESIGN AND LABORATORY TESTS OF
 FABRICATED CYLINDERS VERIFYING CONCRETE STRENGTH OR PERFORMANCE HISTORY OF MIX TO
 ENGINEER FOR ACCEPTANCE PRIOR TO PLACEMENT OF CONCRETE. CONCRETE USED ON SITE SHALL
 BE FIELD TESTED IN ACCORDANCE WITH AND IN THE PRESENCE OF AN APPROVED TESTING AGENCY.
 FIELD TESTING INFORMATION SHALL INDICATE SLUMP, AIR CONTENT, AND TEMPERATURE. COMPRESSION
 TEST 1 CYLINDER AT 7 DAYS AND 2 AT 28 DAYS. HOLD AN ADDITIONAL CYLINDER FOR A 56 DAY BREAK.
 IF NECESSARY, PROVIDE A SET OF 4 CYLINDERS FOR EACH PLACEMENT AND PER 50 CUBIC YARDS OF
 CONCRETE PLACED. THE OWNER SHALL PAY FOR ALL CONCRETE TESTING.
 USE DEFORMED BULLET-STEEL REINFORCING BARS, GRADE 60, IN CONFORMANCE WITH ASTM A 615.
 REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED PRIOR TO CONCRETE PLACEMENT, AND
 SHALL BE SECURED AGAINST DISPLACEMENT.

LOCATION	MAX W/C RATIO	f _c
FOUNDATIONS, FOOTINGS & FOUNDATION WALLS	.52	3,000 PSI
SLAB-ON-GRADE	.50	4,000 PSI

REQUIRED CONCRETE PARAMETERS ARE AS FOLLOWS:
 ACI 318 AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 ACI 301 AMERICAN CONCRETE INSTITUTE SPECIFICATIONS FOR STRUCTURAL CONCRETE
 ACI 305 STANDARD SPECIFICATIONS FOR HOT WEATHER CONCRETING
 ACI 306 STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING
 ACI 308 STANDARD PRACTICE FOR CURING CONCRETE
 ALL CONCRETE WORK, INCLUDING MATERIAL SELECTION, ADMIXTURES, MIXING, AND PLACEMENT OF
 CONCRETE SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES. IN ADDITION, REFERENCE
 THE FOLLOWING CONCRETE STANDARDS AND SPECIFICATIONS:
 AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 AMERICAN CONCRETE INSTITUTE SPECIFICATIONS FOR STRUCTURAL CONCRETE
 ACI 301
 ACI 305
 ACI 306
 ACI 308

DEPT. OF BUILDING
 CITY OF PORTLAND
 RECEIVED
 MAR 15 2004

STATE OF MAINE
 CAROLYN BIRD
 REGISTERED PROFESSIONAL ENGINEER
 # 9966

50

DESIGNED: ED
 DRAWN: ED
 DATE: 2-23-04
 CADD FILE: 4010-SIDWG
 PROJECT No: 4010

GENERAL NOTES

SHEET TITLE:

No.	DATE	ISSUE

EXTERIOR DECK

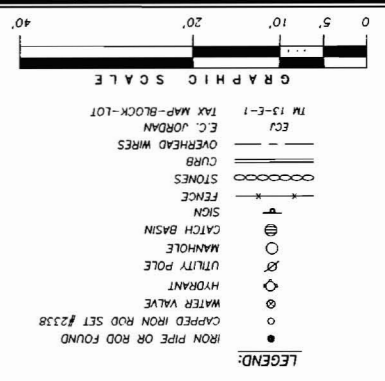
PORTLAND MAINE

CLIENT:
 GREG MARTIN
 31 CLEEVE STREET
 PORTLAND, ME 04101

90 Hodson Road
 Pownal, ME 04069
 Tel/Fax 207.688.4630

CASCO BAY ENGINEERING

Amendment to permit #03-1473



PLAN REFERENCES

1. PLAN FOR NU CARPENTER AND MICHEL BOCAL BY LEWIS AND WASSINA DATED 9/23/96 WITH REVISIONS DATED 6/4/97 AND 12/8/97 SEPTEMBER 14, 2001 AND RECORDED IN BOOK 16748 PAGE 129 OF THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. PLAN OF OXFORD STREET DATED JULY 1925 LABELED "NO. 42" OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
3. E.C. JORDAN WORKSHEETS AND PLANS SHOWING LANDS SURVEYED ON THIS BLOCK FROM 1877-1938.

NOTES

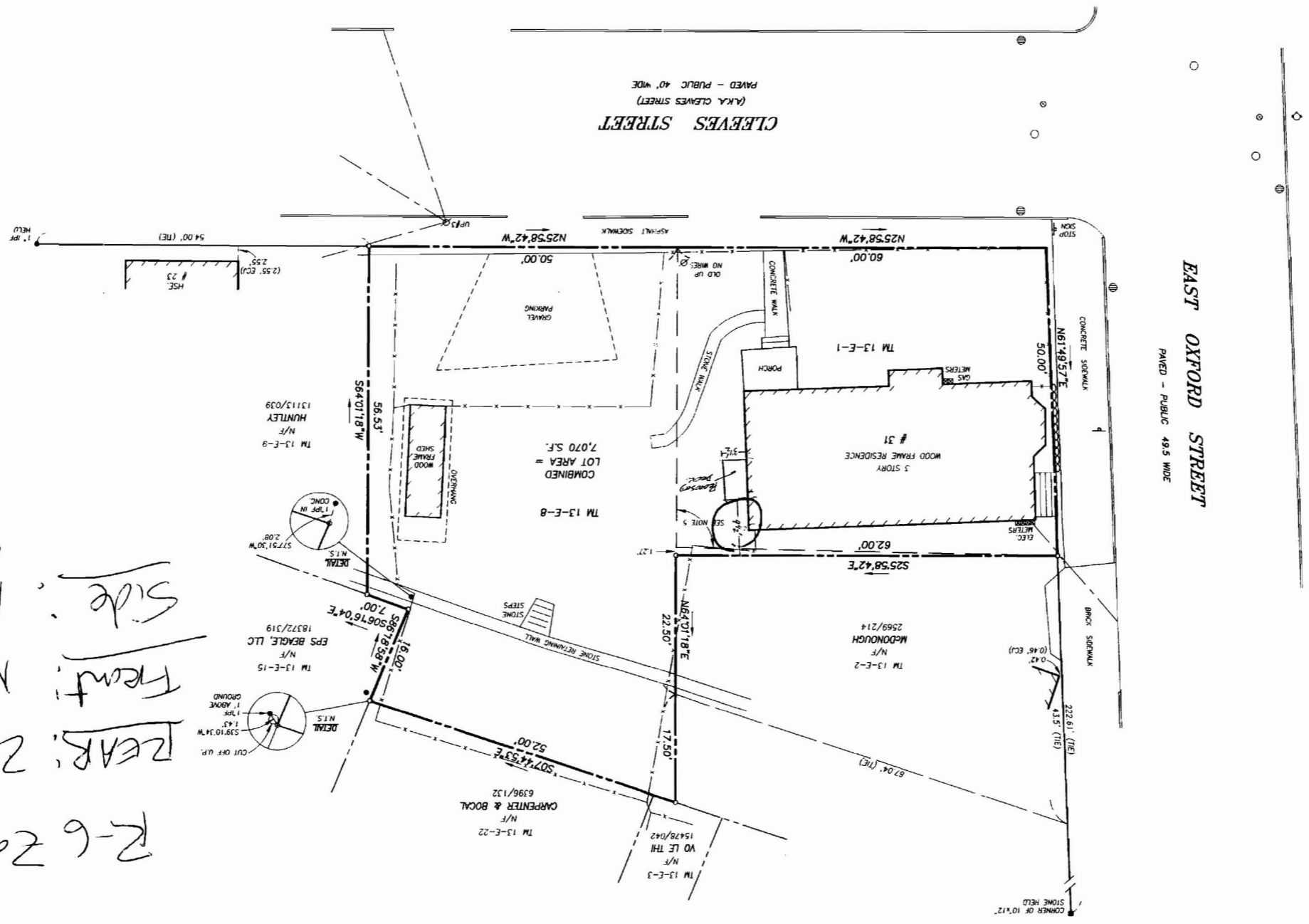
1. OWNER OF RECORD IS GREGORY S. MARTIN BY WARRANTY DEED DATED SEPTEMBER 14, 2001 AND RECORDED IN BOOK 16748 PAGE 129 OF THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. BEARINGS ARE MAGNETIC IN THE YEAR 2003.
3. STREET LINES WERE ESTABLISHED USING INFORMATION PROVIDED BY THE CITY OF PORTLAND AND TIES FROM E.C. JORDAN PLANS REFERENCED AS # 2 AND 3.
4. THE DEED REFERENCED FOR TM 13-E-3 WAS NOT FOUND AS LISTED BY THE CITY ASSESSORS OFFICE.
5. THERE IS A DISCREPANCY IN THE DEEDS IN THIS AREA. THE LINE DESCRIBED IN 2569/214 WAS CLEAR AND SAID LINE WAS REFERRED TO IN 16748/129 AND WAS HELD.

CERTIFICATION

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN WAS PREPARED ON THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF. IT CONFORMS TO THE CURRENT STANDARDS OF PRACTICE.
 DATE: 10/17/03
 Signature: Owen Haskell
 License No. 16338

Job No.	2003-203P
Date	OCT. 17, 2003
Drawn By	JMW
Checked By	JMW
Scale	1" = 10'
Drawn No.	981
Book No.	16338

BOUNDARY SURVEY
 AT
 31 CLEEVES STREET, PORTLAND, MAINE
 MADE FOR
 GREGORY S. MARTIN
 31 CLEEVES STREET, PORTLAND, MAINE
OWEN HASKELL, INC.
 PROFESSIONAL LAND SURVEYORS
 16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424



Handwritten notes:
 R-6 Zone
 REAR: 20' req - 20' + Shan
 Front: N/A
 Side: 10' normally req
 9.5' shown in 10' + Shan
 Walk Parise 14-433
 Interior Pipe & Windows
 Under location

