

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING DEPARTMENT

### PERMIT

Permit Number: 101192

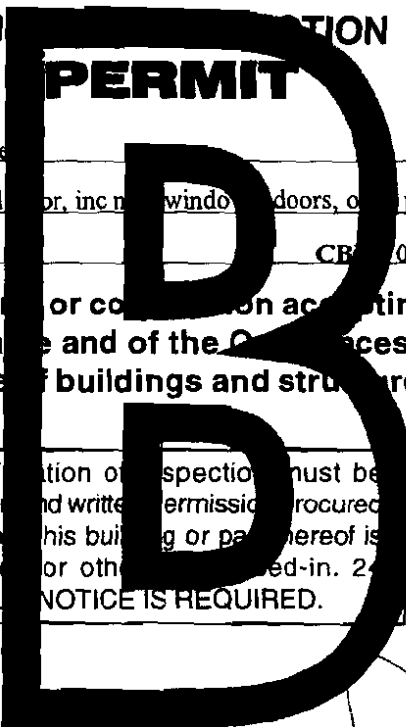
### PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that GAO ALICE YU/Mark Glennis  
has permission to renovations of back park of 3rd or, inc new window doors, or partitions, re-orient stairway  
AT 14 CLEEVE ST CB# 1013 D011001

OCT 18 2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

[Signature] 10/18/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1192	Issue Date:	CBL: 013 D011001
-----------------------	-------------	---------------------

Location of Construction: 14 CLEEVE ST	Owner Name: GAO ALICE YU	Owner Address: 14 CLEEVE ST	Phone: 607-329-4471
Business Name:	Contractor Name: Mark Glennie	Contractor Address: 516 Cape Road Standish	Phone: 2076424596
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-2

Past Use: 3 unit residential	Proposed Use: 3 unit residential - renovations of back part of 3rd floor, inc new windows, doors, open partitions, re-orient stairway <i>legal use 3 d.u</i>	Permit Fee: \$170.00	Cost of Work: \$15,000.00	CEO District: 1	(3,288 sq ft)
---------------------------------	--	-------------------------	------------------------------	--------------------	---------------

FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group R-2 Type SB IBC-2003
--	--

Proposed Project Description: renovations of back part of 3rd floor, inc new windows, doors, open partitions, re-orient stairway	Signature: <i>(KL)</i>	Signature: <i>JMB 10/18/10</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 09/23/2010	<b>Zoning Approval</b>
-----------------------------	---------------------------------	------------------------

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland <i>all work w/m existing footprint</i></p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>9/20/10 ABK</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>ABK</i></p> <p>Date: _____</p>
---	---	---	--

**PERMIT ISSUED**

OCT 18 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

10/18/10 - Please have contractor submit specs  
for engineered beam - forgot to add to  
conditions JanB

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-1192	<b>Date Applied For:</b> 09/23/2010	<b>CBL:</b> 013 D011001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 14 CLEEVE ST	<b>Owner Name:</b> GAO ALICE YU	<b>Owner Address:</b> 14 CLEEVE ST	<b>Phone:</b> 607-329-4471
<b>Business Name:</b>	<b>Contractor Name:</b> Mark Glennie	<b>Contractor Address:</b> 516 Cape Road Standish	<b>Phone:</b> (207) 642-4596
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	

<b>Proposed Use:</b> 3 unit residential - renovations of back park of 3rd floor, inc new windows, doors, open partitions, re-orient stairway	<b>Proposed Project Description:</b> renovations of back park of 3rd floor, inc new windows, doors, open partitions, re-orient stairway
---	--

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 09/30/2010**Note:**      **Ok to Issue:** 

- 1) This permit is being issued with the condition that all the work is taking place within the existing footprint.
- 2) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:****Note:**      **Ok to Issue:** 

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant, with revisions dated 10/18/10. Any deviation from approved plans requires separate review and approval prior to work.
- 4) Those renovating dwellings shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 10/01/2010**Note:**      **Ok to Issue:** 

- 1) The entire structure shall comply with Chapter 10 of the Portland City Code for "Existing Apartments." Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 2) All construction shall comply with City Code Chapter 10.

**Comments:**

10/15/2010-jmb: Spoke to Yu Gao for clarification of the stair reconfiguration, 2nd floor plan, is there a new bath, handrails, fire barriers with STC 50. She will schedule a meeting with the contractor. Met with Mark G. In the office, he will submit stair plans per IRC as they will be within the unit, a 2nd floor plan, handrail detail and tempered window in stair.

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

**Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

**Final inspection required at completion of work.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



**CITY OF PORTLAND, MAINE**  
 Department of Building Inspections

**Original Receipt**

\_\_\_\_\_ 10.18 2010 \_\_\_\_\_

Received from Yu Alice Gao

Location of Work 14 Cleves

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 200

Building (11) \_\_\_\_\_ Plumbing (15) \_\_\_\_\_ Electrical (12) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

Stopwork order #100  
 Billed fee #100

CBL: 12-D-11

Check #: 1393

Total Collected: 200

**No work is to be started until permit issued.  
 Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
 YELLOW - Office Copy  
 PINK - Permit Copy



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

9.23 20 10

Received from Yu Alice Gao

Location of Work 14-16 Chevr-

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 170

Building (1L) \_\_\_\_\_  Plumbing (1S) \_\_\_\_\_  Electrical (12) \_\_\_\_\_  Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 13 D11

Check #: 1382 Total Collected \$ 170

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>14-16 Cleave Street, Portland, ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>630 sq ft.</u>	Square Footage of Lot <u>3288</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# <u>013</u> Block# <u>D011</u> Lot# <u>001</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Yu Alice Gao</u> Address <u>16-3 Cleave Street</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>607-329-4471</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>15,000.00</u> C of O Fee: \$ <u>0</u> Total Fee: \$ <u>170</u>
Current legal use (i.e. single family) <u>3-UNIT MULTI</u> Number of Residential Units <u>3</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>RENOVATION OF BACK PART OF 3RD FLOOR OWNERS UNIT. INCLUDING NEW WINDOWS + DOORS, OPEN PARTITIONS, RE-ORIENT STAIRWAY</u>		
Contractor's name: <u>MARK GLENNIE</u>		
Address: <u>516 CAPE RD</u>		
City, State & Zip <u>STANDISH ME 04084</u>		Telephone: <u>756-1217</u>
Who should we contact when the permit is ready: <u>YU ALICE GAO</u>		Telephone: <u>607-329-4471</u>
Mailing address: <u>P.O. Box 7490, Portland, ME 04112, email: gava@comring.com</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov) or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED  
SEP 23 2010  
City of Building Inspections  
City of Portland Maine

Signature: \_\_\_\_\_ Date: Sept 23, 2010

This is not a permit; you may not commence ANY work until the permit is issued





# Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

## One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bears their seal; you will need the City of Portland forms for the Certificate of Design, Certificate of Design application and Accessibility Building Code Certificate.

- A statement of special inspections as required per Chapter 17 of the IBC 2003  
i.e.: [http://www.acec.org/coalitions/CASE/case1004/statement\\_of\\_si.doc](http://www.acec.org/coalitions/CASE/case1004/statement_of_si.doc)
- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IEBC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are also required if original plans are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Yu Alice Gao  
16-3 Cleeve Street  
Portland, ME 04101

September 23, 2010

To whom it may concern:

I am writing to apply for a permit to remodel the owner occupied 3<sup>rd</sup> floor (top floor) unit at 14-16 Cleeve Street in Portland. All the work to be done will be interior and no change of usage.

I provided here the information regarding the existing floor layout, new floor plan, details of the work, window and door schedule, electrical and plumbing layout.

If you have any questions and need more information, please contact me at 607-329-4471. Thank you very much.

Sincerely,



Yu Alice Gao

(the space above is reserved for recording information)

**WARRANTY DEED**  
Maine Statutory Short Form

MAINE REAL ESTATE TAX PAID

**KNOW ALL MEN BY THESE PRESENTS**, That **SAMEULLAH SHAHED** of Portland, County of Cumberland and State of Maine, for consideration paid, grant to **YU ALICE GAO** having a mailing address of PO Box 7490, Portland, Maine 04112, with **WARRANTY COVENANTS**, the land in Portland, in the County of Cumberland and State of Maine, described as follows:

A certain lot or parcel of land, with the buildings thereon, situated on the Westerly side of Cleeve Street in said Portland and bounded and described as follows:

**Beginning** at a stake Two hundred and twenty-two and four tenths (222.4) feet Southerly from the southwest corner of Cleeve and Oxford Streets and at the southeast corner of land now or formerly of Dennis M. Conley's lot;

Thence southwesterly by said Conley's land sixty-five (65) feet, more or less, to land now or formerly of S. J. Anderson;

Thence southeasterly by said Anderson's land and nearly parallel with Cleeve Street to land now or formerly owned by A.M. Wilson;

Thence nearly northeasterly by said Wilson's land and land now or formerly of J.L. Rackleff to Cleeve Street;

Thence northwesterly by said Cleeve Street to the **point of beginning**.

Being the same premises conveyed to Sameullah Shahed pursuant to a deed from William E. Bonnvie and Sally K. Bonnvie dated September 16, 2004 and recorded in Cumberland Registry of Deeds in Book 21803, Page 19.

WITNESS my hand this 30<sup>th</sup> day of August, 2010.

SIGNED, SEALED AND DELIVERED  
IN PRESENCE OF:

Witness

Sameullah Shahed

STATE OF MAINE  
CUMBERLAND COUNTY, ss.

August 30, 2010

Personally appeared the above named Sameullah Shahed and acknowledged the foregoing instrument to be his free act and deed.

Before me,

  
Eric J. Schaeffer, Attorney-At-Law

ERIC J. SCHAEFFER ATTORNEY AT LAW

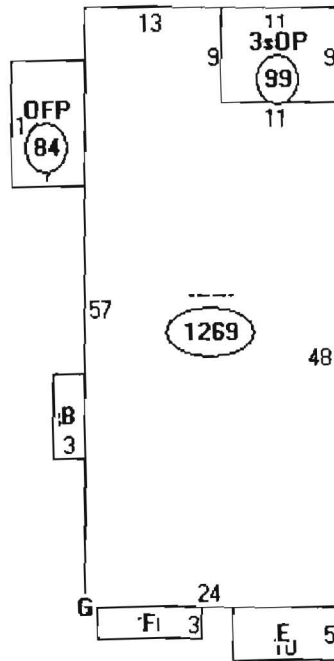
After recording return to:

Yu Alice Gao  
PO Box 7490  
Portland, Maine 04112

zdr/clients/rms4639/deed/krd/mjk

Received  
Recorded Register of Deeds  
Sep 01, 2010 10:14:47A  
Cumberland County  
Pawela E. Lovley

building sketch.

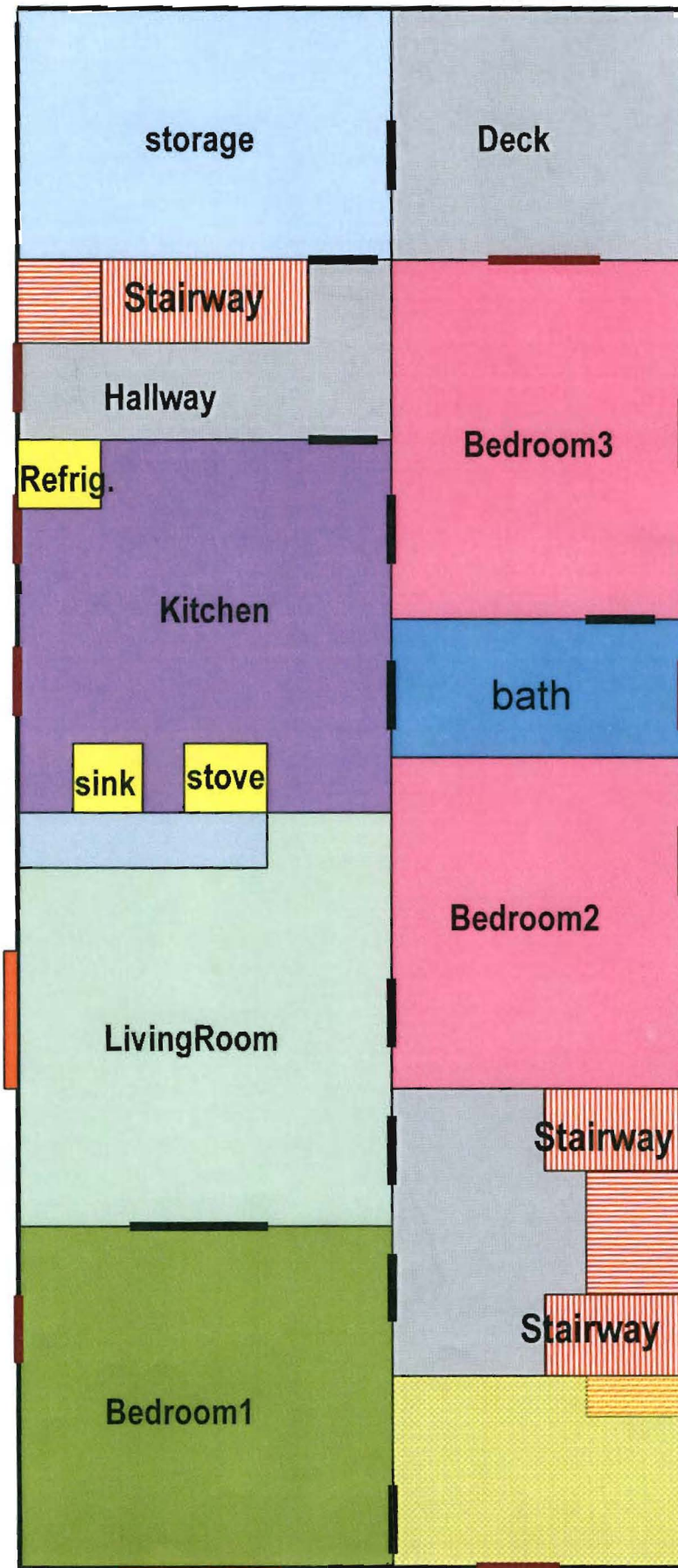




4-16 Cleeve St.  
Portland

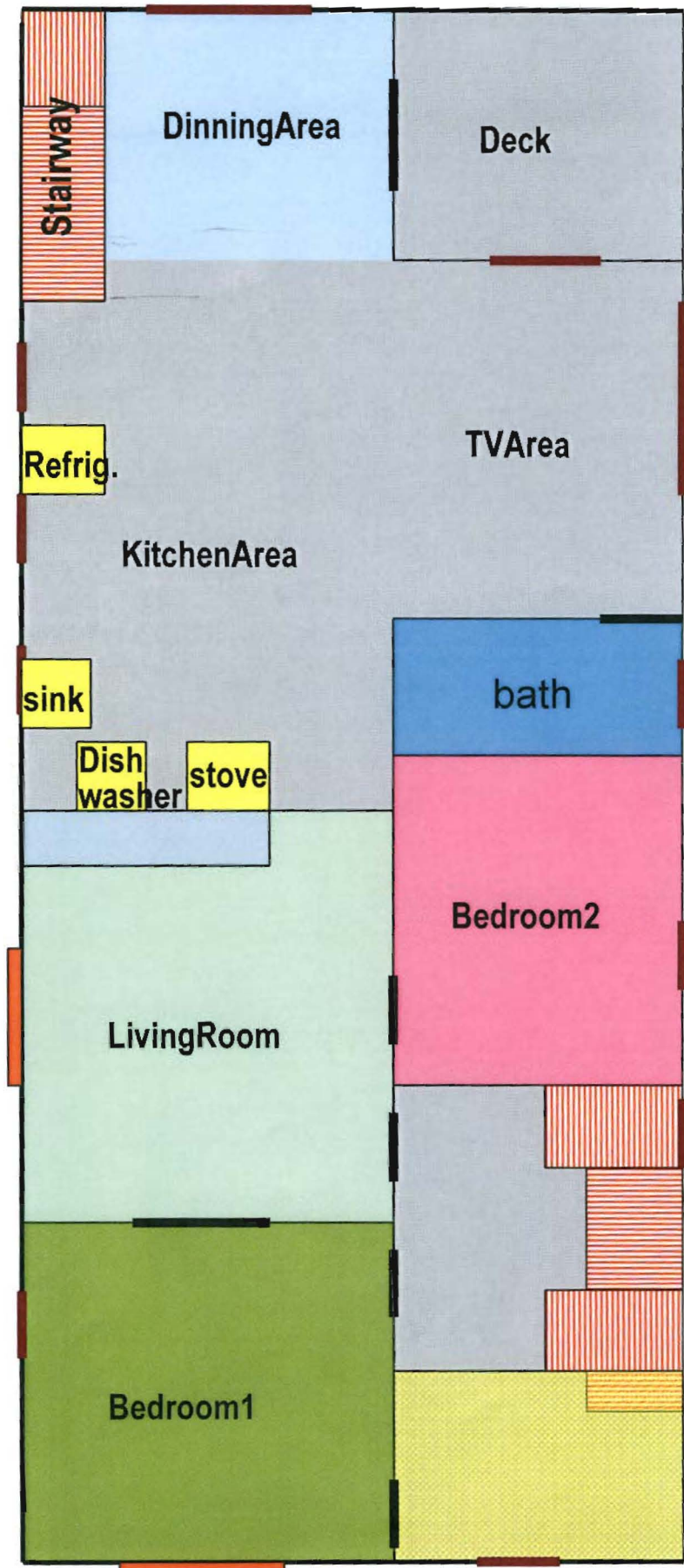
3<sup>rd</sup> floor  
existing floor  
layout

owner  
occupied



4-16 Cleeve St.  
Portland

3rd floor  
New floor  
Plan





14-16 cleve street

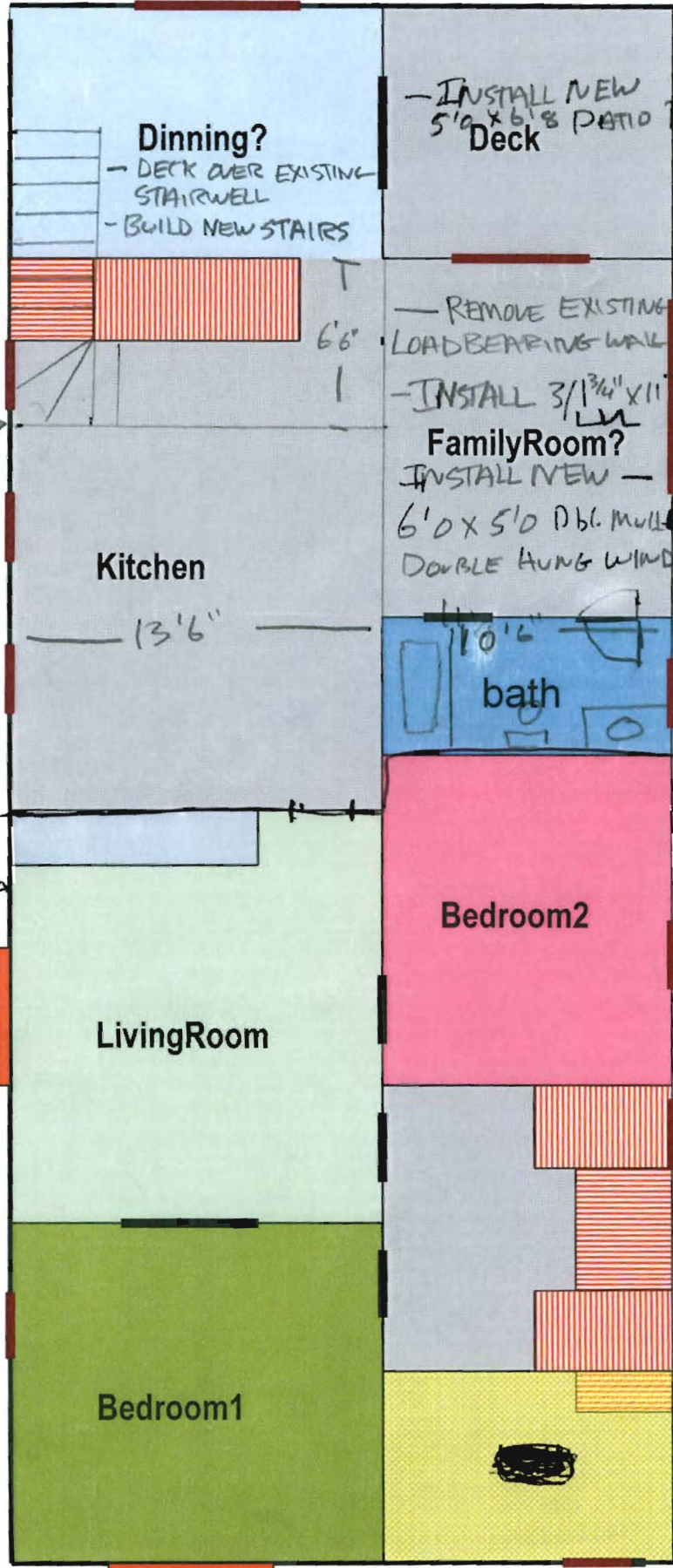
INSTALL NEW 6'0" X 5'0" DOUBLE MULLED DOUBLE HUNG WINDOW - HEADERS 2/2X10 w/ 1/2 plywood FILLER

3rd floor

REMOVE EXISTING 1/2" - LOAD BEARING WALL

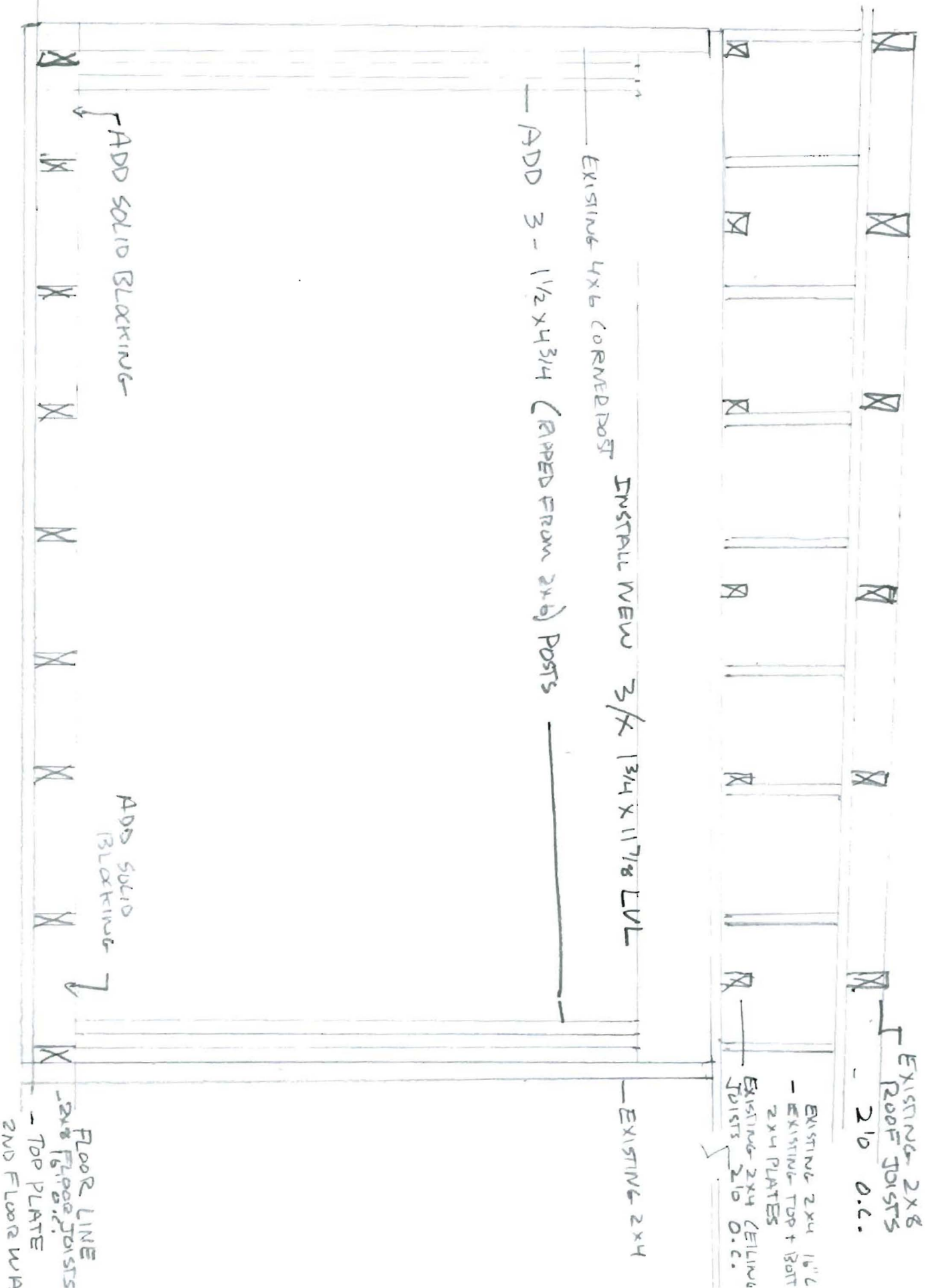
WORK AREA

NO WORK BEING DONE IN THIS AREA





ELEVATION FOR NEW LVL BEAM BETWEEN FAMILY ROOM AND KITCHEN



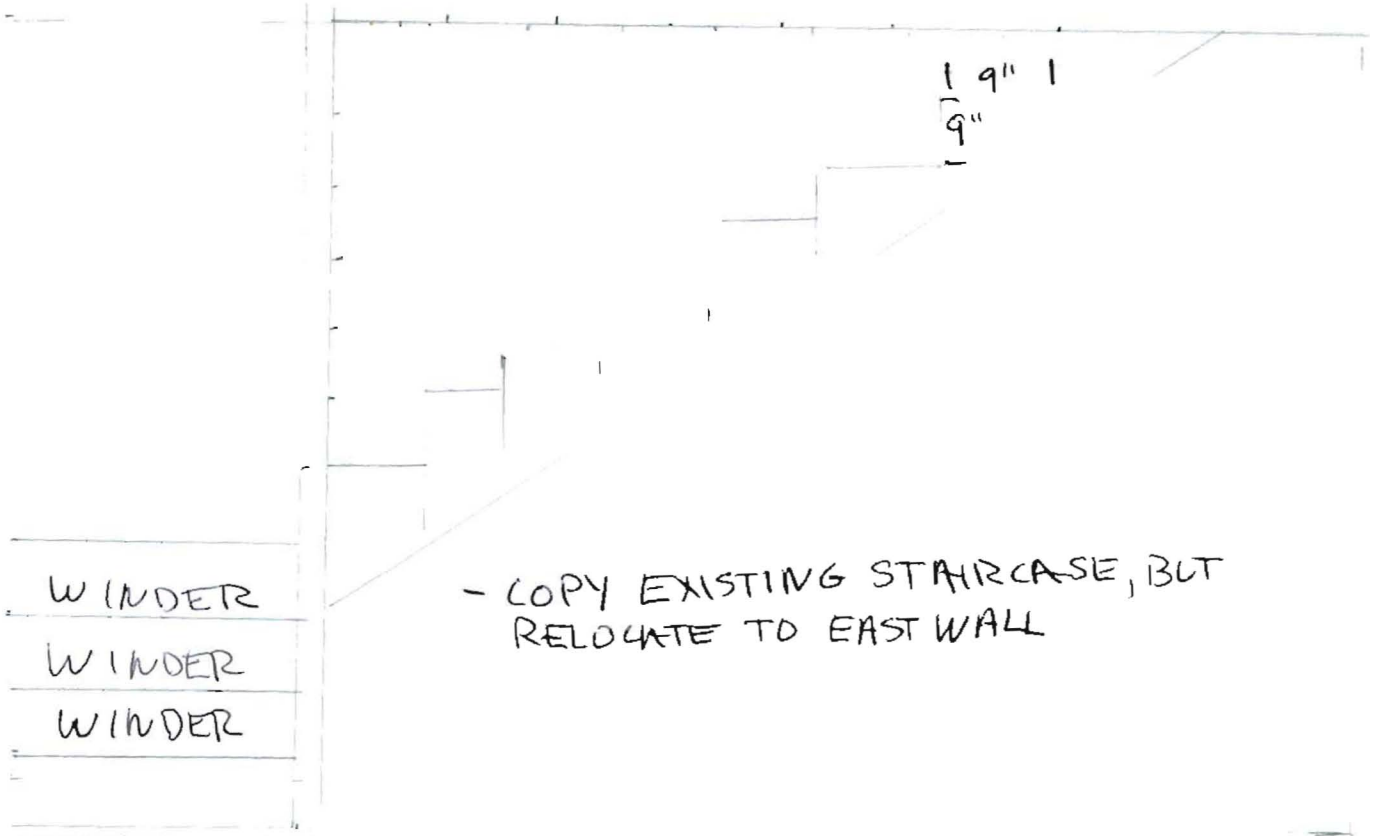
## DOOR + WINDOW SCHEDULE

- 2 | 6'0" X 5'0" DOUBLE HUNG MULLED (3'0" + 3'0")  
ALLIANCE NEW CONSTRUCTION VINYL WINDOWS
- 1 | 5'0" X 6'8" PATIO ~~#~~ DOOR / 2 OPERATING PANELS
- 1 | 2'8" X 6'8" 6 PANEL STEEL FIRE DOOR

## INSULATION SCHEDULE

- UPGRADE CEILING OVER 3RD FLOOR TO R-38
- CEILING OVER DINING AREA R-38
- ALL ~~#~~ EXTERIOR WALLS R-13
- INTERIOR PARTITIONS R-13
- ALL OPEN FLOOR JOISTS IN DINING / STAIRWELL AREA R-19

## STAIR ELEVATION



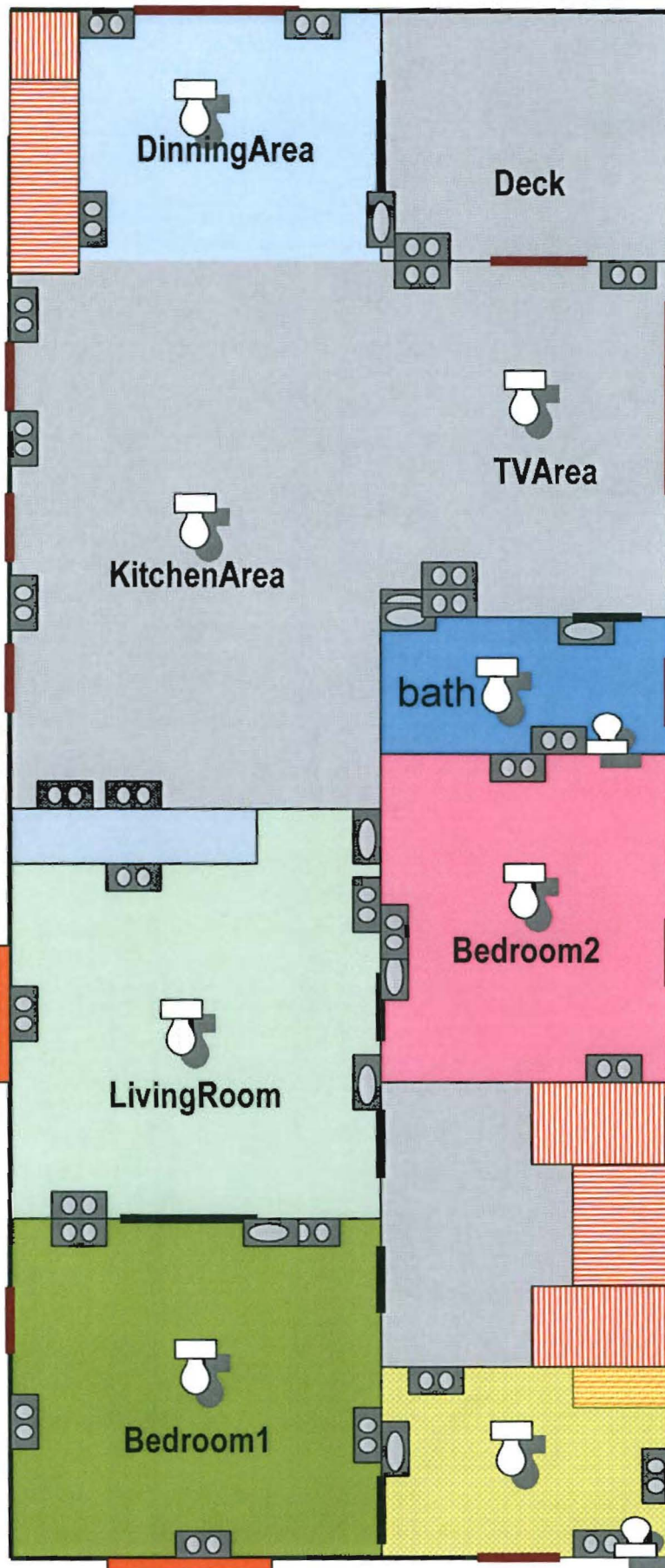
14-16 Cleeve St.  
Portland

3<sup>rd</sup> floor

Electrical  
Layout

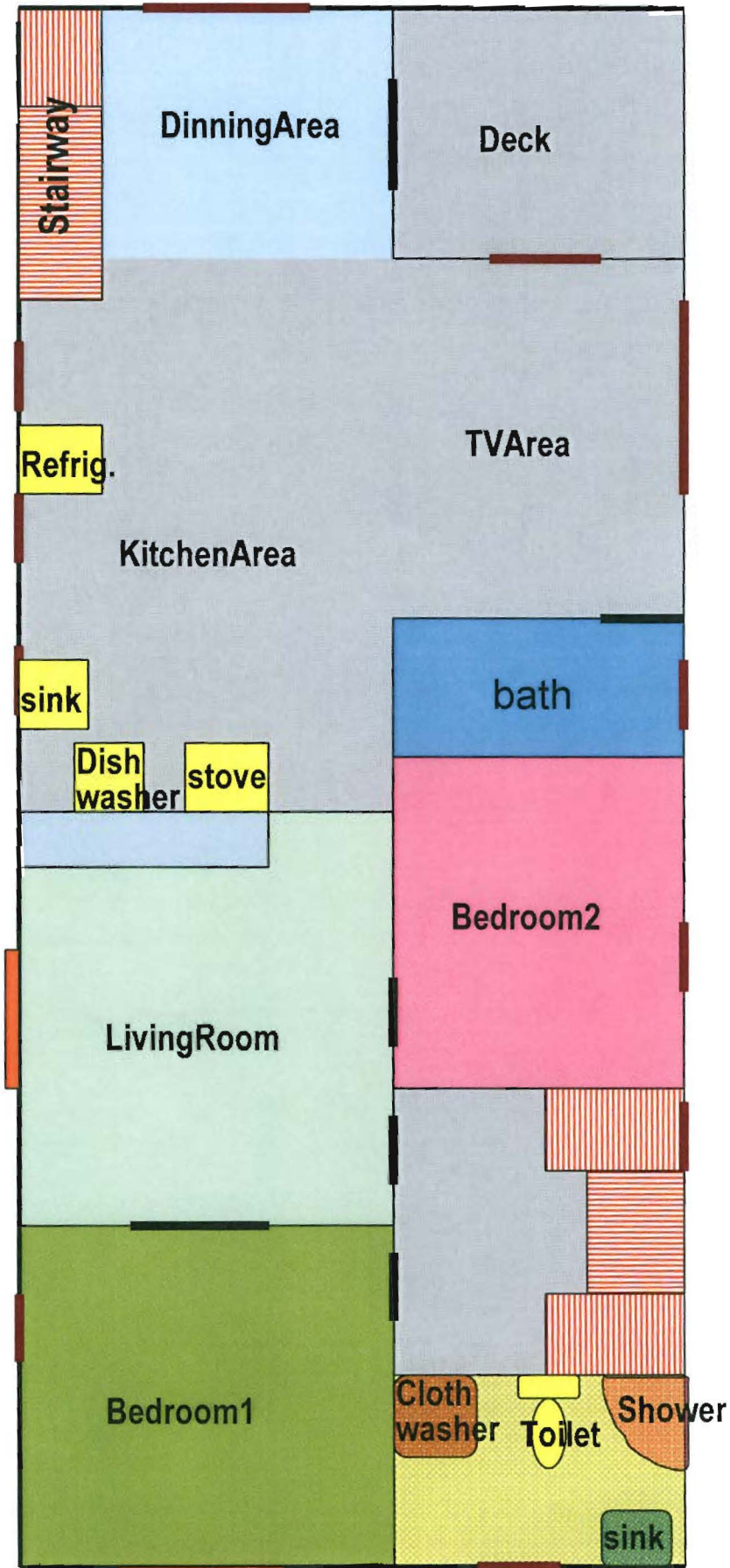
 outlet

 switch



4-16 Cleeve St.  
Portland  
1st floor

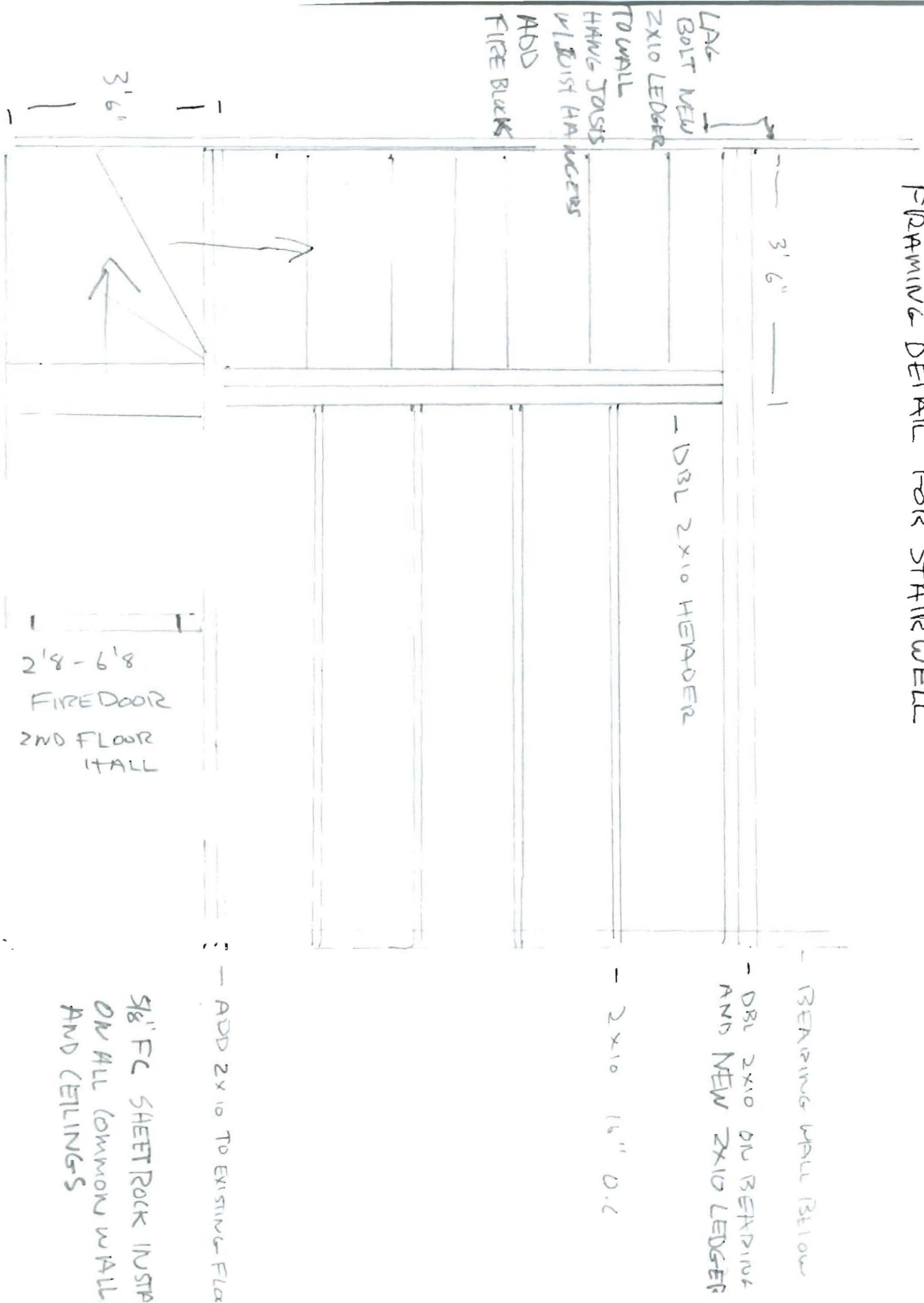
Plumbing  
layout







FRAMING DETAIL FOR STAIRWELL



3' 6"

DBL 2X10 HEADER

BEARING WALL BELOW

DBL 2X10 ON BEARING AND NEW 2X10 LEDGER

2X10 16" O.C.

ADD 2X10 TO EXISTING FLOOR

5/8" FC SHEETROCK INSTA ON ALL COMMON WALL AND CEILINGS

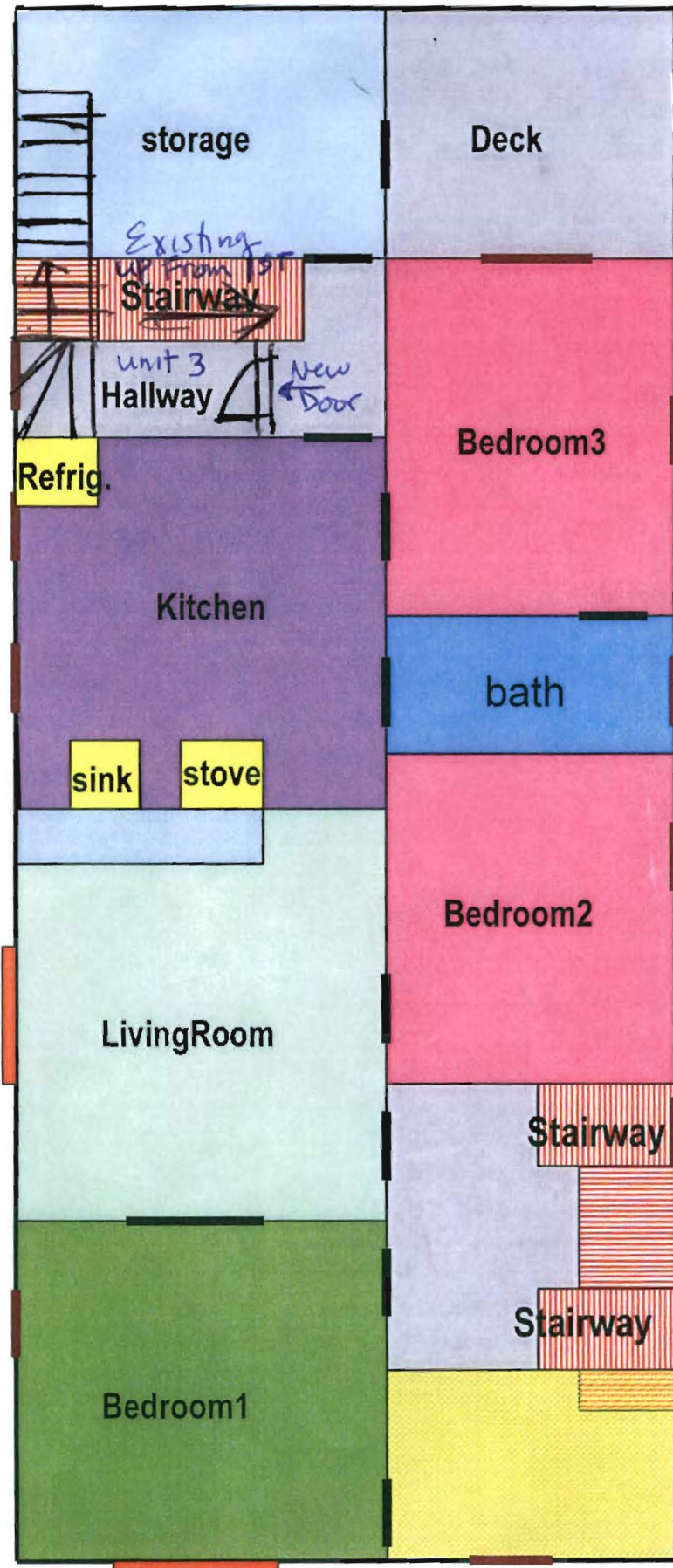
2'8" - 6'8" FIRE DOOR 2ND FLOOR HALL

3' 6"

14-16 Cleeve St.  
Portland

2nd Floor  
~~3rd floor~~  
existing floor  
layout  
(And New)  
~~owner~~  
~~occupied~~

- BUILD PARTITION ACROSS HALLWAY
- INSTALL 2'8"-6'8" FIRE DOOR
- STAIRS TO 1ST FLOOR REMAIN AS EXISTING
- STAIRS TO 3rd Floor REBUILT AS PER SKETCHES ON PAGE 5 and 6
- ADD INSULATION SOUND BOARD AND 5/8" FC SHEETROCK TO STORAGE AREA CEILING



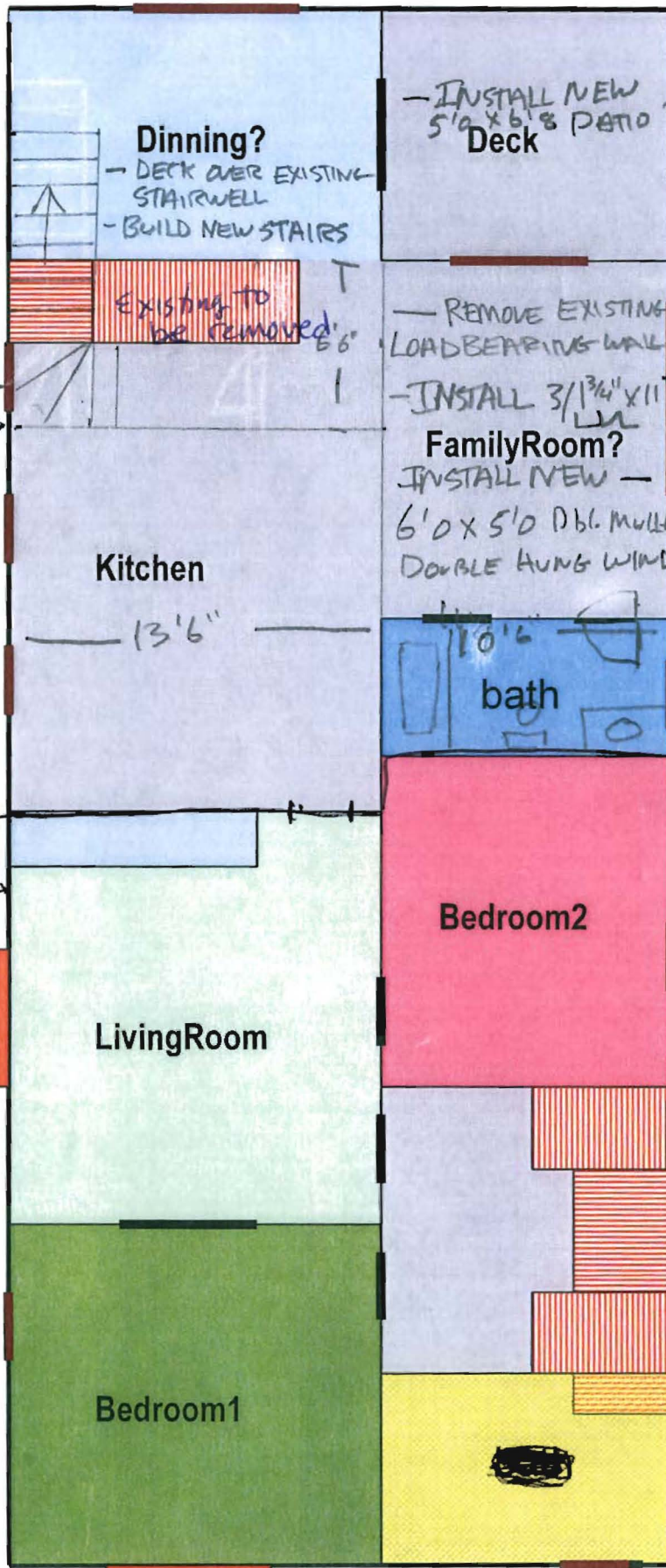
Revised  
**RECEIVED**  
OCT 18 2010  
Dept. of Building Inspections  
City of Portland Maine



14-16 Cleve Street

INSTALL NEW 6'0 X 5'0 DOUBLE MULLED DOUBLE HUNG WINDOW - HEADERS 2/2X10 w 1/2 plywood FILLER

3rd floor



REMOVE EXISTING NON-LOAD BEARING WALL

REMOVE AND BOARD OVER EXISTING WINDOW IN HALLWAY

WORK AREA

NO WORK BEING DONE IN THIS AREA

Revised

RECEIVED

OCT 18 2010

Dept. of Building Inspections  
City of Portland Maine



FRAMING DETAIL FOR STAIRWELL

- BEARING WALL BELOW

- DBL 2x10 ON BEARING WALL AND NEW 2x10 LEDGER

- 2x10 16" O.C

- DBL 2x10 HEADER

3'6"

AG BOLT NEW 2x10 LEDGER WALL HING JOISTS JOIST HANGERS HDU (ICE BLOCKS)

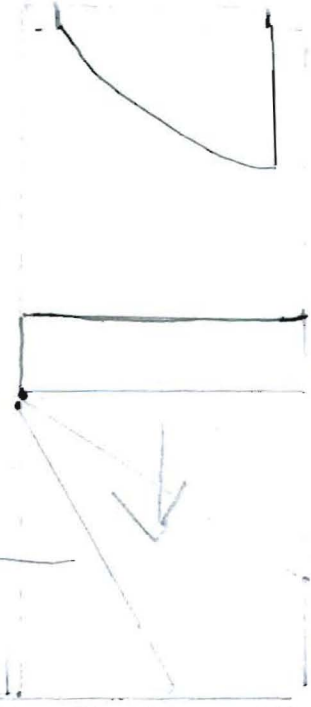
Revised  
**RECEIVED**  
 OCT 18 2010

Dept. of Building Inspections  
 City of Portland Maine

- ADD 2x10 TO EXISTING FLOOR JOIST

INSULATION AND 5/8" FC SHEETROCK INSTALLED ON ALL COMMON WALLS AND CEILINGS

2'4"-6'8"  
 FIRE DOOR  
 2ND FLOOR  
 11'4" TALL



see sheet #6 for window details

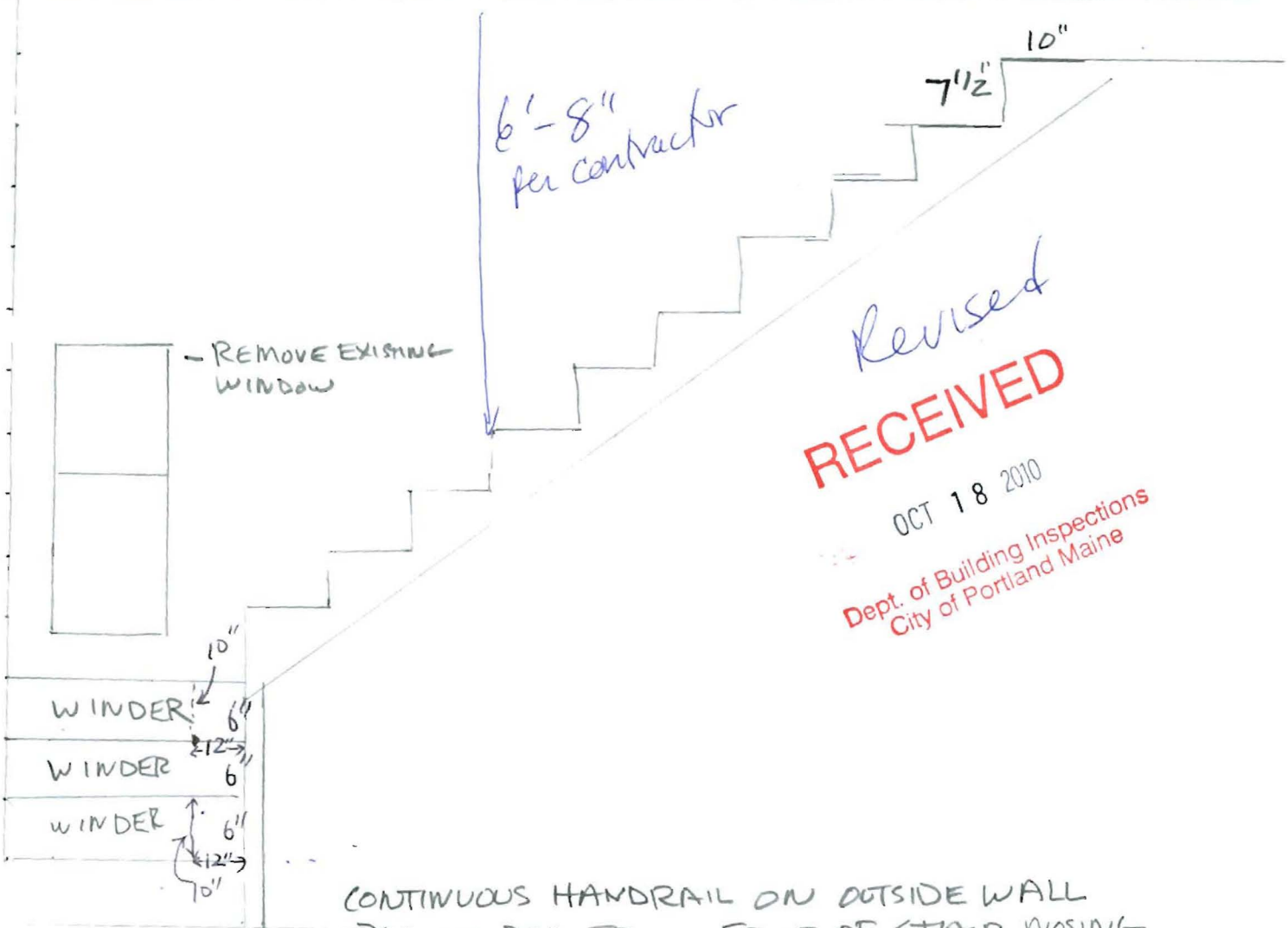
# DOOR + WINDOW SCHEDULE

- 2/ 6'0" X 5'0" DOUBLE HUNG MULLED (3'0" X 3'0") ALLIANCE NEW CONSTRUCTION VINYL WINDOWS
- 1/ 5'0" X 6'8" PATIO DOOR 2 OPERATING PANELS
- 1/ 2'8" X 6'8" 6 PANEL STEEL FIRE DOOR

# INSULATION SCHEDULE

- UPGRADE CEILING OVER 3RD FLOOR TO R-38
- CEILING OVER DINING AREA R-38
- ALL EXTERIOR WALLS R-13
- INTERIOR PARTITIONS R-13
- ALL OPEN FLOOR JOISTS IN DINING/STAIRWELL AREA R-19

# STAIR ELEVATION



Revised  
**RECEIVED**

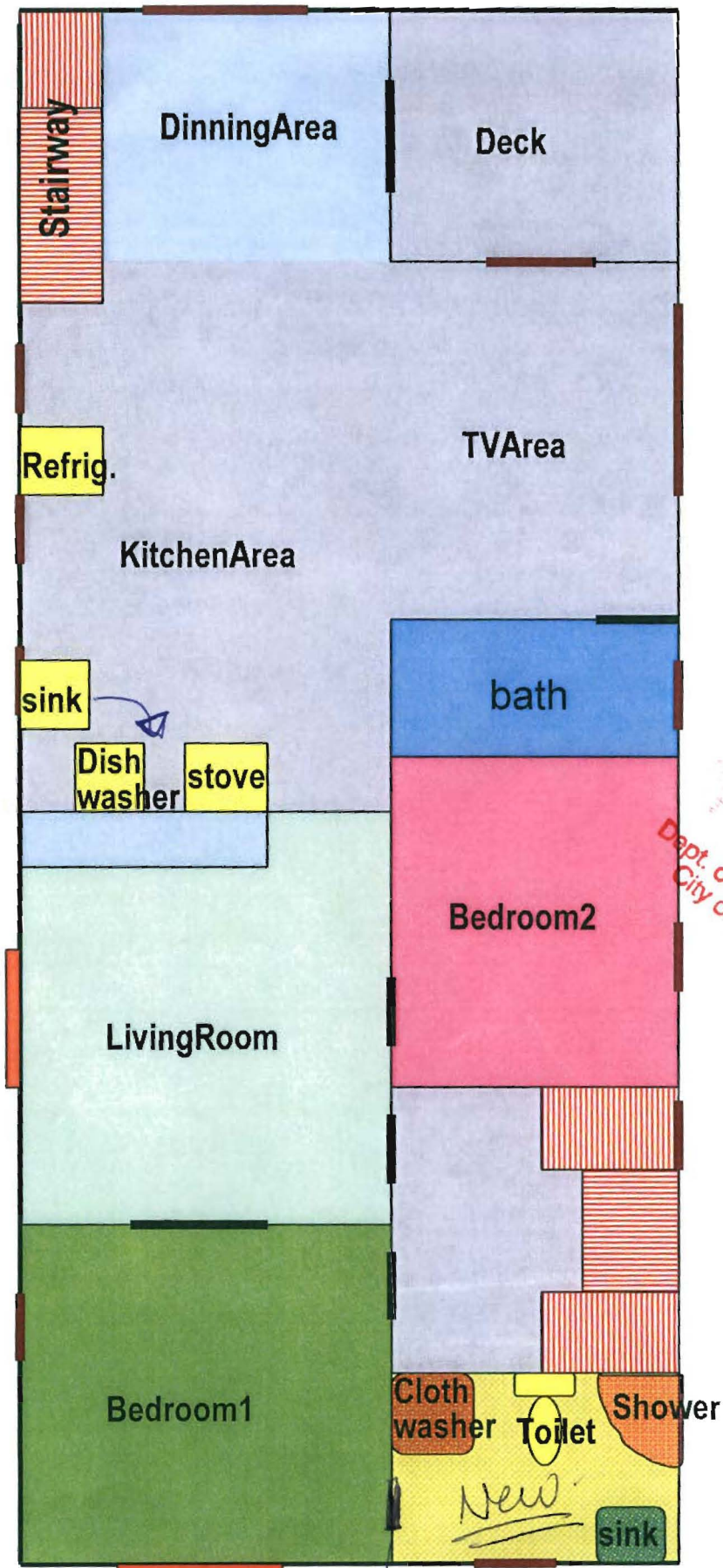
OCT 18 2010  
Dept. of Building Inspections  
City of Portland Maine

CONTINUOUS HANDRAIL ON OUTSIDE WALL  
34" TO 38" FROM FRONT OF STAIR NOSING  
AS PER CODE

4-16 Cleeve St.  
Portland

1st floor

Plumbing  
layout



*Revised*

**RECEIVED**

OCT 18 2010

Dept. of Building Inspections  
City of Portland Maine