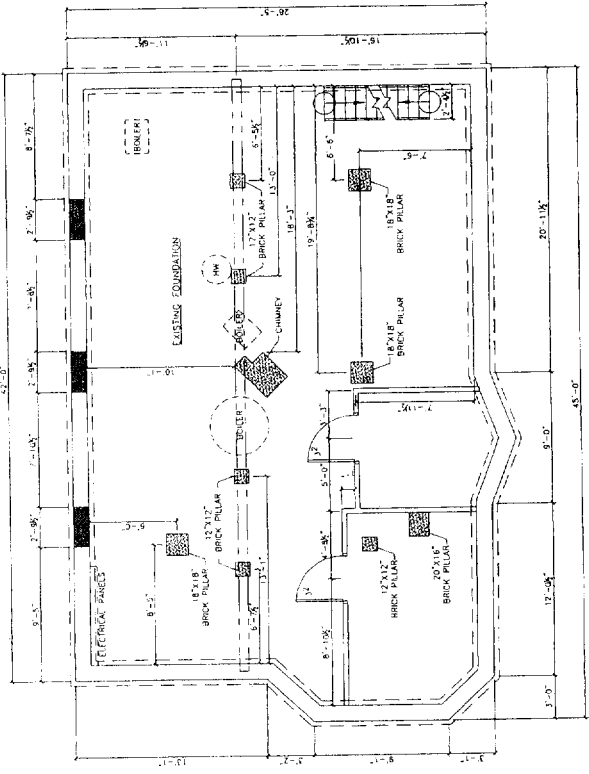
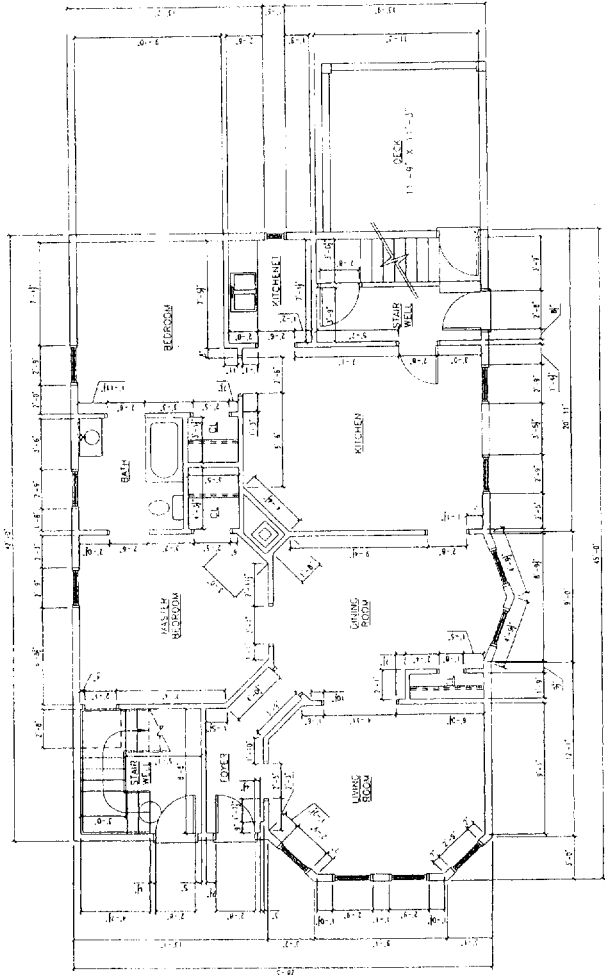


1 RIGHT ELEVATION
 1/4" = 1'-0"

General Notes:

- ① All Dimensions are rounded off to the nearest 1/2"
- ② All section(s) information was taken from a visual survey and field measurements.

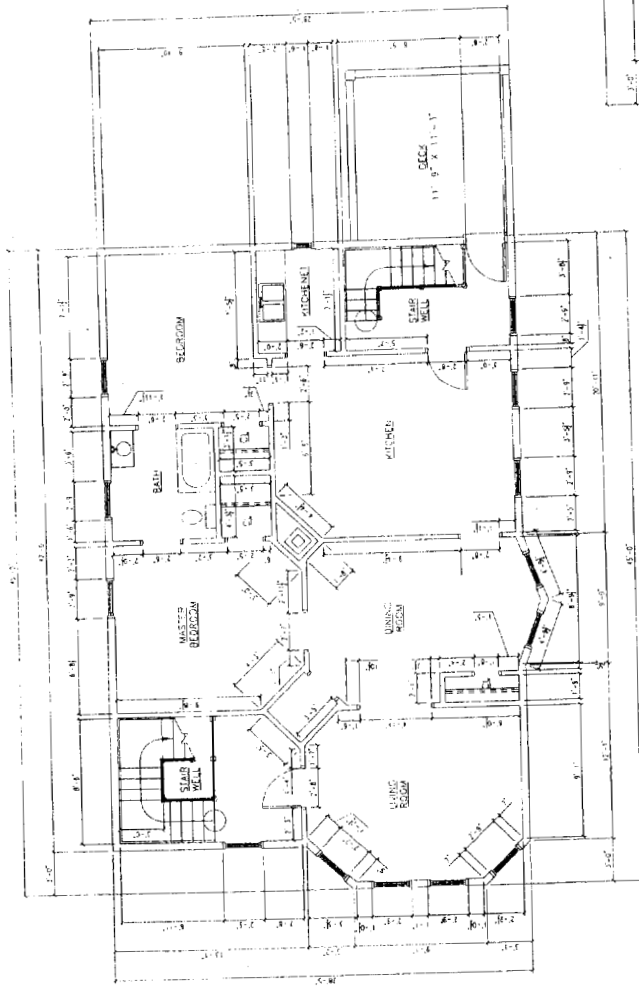
NOTE:
 THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE DRAWING IS THE PROPERTY OF FMC CADDD AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FMC CADDD. THE USER OF THIS DRAWING AGREES TO HOLD FMC CADDD HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DRAWING.



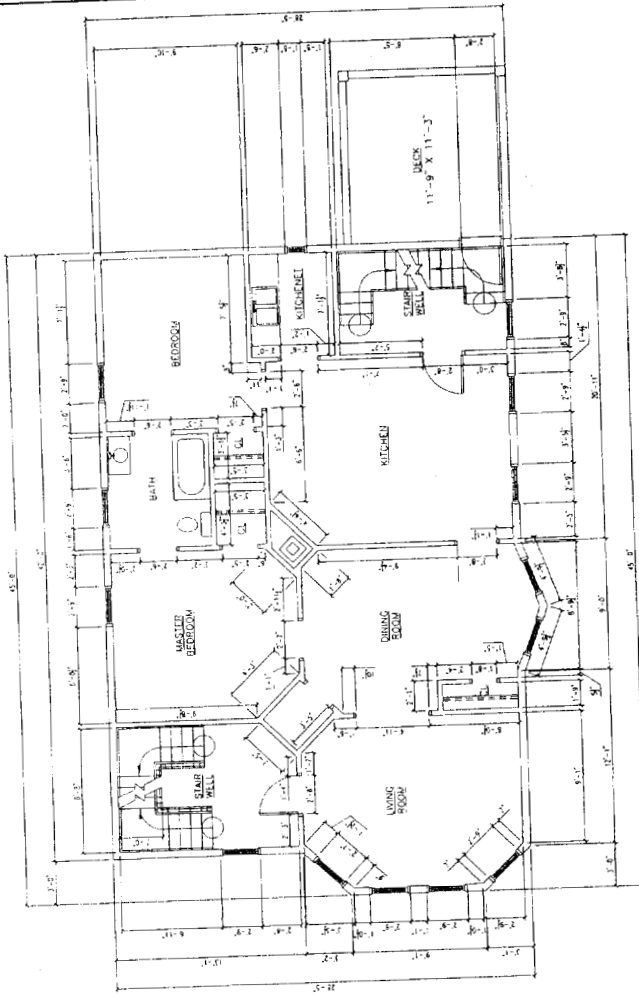
General Notes:
 ① All Dimensions are rounded off to the nearest 1/2".
 ② All section(s) information was taken from a visual survey and field measurements.

NOTE:
 THIS DRAWING IS PREPARED FOR THE ARCHITECT, CONTRACTOR, ENGINEER, OR OTHER PROFESSIONAL PERSONNEL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPRESENTATIONS AND ASSURANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE ARCHITECT AND ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE ARCHITECT AND ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE ARCHITECT AND ENGINEER.

REVISIONS:	CODE: N/A
TOWN: PORTLAND	DATE: 23 SEPT 05
SCALE: AS NOTED	CHECKED: PES
DRAWN: HMC	TITLE:
FILE: 05-0119	SHEET: A4



2 THIRD FLOOR
 (14'-11 1/2" x 20'-2 1/2" FT.)

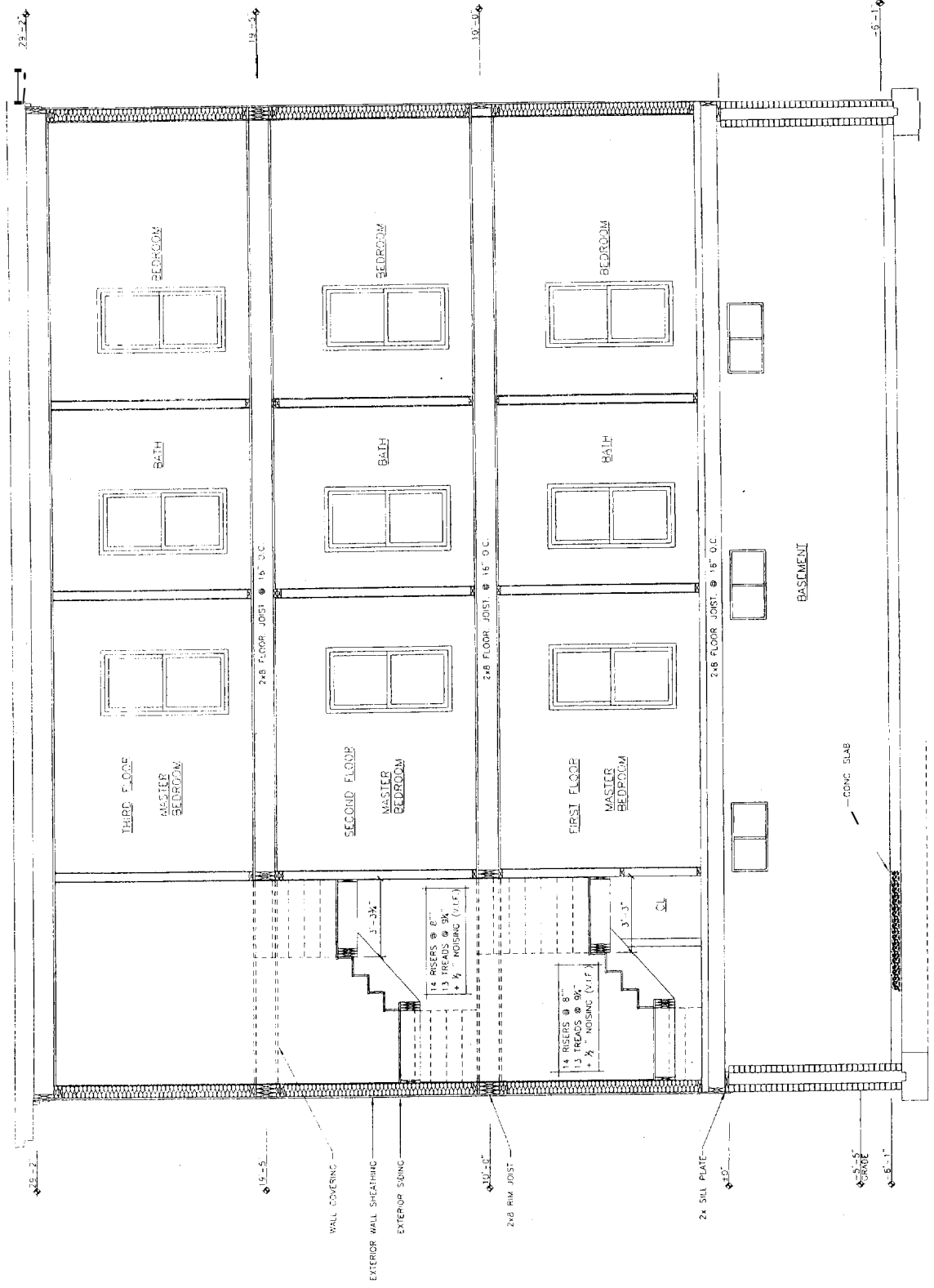


1 SECOND FLOOR
 (14'-11 1/2" x 20'-2 1/2" FT.)

General Notes:
 1 All Dimensions are rounded off to the nearest 1/2".
 2 All section(s) information was taken from a visual survey and field measurements.

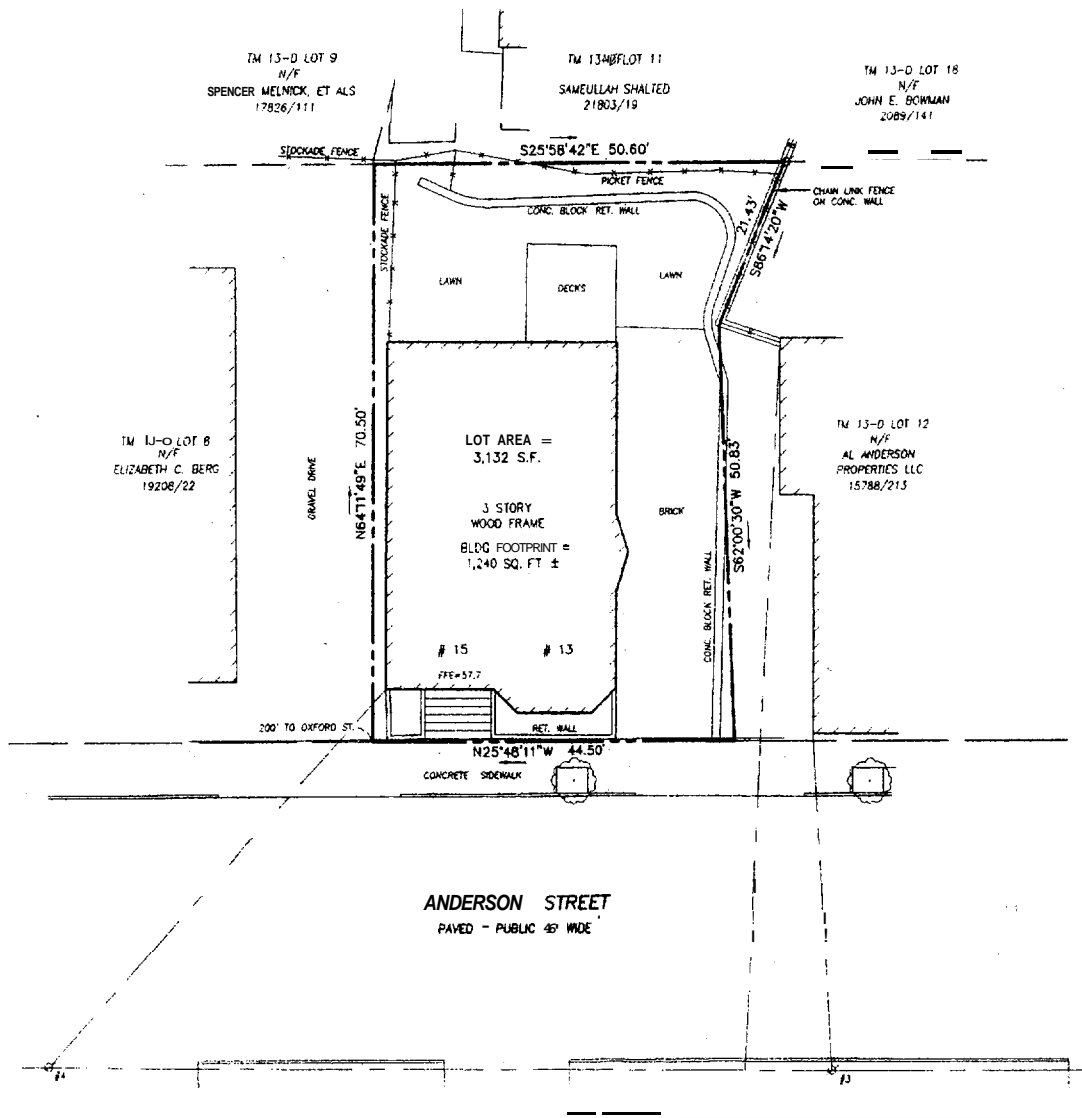
NOTE:
 THIS DRAWING IS THE PROPERTY OF FRC CAD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FRC CAD. THE USER OF THIS DRAWING AGREES TO HOLD FRC CAD HARMLESS FROM AND AGAINST ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM OR OUT OF THE USE OF THIS DRAWING. THE USER OF THIS DRAWING AGREES TO INDEMNIFY AND HOLD FRC CAD HARMLESS FROM AND AGAINST ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM OR OUT OF THE USE OF THIS DRAWING. THE USER OF THIS DRAWING AGREES TO INDEMNIFY AND HOLD FRC CAD HARMLESS FROM AND AGAINST ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM OR OUT OF THE USE OF THIS DRAWING.

REVISIONS:	CODE: MA	TOWN: PORTLAND	DATE: 23 SEPT 16	SCALE: AS NOTED	CHECKED: PES	DRAWN: NMJ	TITLE:
SECTION VIEWS							
FILE: 09-0159							
SHEET: A5							



NOTES:

1. EXISTING BLDG SECTION VIEW
2. ALL DIMENSIONS ARE ROUNDED OFF TO THE NEAREST 1/2".
3. ALL SECTION(S) INFORMATION WAS TAKEN FROM A VISUAL SURVEY AND FIELD MEASUREMENTS.



NOTES:

1. OWNER OF RECORD: CATHERINE WEILAND AND ANDREW TREMAN
BOOK 22380 PAGE 175
2. BEARINGS ARE BASED ON MARKERS FOUND AS SHOWN ON PLAN
REFERENCE 1.
3. PARCEL IS SHOWN AS LOT 10, BLOCK D, ON THE CITY OF
PORTLAND ASSESSORS MAP 13.
4. PROJECT BENCHMARK IS 3' OFFSET MONUMENT AT THE
CORNER OF CUMBERLAND AVENUE AND ANDERSON STREET.
STREET. ELEVATION= 72.31 CITY OF PORTLAND DATUM.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON
AND THE RESULT OF AN ON THE GROUND FIELD SURVEY AND THAT TO
THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS
TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS
CURRENT STANDARDS OF PRACTICE.

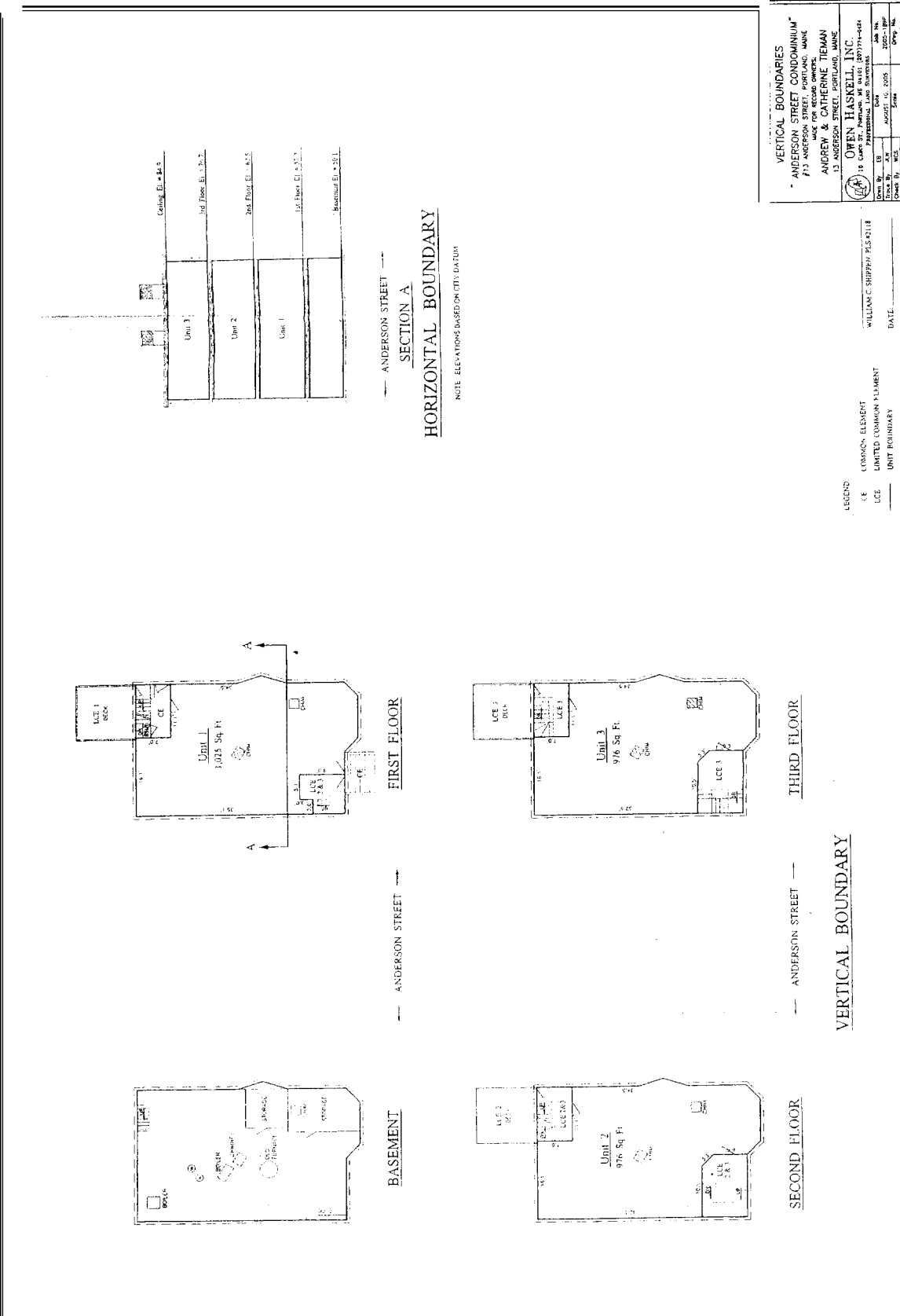
REFERENCES:

BOUNDARY SURVEY AT 20 CLEEVE STREET, PORTLAND
MADE FOR SPENCER J. MELNICK AND SHEA E.
GCLURKIN DATED MAY 14, 2004 BY OWEN HASKELL, INC.

STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY ON
ANDERSON STREET AND CUMBERLAND AVENUE PORTLAND,
MADE FOR SCOTT SOMERO DATED DEC. 18, 2001
BY OWEN HASKELL, INC.

DATE

WILLIAM C. SHIPPEN, PLS #2118



ANDERSON STREET
SECTION A
HORIZONTAL BOUNDARY

NOTE: ELEVATIONS BASED ON CITY DATUM

VERTICAL BOUNDARIES
 "ANDERSON STREET CONDOMINIUM"
 713 ANDERSON STREET, PORTLAND, MAINE
 MADE FOR RECORD OWNERS:
 ANDREW & CATHERINE TIEMAN
 13 ANDERSON STREET, PORTLAND, MAINE
OWEN HASCKELL, INC.
 10 Commercial Street, Portland, ME 04101
 Date: 1/18/13
 Drawn By: [Signature]
 Check By: [Signature]
 Scale: 1/8" = 1'-0"
 Book No. P.E.
 Sheet No. 2 of 2

LEGEND
 CE COMMON ELEMENT
 LCE LIMITED COMMON ELEMENT
 UNIT BOUNDARY
 DATE: _____
 WILLIAM C. SHIPPY, PLS #2118

ANDERSON STREET
VERTICAL BOUNDARY

SECOND FLOOR

THIRD FLOOR

FIRST FLOOR

BASEMENT

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0392	Date Applied For: 03/24/2006	CBL: 013 D010001
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Location of Construction: 13 ANDERSON ST	Owner Name: WEILAND CATHERINE & ANDR	Owner Address: 13 ANDERSON ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 3 unit Condo/ renovations of the 2nd & 3rd floor units	Proposed Project Description: renovations of the 2nd & 3rd floor units
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/28/2006

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain as three residential condominiums. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 03/31/2006

Note: **Ok to Issue:**

- 1) A one hour fire separation must be preserved in the newly constructed ceilings including any penetrations.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 03/30/2006

Note: **Ok to Issue:**

- 1) All building construction shall comply with NFPA 101
- 2) Stair enclosures require a 1 hour fire rating.
- 3) No combustable loading allowed in concealled ceiling space. This includes all wiring.