

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 060392

APR 13 2005

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that WEILAND CATHERINE & ANDREW TIEMAN JTS

has permission to renovations of the 2nd & 3rd floor units

AT 13 ANDERSON ST

L 013 D010001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

ification of inspection must be given and when permission procured before this building or part thereof is opened or being closed-in. 4 YOUR NOTICE REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CITY CLASS 3-30-06

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0392	Issue Date: PERMIT ISSUED APR - 3 2006	013 D010001
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Location of Construction: 13 ANDERSON ST	Owner Name: WEILAND CATHERINE & ANDR	Owner Address: 13 ANDERSON ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type:	Zone: R6

Past Use: 3 unit Condo	Proposed Use: 3 unit Condo/ renovations of the 2nd & 3rd floor units	Permit Fee: \$186.00	Cost of Work: \$10,000.00	CEO District: 1
<i>legal use;</i>	<i>3 residential condos</i>	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>		INSPECTION: Use Group <i>R2</i> Type <i>3</i> <i>3/21/06</i>

Proposed Project Description: renovations of the 2nd & 3rd floor units	Signature: <i>Greg Cuss</i> PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____
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Permit Taken By: Idobson	Date Applied For: 03/24/2006	Zoning Approval
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Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> TN <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>3/28/06</i> <i>ABM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

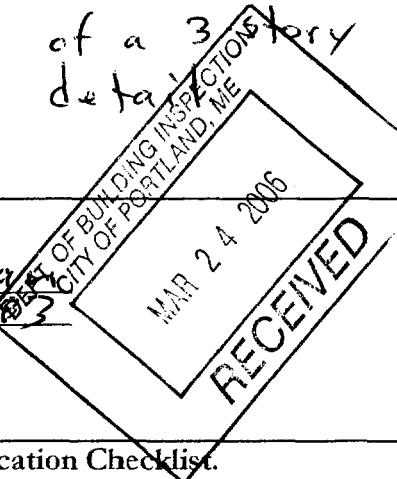
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on **any** property within the **City**, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure Existing structure = 3,720 ft ²		Square Footage of Lot 3132 ft ²		and 04101	
Chart# 13	Block# D	Lot# 10	Owner Andrew M Tieman Catherin Weiland	Telephone: 978-884-9583	
Lessee/Buyer's Name (If Applicable)			Applicant name, address & telephone: Andrew M Tieman (owner) 13 Anderson St. Portland, ME 04101	Cost Of Work: \$ 10,000	
				Fee: \$ 111	
				C of O Fee: \$ 75	
Current Specific use: Residential Condominium			186		
Proposed Specific use: Residential Condominium					
Project description: Renovation of 2 nd & 3 rd Floor units of a 3 story Building. Please see attached for details.					
Contractor's name, address & telephone: None					
Who should we contact when the permit is ready: Drew Tieman					
Mailing address: Phone: 978-884-9583					



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspection's office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representatives shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: March 24, 2006
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This is not a permit; you may not commence ANY work until the permit is issued.

March 24,2006

Dear Inspector:

Please consider the attached Building Permit Application to renovate the 2nd and 3rd floor residential units at 15 Anderson Street in Portland's East Bayside neighborhood. I currently hold a Condo-Conversion Permit [permit # 0503711 for the 3 units in the building at 13-15 Anderson Street. Renovations to the 1st floor unit were performed under a separate Building Permit [permit # 0515281. The renovations that are to be performed under this permit will complete the renovations for the building and are expected to result in a Certificate of Occupancy under the Condo-Conversion Permit.

Structural Modifications

I am seeking a permit to modify two structural elements within each of the units, as I believe these changes will improve the unit's functionality and appeal. Helen C. Watts, P.E. of Criterium Mooney Engineers provided the attached structural analysis and plans for these proposed changes. These two proposed changes are:

- **Modify the current split-kitchen to allow for a one-room kitchen and ½ bath with stacked laundry.** This requires spanning 7' along the central bearing wall. Currently, this load is carried by a wall that will need to be relocated in order to increase the size of the room and allow adequate space for laundry machines. The attached analysis indicates that a 3 1/2" x 9 1/2" Versalam beam will be required to carry this load. This beam will be supported by 3 - 2"x4" SPF #2 Columns and Simpson End-Post-Cap Connectors. An identical change was made to the first floor units. I have attached photos that compare current conditions in units 2 & 3 to this proposal.
- **Remove the secondary supporting wall between the kitchen and dining room** to incorporate the kitchen into the living space and increase the utility of both spaces. This requires spanning 12' along a secondary supporting wall (supports wall weight from units 2&3). The attached analysis indicates that a 3½" x 9½" header beam will provide adequate support. This beam will be supported by 3 - 2"x4" SPF #2 Columns and Simpson End-Post-Cap Connectors. An identical change was made to the first floor units. I have attached photos that compare current conditions in units 2 & 3 to this proposal.

Common-Wall Construction

In accordance with code, all common walls will provide a fire barrier as follows:

- **Unit #2 Ceiling.** The attached diagram shows that the current ceiling includes: strapping, lathe, plaster, and fire-retardant ceiling tiles. I intend to leave these in place to provide the required fire-rated ceiling enclosure. Rather than replace these functional materials, I will frame a drop ceiling with metal supports and ½” sheetrock. During this construction, any penetrations through the existing materials will be remedied to ensure a proper fire barrier.
- **Vertical Common Walls Within the Units.** The attached diagram shows that the current wall construction includes the original lathe and plaster covered by a ¼” paneling. These existing materials will remain in place as part of the fire barrier. Additionally, I will add a ¼” sheetrock layer to ensure a proper fire barrier.
- **Stairway/Egress Common Walls.** The attached diagram shows that the current wall construction includes the original lathe and plaster covered by a ¾” paneling. These existing materials will remain in place as part of the fire barrier. Additionally, I will add a ¼” sheetrock layer to ensure a proper fire barrier.
- **Doors.** Each unit contains two doors that open to common stairways/egresses and will be replaced with fire-rated doors and jambs.

Electrical System

All changes to the electrical system will be performed by Douglas Electric under a separate electrical permit. An electrical sub-panel is provided within each unit and the circuits are in line with current code. The major electrical change will be removing the current lighting fixtures and installing recessed light cans in the new dropped ceilings. These lights and all wiring will be below the fire-rated ceiling enclosure and therefore no additional fire-stopping will be necessary for these and any other electrical fixtures located in the dropped ceiling.

Plumbing System

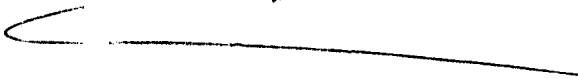
All changes to the plumbing system will be performed by All Aspects Plumbing under a separate plumbing permit. The plumbing work for this renovation is limited. The only changes will be relocating the kitchen sink and installing the fixtures in the ½ bath. Adequate drain infrastructure for these changes was provided through the 1st unit as part of its renovation.

In addition to the documents noted above. I have included:

- a completed General Building Permit Application;
- a complete set of drawings for the building; and
- a survey of the subject property;

I appreciate your patience in working with me. I will of course be available for a review of these plans or to answer any questions. Please reach me at 978.884.9583 which is an out-of-area cell phone that I use as my primary phone or weiman@maine.rr.com.

Thank you for your consideration,



Andrew M Tieman
Weiman Enterprises, LLC
weiman@maine.rr.com
978.884.9583

13 ANDERSON ST - REMODELING
 NOT TO SCALE
 MARCH 20, 2006
 HELEN C. WATTS, P.E.
 CRITERIUM-MOONEY ENGINEERS
 CME P/N 06-060

NOTES:

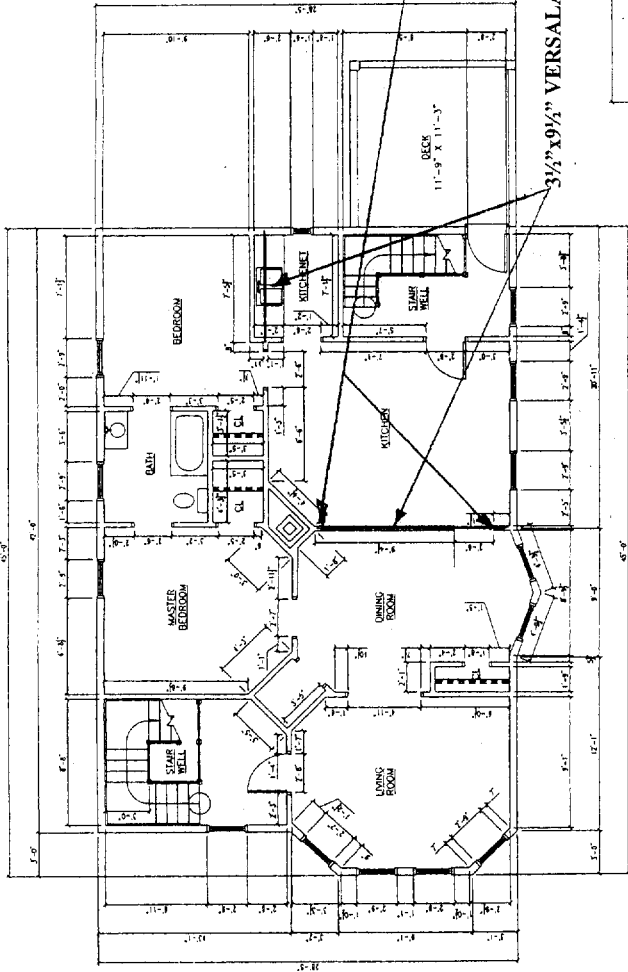
1. VERIFY LOCATION OF EXISTING SUPPORTS
2. SHORE EXISTING FRAMING BEFORE REMOVING EXISTING SUPPORTS
3. ALIGN NEW CONSTRUCTION WITH EXISTING SUPPORTS

3 - 2x4 SPF #2 COLUMN
 MAY ADD TO EXISTING STUDS
 TO MAKE UP COLUMN

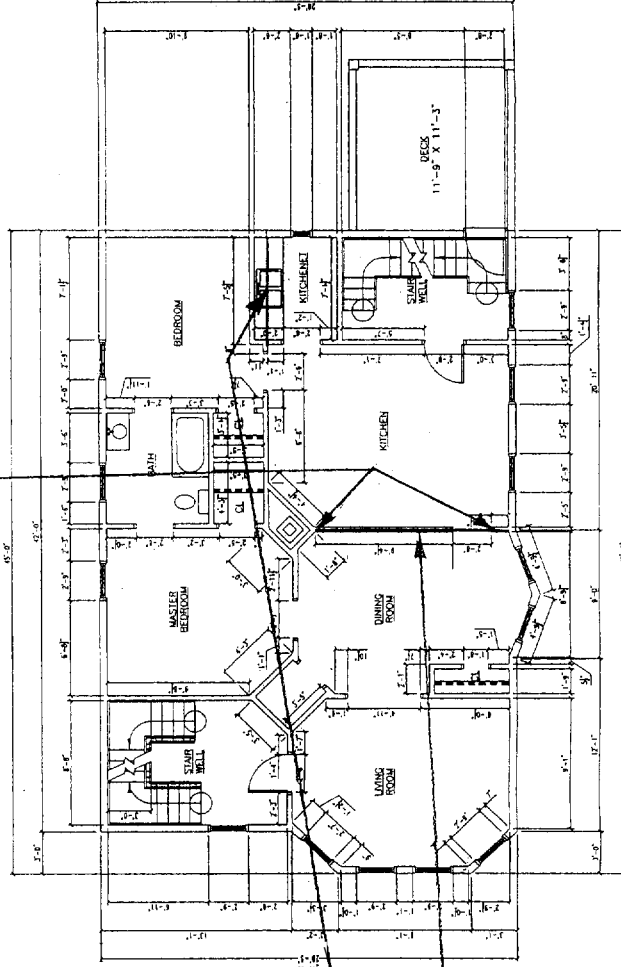
3/4" x 9 1/2" VERSALAM Fb=3080 PSI DF

3/2" x 9 1/2" VERSALAM Fb=3080 PSI DF

1.75" x 9 1/2" VERSALAM Fb=3080 PSI DF



2 THIRD FLOOR CEILING PLAN
 1/4" = 1'-0" (PER 301.07)



1 SECOND FLOOR FRAMING PLAN
 1/4" = 1'-0" (PER 301.07)

General Notes:

- 1 All Dimensions are rounded off to the nearest 1/2"
- 2 All section(s) information was taken from a visual survey and field measurements.

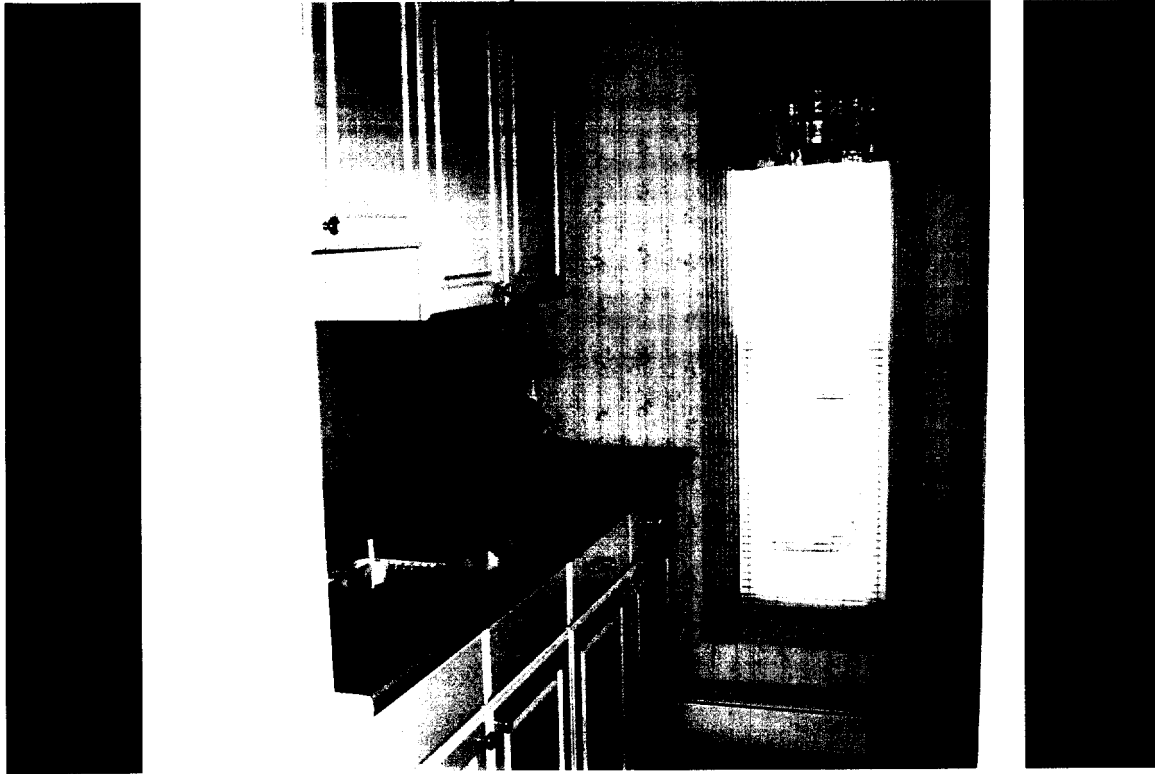
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WEILAND RESIDENCE
 AS-BUILT
 PORTLAND, MAINE 04103

REVISIONS:	
TOWN: PORTLAND	CODE: MA
DATE: 23 SEPT 05	
SCALE: AS NOTED	
CHECKED: PMS	
DRAWN: LMG	
TITLE:	
SECOND & THIRD FLOOR PLANS	
FILE: 05-0159	
SHEET:	A4

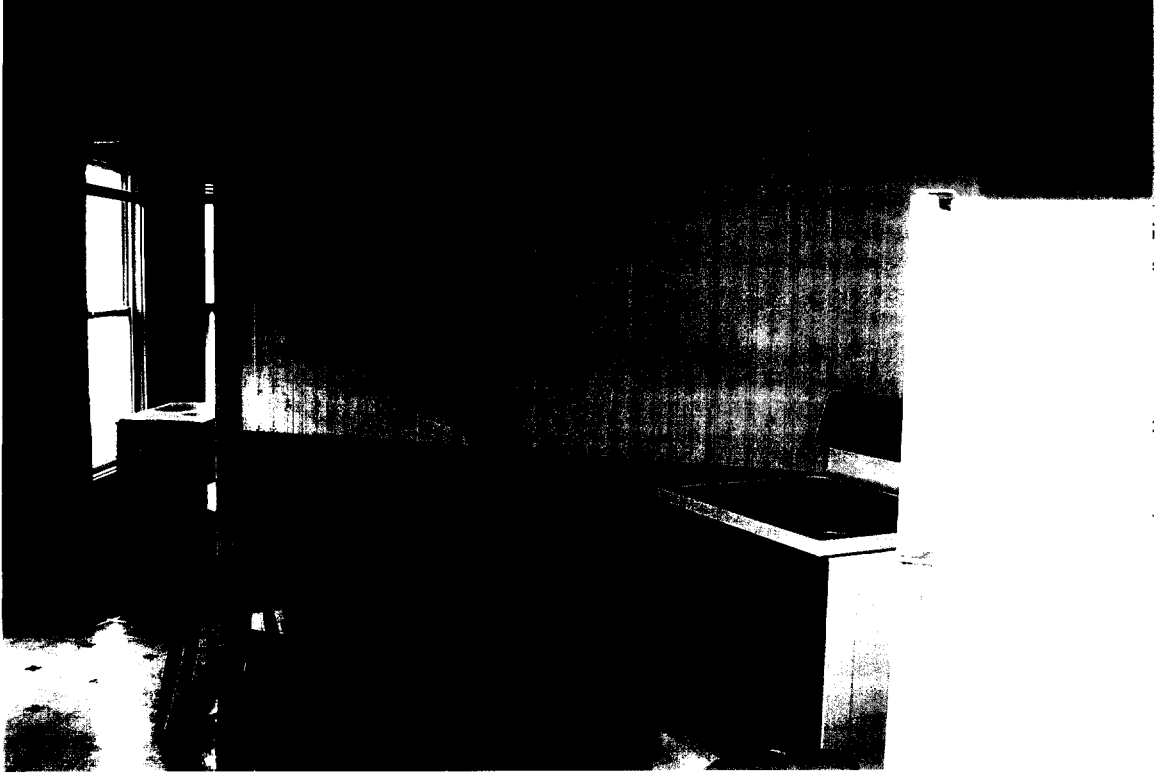
Existing Conditions



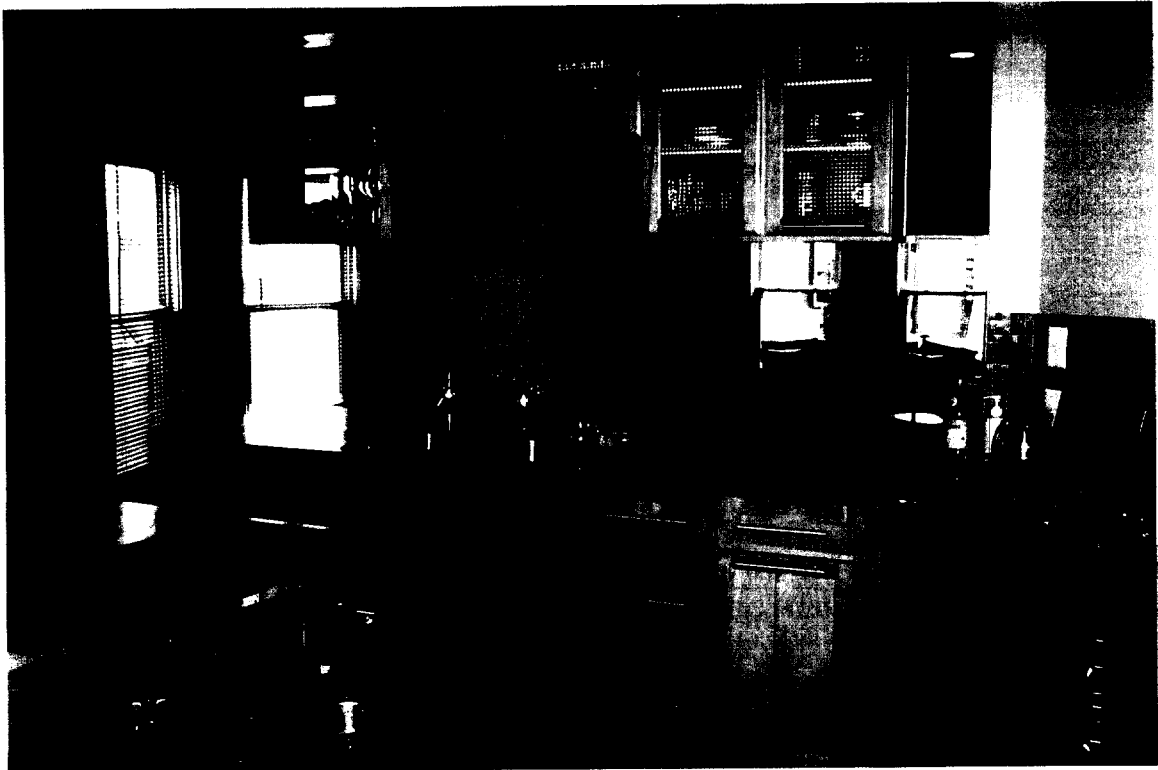
Proposed 1/2 Bath

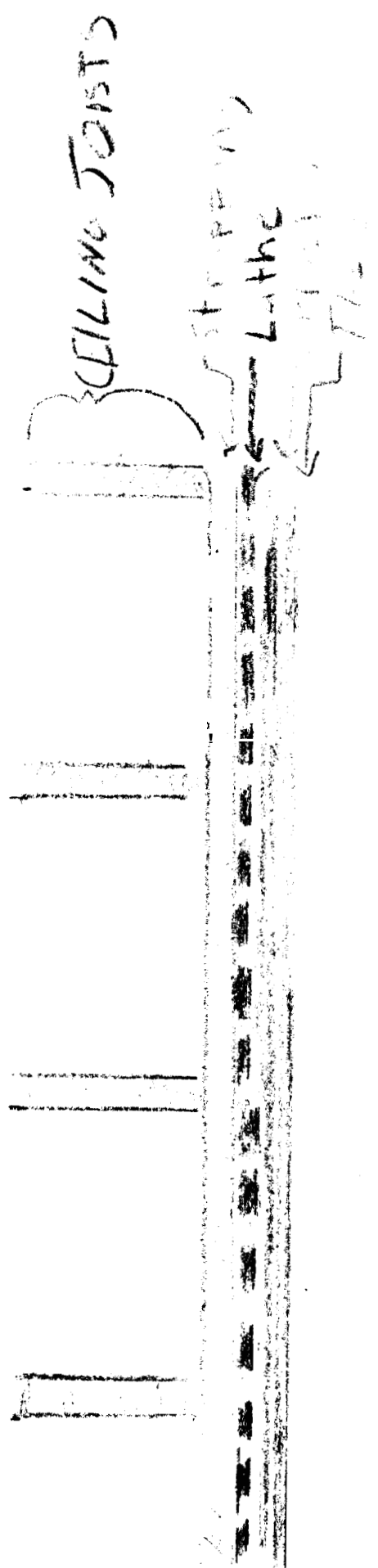


Existing Conditions



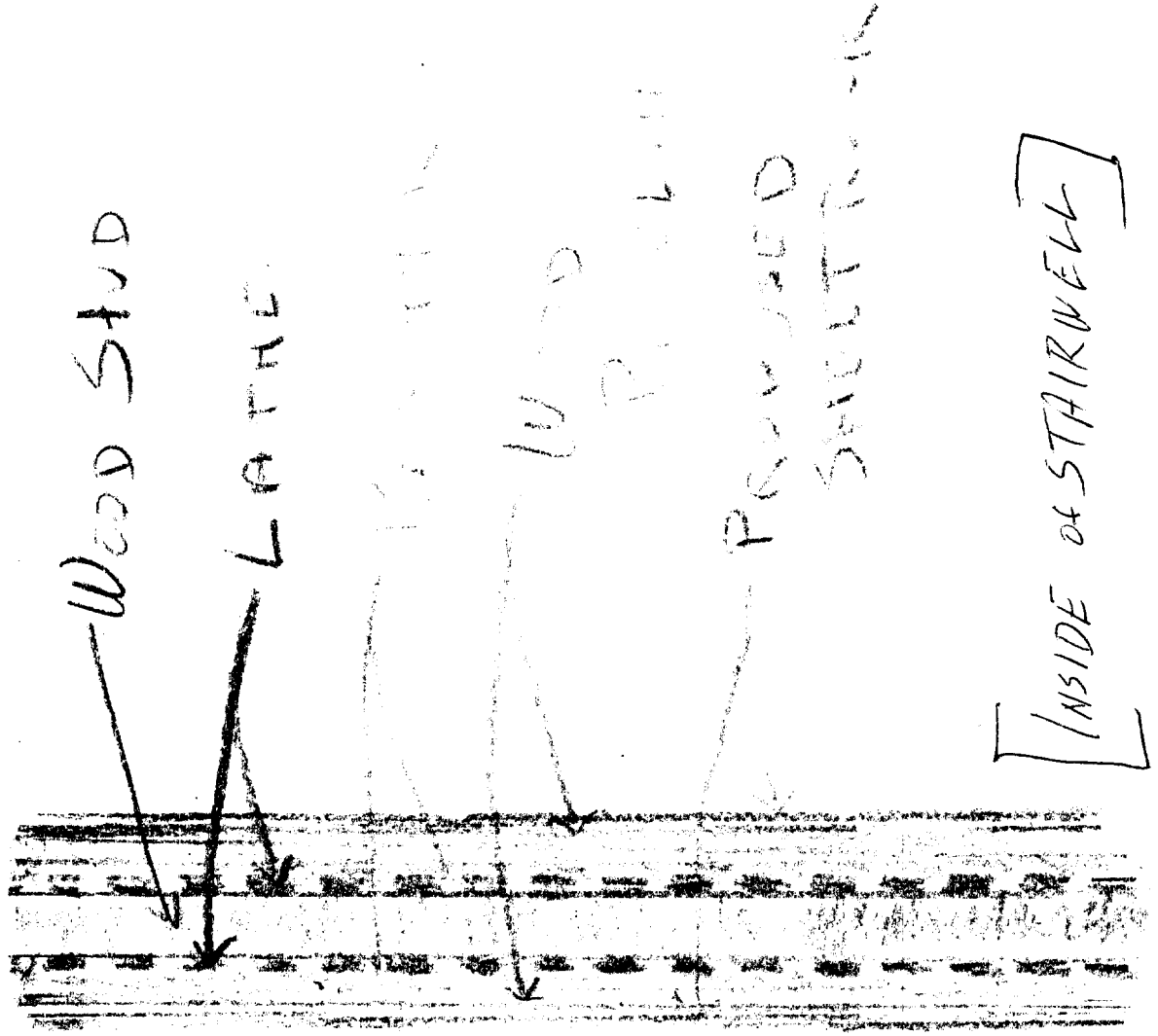
Proposed kitchen with Opening



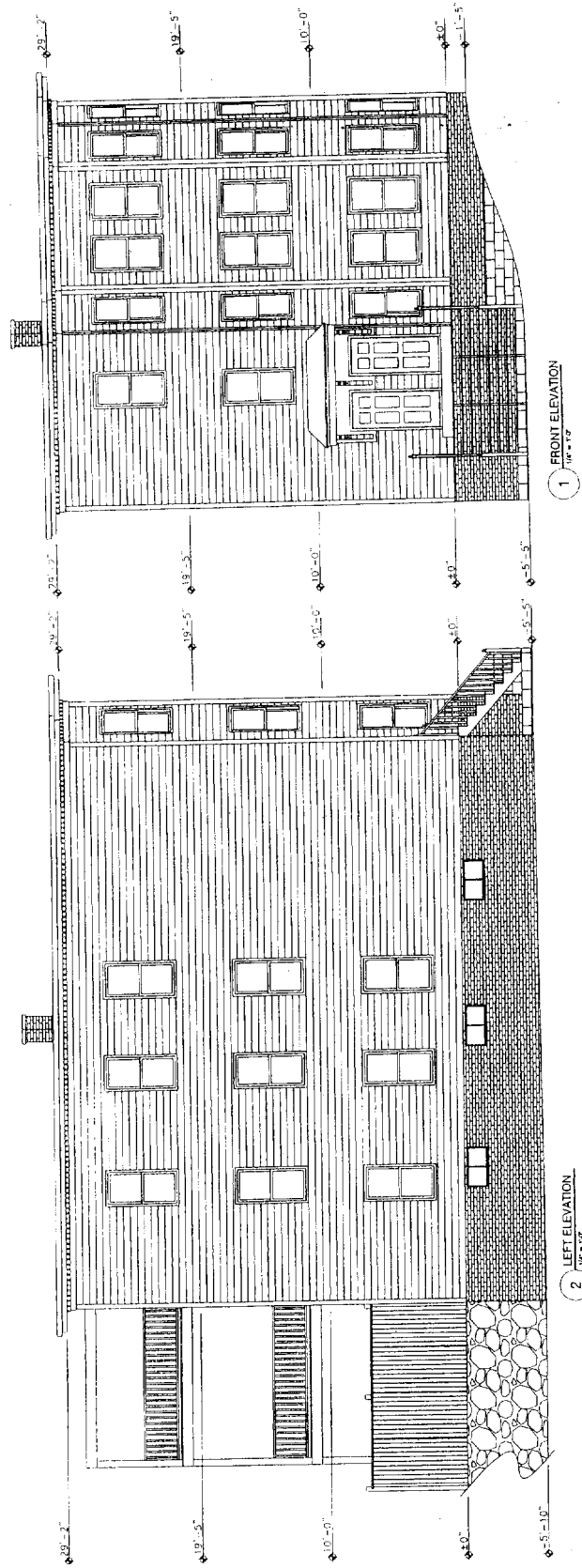


UNIT #2 CEILING

COMMON - WALL CONSTRUCTION



REVISIONS
CODE: N/A
TOWN: PORTLAND
DATE: 02/23/2023
SCALE: AS NOTED
CHECKED: JES/RES
DRAWN: JES/RES
TITLE: ELEVATIONS
FILE: 2023-02-23
SHEET: 1
SCALE: A1



General Notes:
 ① All Dimensions are rounded off to the nearest 1/2".
 ② All section(s) information was taken from a visual survey and field measurements.

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