

12-R-1

2014-03

Monroe Street

R-6 to R-7 map Amendment

Portland Housing Authority

add to spreadsheet

- ← Stuart G. O'Brien, Chair ✓
- ✓ Timothy Dean, Vice Chair ✓
- X Elizabeth Boepple X
- ✓ Sean Dundon ✓
- ✓ Bill Hall ✓
- X Carol Morrissette ✓
- ✓ Jack Soley ✓

**AGENDA
PORTLAND PLANNING BOARD**

The Portland Planning Board will hold a meeting on April 8, 2014, **City Council Chambers, 2nd Floor, City Hall, 389 Congress Street. Public comments will be taken at both meetings.**

WORKSHOP – 4:30 p.m.

- i. Text Amendments to the Community Business (B-2) Zone, City of Portland, Applicant. The Planning Board will consider text amendments to the B-2 zone which include, but are not limited to, listing the required dimensional standards in a chart, permitting a higher residential density for off-peninsula locations with active street fronts, and allowing multi-family dwellings as a permitted use regardless of the adjoining residential zone.

- ii. R-6 to R-7 Map Amendment; East Bayside; Portland Housing Authority, Applicant, and the City of Portland. The Portland Housing Authority (PHA) and the Portland Housing Development Corporation (PHDC) have submitted an application to rezone the Housing Authority's properties in the East Bayside Neighborhood from Residential R-6 to Residential R-7. The proposed rezoning encompasses a total of 164 existing affordable housing units, including Bayside Terrace, Bayside East and Kennedy Park. The PHA map amendment includes the parcel at the corner of Boyd and Oxford Street where a proposed project called Bayside Anchor is being designed for 45 apartments and non-residential space for a Head Start program, community policing office, and PHA administrative offices. The City of Portland is also considering rezoning a larger area of East Bayside from R-6 to R-7 in the general vicinity of Washington Avenue, Congress Street, Franklin Street, Fox Street, Hammond Street and Gould St.

PUBLIC HEARING – 7:00 p.m.

- 1. **ROLL CALL AND DECLARATION OF QUORUM**
- 2. **COMMUNICATIONS AND REPORTS**
- 3. **REPORT OF ATTENDANCE AT THE FOLLOWING MEETINGS:**
March 25, 2014
Workshop: Dean, Boepple, Dundon, Hall, Morrissette and Soley present; O'Brien absent.
Public Hearing: Dean, Boepple, Hall, Morrissette and Soley present; O'Brien and Dundon absent.

- 4. **REPORT OF DECISIONS AT THE MEETING HELD ON MARCH 25, 2014:**
 - i. Final Site Plan; Capisic Pond Enhancement Project; Capisic Pond Park; City of Portland, Applicant. Morrissette moved and Boepple seconded the motion. The Board voted unanimously 5-0 (Dundon and O'Brien absent) to approve the Level III site plan with five (5) conditions.

- ii. Text Amendments for Conditional Use Standards – Section 14-474 (c) (2), City of Portland, Applicant. Morrisette moved and Boepple seconded the motion. The Board voted unanimously 5-0 (Dundon and O'Brien absent) to recommend adoption of the proposed text amendments to Section 14-474, including the second option for paragraph C to the City Council.

5. NEW BUSINESS

- i. Recreation and Open Space (ROS) Map and Text Amendments for Downtown Squares, City of Portland, Applicant. On March 17, 2014, the City Council requested that the Planning Board consider rezoning Downtown Squares from the current designations to the Recreation Open Space (ROS) zone and to provide the Council with a recommendation by April 18th. The squares, plazas, and urban parks to be considered include, but are not limited to the following: Longfellow (at Congress and State); Bramhall (at Congress, Cumberland, and Deering); Boothby (Fore Street between Pearl and Market); Congress (at Congress and High); Monument (at Congress and Federal); Lobsterman (at Temple and Middle); Lincoln (at Congress, Pearl, Federal and Franklin); Bell Buoy (54-56 Commercial St.); and Tommy's Park and Post Office Park (at Exchange and Middle). ROS text amendments are proposed that amend the purpose statement, permitted uses, and dimensional standards.

STUART O'BRIEN, CHAIR - PORTLAND PLANNING BOARD

Planning Board

4-8-14

1. B-2

Possible Primary street frontage commercial 70% of street frontage to a given depth Store front

Possible Go to 1,000 SF, not tie density to nearest residential zone or 2,000

% of street front,

Parking - define

Public Comment -

Keri - Parking issues

Jason - Setbacks adjacent to residential zone or use.

75% of street frontage at least 20' depth.

Bill OK, w residential on 1st floor.

OK w flat density on res. not tied to abdt zone
Sean agree w Bill on both.

Jack leave setback constant, not higher adjacent to res zone or use
(constant # for res density)

Street frontage - active street frontage options, hood dimensions
proportion. on hammer (like B1 118 (against))

Track. Fixed density adjacent to residential

Setbacks consistent w zone (

Streetscape - 118 is a good guide. worked well to concentrate
commercial (doesn't need to be commercial but residential 1st
floor.

2

April 8 cont'd
B-2 zone - April 22 P.M.

R-6 to R-7 East Bayside

1. Christina McNeal - S Smith St 2 unit
Next door to R-7 on Smith St. Interested in creating
new housing oppty's in EB + city's; Rezoning is important
R-6 designed for gentrification. Can only build large mansions
Can't build middle income, only luxury market in R-6. Pitches appeals
from RE agents to sell houses. Gentrified her yrs in nbhd. Advocate
for folk who can't afford to come to meetings. Consider rezoning
the blue + red blocks as politically most expedient.
2. Melissa Hopkins 52 Smith St across from Bayside East
Former pres of EBNO, board member. Like case by case rezoning
like Bayside East was able to have input into specific project.
Not comfortable w/ up front rezoning "build what you want"
3. Michelle Carter 88 Ardmore EBNO 4 yrs Treasurer 3 yrs
Mirror Melissa (and Christian) Recognize housing needs.
Like EB due to diversity, cultural, ethnic, economic. R-7 could
create less diversity ironically, Finkes don't get notices - People have
concerns - If goes R-7 will incentivize redevelopment - Land + bldg
owners support for change - due to extra floor in R-7 50'
no setbacks, high lot coverage. Family friendly jeopardized
3-7 children per household is not uncommon. Lots of small units
will displace family oriented housing. Need to take time to
clarify visions.

3 April 8

4 Ken Lord - Deering St. This is way too broad. So much of the neighborhood is much as it was in 1914. Don't want to see neighborhood broken up, keep family housing on peninsula with children. If no setbacks - barren view of neighborhood, Setbacks are important, houses have back yards. Deal just w/ PTH proposal and have more discussion on rest of neighborhood. Backward to be changes from R-6 to R-7 but we don't know what R-6 will be.

5. Arne Pringle - W.Prom Neigh Assoc.; Concerned w/ 20 year old housing definitions - New forms of housing on peninsula, family up to 16 people - can be unrelated individuals, Criteria based housing - sober housing for addicts - Developers buying property for "urban based" housing 4 in one block on Parkside transformed to neighborhood - Look at housing definitions speaks as individual - What is city definition of affordable, to whom, > for how long? Increase value by density - five years only - be sure it is long term affordable. Avesta housing is moderate affordability but meeting greatest need.

6. Caroline Bloodfield - PSA R-6 is inappropriate to most R-6 neighborhoods, in favor of portions to R-7 beyond area of PTH, Problems w/ R-7, financing housing in city can only build for rich or poor - not middle incomes. Not a zoning issue but financing. Changes for R-6 look attractive - covers large portion of city - will take a long time to accomplish - R-7 is known and

4.

P B d

April 8

7 Jonathan Colley - General council. E Bayside development is happening, will be a juggernaut - Protect qualities of economic & racial diversity. Minjey Hill centers are being forced out. Minjey Heights luxury townhomes. West End Place market rate rentals - B1 = R7 makes that possible. Middle ground is good for market rate housing; Disclosure - 3-6 site largest underutilized parcel, as of today working on a project market rate rental housing - Plans are abstract, will share w/ EBNO, will require R-7 zoning block 7 Andrew Everett Fox. Supports R-7 expansion, still proposal.

8. Ron Baum - 202 Washington Ave EB or MH.11.? developer support full rezoning to R-7; Common person wonders what will happen in R-7? dozen years 10-12 R-7 projects, all subsidized, no market rate R-6 does not work, developers unable to change zone, public believes it is bad for them - Can ask for zoning change when you want to put addition or upper floor. Lots of trap doors. Density not the issue. 200 vacant lots tied up w/ old fashioned zoning. How will we free up these lots? Midst of real estate activity where we can gain traction - Not fair to require for one person, will take that boundary to get something now, if not full rezoning

9 Cynthia Cochran Hammond Street - Bad photograph of Hammond Street spectacularly strange, not at all typical. No open space in R-7, Lot coverage 108%??? No green space

9 could Blanket R-7 does not serve neighborhood interests. Would not have bought on Hammond St if it was R-7. Everyone gets letters to purchase property two lots, plenty of open space. Not up Hammond St not other streets either.

* OK PHT and adjoining properties - Not blanket R-7

10 Hope Anderson St, OK with single property at Boyd - Oxford, lots of meetings build trust w/ nbhd. Live in red section. Objects to R-7 there why will R-7 make problems go away? Not a good fix doesn't fit needs. Tying neighbors living around large R-7 developments is not a good idea. Be either municipal (liberal) or do it on a case by case basis, if they are all successful, then OK. Build trust - Nervous about 36 parcel across street from her house not a comfortable feeling - how were these blocks chosen?

Close public comment period

Track - explains process. P.H. April 22. advocate whole area.

→ housing development

→ flexibility w/ p

Sean - Design review process in R-7 might give more protection than R-6

10 of 12 were subsidized favor PHT tracts and adjacent parcels some 70% space, look at larger area PHT plus or entire study area

Jack affordable is dynamic, forces change important for Portland - Thruwaytown needs all strata of population. R-7 zone is greater affordability ^{than} for R-6 zoning is one of many factors - In favor of broader R-7 zone work out bugs; Broader light than PHA parcels, If not ready to do the larger area, then do PHA, 36.

Bill - Likes R-7, designed for in-fill lots, OK for individual parcels Not spot zoning intended case by case - PHA project should go forward. would not go beyond single parcel - Not rush forward, See what R-6 is coming; conservative approach - deal w/ single parcel Not launch into wholesale rezoning of E. Bayside not even PHA properties -

Sean Individual parcel zoning is spot zoning, might not be illegal, only if it is not consistent w/ Comp Plan - Neighbors may legitimately object to rezoning. Often look at need for more process - when it is ready to make a decision Council Board concurs with one-off zoning decisions is not the right way to go. We have plenty of experience w/ R-7, we have enough information - but more comprehensively

- 1) unfair to similar landowner
- 2) unmanageable w/ complex code
- 3) Not strategic - no parcels identified pursuant to ^{wide}
- 4) Not pro-planning - reactionary,
- 5) R-7 is known, constrained, not a move,
- 6) vests too much power w/ P.Bd. - unpredictable & inconsistent

7 Plans Board
Approved 8

Spec Not in favor of single parcel,
Not entirety of R-6 not ready to resign.
Not PTH property alone
PTH and contiguous area is approach.

R-OS zone map amendment
Public Comment

1. Joan Grant 442 Cumberland Ave. Near High St
parks have been zoned business rather than residential
Councilor Donoghue / Marshall, this is a good change
in response to sale of Cong Sq. Plc.

Q 1 why were parks zoned business?

Q 2 Include all of Cong Sq. Plc. so it will be covered.
become rezoned + residential Council

2. Pat O'Donnell, 442 Cumberland Ave. Bought up
Not properly zoned, recreation not business or residential
Look at Cong Sq. if referendum passes.

Carol → ~~cannot be changed~~. Cannot change this to include
P+S portion; under contract. ^{City Council.} PTH cannot change

Board -

Bill Hall - Wonderful what public good is? This is a good thing, good approach...
Comfortable w/ R+OS, in favor -

Jack Urban Open Space zone - Not another zone
Want to protect them with same level protection -

8.

Bill - Can define recreation broadly enough. to cover
comfortable with this, avoids another defunct
issue to grapple with

Carol Initial response same as Jack; Not parts
to go running barefoot in.

Tim Simplicity is good idea, accomplishes same thing
Support this. Encouraging higher density on peninsula, need
to create walkable open spaces

Carol - uses can vary from each other.

Jack. Just a title, bowing to peer pressure, important thing
is to provide the zoning protection, should go city wide.

Sean - Rest of square not within preview. Supports this
regarding.

Carol. include "public" in

Jack - Uncomfortable with this - Big reservations
about the set aside of an ROS zone and value of
lively urban open spaces. Playground,
sidewalks, etc. Open Space plan about to begin
should have another zoning designation, worry about
unintended consequences of going down this road.
Boathouse Square apart? Undumes Payson ...

Don't know, voiced @ workshop -- Still has taken ROS
zone, which did not anticipate this, and stretch to cover
these specific plazas. Uncharted territory in taking ROS
for this purpose, skipping all the off peninsula places.
Struggling with what we don't know.

9

Jack - what is the downside?

Trk - Text changes - limit ability
to reconfigure open spaces, like Monument sq.
will

Bell Broug Lobstein, Man Sq - what if we want
to reconfigure these?

Zone Map Moved by Dean
Second by Morrisette
voted 5-1 O'Brien opposed, Boepple
absent

Zone text moved by Dean
Second by Morrisette
w/ par. 1, 2, 5 40
voted 5-1 (O'Brien opposed
Boepple absent.)

**Memorandum
Planning and Urban Development Department
Planning Division**



To: Stuart O'Brien, Chair and Members of the Portland Planning Board

From: Richard Knowland, Senior Planner

Date: April 4, 2014

Re: East Bayside Rezoning (R-6 to R-7)

Project #: #2014-013

Meeting Date: April 8, 2014

I. INTRODUCTION

The Portland Housing Authority (PHA) discussed a proposal to rezone their East Bayside campus from R-6 to R-7 at the March 11th workshop. The Board felt a follow-up workshop should be scheduled to consider the entire East Bayside R-6 for potential rezoning so that land use policy issues can be reviewed comprehensively rather than a piecemeal basis. Tuesday's workshop will focus on the larger existing R-6 zone in East Bayside within an area bounded by Washington Avenue, Congress Street, Franklin Street, Fox Street to Gould Street.

Notice of the workshop consisted of the item appearing in the Portland Press Herald on March 31st and April 1st. In addition, 547 notices were mailed to neighbors.

An updated East Bayside study area and zoning map; an excerpt of the Richard's Atlas (1914) for East Bayside; an aerial photo of East Bayside are shown as Attachments A, B and C, respectively. Applicant has submitted an updated map of PHA properties with residential density and parking.

A public hearing for the PHA zone change including the larger R-6 area has been scheduled for April 22, 2014. It was the consensus of the Board that the PHA process should continue on schedule and should not be delayed if the larger rezoning takes longer to review. If a recommendation for the larger zone change area cannot be formulated at the public hearing, we suggest the PHA recommendation be forwarded to the City Council. Additional Planning Board meetings can be scheduled to discuss the larger zone change as necessary.

II. MARCH 11, 2014 WORKSHOP MEMO

The March 11th Workshop Memo includes the following information which should be reviewed in context with Tuesday's discussion.

- PHA application and background info on zone change proposal
- Comparison chart of R-6 and R-7 zones
- Discussion of peninsula residential density
- Information on previous R-7 zoned sites
- Land use policy considerations
- Zoning map with lot and building footprints
- East Bayside properties listed by block indicating address, CBL, lot size and number of housing units

III. EAST BAYSIDE LAND USE CONSIDERATIONS

In assessing the entire East Bayside R-6 neighborhood a number of observations can be made regarding land use, housing, and development patterns.

Overview

The existing East Bayside R-6 is framed by a B-2b zone along Washington Avenue, a B-2b along Congress Street, Franklin Street, an I-Lb zone and B-5 zone between I-295 and the neighborhood as well as an R-OS zone (Fox Field).

The existing R-6 residential zone is almost entirely residential except for the Mayo Street Art facility (12 Mayo Street), City of Portland Recreation Services building (90 Anderson Street), Ingraham Volunteers (165 Cumberland Avenue) and Union Bagel (147 Cumberland Avenue). The Cathedral Church, Portland Adult Education facility (formerly Cathedral School) and Bayside Variety Store (166 Cumberland Avenue) are located between Cumberland Avenue and Congress Street. The Three G auto repair facility is located on the corner of Anderson, Fox and Everett Streets.

Neighborhood park facilities include Peppermint Park (playground), Bayside Playfield (4 acres with Fox Field, a playground and basketball courts) and Boyd Street open space (a 1.5 acre green area with a community garden). A new trail connecting Boyd Street to the Bayside Trail has been partially constructed and will be completed next year. Most residences are within a two or three block walk of park or open space facilities.

Three R-7 zones have been implemented to date in the neighborhood including the corner of Smith and Oxford Streets; corner of Greenleaf and Monroe Streets; and corner of Cumberland and Anderson Streets. See Attachment D for site photos.

East Bayside Lot Data

Attachment A from the March 11th workshop memo includes a map featuring city blocks numbered 1 to 16 for non-PHA parcels. These city block numbers correspond to charts shown on Attachment B (organized by blocks) which provide individual lot information including street address, lot area, land use and number of housing units.

A review of this data reveals most lots are relatively compact and significantly less than the R-6 minimum lot size of 4,500 sf. Most lots are occupied by single, two and three family residences. The charts indicate there are 8 four unit buildings in the neighborhood. Larger scale multi-family buildings are represented by four other properties having 7 unit, 12 unit, 15 unit and 20 unit buildings respectively. For the most part the neighborhood is composed of housing ranging from single family homes to triple deckers with an intermixing of larger residential buildings. [Note the charts have not been updated to include Hammond Street and blocks between Cumberland and Congress Street.]

Seventeen lots are listed as vacant or having a garage (with no other use) according to City Assessor records. Presumably these lots could be built on or combined with an adjacent parcel providing additional housing opportunities. The size of these parcels however reflects the general small lot size found in the neighborhood. The largest vacant parcel is only 4,800 sf in size while 13 of the lots are 2,400 sf or larger in size. There are no obvious oversized vacant non-PHA parcels that could serve as sites for larger size housing developments.

Although not a vacant lot, the non-conforming Three G auto repair facility (20,440 sf; corner of Fox and Anderson) is the largest underutilized non-PHA parcel in the neighborhood. See photo of property on Attachment E.

Neighborhood Development Pattern

The PHA campus is an anomaly in East Bayside as it doesn't fit the traditional building orientation, configuration or layout of the neighborhood. When the campus was created the traditional street grid was ignored and buildings were typically placed in a suburban layout pattern.

Ironically the 10.8 acre PHA campus is well under the R-6 density with just one dwelling unit per 2,865 sf of land area. As buildings are replaced over time (Kennedy Park buildings are 40 years old) there is an opportunity for new infill development to be designed in line with the traditional neighborhood. A first step in that direction is the proposed Bayside Anchor development featuring 45 units on 20,147 sf of land (447 sf per dwelling unit) which is close to the R-7 density of 443 sf per dwelling unit. The site of the existing Kennedy Park community center building has been mentioned as a potential opportunity for infill development.

The remainder of the East Bayside follows a traditional grid neighborhood pattern. While the ratio of building wall to street lot frontage may not be as high as some blocks on Munjoy Hill, the traditional neighborhood appears still intact except for a few vacant lots.

A closer review of Richard's Atlas (1914) reveals a denser neighborhood back then with generally more buildings per block than exists today. See Attachment B. The number varies by block but the Greenleaf-Madison-Winthrop-Everett block (#15) is the only block that appears to have the same number of buildings today as it did back then. The remainder of the block groups have experienced some reduction in the number of residential buildings over time (exclusive of the losses associated with the PHA blocks) which suggests some opportunities for infill development.

Change is inevitable in the life of a neighborhood. Past and present development patterns in East Bayside suggest potential for infill development whether by adding a unit or two to an existing building or newly constructed buildings. Context sensitive architectural designs as exemplified in the three R-7 zoned developments and reinforced by site plan design standards are an exponential advancement over designs of the 1960s and 1970s such as the original PHA buildings.

Attachment A shows the footprint of existing buildings which is helpful in understanding the neighborhood development pattern including the relationship of building mass to available land. To supplement this information we have included street view photos (Google) of individual streets to get a sense of building placement and mass, spatial relationship between buildings, streetscape, and other physical defining elements that may be helpful in the R-6/R-7 rezoning discussion. See Attachment F. As discussed in the previous memo much of Bayside could not be replicated under the present R-6. In many cases existing buildings constructed at the turn of the century (well before zoning) could not meet present day requirements such as minimum lot size, setbacks, lot coverage and density. This becomes apparent when reviewing the attached material.

The photos attempt to capture typical street level views that may not be apparent from an aerial photo or a building footprint map. These photos include non-PHA street blocks. The initial photos focus on the side streets off Cumberland Ave. including Mayo, Smith, Anderson and Cleeves to Oxford Street (Block #s 8 to 10). These blocks are generally longer than other East Bayside blocks and help "frame" the neighborhood given their proximity to Cumberland Avenue and Congress Street and the presence of civic and commercial uses associated with these streets. These images are included on Attachments F-1 to F-4.

Views of other streets are provided which hopefully capture a representative profile of the neighboring character.

IV. Neighborhood Meeting

Planning Staff held a neighborhood meeting in East Bayside on March 31st to discuss the larger R-6 to R-7 rezoning proposal. Notes from the meeting are shown as Attachment H. The predominant view expressed at the neighborhood meeting was that the R-7 density and lack of setbacks was viewed as incompatible with the existing development pattern in the neighborhood, and several residents expressed the opinion that they would not want

an adjoining lot to be developed so closely and at a scale exceeding their homes. At least one person did express support for the R-7 rezoning.

V. SUMMARY

There are a number of options the Board may want to consider in formulating a recommendation for the broader rezoning proposal for East Bayside.

1. Rezone all or a portion of the PHA campus.
2. Rezone areas covered by option 1 plus all of the “split” blocks that have PHA properties and non-PHA properties (labeled as blocks 1 to 7 and shown in red in the map prepared for the previous workshop including the Three G auto repair lot.)
3. Rezone areas covered by option 1 and 2 plus all or a portion of the remaining blocks in East Bayside. .

We will be providing additional analysis of existing lot development for Tuesday’s workshop.

The Board should also be aware that the Planning Office is working on amendments to the R-6 zone that will make it more conducive to development of the historical building types found in R-6 neighborhoods, including reductions in minimum lots size, setbacks, and other dimensional requirements. These changes are before the HCDC on April 9, and will likely be referred by HCDC to the Planning Board for further review and development, and a recommendation by the Board to the City Council. This process could take a few months to complete, likely this summer.

ATTACHMENTS

Staff Attachments

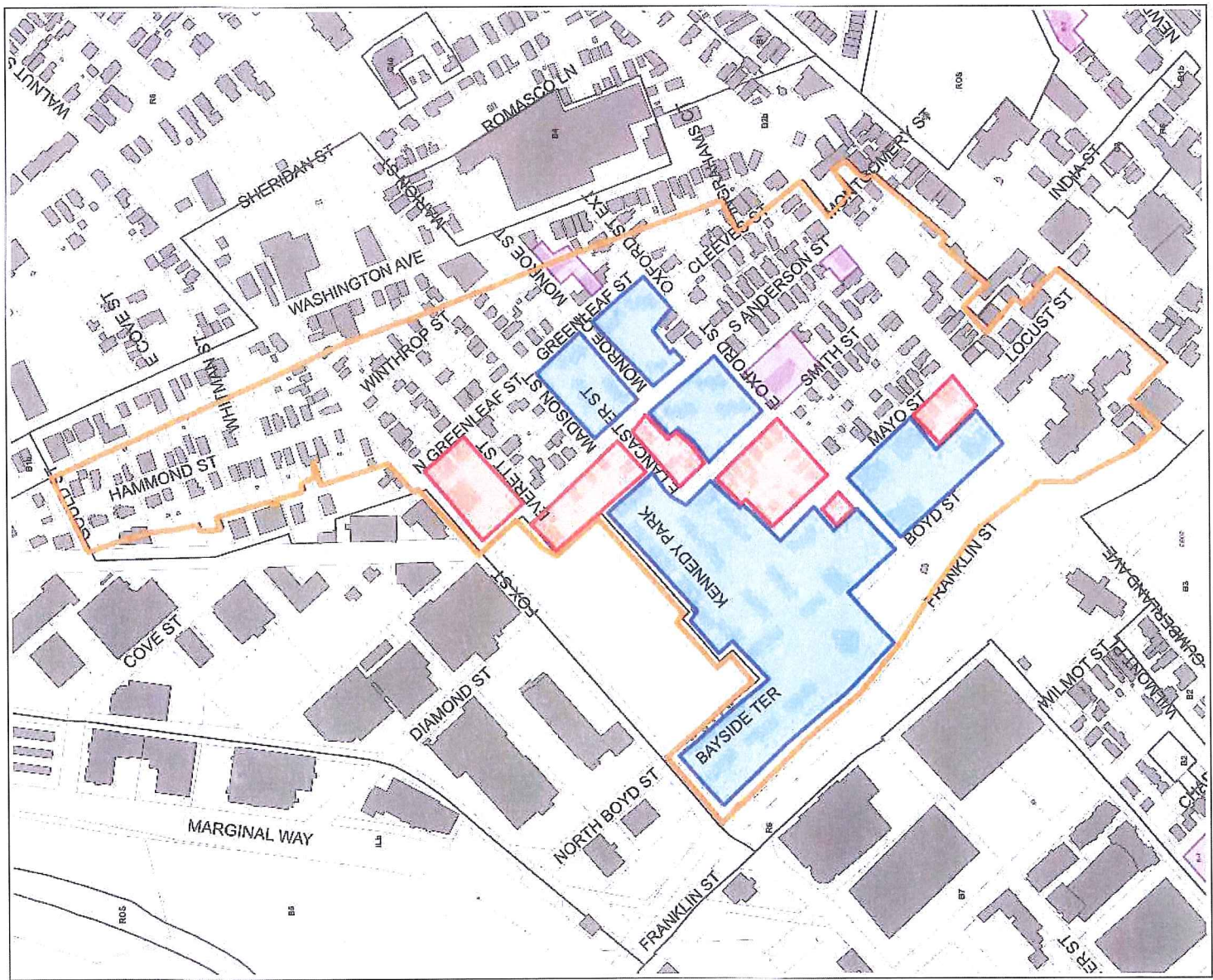
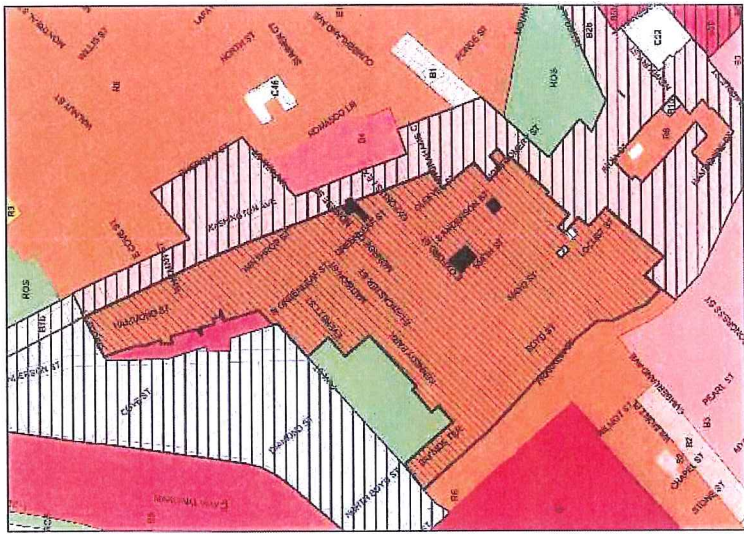
- A. East Bayside Map Area and Zoning Map
- B. Excerpt of Richard’s Atlas (1914) of East Bayside
- C. East Bayside Aerial Photo
- D. Photos of Existing R-7 Sites in East Bayside
- E. Photo of Three G property (Fox-Anderson-Everett)
- F. Views of Various East Bayside Streets
- G. Neighborhood Meeting Notes Held on March 31, 2014
- H. Written Public Comment

Applicant Submissions

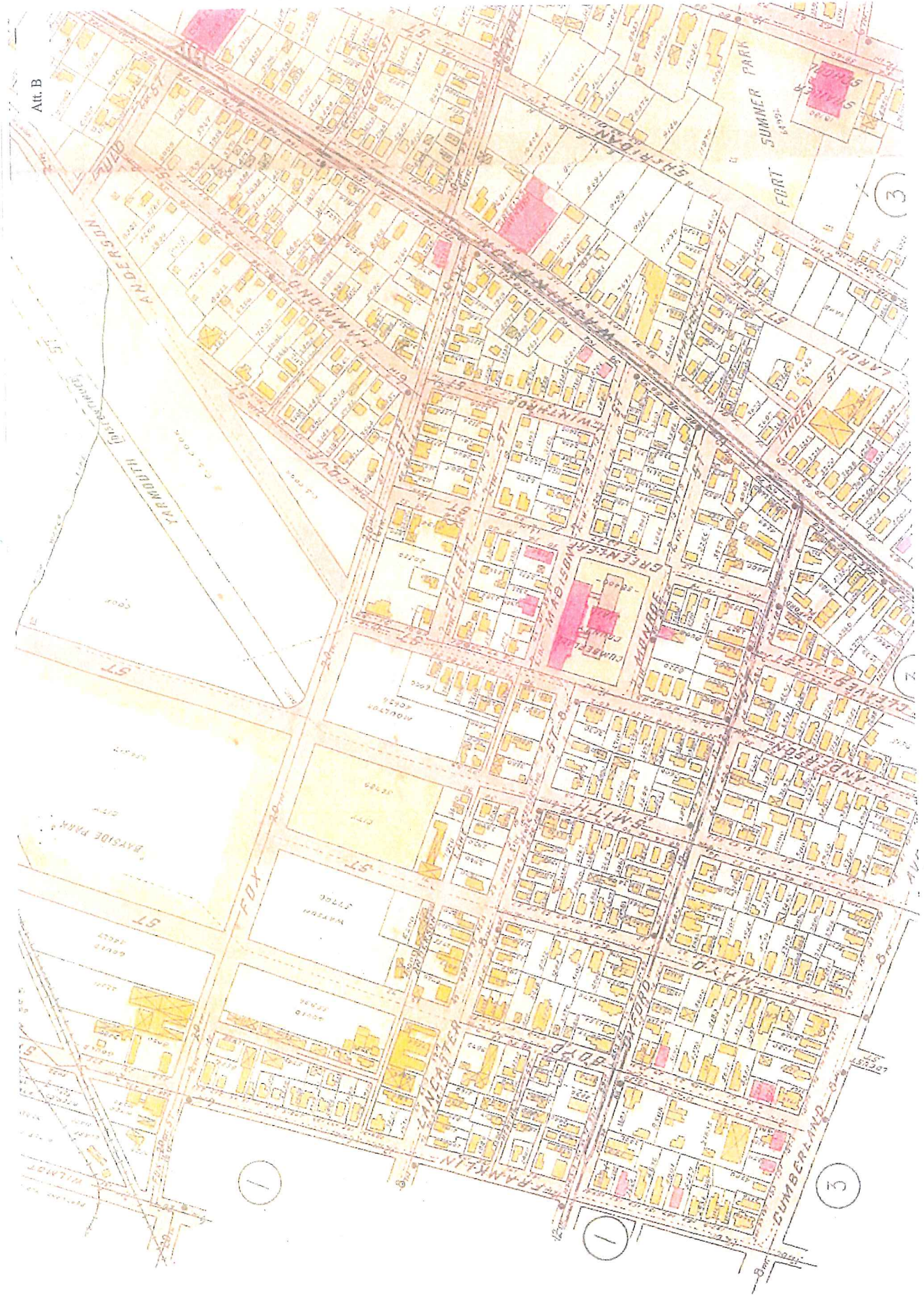
1. Updated PHA Campus Map with Residential Density and Parking

East Bayside Proposal to Rezone From Residential R-6 to Residential R-7

- Study Area
- Existing R-7
- Portland Housing Authority Parcels
- Adjacent Parcels
- Buildings
- Zone Lines

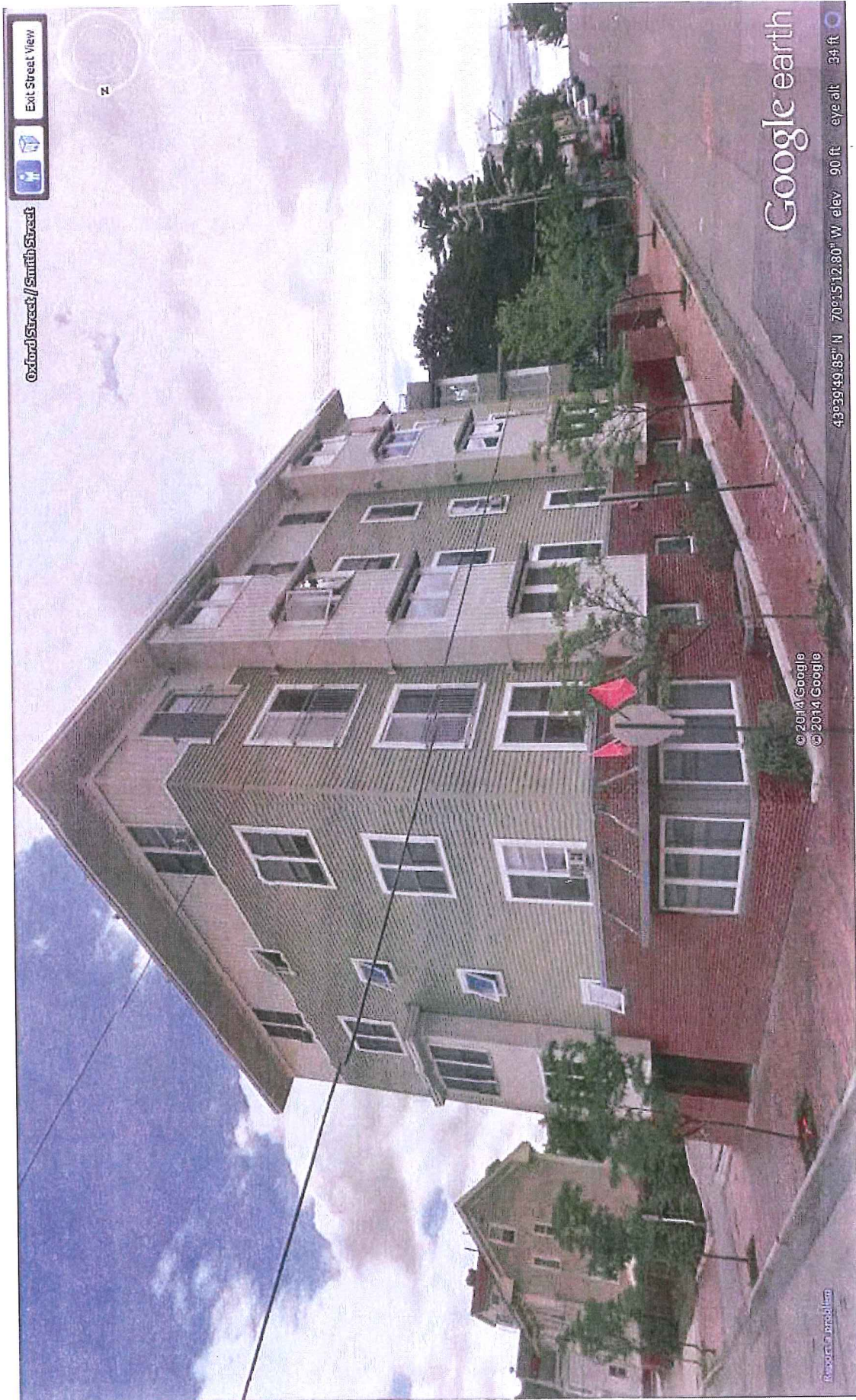


Att. B





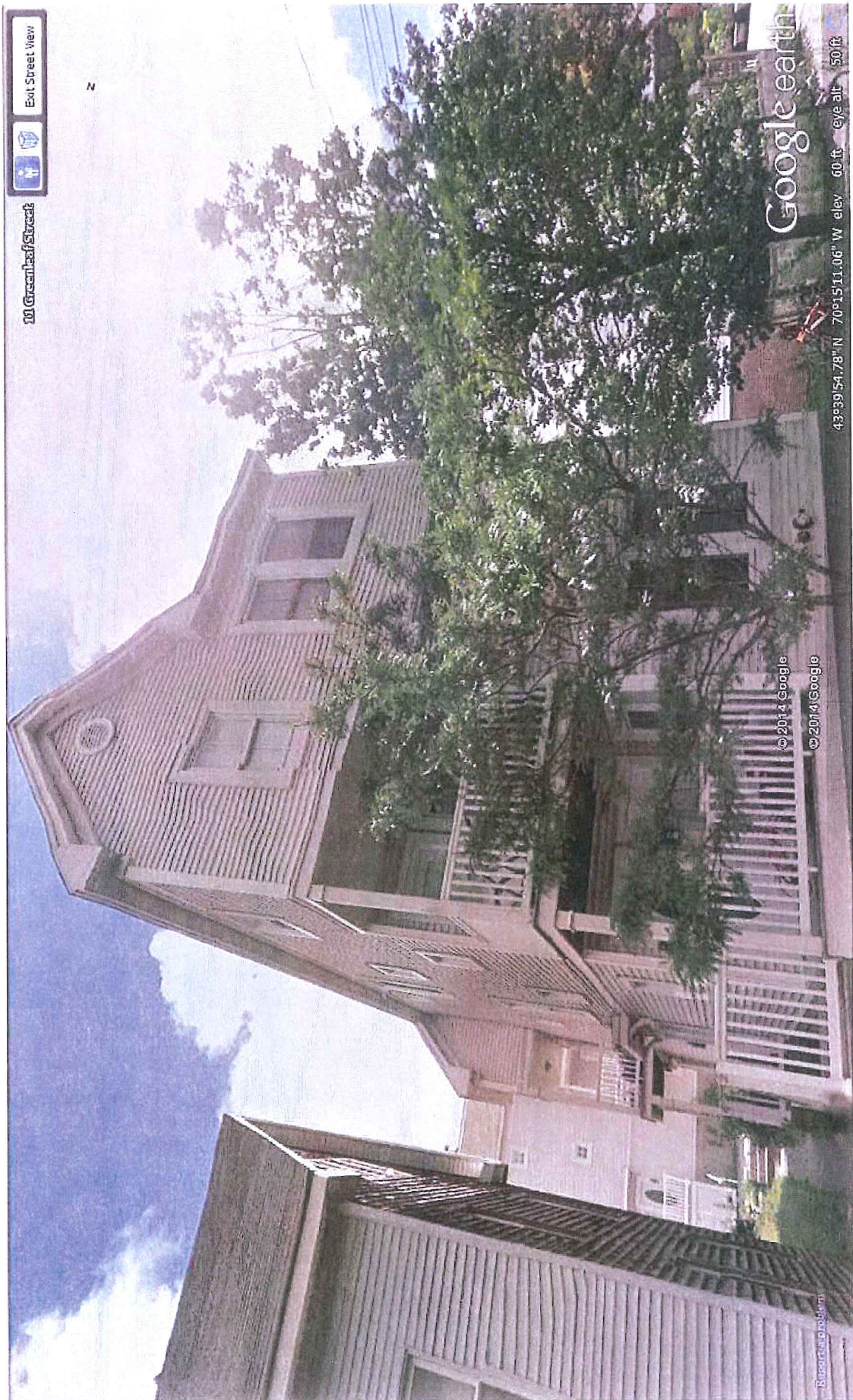
Google earth



SMITH AND OXFORD
EXISTING R-7 ZONE



SMITH AND OXFORD
EXISTING R-7 ZONE



9 GREENTREE STREET
EXISTING R-7 ZONE



14 MONROE STREET
EXISTING R-7 ZONE



CUMBERLAND AND ANDERSON
EXISTING R-7 ZONE



THREE G AUTO REPAIR SITE
FOX-ANDERSON - EVGGTT



View of Mayo Street toward Cumberland Avenue



View of Mayo Street toward Cumberland Avenue



View of Smith Street from Cumberland Avenue



View of Smith Street toward Cumberland Avenue

Auguste painted one block up



View of Anderson Street at Oxford Street (looking toward Cumberland Avenue)



Anderson Street View at Cumberland Avenue looking toward Oxford Street
Site of existing R-7 zone



View of Cleeve Street at Cumberland Avenue toward Oxford Street



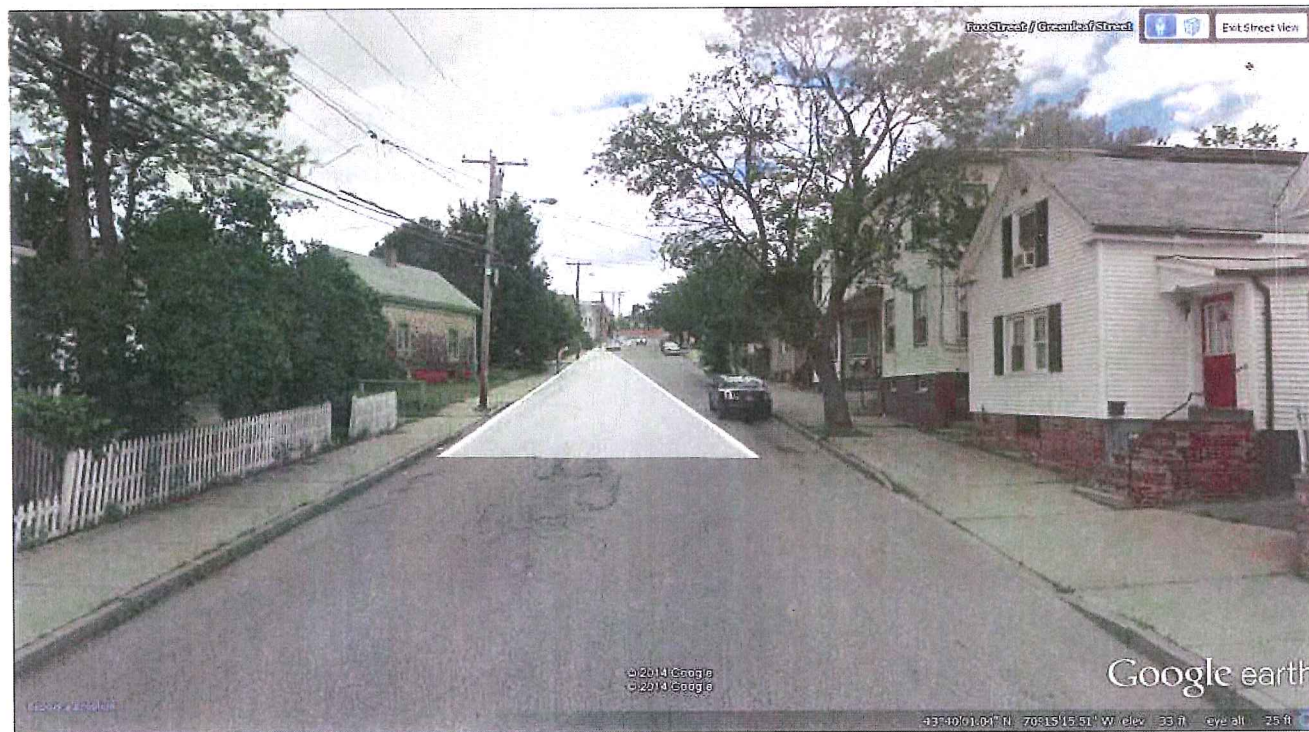
View of Greenleaf Street from Fox Street



Greenleaf Street View toward Oxford Street



View of Fox Street looking toward Washington Avenue



View of Fox Street toward Washington Avenue



View of Madison Street toward Washington Avenue



View of Hammond Street toward Gould Street

**R6/R7 Neighborhood Meeting Notes
PHA Community Room 6:00 – 7:30 PM**

Attendance Sheet

Alex Jaegerman	Portland Planning Department
Kevin Donoghue	City Councilor
Patrick Carroll	Carroll Associates
Mark Aldelson	Portland Housing Authority
Brooks More	Avesta Housing
Jesse Thompson	Kaplan Thompson Architects
Morgan Law	Kaplan Thompson Architects
Hope Chrupcala	86 Anderson Street
Michele Castner	86 Anderson Street
Cynthia Cochran	17 Hammond Street
Ellen Bailey	17 Hammond Street
Rebecca Leeman	23 Fox Street
Wendy West	23 Fox Street
Byron Davis	77 Anderson Street
Chris Teret	77 Anderson Street
Kathleen McKeon	53 Hammond Street
Megan Garaay	24 Cleeve Street
Erin Kelly	24 Cleeve Street
Chelsea Valentine	24 Cleeve Street
Even Carroll	5 Everett Street
Sasha Salzberg	5 Everett Street
Judith Ridge	190 Washington Avenue
Brendon O'Neil	105 Walnut Street
Jeff Levine	Portland Planning Board
Ben Chipman	5 Mayo Street

March 31, 2014
East Bayside Neighborhood Meeting

Kevin Donoghue: Introduction

Jeff Levine: Opening remarks to set context (Power Point Presentation)
Several Areas on the peninsula under consideration for R-7. Parkside, Parts of Libby town and East Bayside. We are also looking at zoning text in R-6 and R-7. Presented Housing Policy issues, including the housing affordability gap.

Rick Knowland: Presented the map of area under consideration for rezone from R-6 to R-7, and presented the differences between R-6 and R-7 and street view images of existing R-7 projects in the neighborhood.

Michelle Castner (Anderson Street): Asked about the auto repair garage site – If rezoned would garage be allowed?

Rick Knowland response: It is and would still be grandfathered.

Kevin Donoghue: Does housing stock resemble more of R-6 or R-7?

Rick Knowland response: Setbacks are R-7, height and density is R-6.

Judy Ridge (Washington Avenue): Lots of area was (used to be) industrial zone. Are they grandfathered?

Jeff Levine response: Most are grandfathered.

Ken Lord (Deering Street): Why 5' difference? How is height measured?

Rick Knowland response: Explained height measurement.

Chris Teret (Anderson Street): How would change to R-7 lead to more affordable housing? Concerned that the neighborhood will lose its affordable housing. New housing won't necessarily be affordable. Portland Housing is affordable; we don't want to lose existing affordable housing.

Jeff Levine response: New supply will offset demand even though new housing will charge what it can. The City is also looking ahead to consider zoning provisions to proceed but much housing is very expensive, driving market rate development. Most existing houses are much lower than 45 or 50 feet. The issue is how to encourage affordable housing types, but not producing just high end units.

Evan Carroll (5 Everett Street): Echoed Chris and Kevin's comments Likes more units in neighborhood and dense zoning. Would like to see R-7 for entire East Bayside, good idea by Planning Board and Department to look at that. How is affordability to be assured?

Keri Lord: Concerns about affordability of all new development in Portland, and size of some units. How can we regulate unit sizes? People with larger families, especially immigrants families, should not be pushed off peninsula. Lives in Parkside – Who is building 3 bedroom apartments? Parkside used to be more stable, people would stay longer. Now more transient, less stable. We need ample places for families to live – 2 babies now on Deering Street. Need affordable family size units.

Kathleen McKeon: Lives across from Hammond Street's 2 new tri-plexes. More attention to environmental conditions, especially after clear cut Jack path site.

Cynthia Cochran: RE: Hammond Street - you say those R-7's fit the neighborhood on Hammond Street and other locations where R-7 would not fit. These are established neighborhoods.

Byron Davis (Anderson/Madison Street): If R-7 is proposed in your neighborhood, would you have standing to object to proposed building next door?

Jeff Levine response: Site plan and design standards would apply.

Rebecca Leeman: Fox Street house has no setbacks or yard. I do not want that new development 5 feet from my house. Can't hang out in the yard. Parking requirements – Planning Board always gives waivers for parking.

Ellen Barley (Hammond Street): Has traffic concerns. This is not the 1950's. It is a different world. Corner of Fox and Washington is already dangerous. Already too congested and dangerous. More density will bring more traffic and more accidents, more dangerous conditions. Especially bad in the winter.

Megan Garay (Cleeve Street): Has a yard and driveway. She would not want to see more buildings with less space. The neighborhood needs setbacks. In winter conditions, no one shovels sidewalks. R-7 with minimum yards and frontage is not good.

Brendan O'Neil (Walnut Street): Does the Planning Department have data on parking utilization on the street? Also, projects that have not gone forward due to zoning that would go forward with R-7?

Jeff Levine response: We are getting parking data from Portland Housing Authority. Not aware of projects that have not gone forward. Usually developers move on when zoning won't work for them. No data on lost opportunities.

Kevin Donoghue: Framed as unaffordable city or concern about building envelope and protection of setbacks and sky exposure. E. Bayside has more sky than Munjoy Hill. Answers don't fit R-6/R-7 box. People do not like zero setbacks next door. How to protect open spaces and allow affordable housing.

Chris Teret: What is the process going forward where this decision will be made?

Jeff Levine response: Planning board will have another workshop or two then have a public hearing and recommendation to the City Council. Final decision rests with the City Council.

_____ : Portland Housing Authority was the catalyst for this, then Planning Board was inspired to look at R-7 in larger area.

Brendan O'Neil: Clarified his question on what prompted the Board?

Ben Chipman (5 Mayo Street): What is R-6 density? Lots of 2-3 unit buildings. Could not rebuild if they were torn down.

Kevin Donoghue: Which aspects of the R-7 does Portland Housing Authority need?

Jesse Thompson: R-6 goes back many decades and does not allow much to be built, especially buildings that fit the older pattern of development. Especially need lower front yard to meet the street. Side yards get larger with height. Side yard needed relief. Height not so much. Area per dwelling unit is critical. 435 is more workable than 1,000. Minimum lot size 4,500 is rare but we meet that. In summary, Bayside anchor needs changes to area per dwelling unit and setbacks. (Front and sides in our care). R-6 zone can't make a good city building. Did not want or need 100% lot coverage.

_____ : Why not rezone the entire peninsula?

_____ : How many units are allowed in the R-6 versus R-7?

Jeff Levine response: For a 5,000 sq. ft. lot, 5 units, or 10-11 units in R-7.

_____ : If inclusionary zoning goes forward, how many units would be affordable?

Jeff Levine response: Range from 1 in 6 to 1 in 12 or negotiable. Likely 1 in 10 units but still under development.

Keri Lord: The impetus for this is Portland Housing Authority, this is too broad. Parts should staff R-6, some to R-7. Would not want that Portland Housing Authority building next to her house. Need to re-think the peninsula and living on peninsula. Lots of 3 unit buildings in the neighborhood. What is wrong with that for East Bayside? Do we want tall new buildings? All

new buildings look like tenements, big buildings with flat roofs. Portland Housing Authority should get what they need but not rezone larger area. Preserve and respect existing neighborhood. What is wrong with 2 family house units and a nice back yard? Don't jeopardize _____ houses.

Michelle Castner (Anderson Street): Went to some neighbors houses to spread the word of this meeting. Renters don't get notices and they knew nothing about this. One neighbor works 3rd shift. Lots of folks who are concerned but cannot be here or don't get notice of meetings. I own my home but renters are concerned that their landlord will sell for development and they will be displaced after decades of living there. Premature to rezone large area. There is no vision. We do not need ½ million dollar condo's. Do this more thoughtfully and carefully.

Jeff Levine response: There is no database for renters. We try house social media. If people call, we will talk to them.

Kevin Donoghue: Notices to addresses not people. Homeowners in East Bayside are working class. Cost of housing construction and changes to R-6 zone are critical.

Michelle Castner: Any connection to Franklin Street planning process?

Jeff Levine response: Franklin Street will lead to a review of zoning allowing street edge. Possible TIF associated with _____ around Franklin Street.

_____: Will R-7 change property value? Property taxes?

Jeff Levine response: Assessor does not tax for maximum development capacity. Move about what current use is.

_____: Can Portland Housing Authority sell the land?

Mark Adelson response: Sale of property is controlled by the federal government.

_____: Suggestion to use community police to hand out meeting notices.

Meeting adjourned at 7:30 p.m.

Respectfully submitted: Alex Jaegerman

Att. H

March 20, 2014.

To City of Portland Planning Board and Planning Staff;

My name is Evan Carroll, I live at 5 Everett Street, and I am writing the in regards to the proposed R-7 rezone in East Bayside. I am a local architect conducting business in Portland and I am a commissioner for the Portland Housing Authority. I attended an East Bayside Neighborhood meeting on Tuesday, March 18th and I feel that many of my neighbors expressed sentiments similar to what I will express.

In this greater context, I am writing only on behalf of myself and my wife, Sasha Salzberg.

I am in support of zoning that allows more dense housing to be created in East Bayside. This is critical to the healthy growth of a city, and is also inevitable in East Bayside, given the market pressures on the Peninsula. I support denser housing because it will allow more people to live in close proximity to their jobs and their daily needs. I moved to East Bayside because it had the qualities of an urban neighborhood, including families. I love the mix of backgrounds in our neighborhood, and support the creation of more subsidized housing and more market-rate housing.

I also appreciate that the City has developed a comprehensive response to a specific and isolated rezoning request. This approach builds trust between the neighborhood and the City by setting a tone that everyone must play by the same rules. I would support a rezone of the entire residential area of East Bayside.

With my support I would also like to issue a challenge: I hope that as a city and a neighborhood we can find a way to make sure that newly created market rate living units continue support the variety of economic strata that already live in East Bayside; my particular focus is in young families. I challenge us all to plot a path that is an alternative to the housing trend that we have seen on Munjoy Hill.

I am not against the creation of high end units, I am in favor of the creation of living units for many demographics, including young families. The city has been building a brand: "Yes. Life's good here." This brand is based on the creativity of our citizens, our quality of life, and the relative affordability of living in Portland when compared to other cities in New England. I hope that we will also compare the affordability of our urban living to the suburban and rural communities directly around us. Otherwise, the growth of Portland could lead to an exodus of families and the end of the sustainable demographics that currently support our city.

I expect that a direct discussion of the cost of market-rate living units will be critical to the necessary success of the East Bayside R-7 re-zoning.

Thank you for your time.



Evan A. Carroll
5 Everett Street
Portland, Maine

Rick Knowland - Zoning in East Bayside

From: Melissa Hoskins <Melissa.Hoskins@opportunityalliance.org>
To: "rwk@portlandmaine.gov" <rwk@portlandmaine.gov>
Date: 4/3/2014 8:43 AM
Subject: Zoning in East Bayside

Dear Rick,

I am contacting you in regard to the zoning discussion in East Bayside. After attending the meeting in which a rezone of R-7 was discussed I feel strongly that the policy of "spot zoning" for this area should be upheld. I understand that it slows the process for developers because it requires that each exception to current zoning standards be considered on an individual basis. I am supportive of the changing face of our neighborhood and I think it is vital to the health and future wellbeing of this area that those currently living here are giving an opportunity to shape these changes. A rezone of R-7 would jeopardize this opportunity.

There is an overwhelming consensus among the residents here that a broad R-7 zoning change would be harmful to our community and potentially threaten the valued mix of low and median housing currently available in East Bayside. Further, the enabling larger structures on a grand scale would literally change the landscape of the neighborhood. I currently live across the street from Bayside East, a building built with acceptations to the current zoning standards. Though this particular structure, with its zero set back from the street and 5 story height is well placed, I would not be supportive of multiple structures of this size built without careful consideration and feedback from affected property abutters and other local residents. Buildings of this size literally block out the sun and affect the character of the space.

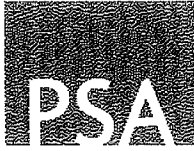
I am a home owner in East Bayside and a member of the East Bayside Neighborhood Organization and hope to continue to make this my residents for myself and my family for years to come. I hope that you will consider my voice in this decision. Thank you for your time and consideration.

Sincerely,

Melissa Hoskins

Together we'll build a stronger community.

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To the Members of the Planning Board:

April 3, 2014

The Portland Society for Architecture favors rezoning parts of East Bayside in order to allow construction that more closely approximates historic building patterns in that neighborhood and to allow flexibility in the use of smaller, otherwise nonconforming lots. Rezoning a sizeable contiguous area is preferable to the current practice of applying modifications on a lot-by-lot basis as individual projects are proposed. The Portland Housing Authority properties in East Bayside should also be included in the R-7 district.

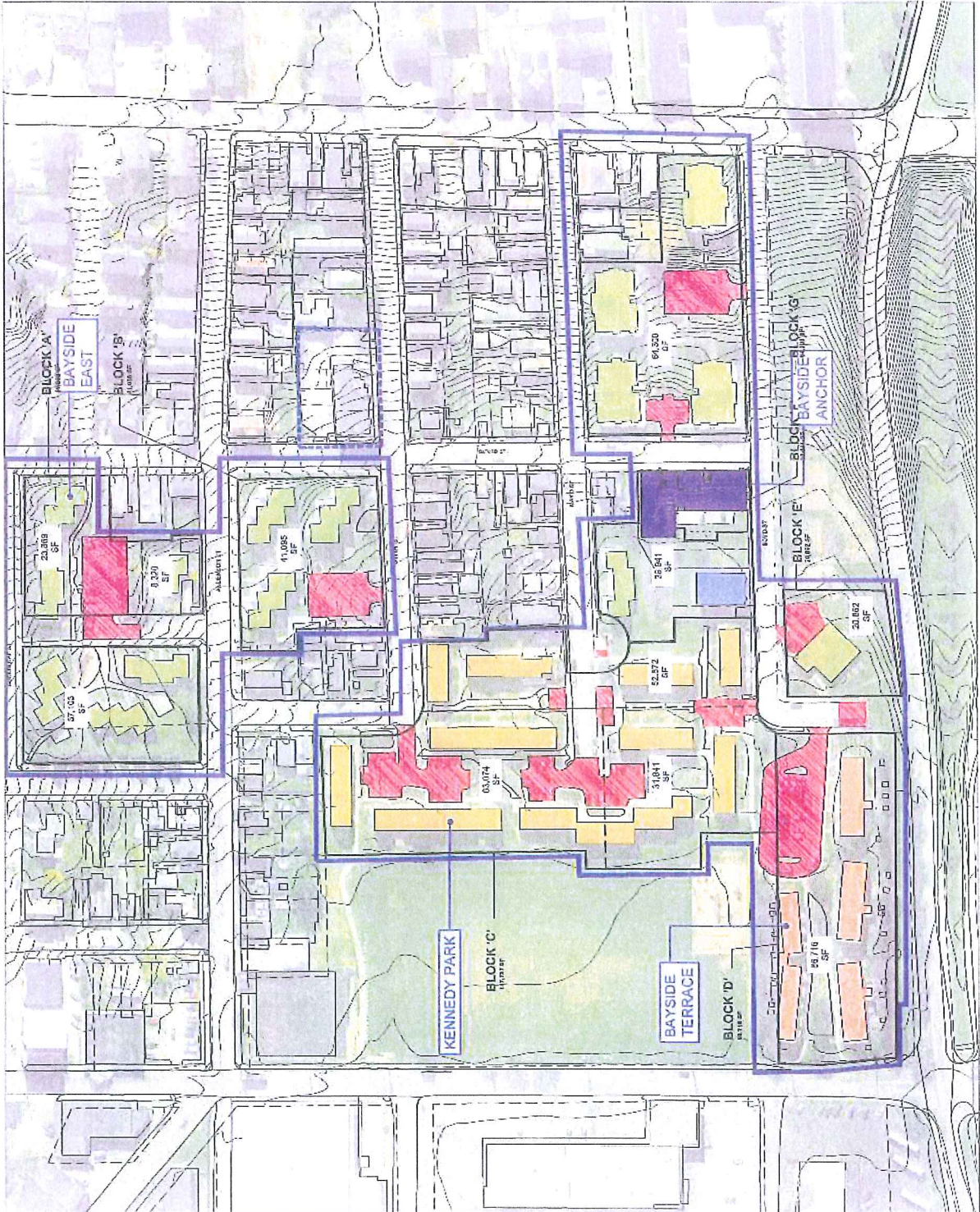
The R-6, as written, is not appropriate for any of the Peninsula locations where it is applied. It has building setbacks, minimum lot and dwelling unit sizes that stymie construction and do not reflect the existing neighborhood fabrics. The R-6 should be addressed soon, but waiting for a hypothetical future repair to R-6 will continue to discourage improvement in East Bayside at a time when the demand for housing at all income levels and sizes is high.

The current R-7 designation is not without flaws, but considering the currently available options for East Bayside, R-7 is the best overall fit. It allows a smaller land area per dwelling unit, more reasonable minimum dwelling unit sizes and it would permit the construction of 4 -story residential buildings.

Given the critical importance of creating affordable housing in Portland in coming years and the city's commitment to increasing density without compromising the quality of neighborhood life, it is fitting to rezone the East Bayside portion of the Peninsula to R-7. Our hope is that these new spaces will include a full range of unit sizes that will be affordable to a wide range of Portland residents.

Thank you.

The Portland Society for Architecture



LEGEND

- EXISTING PARKING
- KENNEDY PARK
- BAYSIDE TERRACE
- BAYSIDE EAST
- BAYSIDE ANCHOR
- PHA / PHAS OWNED
- PHA LAND RESERVES

BLOCK	SQ. FT. / ACRES	ACRE	# OF UNITS	DENSITY (UNITS/AC)
A	69,262	1.59	25	15.72
B	41,085	0.94	17	18.02
C	147,787	3.39	45	13.25
D	86,716	1.99	24	12.06
E	20,862	0.48	0	0
F	39,941	0.92	13	14.18
G	64,300	1.48	40	27.10

* TOTAL UNIT AND SQUARE FOOTAGE FOR ALL PHAS IS 508,053 SQUARE FEET AND 116.15 ACRES.

PARKING	CK. DE	PROV. DE	EXISTING PARKING	PROPOSED PARKING
LANDSIDE PARK	45	15	60	50
BAYSIDE TERRACE	24	24	30	30
BAYSIDE EAST	96	68	67	67
ANCHOR	7	7	28	0
BAYSIDE ANCHOR	0	45	0	0

TOTAL	153	20	183	157
Cars / Units			1.18	0.78

* NIC or -street parking



EAST BAYSIDE PHA PROPERTIES

PROPOSED ZONE MAP CHANGE
 OXFORD STREET, PORTLAND MAINE
 EXISTING DENSITY & PARKING

DATE: MARCH 01, 2014 BY: CARROLL ASSOCIATES

0 50' 100'



**Memorandum
 Planning and Urban Development Department
 Planning Division**

To: Stuart O'Brien, Chair and Members of the Portland Planning Board
From: Richard Knowland, Senior Planner
Date: March 6, 2014
Re: Portland Housing Authority East Bayside Rezoning (R-6 to R-7)
Project #: #2014-013
Meeting Date: March 11, 2014

I. INTRODUCTION

A workshop has been scheduled to consider a proposal by the Portland Housing Authority and Portland Housing Development Corporation to rezone their residential property holdings in East Bayside from R-6 to R-7. These properties include Kennedy Park, Bayside Terrace, Bayside East, 47-49 Boyd Street and the proposed Bayside Anchor project. The impetus for the zone change is PHA's desire to provide additional infill development within their landholdings. PHA is referred in this memo as the applicants. After conducting a public hearing, the Board will be asked to make a recommendation to the City Council on the proposed map change.

Notice of the workshop consisted of the item appearing in the Portland Press Herald on 3-3-14 and 3-4-14. In addition, 271 notices were mailed to neighbors.

II. FINDINGS

Existing Zoning: R-6 (1,000 sf or 43 units per acre)
 Proposed Zoning: R-7 (435 sf or 100 units per acre)
 Land Area: 10.79 acres
 Existing Dwelling Units: 164 units or 2,865 sf per dwelling unit
 Bayside Anchor Proposal
 Land Area: 20,147 sf
 Dwelling Units: 45 units or 447 sf per dwelling unit
 Total Dwelling Units: 209 units
 Existing Parking Spaces: 183
 Proposed Parking Spaces: 157

*ATT 7 164 umb
 ATT 8 155 umb
 application 164
 ATT 8 209*

447 sf/dwelling

III. BAYSIDE ANCHOR PROPOSAL

PHA would like to construct a 45 unit multi-family building (Bayside Anchor) at the corner of Boyd Street and Oxford Street on the site of an existing parking lot. Attachment 6 includes a map of the PHA campus identifying the zone change area and the various housing developments within the campus. Attachment 7 details existing housing unit counts and residential density. The Bayside Anchor site is located within the PHA campus but will be owned and developed as a separate corporation thus the lot must have sufficient land to satisfy density requirements. The 20,147 sq. ft. lot would fall short of the R-6 density requirements for 45 housing units hence the request for an R-7. A conceptual site plan has been submitted and is shown as Attachment 5. The proposed building is anticipated to be 4 stories high.

Uses

In addition to residential uses the proposed building will feature Head Start, a neighborhood policing office and PHA administrative offices on the first floor. These uses will be relocated from an existing one story building on Boyd Street. The PHA offices appear to be accessory to the campus, the police office a municipal use (permitted) and Head Start (an accessory or conditional use). Applicant will need to provide specific information on these uses so that Marge Schmuckal (Zoning Administrator) may make a formal determination on the appropriate use classification.

Parking

The proposed development will occupy the site of an existing 26 space parking lot and therefore be dependent on other PHA off-street parking areas on their campus. Currently PHA has 201 parking spaces for 155 dwelling units or a ratio of 1.18 spaces per dwelling unit. See Attachment 8. With the Bayside Anchor housing project in place, PHA indicates they will have a total of 157 spaces or 0.78 parking spaces per unit. The PHA consultant team is in the process of undertaking a parking study to confirm the existing campus parking demand. Anecdotal information appears to indicate that the present PHA parking demand is well under one space per dwelling.

As an affordable housing development it qualifies under sec. 14-332.2(b), which provides for a reduced parking standard with review by the Planning Board. Under the provisions of sec. 14-333, parking for Bayside Anchor may take place at an off-site location but must be within 300 feet of the project. This provision allows the Planning Board to substitute for the Board of Appeal review if the Planning Board is already considering the project under development review. Applicant should provide documentation on the parking spaces intended to serve Bayside Anchor and their distance from the development site.

Scope of Map Change

Initially PHA requested a zone change for the Bayside Anchor site only. However upon further consideration and Planning Staff input, PHA has extended their zone change to include all their landholdings in East Bayside. The submission indicates the "R-7 zone will allow increased

flexibility and density as PHA and PHDC begin planning for future renovation and expansion of its properties within the East Bayside neighborhood.”

The Bayside Anchor site needs an R-7 zoning designation since it does not meet R-6 setbacks, density, lot coverage and possibly open space requirements. The PHA campus as a whole is well under the R-6 density requirements but its development pattern is out of character with the surrounding residential neighborhoods in terms of building placement, orientation and layout. An R-7 designation will assist future PHA efforts to facilitate infill and redevelopment more in keeping with typical neighborhoods found on the peninsula.

Generally when a map change amendment is reviewed, the Board looks at it comprehensively and considers other adjacent areas that may be appropriate candidates for a similar rezoning. This may result in the Board considering and advertising a larger geographic area for the purposes of holding a public hearing, which can be reduced in scope when the Board formulates its recommendation to the City Council. Section VII of this memo includes a discussion of a larger zone change area (beyond the PHA proposal) that could be considered for the purpose of holding a public hearing.

Development Reviews

Assuming the zone change is approved, the development will be subject to Planning Board site plan and subdivision review. Depending on the Zoning Administrators interpretation of the Head Start use, a conditional use review (kindergarten) by the Board of Appeals may be required.

IV. COMPARISON of R-6 and R-7 ZONE

A chart comparing the R-6 with the R-7 is shown below. Generally the R-7 has more flexible dimensional requirements than the R-6 zone including density, minimum lot size, setbacks and height.

Zoning requirements for R-6 versus R-7 zones		
STANDARD	R-6	R-7
Purpose	Sec. 14-135. Purpose. The purpose of the R-6 residential zone is: (a) To set aside areas on the peninsula for housing characterized primarily by multifamily dwellings at a high density providing a wide range of housing for differing types of households; and to conserve existing housing stock and residential character of neighborhoods by controlling the scale and external impacts of professional offices and other nonresidential uses.	Sec. 14-141. Purpose. (excerpt) The purpose of the R-7 Compact Urban Residential Overlay Zone is to encourage and accommodate compact residential development on appropriate locations on the Portland peninsula , . . . Locations for siting the R-7 Zone are intended to be located on the peninsula of Portland, in the area encompassed in the Bayside plan, and other peninsula R-6 locations characterized by moderate to high density multi-family housing in a form and density exceeding that allowed in the R-6 Zone . . .
Permitted Uses	Residential: Single and Two-family; Multifamily dwellings; Handicapped family unit; Single-family, multiple-component manufactured housing; Single-family single-component manufactured housing Other: Lodging house; Cemeteries; Parks; Accessory uses; Home occupation; Municipal uses; Special needs independent living units; Conversion into bed & breakfast; Hostels; Wind energy systems	Uses permitted in the R-6 Zone
RESIDENTIAL: *	R-6	R-7
Min. Lot Size	4,500 sf / many lots are smaller	None
Min. Street Frontage	40 feet	None
Min. Front Yard	10 feet / many lots are closer to the sidewalk than 10	None
Min. Rear Yard	20 feet	5 feet
Side Yard	10 feet – 1 to 3 stories 12 feet – 4 stories 15 feet – 5 stories Side street: 10 feet <i>a number of existing bldgs could not meet these standards</i>	one side wider, while a second one is tighter 5 feet Side street: None
Structure Height	45 feet <i>R-7 slightly higher, I have a slide</i>	50 feet

Max. Lot Coverage	40% for lots which contain 20 or more dwelling units 50% for lots which contain less than 20 units	100%	<i>small lot buildings by definition will have to building lot coverage</i>
Min. area per dwelling unit	600 sf additional units <i>dwelling units</i> 1,000 sf gross area 1,200 sf for each unit after first 3	435 sf gross area <i>land area</i> 400 sf habitable floor area	
Open space ratio	20%	n/a	
Parking	Off-street parking is required	Off-street parking is required	

**All other uses in the R-7 Zone shall observe the requirements of the R-6 Zone (Sec.14-142 (a)6e)*

Residential Density

As previously indicated the R-7 provides more flexibility than the R-6 zone to address the opportunities of infill development including a higher residential density. A discussion on the context of density and neighborhoods is appropriate particularly since peninsula neighborhoods have far fewer people today than in the past.

Census Bureau data indicates that Portland’s population reached its peaked in 1950 with 77,634 people. Over a period of time population declined as growth in suburban areas drew people outside the City.

Attachment C is a map showing the density of people living in the City in 1950. The map indicates most Portland residents lived on the peninsula with a comparatively small number of people off-peninsula. This contrasts with present day where North Deering has the largest population of any neighborhood and 64 percent of the city’s residents live off-peninsula. (1990 Census).

The latest Census count indicates Portland’s population stands at 66,194 people (a 3 percent increase from 2000 to 2010) which is comparable to the population around World War I. Historically peninsula neighborhoods and housing were built with a higher density of people in mind. In earlier times, family sizes were larger thus there were more people per housing unit than present. Suburbanization and people having fewer children changed that. While the R-7 density is higher than the present R-6 density standard (see above) the fact remains there are now fewer people per unit occupying the City’s housing stock. According to the 1950 Census the average Portland household (population per household) had 3.16 persons with several census tracts in Munjoy Hill having 3.43 persons per housing unit. Today the average household size in Portland is 2.07 (2010 Census). As we go back into time this disparity would likely increase. An R-7 designation may not necessarily translate into a significant increase in the total number of people living in a given residential building when compared to an earlier time in the neighborhood’s history.

A review of the twelve R-7 rezonings listed in this report indicates only a couple projects that reached the maximum R-7 residential density and those required a conditional rezoning. R-7 zoning allows flexibility in building placement (more than the R-6) which may be more critical to developers than maximizing density to the R-7 limits. The R-7 does allow more density but there are other zoning provisions such as height, parking and setbacks that pose practical limits on density.

Clearly the automobile wasn't a factor at the turn of the 20th century but it is today. Automobile parking takes up space on a property occupying about 162 square feet for a standard parking space and up to 270 square feet in a formal parking lot with circulation factored in. Depending on the size of the site and number of units proposed, the amount of residual lot area available to accommodate parking may be limited. But there are other considerations. In an in-town location not everyone needs a car since public transportation is available and jobs, shopping and services are often within walking distance. The Planning Board is able to modify the normal one space per dwelling requirement in which parking demand is reduced through travel demand management programs, shared-use vehicles and other measures.

V. IMPLEMENTATION of R-7

Since the enactment of the R-7 zoning text in 1999 a number of R-7 map changes have been implemented on the peninsula. These rezonings and the subsequent housing developments provide a track record of how this zoning concept has worked. Generally these developments have been well received, contribute towards neighborhood revitalization, and blend in well with their surroundings.

The R-7 is a valuable tool to enhance infill development in a neighborhood. The present layout and pattern of residential development in many R-6 neighborhoods could not be replicated under the present R-6 zoning text. In many cases existing buildings constructed at the turn of the century (well before zoning) could not meet present day R-6 requirements such as minimum lot size, setbacks, lot coverage and density. It is precisely these building placement traits that contribute toward the physical character of a neighborhood. The R-7 on the other hand is more flexible which means building placement can reflect the traditional development pattern of a neighborhood.

Below is a list of R-7 rezonings. The column "Reason for Zone Change" refers to the reason why the developer sought out the more flexible provisions of the R-7 zone although there may be other considerations such as building placement that are not listed. Note several of these zone changes also included conditional zoning. Three of the R-7 rezonings have taken place in East Bayside including corner of Greenleaf and Monroe; corner of Smith and Oxford; corner of Cumberland and Anderson. The PHA proposal would be the largest R-7 rezoning to date.

Project	Land Area (sq. ft.)	Housing Units	Reason for Zone Change
Unity Village (Berman)	31,000	33	Density, setbacks
Greenleaf and Monroe (PROP)	10,833	9	Side yard and parking
Hanover (PROP)	3,820	3	Side yard and parking
Smith and E. Oxford (AVESTA)	14,790	20	Density
Cumberland/Anderson (PROP)	5,005	4	Parking, setback
Project	Land Area (sq. ft.)	Housing Units	Reason for Zone Change
Grant and Mellon (PROP)	18,980	16	???????
Valley and Gilmanton (AVESTA)	19,683	24	Density and parking
91 State Street (Butterfield)	8,548	10	Density and min. dwelling size
High on Danforth (CHOM) COND.	7,656	30	Density and parking
66-68 High Street (CHOM)	23,797	38	Density and "lot coverage?"
Federal Street (Gan)	11,528	8	Parking, side yard
53 Danforth Street (Szanton) COND.	16,470	43	Side yard, density, height,

939
739
820
854
258
626
383

VI. LAND USE POLICY

As stated the purpose of the R-7 Compact Urban Residential Overlay Zone is:

"To encourage and accommodate compact residential development on appropriate locations on the Portland peninsula, pursuant to the New Vision for Bayside element of the comprehensive plan and housing plans of the City of Portland. Sites suitable for in-city living should be within walking distance of downtown or other work places, shopping and community facilities access to public or private off-site parking or transit service. The zone is to foster increased opportunities for compact in-city living for renters representing a variety of income levels and household type

Locations for siting the R-7 zone are intended to be located on the peninsula of Portland, in the area encompassed in the Bayside plan, and other peninsula R-6 locations characterized by moderate to high density multi-family housing in a form and density exceeding that allowed in the R-6 Zone and where infill development opportunities exist; and areas on the peninsula with mixed business and residential zoning and uses which can accommodate higher density infill residential development without negatively impacting the existing neighborhood or adjacent properties...

Housing: Sustaining Portland's Future contains several goals which are applicable to this proposed map amendment. Chief among them is *Policy #1 Ensure an Adequate and Diverse Supply of Housing for All* which states:

"Ensure that an adequate supply of housing is available to meet the needs, preferences, and financial capabilities of all Portland households, now and in the future."

- Objective 1.a. *Ensure the construction of a diverse mix of housing types that offers a continuum of options across all income levels for both renter and owner-occupied.*
- Objective 1.b. *A variety of housing choices should be available such that no one should have to spend more than 30% of their income for housing.*
 - Encourage and support Portland Housing Authority to become active in development of more housing.*
- Objective 1.c: *Encourage higher density housing for both rental and home ownership opportunities, particularly located near services, such as schools, businesses, institutions, employers, and public transportation.*
 - Encourage higher density multi-family developments and mixed-use projects with housing, along major public transportation routes, near service areas, and in redevelopment or infill areas.*

Objective 1.d: *Increase Portland's rental housing stock to maintain a reasonable balance between supply and demand yielding consumer choice, affordable rents, and reasonable return to landlords.*

1.d.2 Evaluate and update current zoning, as needed, to eliminate barriers to the creation of rental housing . . .

Policy #5: Portland's Comprehensive Plan encourages a manageable level of growth that will sustain the City as a healthy urban center in which to live and work and to achieve a shared vision for Portland. Portland should encourage sustainable development patterns and opportunities within the City by promoting efficient land use, conservation of natural resources, and easy access to public transportation, services, and public amenities.

- *Objective 5.b: Maximize development where public infrastructure and amenities, such as schools, parks, public/alternative transportation, sewer lines, and roads exist or may be expanded at minimal costs.*

VII. CONSIDERATION OF LARGER MAP AMENDMENT AREA

Generally when the Board reviews a map change, the Board looks beyond the applicant's proposal to consider other adjacent areas that may also be appropriate candidates for a rezoning. This may result in the Board considering a larger geographic for the purposes of holding a public hearing which can be reduced in scope when the Board formulates its recommendation.

For the Board's consideration staff has outlined additional land area the Board may want to consider for purposes of holding a public hearing. These areas are shown on Attachment A and identified as blocks 1 to 7. Generally the blocks about the PHA campus or "fill out" a block that has PHA properties which seems to be a logical extension of a rezoning. For background information a listing of land area, land use and number of housing units for each R-6 zoned lot in East Bayside (for non-PHA properties) has been provided on Attachment B. This data has been organized by block so information on lots considered for rezoning (blocks 1 to 7) can be reviewed as well as other East Bayside blocks/lots outside the proposed rezoning (blocks 8 to 17). Similar information on PHA owned properties is shown in a different format on Attachment 7.

The PHA proposal is to rezone their campus. Considering a larger area for rezoning may complicate the rezoning process. PHA has a fairly ambitious schedule for the zone change and site review process in order to take advantage of funding opportunities. The additional rezoning area is relatively modest in size but if during the workshop or public hearing these additional properties compromise this schedule, we may need to uncouple these properties from the PHA request and follow a different schedule.

NEXT STEPS

1. The Board should determine the geographic area of the rezoning for the purposes of holding a public hearing.
2. Schedule a public hearing.

GO TO ATTACHMENT A

ATTACHMENTS

Staff Attachments

- A. Map of Potential Non-PHA Properties to Consider for R-7 Rezoning
- B. East Bayside Lot Size, Use and Density by Block (Non-PHA Properties)
- C. Portland Density Map of 1950

Application Submissions

- 1. Zone Change Application
- 2. Vicinity Map
- 3. List of PHA Properties to be Rezoned
- 4. Deeds (excerpt, remainder on file in Planning Offices)
- 5. Site Plan
- 6. Zone Change Map
- 7. PHA Campus Density
- 8. PHA Campus Parking Count
- 9. Bayside Anchor Ownership Info.
- 10. Neighborhood Meeting Notice (2-27-14)

EAST BAYSIDE NON-PHA PROPERTIES BY BLOCK

Attachment B

CUMBERLAND-OXFORD-MAYO-BOYD BLOCK #1 (Adjacent to PHA)

Address	CBL	Lot Area in Sq. Ft.	Housing Units
165 Cumberland Ave. (2-6 Mayo St.)	22-H-26	4,200	12 (Ingraham House)
8-10 Mayo St.	22-H-28	1,815	2
12 Mayo St.	22-H-23	3,850	School (Owned by Charity)
171 Cumberland Ave.	22-H-24	3,080	Commercial
169 Cumberland Ave.	22-H-25	3,024	(Ingraham House)

OXFORD-BOYD-MAYO #2 (Adjacent to PHA)

Address	CBL	Lot Area in Sq. Ft.	Housing Units
36-40 Mayo St. (69-73 Oxford St.)	22-I-5, 6	4,340	1 + 3

1-2

3

6

ATT B

OXFORD-MAYO-SMITH BLOCK #3 (Adjacent to PHA)

Address	CBL	Lot Area in Sq. Ft.	Housing Units
35-39 Mayo St. (65-67 E. Oxford St.)	22-I-19	2,600	3
41 Mayo St.	22-I-18	2,470	2
43 Mayo St.	22-I-14	2,692	Vacant
45 Mayo St.	22-I-13	2,886	Garage
49 Mayo St.	22-I-10	3,960	3
78 Smith St.	22-I-11	2,700	a
76 Smith St.	22-I-12	2,288	2
74 Smith St.	22-I-16	2,640	a
70 Smith St.	22-I-17	3,062	a
68 Smith St.	22-I-25	1,800	3
66 Smith St.	22-I-26	1,600	3
62 Smith St. (53-55 E. Oxford St.)	22-I-27	1,730	2
57 Oxford St.	22-I-22-24	3,641	Garage
61 R. Oxford St. (east)	22-I-15-28	4,353	Vacant

LANCASTER-SMITH-ANDERSON BLOCK #4 (Adjacent to PHA)

Address	CBL	Lot Area in Sq. Ft.	Housing Units
77 Smith St.	22-K-2	2,448	1
14-16 E. Lancaster St. (79-83 Smith St.)	22-K-20	3,408	1
10 E. Lancaster St.	22-K-3	3,907	2
2 E. Lancaster St./58-60 Anderson St.	22-K-4	5,266 Total for Both	1
6 E. Lancaster St. (58-60 Anderson St.)	22-K-4	0	1
12 E. Lancaster St.	22-K-1	2,192	1

Handwritten notes: 13, 14, 18

OXFORD-ANDERSON-GREENLEAF-MONROE BLOCK #5 (Adjacent to PHA)

Address	CBL	Lot Area in Sq. Ft.	Housing Units
31 Oxford St.	13-B-8	3,200	3
27 Oxford St.	13-B-7	3,200	3
35 Oxford St. (37-41 Anderson St.)	13-B-6-13	2,895	3

ANDERSON-LANCASTER BY SOCCER FIELD BLOCK #6 (Adjacent to PHA)

Address	CBL	Lot Area in Sq. Ft.	Housing Units
74-76 Anderson St.	23-B-13-33	4,800	1
78 Anderson St.	23-B-11	1,500	Vacant
80-82 Anderson St.	23-B-7-9	5,700	2
86 Anderson St.	23-B-3	5,550	1
90 Anderson St.	23-B-32	6,080	1
1-7 Lancaster St./Anderson St.	23-B-21	8,400	1

37
37

(9)

FOX-ANDERSON-EVERETT-GREENLEAF #7

Address	CBL	Lot Area in Sq. Ft.	Housing Units
89-99 Anderson St. (Everett and Fox Sts.)	12-I-1	20,440	Commercial
29 Everett St.	12-K-5	2,920	Commercial
42-52 Greenleaf St.	12-I-2	11,592	15 ^N

CUMBERLAND-OXFORD-MAYO-SMITH BLOCK #8

Address	CBL	Lot Area in Sq. Ft.	Housing Units
5 Mayo St.	22-J-23	2,283	3 ^N
9 Mayo St.	22-J-19	2,390	2 ⁺¹
11 Mayo St.	22-J-16	3,300	2 ⁺¹
13 Mayo St.	22-J-12-15 (Unit 1)	9,460	1 ⁺¹
13 Mayo St.	22-J-12-15 (Unit 2)	0	1 ⁺¹
15 Mayo St.	22-J-12-15 (Unit 3)	0	1 ⁺²
21 Mayo St.	22-J-11	3,955	1 ⁺³
23 Mayo St.	22-J-8-0	4,286	1 ⁺³
66 Oxford St. (27-79 Mayo St.)	22-J-1-2-4-33 (Unit 1)	7,181	1 ⁺¹
68 Oxford St. (27-79 Mayo St.)	22-J-1-24-33 (Unit 2)	0	1 ⁺⁴
52-58 Oxford St. (56-58 Smith St.)	22-J-5-6	5,743	1 ⁺³
48-52 Smith St.	22-J-7-10	5,419	2 ⁺¹
44-46 Smith St.	22-J-13	3,182	2 ⁺¹
42 Smith St.	22-J-14	3,495	2 ⁺¹
38 Smith St.	22-J-18	3,002	2 ⁺¹
36 Smith St.	22-J-21	3,002	3 ⁺¹
32-34 Smith St.	22-J-20-22	4,156	1 ⁺¹
149 Cumberland Ave. (Corner of Mayo St.)	22-J-29	1,700	4 ⁺²
151 Cumberland Ave.	22-J-28	2,156	3 ⁺²
155 Cumberland Ave.	22-J-26	3,569	3 ⁺²
151 Cumberland Ave.	22-J-28	2,156	3 ⁺²
153-155 Cumberland Ave.	22-J-27	3,283	Vacant ⁽²⁰⁾

CUMBERLAND-OXFORD-SMITH-ANDERSON BLOCK #9

Address	CBL	Lot Area in Sq. Ft.	Housing Units
145-147 Cumberland Ave. (27-31 Smith St.)	22-L-17	3,180	4
141-143 Cumberland Ave.	22-L-18	2,790	3
139 Cumberland Ave. (2-6 S. Anderson St.)	22-L-19-20-21	4,870	4
8 Anderson St.	22-L-24	2,712	1
10-12 Anderson St.	22-L-15	2,995	1
14 Anderson St.	22-L-13	3,272	3
16-18 Anderson St.	22-L-12	3,635	3
20-22 Anderson St.	22-L-8-9	4,447	1
24-26 Anderson St.	22-L-7-25	3,676	3
28-32 Anderson St. (36-42 Oxford St.) Condo #1	22-L-4-22-23	0	1
28-32 Anderson St. (36-42 Oxford St.) Condo #2	22-L-4-22-23	0	1
28-32 Anderson St. (36-42 Oxford St.) Condo #3	22-L-4-22-23	0	1
33 Smith St.	22-L-16	4,000	3
35-37 Smith St.	22-L-14	5,643	4
39-41 Smith St.	22-L-11	4,900	2
43-45 Smith St.	22-L-10	5,000	2
47-55 Smith St. (48-50 Oxford St.)	22-L-1-2-3-6-26-27	14,600	20

3/15

2004/11/16

CUMBERLAND-OXFORD-ANDERSON-CLEEVEES BLOCK #10

Address	CBL	Lot Area in Sq. Ft.	Housing Units
119-121 Cumberland Ave. (2-6 Cleeve St.)	13-D-17	1,896	3 + 1
123 Cumberland Ave.	13-D-16	5,057	3 + 2
127 Cumberland Ave.	13-D-15	2,312	4 + 1
5 Anderson St.	13-D-14	1,512	Vacant
7-9 Anderson St.	13-D-13	2,075	3 N
11 Anderson St.	13-D-12	1,525	3 N
13-15 Anderson St.	13-D-10	1,025	3 N
17-19 Anderson St.	13-D-8	3,157	3 N
23 Anderson St.	13-D-6	2,450	2 N
25 Anderson St.	13-D-5	2,457	1 N
27 Anderson St.	13-D-3	2,531	1 + 1
34 Oxford St.	13-D-1	3,548	4 N
29-31 Anderson St.			
8-10 Cleeve St.	13-D-18	5,833	1 N
12-16 Cleeve St.	13-D-11	3,288	3 N
18-20 Cleeve St.	13-D-9	3,540	3 N
22-24 Cleeve St.	13-D-7	3,554	3 N
26-28 Cleeve St.	13-D-4	2,252	Vacant

(17)

3/15

OXFORD-CLEEVE BLOCK #11

Address	CBL	Lot Area in Sq. Ft.	Housing Units
15 Cleeve St.	13-E-17	3,039	1 + 2
17-19, 21 Cleeve St.	13-E-21	1,105	1
23 Cleeve St.	13-E-14	1,454	1
23-25 Cleeve St.	13-E-9	1,013	Vacant
25-31 Cleeve St.	13-E-1-8	6,996	3 + 2
18 Oxford St.	13-E-2	1,618	1

OXFORD-GREENLEAF-MONROE BLOCK #12

Address	CBL	Lot Area in Sq. Ft.	Housing Units
6-10 Monroe St.	13-C-4	2,523	2
12-14 Monroe St.	13-C-2	5,102	3 + 2
9-11 Greenleaf St.	13-C-15	3,258	3
15 Greenleaf St. (16-20 Monroe St.)	13-C-15	3,280	3
1-7 Greenleaf St. (13-15 Oxford St.)	13-C-8	4,113	1 + 3
5-7 Oxford St.	13-C-10	4,800	2 + 2
9-11 Oxford St.	13-C-9	5,161	1 + 4

6/12

(13)

GREENLEAF-MONROE-MADISON BLOCK #13

Address	CBL	Lot Area in Sq. Ft.	Housing Units
12-14 Madison St.	12-O-5	3,200	1 + 2
16 Madison St.	12-O-4	3,120	1 + 2
18 Madison St.	12-O-3	2,480	2 + 1
22 Madison St.	12-O-2	2,480	4 + 2
25-27 Greenleaf St. (24-26 Madison St.)	12-O-1	2,960	3
23 Greenleaf St.	12-O-11	1,800	2
21 Greenleaf St. (17-21 Greenleaf/17-21 Monroe Sts.)	13-A-1-2	5,644	1 + 1
13 Monroe St.	13-A-4	2,400	1 + 1
15 Monroe St.	13-A-3	2,400	Vacant

ANDERSON-MADISON-GREENLEAF-EVERETT BLOCK #14

Address	CBL	Lot Area in Sq. Ft.	Housing Units
26 Everett St.	12-L-3	4,800	Garage
30 Everett St.	12-L-2	2,384	1 + 1
40 Greenleaf St. (20-24 Everett St.)	12-L-4-5	3,710	3
34 Greenleaf St.	12-L-11	1,120	1
32 Greenleaf St.	12-L-12	1,120	1
37 Madison St.	12-L-10	2,400	1 + 1
39 Madison St.	12-L-9	2,400	Vacant
41 Madison St.	12-L-8	2,400	Vacant
43-45 Madison St.	12-L-13	1,800	1
71-73 Anderson St. (47 Madison St.)	12-L-12	1,424	1
77 Anderson St.	12-L-7	3,200	1 + 2
79 Anderson St.	12-L-6	3,224	1 + 2
83 Anderson St.	12-L-1	3,200	2 + 1

12/18 18 ✓

(2)

MADISON-GREENLEAF-EVERETT-WINTHROP BLOCK #15

Address	CBL	Lot Area in Sq. Ft.	Housing Units
13 Madison St.	12-M-10	2,409	1 + 1
15-17 Madison St.	12-M-9	2,400	1 + 1
19 Madison St.	12-M-8	2,395	1 + 1
21 Madison St.	12-M-7	3,120	1 + 2
23-25 Madison St.	12-M-6	2,725	1 + 1
31 Greenleaf St. (27 Madison St.)	12-M-5	2,865	2 + 1
37-41 Greenleaf St. (12-16 Everett St.)	12-M-10	6,370	7
8-10 Everett St.	12-M-2	3,200	1 + 2
12 Winthrop St. (2-6 Everett St.)	12-M-3	3,200	1
8-10 Winthrop St.	12-M-4	3,200	Vacant

FOX-WINTHROP-MADISON BLOCK #16

Address	CBL	Lot Area in Sq. Ft.	Housing Units
18 Fox St.	12-K-21	1,331	1
14-16 Fox St.	12-K-2	1,998	1
10-12 Fox St.	12-K-3	3,446	1
20-22 Fox St. (23-27 Winthrop St.)	12-K-1	2,795	Vacant
19 Winthrop St.	12-K-7	3,196	1 + 2
13-15 Winthrop St.	12-K-12-14	6,348	1
11 Winthrop St.	12-K-23	1,400	Vacant
9 Winthrop St.	12-K-16	2,245	1 + 1
7 Winthrop St.	12-K-17	2,201	Vacant
5 Winthrop St.	12-K-19	1,932	1

14/16
2/3

FOX-GREENLEAF-WINTHROP-EVERETT BLOCK #17

Address	CBL	Lot Area in Sq. Ft.	Housing Units
32 Fox St.	12-J-4-5	4,095	1 + 3
34-36 Fox St.	12-J-3	3,288	4
38 Fox St.	12-J-2	1,588	1
40 Fox St. (49-53 Greenleaf St.)	12-J-1	1,174	1
15 Everett St. (43-47 Greenleaf St.)	12-J-7	2,400	1 + 1
13 Everett St.	12-J-8	2,400	1 + 1
9-11 Everett St.	12-J-9	2,400	1 + 1
5 Everett St.	12-J-11	3,120	1 + 2
22 Winthrop St.	12-J-12	2,440	1 + 1
26-28 Winthrop St. (26 Fox St.)	12-J-6	2,080	1 + 1

9/1/12

ATT. C
POPULATION
LEGEND

— 10 PERSONS
1950 CENSUS



PORTLAND, MAINE

EAST BAYSIDE
est. 2007



NEIGHBORHOOD ORGANIZATION

Mission:

We create and maintain a safe neighborhood, help community members to thrive, ensure East Bayside is represented in city matters, and create a sense of community while preserving and respecting diversity.

Mr. Rick Knowland, Senior Planner and Members of the Planning Board
Planning and Urban Development Department
Planning Division
City Hall, 4th Floor
389 Congress Street
Portland, Maine 04101

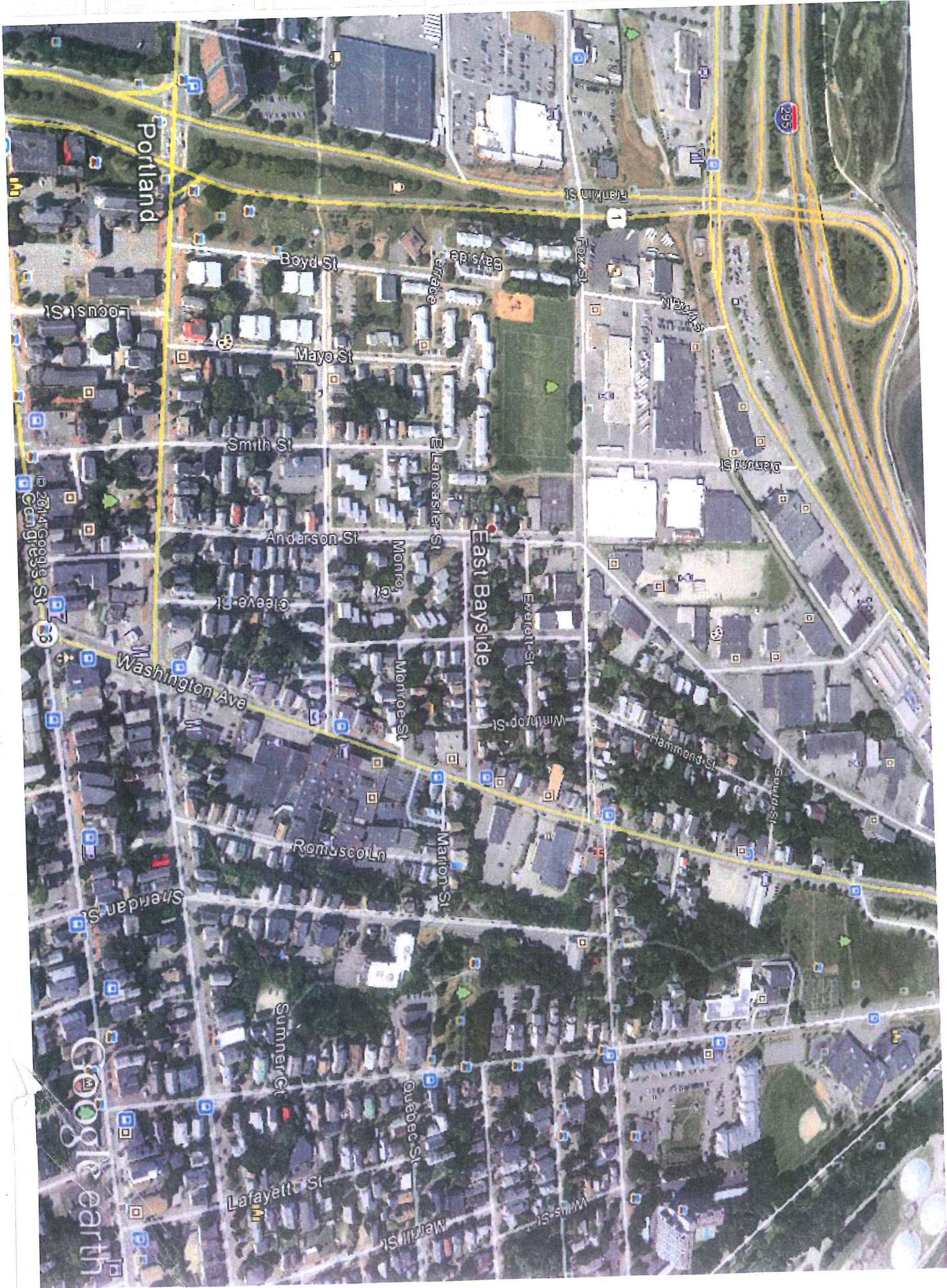
April 14, 2014

Dear Mr. Knowland and Members of the Planning Board,

We are grateful for the opportunity to express our interest in the application for the proposed R-6 to R-7 Residential zoning for the East Bayside area. Such a proposal is potentially an exciting one, and with the right balance, has the opportunity to expand the success of existing developments that have contributed to our thriving neighborhood. Our commitment to the wonderfully diverse community to which we belong and serve is to ensure that we are represented in City matters that impact our neighborhood. However, we believe that the short timeframe in which this significant proposal has evolved does not engage adequate, thoughtful discussion of how to create and share a deliberate vision for East Bayside.

While we embrace change, vitality, and thoughtful development of our neighborhood we, the EBNO Board, strongly object to the Planning Board/City Council recommending any zoning changes until there has been adequate time to consider the significant proposal before us. A responsible period of time would also allow for consideration of the Housing and Community Development Committee's work on possible R-6/R-7 zone amendments, which could potentially be a better fit for our neighborhood. We recognize this stance may delay future development on the Boyd/Oxford Street parcel. To expedite a zone change proposal, however, would not be in the best interest of our community.

We look forward to sharing the same ultimate goal of building a vibrant small city. We are committed to development that respects the scale and character of traditional development patterns while preserving the socio-economic and cultural diversity of our neighborhood. We believe that effective, thoughtful planning creates a balance of housing/development opportunities across sectors. We encourage you to review the



Att.C

PHA
follow-up. review land use policy issues comprehensively
attached previous memo

updated study area to include all of the R-6 in East Bayview
bounded by Washington, Congress, Franklin, Fox to Coulter.

study area in orange
go to map ↙ PHA ^{blue} parcels; non-parcels adjacent to PHA ^(red)
6 split blocks, plus a 7th 3-G lot
lavender R-7a

go over abutting zones
use)

In our March 11th workshop memo we provided a series
of charts by city blocks identifying for each lot
land use, # of housing units, lot size ^{for non-PHA blocks,} A number
of conclusions can be drawn from this data

E.B. lots are typically compact, most lots do not
meet the R-6 minimum lot size of 4,500 s.f. Of the
149 lots in the non-PHA blocks, only 26 were
of 4,500 s.f. or above.

Most lots ^{though small do} meet the R-6 density requirement of 1,000 s.f.
per dwelling unit. Only 21 lots are nonconforming
in terms of the R-6 residential density.

In reviewing building footprint maps, it appears that
at least one-half of the lots do not meet the R-6 ^{one of} sideyard
setbacks or some other dimensional requirement.

BAYBIDGE AREA

11:30 Bayma

move ramp to the side of the bldg

✓ reference Parking Management Plan
PHSA Campus Transportation Demand Management plan

✓ * Response to Zoning Requirement day care conditional use

✓ Waiver Request for parking ?

✓ TDM stops at page 7 P

✓ subdivision recording plan

✓ railings in front move handicap entrance to the side

width of sidewalk v. esplanade

** "fiber-cement panel siding"

sidewalk
15K
100' x 10' x 10'
100' x 10' x 10'

PAID website
Planners Division
green strip; p. 6 items
March 11th East Bay

- PHA only
- PHA fill-in blocks
- consider entire area

March 11,
March 11

Comparison chart R-6

- present layout and pattern of development of residential development in many R-6 neighborhoods could not be replicated in many neighborhoods. In many cases existing buildings constructed at the turn of the century century (well before zoning) could not meet present day R-6 requirements such as minimum lot size

- population on the peninsula ^d

Portland population peaked in 1950s	3.16
	3.47
lost population	now at 2.07
	2010 can

- so although the R-7 represents an increase in density it doesn't necessarily mean that the total number of people in a building will be necessarily large

- more flexible provisions

- practical limitations on density per paper opinion

chart
slide

can

big map

What does R-7 look like

discuss split block zoning

THREE R-7 RESIZING TO DATE IN EAST BAYSIDE
what does R-7 look like?

SL 1 R-7 ← East Bay side this exceeds R-6 density 739¢
Oxford and Smith senior citizen housing 20 units could not have been under R-6
on Oxford building 45ft v. 50ft
14,790° land area a bit more vertical but is within the height of the R-6

SL 2 different view Smith

SL 3 R-7 11 Greenleaf vernacular
porches, gable to the street, well-proportioned window

SL 4 14 Monroe part of this project twin of other building

SL 5 R-7 Cumberland

SL 6 looking down Anderson fits in well with the neighborhood most cases wouldn't know it's an

SIX SPLIT BLOCK

SL 7 looking down Anderson side street Oxford
PHA properties to the left, behind white building
PHA properties for the remainder of this block
except for two other residential buildings along Oxford

5L8

Cumberland Ave looking down Mayo

1st three houses on the left are non-PHA properties
but the remainder of the block is owned by PHA
to the right is a block ^{Cumberland - Mayo - Oxford - Smith}
that are non-PHA

5L9

also looking down Mayo at Oxford

first property on left is non-PHA then you see

PHA housing; remainder of the block is owned by PHA

- on the right properties privately owned but just past
the brown building are PHA properties that complete
the block

7th

Fix and Anderson

5L10

3 G auto repair facility you'll notice 3 residential
buildings to the rear along Greenleaf

EAST BAYSIDE NEIGHBORHOOD
MARCH 31, 2014

nonconforming guests -

K. Lord 5 foot height or

Chris Tern Andersen St not understanding how this change would lead to
affordable housing

Jeff answers more density
particular
% of affordable housing
not on

Kerim more permission more opportunity what allowances are most
useful to people
height much of it is not 40 feet
large units unaffordable remove barriers to provide
affordable housing
think 45 or 50' seems overblown

Evan Corroll echoes Chris + Kerim skin likes the idea of more people in the
neighborhood would like to see the entire E1B R-7
conversion of affordable housing needs to come first

Kerim L. concerns about affordability of new development also the
size of the units should regulate unit size
immigrant families shouldn't be pushed off the peninsula
who is building more than 2 units through deck
had one unit per floor we don't have places for
people to stay long term

didn't want less space in the neighborhood -
Brendan O'Neil Chester Dr unused capacity for on-street
parking do you have data? what about other project
that didn't go forward because of the R-6 zone
would this data be available for the next meeting?

Kevin have heard concern of
protection of sky and yard space
are there ways to protect the yard space envelope
heard about concern of zero setbacks and small
setback while providing new affordable housing
hearing the need of a bill

Chris Anderson what is the process involved for this
zone change

people should understand the catalyst was phd

Ben Chapman zone 3 unit what happens if someone rebuilds

Jesse extremely restrictive zone
front, rear, sideyard too restrictive
height was not a factor
density was an issue

If this makes sense why don't we rezone the
entire peninsula to R-7 or change the R-6

difference between R-6 and R-7

Kevin homeowners are solidly in the working class but are sympathetic with neighbors believe affordable housing issue being committee is considering the R-6 policy issues

Is there any connection between this project and change to Franklin St

Does this change ^{R-7} facilitate new Franklin St. project

K. Lu Is any of this land in a flood zone

Would this impact property ^{value} ~~taxes~~ and property taxes

Jill based on what the property is used not a direct relationship between zoning and assessment

Can PAA sell property to a developer

Mark Feds have strings attached. HUD focuses upon property being sold

Use police commissions people to get the word out about meetings

most lots are occupied by single, two and three family residences. 8 four unit buildings and 4 other buildings exceeding 7 units non-pha

the largest underutilized non-pha parcel in the neighborhood is the Three G site on Anderson Fox St

now why don't we go on a tour of neighborhood
in the packet we have street view photos of
Mayo, Smith, Anderson, Cleve main st ^{civic} business

later we'll go down Fox, Greenleaf, Madison

but before we do that lets look at a the 1914 Richards Atlas showing the Bayview neighborhood

R-7 photo

East Bayview P.D. WKJWP

APRIL 8, 2014

RIC presentation

Tuck asks a question about the R-6

X Christa Milneil Smith st

last chance to preserve a mixed income district on the peninsula

critical of the R-6 gentrification transition of R-6
can't build middle income with the R-6 has
received pitches from real estate people

a gentrifiers

supports rezoning everything

encouraged by the R-6 changes

rezone only the blue and red block

could be a political minefield if the remainder is

Melissa Hopkin 52 Smith st form pres of EBNA

wants to see mixed income neigh

concerned about a brick rezoning

good relationship with bayview east a review of
rezone for neighborhood consideration

builders to want without having a conversation with
neigh

Mich Kayton 86 Andam on EBNA

mirror Melissa's comments

we do have housing needs linked to diversity of the
neighborhood

concerned about brick brush rezoning

renters didn't get notice people lived there for

many years could be evicted if redeveloped

concerned about an extra floor 110% coverage

more height, lot

family friendly housing may encourage apartment for 1 or

2 people

would like to see something wants to see a

vision first

Tuck which options would you like?

Kerr Lord Deery Jr

way too broad you will break up the neighborhood

a more dense development could occur

a family neighborhood a family not just

1 or 2 people

barren street views don't there should be some
setback

deal with pha only and have a further

discussion with the neighborhood

seems backwards to talk about R-7 when R-6

may be changing

Anne P. speak for WPNA

city should look at 20 year old definition

of housing

def housing up to 16 people, unrelated people

Sober addict housing developers are converting
housing with concentration 4 in one block of
Parkside

personal comment

what is the city's definition of affordable housing
concerned about people changing so affordable
it gets turned into unaffordable lot

+ Courtney Bloomfield RD

reference letter

R-6 is inappropriate severe limitation
in favor of designating areas beyond PHAs
there are problems with the R-7 related to the
financing of housing new housing is built
for the rich problems are not a zoning

issue

R-6 is applied city wide it may take something
to accomplish
for the R-7

+ Jonith Cullis

echoes some of Christian comment, R-7 may be a
way to protect the neighborhood diversity
income level concern about renters being driven out
west end market rate rental can do it because
of the zoning

R-7 will help to preserve diversity

Thrice G site as of today he is looking at
redevelop the
market rate rental housing
will be very plans with the neighbors
favors R-7
a unique site

+ Ben Gant 202 Washington Ave
supports the full rezoning
when R-7 has been used it has been for subsidized
housing
the R-6 doesn't work
reference a deck or building addition
doesn't buy into density, likes setbacks and parking
flexibility
can gain traction now should rezone the entire
peninsula to R-7
tired of nothing happens

Cynthia Cochran Hammer

Choice of Home spectrum stronger photo
didn't represent the neighborhoods very vast
different environment
reference R-6/R-7 chart there is no open
space

there will be no green space if the R-7 is used
doesn't serve the neighborhood if R-7 is
enacted wouldn't come to neighborhood if R-7

was in place

gets invitation to sell their property

averts project is near her but not on Hammond

give PHA their zoning and adjacent area to PHA

Hope Anderson

frightening to live in a R-7

problematic

broads brush approach to R-7 will not solve the

R-6 problem

like to hear how ^{R-7 will provide} affordable housing

show people how it works starting with small

projects trust is not there

lives near 36 a sense of paranoia about

36 rezoning

doesn't feel comfortable

Tuck P.B. will make a recommendation to the C.C.

talks about increasing housing

Tim D. eminent → change early PHA is spot zoning

Sean design standards more protective than R-7 than

R-6

like PHA proposal

We do design standards and a public process that may provide more protection

In terms of density most lots meet the R-6
density requirement of 1,000 sf per dwelling unit

Most lots do not meet the R-6 min lot size
of 4,500 sf E.B. has compact lot

R-7	Conklin / Andam	OK/D	
	Smith / Oxford	NO OK/D	but senior housing
	Greenleaf / Min	OK/D	

Setbacks are an issue staggered side yards

Of the 149 lots in the non-PHA blocks, only 26
were 4,500 sf or above

8 single family

city bldg

36

garage

Over half of E.B. lots do not meet R-6 side yard setbacks

Only 21 lots are nonconforming in terms of density

2006
11

PHA

WREC
300 units from SH
with 30%
07/01

NO ONSITE PARKING

46 acres P.A. 45 apts top 3 floors

day care; police; off

9 market rate

get local approvals done by end of July

built in 1968

will do a parking survey

they have a parking ^{program} sticker

use .75 spaces per unit

buy in east; turning beyond terrace
178 off-street parking only doesn't include
on-street parking

26 spaces will be lost

* R-7

vacancy rate.

Bill prefers one proposal for that lot,
than a longer term R-7 planning process
separate the two

Jack missing an opportunity for a conversation

Bill more public process

Jack opening up pandemic box

Jack can't support parcel by parcel any more

Jack wants 3 to 6 months away for a complete
view is not that bad

Jack another workshop

Tim larger

(to Congress)

Bill one parcel; wants a public process

Bliz. agrees with Tim

An East Bayside resident stated his support for development because he doesn't want to see East Bayside lose its economic and social diversity, the way Munjoy Hill is going. So it becomes necessary to support architectural change to preserve what's good about the neighborhood.

Mr. Carroll reminded the group that more meetings will be held for their input. The first Planning Board workshop re: the rezoning will be on Tuesday March 11th at 4:00pm. Be sure attend future meetings or to email comments to the City.

Meeting adjourned.

there will be some open space even if more
development does come

The Selig affordable housing ^{define} is changing housing with
change with this ref. Even Correll letter
a thriving city needs a whole strata of people
R-7 is a greater stab at affordable housing than
the R-6

encourage different use

in favor of an broader zoning need to
develop a track record

We are either going to do this or the broader
fight

may need to segregate out the PNA parcel
direct

Bill has no problem with the R-7
designed for infill disagrees with Tim its
not spot zoning

Supports the Boyer Arcam would not go
beyond this we are rushing this

wants to see the R-6 for are the changes
appropriate for Boyer

deal with PNA only; look at R-6

would wait on the remaining PNA parcel

Tom Bill articulates this well very well

how does R-7 make housing affordable?

The R-7 has more flexible zoning provisions than the R-6 in terms of density, setbacks, lot coverage and other zoning provisions. This facilitates housing on a given site since it removes certain barriers associated with the R-6 zone.

Increasing the number of housing units, ~~increases the~~ supply of housing units in the community. In the market place, an increase in supply should stabilize or decrease housing costs to consumers but a developer is under no obligation (under the R-7) to provide "affordable housing."

Since supply is increasing,

While the "trade down theory" is an economic argument, a

This ^{is} not unusual the zoning ordinance does not dictate housing unit price or rent. There are ^{however} demand incentives for affordable housing under sec. _____

When there is a controversy people often bring up
process issue should fish or cut bait doing
these individual zone changes is often a problem
We don't need more information on the R-7
feedback has been to do nothing

- unfair to similarly located property owners
- less clarity
- reactionary approach
- R-7 is known and constrained it is not a moving target
- vests too much power with the AB should be on a case by case basis
- need to take things comprehensive

wants to do more than the PNA parcel
not enough info to do the entire area
PNA and contiguous lands prefers that

April 22 public hearing

* how does the R-7 allow them
this could be affordable

1. Bayside Anchor only

2. PHA campus only

3. PHA campus plus abutting properties on Thruway

4. All of option #3 plus all or portions of the remaining R-6 in East Bayside

PHA MARCH 11, 2014
WORKSHOP

PHA proposing a zone change from R-6 to R-7
covering their residential campus landholdings in E. Bayside
R-7 to provide additional infill development within their landholdings

Jack why did you choose the areas you did for R-2

Alex response patterns less need for an interim
certain level of investment

Pet Carroll presentation

Jesse Thompson
Brooks Moore
Cameron

end of July need approvals

housing stock as it wears out beneficial to have R-7

AVISTA provides guidance on how to develop and
manage these projects

bedroom mix one or two heavy on this mix

a few market rate rentals

site plan review later

Carol M wants out / a flexible housing ratio?

public comment

Robert Han against it but for it

the whole R-6 should meet the R-7 standards

why should they get a privilege that others can't have
reference R-7 purpose section

R-6 meet R-7 most people would be happier
no objections to the Bayview Anchor site only
1st floor uses are questionable

Michelle ^{Kestner} of Anderson

Bayview neighborhood association lived there 8 years
in favor of this project surprised to hear all of PRA
properties surprised by additional land area

not in favor of rezoning the entire PRA property
live in small house with a yard
a 50 foot height would impact solar
since R-7 would do to the neighborhood
height of house is now 25 feet high about
cost before it
Plan to see future proposals from
supports the ore parcel

Tuck

- 1 B.A
- 2 staff
- 3 PRA

Sean PRA is difficult should have the opportunity to
redesign the proposal determine
staff proposal will bring out people can allow
retract the map

Elizabeth Agoubie with just ^{doing} the pha lot
Should consider a larger area make sure
all the neighbors get notices
need to have a by-law done

- B, 11
- ① BAA
 - ② all PAA
 - ③ staff + pha
 - ④ east by-law

would support pha gives them flexibility
as heavy wear out
favors public hearing for a broader area
public involvement is important

Joel a suburban concern density has been lost
need more public process difficult to
have a process by April
in PAA's effort to pull back
requirements of just their property
trying to join something together
would expand the R-7 further but this is not
the time and place will hold up the
application

Tuck had a concern with state jr
doing things just one at a time
inconvenience factor but actually when are
we going to get to it
this needs to be done by July
picking off one parcel bothers him
could go large and then go small
shouldn't be spot zoning R-7e one at a time

Tim neighborhood can't meet the
opportunity to get the ball rolling
would support single BA if time becomes a
problem

Carol less concerned about this than the Danforth/Hwy
there comes a time when extra density doesn't
work may will need broader R-7 density
on the whole area maybe too much
that much density over that large an area
broader ~~area~~ pin point
+ proactively determine where it does not belong.

working on a broader area
within a specific rezoning program
Franklin, Central, Fox, Wynn

Portland Housing Authority (PHA) and Portland Housing Development Corp. (PHDC)

Application for R-6 to R-7 Map Amendment

Neighborhood Meeting - February 27, 2014 - 6:00 P.M.

MINUTES

Location: 58 Boyd Street – PHA Community Room

Meeting Time: 6:00 P.M.

Applicant and Representatives Attending:

Mark Adelson (PHA/PHDC), Jesse Thompson (Kaplan-Thompson Arch.),
Pat Carroll (Carroll Associates), Brooks More (Avesta Housing), Morgan
Law (Kaplan-Thompson Arch.)

City Representatives Attending: Alex Jaegerman, Rick Knowland

Mr. Adelson introduced the development team, and explained the reason for requesting the zone change from R-6 to R-7. He explained PHA's Strategic Plan is to develop more affordable housing to help solve the City's housing crisis. And, using PHA resources such as excess land is part of the plan. The zone change is the first step in the process.

Mr. Carroll explained the rezoning application, the land to be rezoned and why this approach is being taken. The primary purpose for the rezoning is the development of the Bayside Anchor housing project at the corner of Boyd and Oxford Streets. He described a second potential project is at 58 Boyd St, when the Head Start Program and Management Office moves to the first floor of Bayside Anchor, the PHA Community Building (where the meeting was taking place) would be demolished to make way for another housing development. He reviewed the preliminary site plan for Bayside Anchor and stated there will be another neighborhood meeting specifically about housing development at a later date. This meeting is about the rezoning. Mr. Carroll reviewed the differences between the R-6 and the R-7 zones. The larger area to be rezoned is all PHA property in the immediate area. The campus approach offers PHA the flexibility for future developments. Also, the City is interested in a more comprehensive approach to rezoning R-6 to R-7 instead of the development by development applications that are currently reviewed. Private property owners may also benefit from rezoning if their property doesn't currently conform to the R-6, R-7 may provide the opportunity to expand homes.

Questions and comments from attendees:

East Bayside resident; does the rezoning apply to only the PHA property, concerned about private developers taking advantage of it in the future in the balance of the neighborhood. Response was only PHA property. Alex Jaegerman explained the city's interest in rezoning larger areas.

Portland resident; will the daycare and management office be considered an assessor use or will the ZBA need to grant conditional uses. Response; we're asking the city that very question.

East Bayside resident, can the rezoning be restricted to just the development parcel, concerned about height issues and taller buildings casting shadows on their property.

Several people commented re: height issues; such as why isn't PHA considering taller buildings. Other stated that taller buildings are out of scale with PHA's smaller two story building. It was also mentioned that there are financial and programmatic parameters that prohibit building taller than four stories.

Support was stated conceptually of the R-7 for the PHA property, but unsure about the larger area. City staff was asked about the previous projects that were rezoned from R6 to R7. Rick Knowland listed of 12 previous projects, located in East Bayside, West Bayside, Parkside and the West End. Comments were made that these seem to blend in very well to the neighborhoods.

West Bayside resident; stated he's in favor of the rezoning the larger area and for his neighborhood as well. The R-7 projects fit in very well.

West End resident described this as a fundamental change from rezoning infill lots to larger areas. He's unsure if the results will be the same, the devil's in the details of what designed and built. He asked if Pearl Place was R7. The response was no, it's a business zone and yes it would have been allowed in the R-7.

West Bayside Resident stated he's supportive of the R-7 for the larger area because there's a lot of wasted space that could be developed. But, he warned residents should be concern about inadequate parking.

East Bayside resident commented about her concern for rezoning the larger area R-7, she feel the projects like the Bay House condos are too imposing, she's feel it for in-fill projects.

Mr. Carroll explained the schedule for the rezoning and site plan applications. It hoped that all local approvals will be completed in July, in preparation of the next round of financing in the fall.

An East Bayside resident in favor of the development stated by rezoning all PHA property would make future development less costly and more efficient by not needed to go thru a second review.

There was discussion about parking in the area. A PHA neighbor stated during snow bans people from all over come to find off street parking in East Bayside, including PHA's lots and her driveway. So the parking lot slated for development is needed during snow bans. Mr. Carroll stated the city will require a parking management plan be completed for the PHA campus as part of the site plan review. PHA already takes steps to manage its parking. Approximately 75% of PHA residents have at least one vehicle. It was stressed that the parking demand analyses take place at night when people are home.

An East Bayside neighbor of PHA stated he appreciates the open space and off street parking in the neighborhood and is concerned about taller buildings shading his property.

There was discussion about the original intent of the R-7, it seems like it was meant for infill only. This is the first comprehensive look at this rezoning. The city spends a lot of time doing individual R-7 overlay reviews for each proposed project because so little is allowed and can be developed in the R-6.

ATT 9

Rick Knowland - RE: height of building

From: "Patrick Carroll" <pcarroll@carroll-assoc.com>
To: "Rick Knowland" <RWK@portlandmaine.gov>
Date: 3/6/2014 3:42 PM
Subject: RE: height of building
CC: "Mark Adelson" <madelson@porthouse.org>, "Seth Parker" <SParker@avesta...>

Hi Rick,

The building will be 4 stories, height will not exceed 50 ft per R7 requirements. I believe a copy of the LIHTC submission that shows the intended massing was included in the rezone application, if you don't have it let me know and I will send it over.

Wrt your earlier ownership question, Bayside Anchor will be developed and owned by a separate LLC (required for all LIHTC Projects). Partners include the Portland Housing Development Corp and Avesta Housing. PHA has partnered with Avesta due to their successful experience in developing and managing LIHTC projects.

PHDC is a component corporation of PHA, established specifically for the purpose of developing additional affordable housing, and as such Bayside Anchor is considered part of the PHA "Affordable Housing" portfolio. Although BA is not public housing it will be located on land that is currently part of the PHA campus. So it doesn't expand the campus in terms of acreage. BA will initially be managed by Avesta. This is necessitated by the competition for MaineHousing's tax credit financing but within a short timeframe (three years) the management will be turned over to PHA.

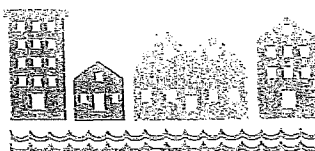
I hope this answers your questions.

Regards, Pat

Patrick J. Carroll
Carroll Associates Landscape Architects
207-772-1552 (w)
207-329-8976 (c)
pcarroll@carroll-assoc.com

 Please consider the environment before printing this email.

ATT. 10



PORTLAND HOUSING AUTHORITY

COMMISSIONERS

Tom Valleau, Chairperson
Robyn Tucker, Vice Chairperson
Faith McLean, Commissioner
Shirley Peterson, Commissioner
Christian MilNeil, Commissioner
Mariar Balow, Commissioner
Evan Carroll, Commissioner

Mark E. Adelson
Executive Director

14 Baxter Boulevard
Portland, Maine 04101
Office: 207-773-4753
Fax: 207-761-5886
www.porthouse.org

Neighborhood Meeting Invitation

February 10, 2014

Dear Neighbor:

Please join us for a neighborhood meeting to discuss our plans for **Rezoning of Portland Housing Authority land in the East Bayside Neighborhood from Residential R-6 to Residential R-7 Zone District**. The properties include all of Bayside Terrace, Bayside East, and Kennedy Park neighborhoods managed by Portland Housing Authority (PHA) located north of Franklin Street.

Meeting Location: PHA Kennedy Park Community Room, 58 Boyd Street
Meeting Date: Thursday, February 27, 2014
Meeting Time: 6:00 PM

(The City code requires that property owners within 500 feet (1000 feet for proposed industrial subdivisions and industrial zone changes) of the proposed development and residents on an "interested parties list", be invited to participate in a neighborhood meeting. A sign-in sheet will be circulated and minutes of the meeting will be taken. Both the sign-in sheet and minutes will be submitted to the Planning Board.)

If you have any questions, please contact:

Patrick Carroll
Carroll Associates
207-772-1552
pcarroll@carroll-assoc.com

Sincerely,

Applicant:
Portland Housing Authority
14 Baxter Boulevard
Portland, ME 04101

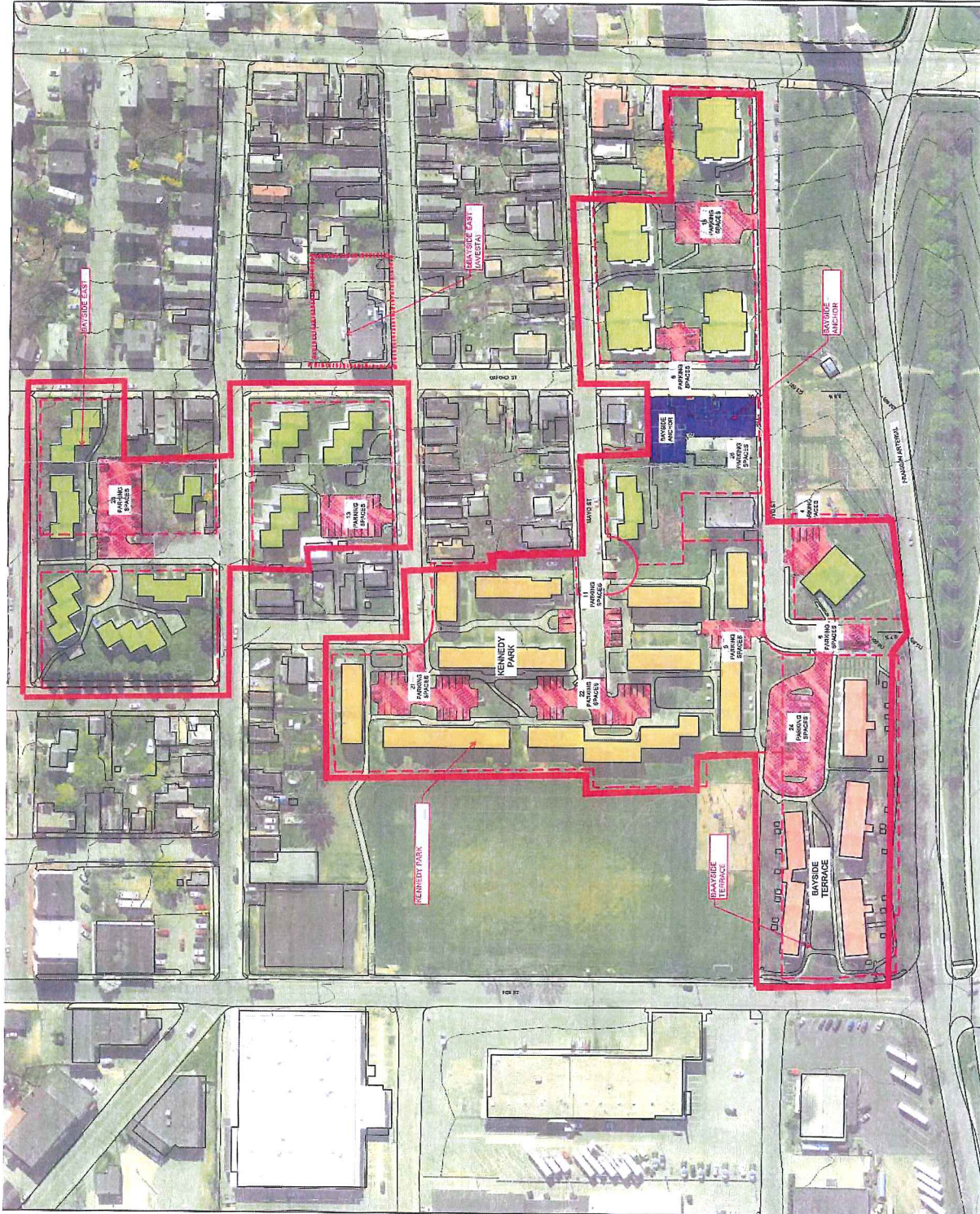
LEGEND *ATT 8*

- EXISTING PARKING
- KENNEDY PARK
- BAYSIDE TERRACE
- BAYSIDE EAST
- BAYSIDE ANCHOR
- PHA LAND HOLDINGS

PARKING COUNT	EX DU	PROP. DU	EXISTING PROPOSED PARKING
KENNEDY PARK	45	45	60
BAYSIDE TERRACE	24	24	30
BAYSIDE EAST	86	86	67
BAYSIDE E. OVERFLOW	/	/	26
BAYSIDE ANCHOR	0	46	0

TOTAL	155	201	183	157
Cars / Units			1.18	0.78

* Does not include on street parking



BAYSIDE ANCHOR

PHA PARKING COUNT
OSFORD STREET, PORTLAND MAINE

DATE: JANUARY 10, 2014 BY: CARROLL ASSOCIATES



ATT 7

LEGEND	
	EXISTING PARKING
	KENNEDY PARK
	BAYSIDE TERRACE
	BAYSIDE EAST
	BAYSIDE ANCHOR
	PHA OWNED
	PHA LAND HOLDINGS

BLOCK	SQUARE FOOTAGE	ACRE	# OF UNITS	DENSITY (UNITS / A/D)
A	65,292	1.59	25	15.72
B	41,095	0.94	17	18.02
C	147,787	3.39	45	13.25
D	65,715	1.59	24	12.06
E	20,582	0.45	0	0
F	39,941	0.92	13	14.18
G	64,300	1.48	40	27.10

* SQUARE FOOTAGE IS ACCUMULATED FROM PORTLAND TAX MAPS & IS NOT NEARLY EXHAUSTIVE. OTHERS MAY BE OBTAINED FROM THE CITY OF PORTLAND, ME.



EAST BAYSIDE PHA PROPERTIES

PROPOSED ZONE MAP CHANGE
OXFORD STREET, PORTLAND MAINE

EXISTING DENSITY

DATE: FEBRUARY 20, 2014 BY: CARROLL ASSOCIATES
0 60' 120'



LEGEND

ATT: 6

	EXISTING PARKING
	KENNEDY PARK
	BAYSIDE TERRACE
	BAYSIDE EAST
	BAYSIDE ANCHOR
	PH-A LAND HOLDINGS



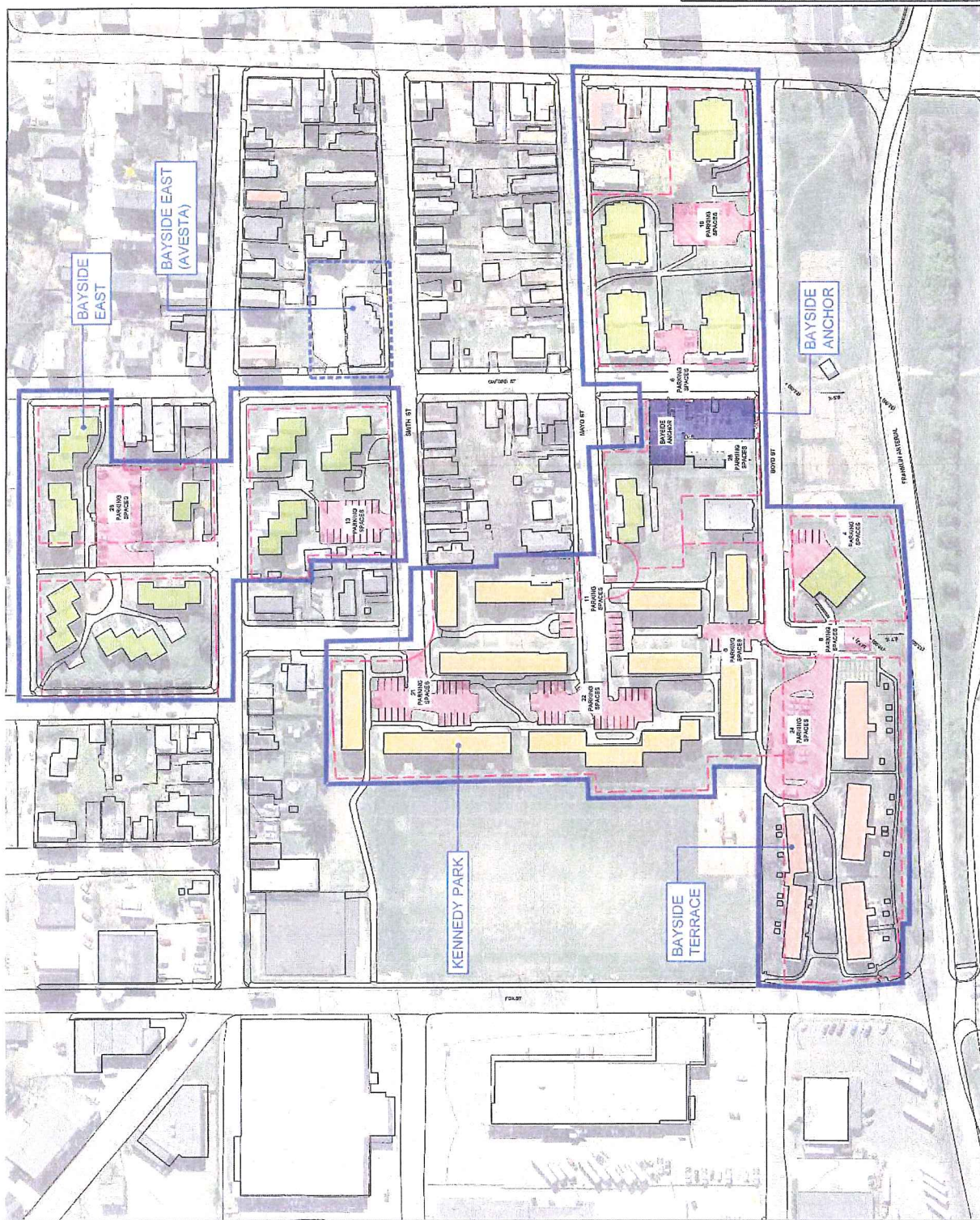
EAST BAYSIDE PROPERTIES

PROPOSED ZONE MAP CHANGE
OXFORD STREET, PORTLAND MAINE

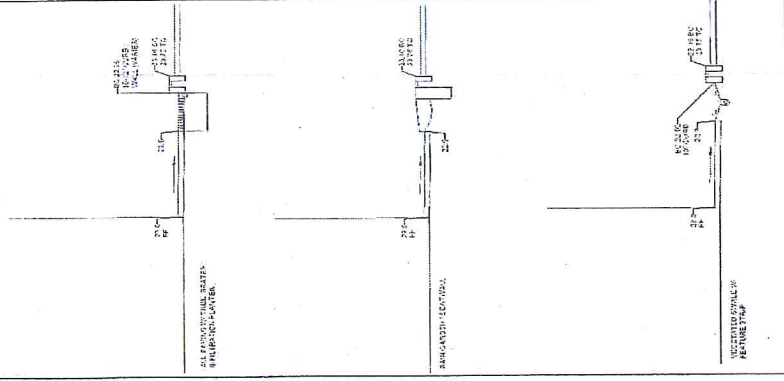
ATTACHMENT 'E'

DATE: FEBRUARY 4, 2014 BY: CARROLL ASSOCIATES

0' 60' 120'

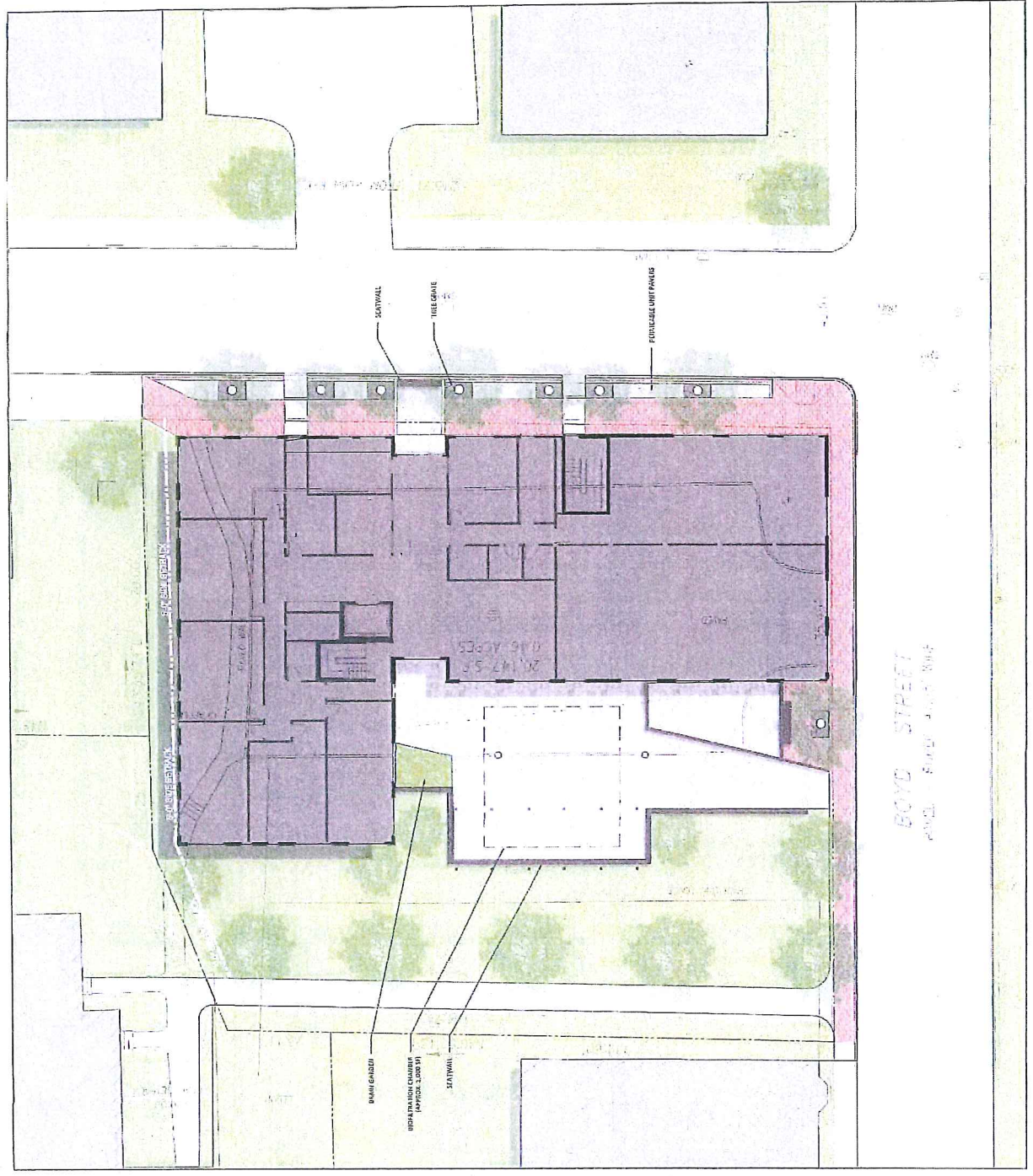


ATT 5



BAYSIDE ANCHOR
 ATTACHMENT D
 SITE PLAN
 OSFORD STREET, PORTLAND, MAINE

DATE: AUGUST 22, 2013 BY: CARROLL ASSOCIATES



Peter A. Howe, Executive Director
May 14, 2002
Page 2

4-F

Forest Avenue and Maine Turnpike Area, Portland, Maine

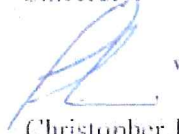
Book 3280, Page 329, from F. D. Rich Housing Corp. (19.86 acres)

South of Cumberland Avenue, East of Franklin and West of Washington Avenue, Portland, Maine

Book 3129, Page 374, from Portland Renewal Authority (12 small parcels)
Book 3096, Page 206, from King E. Butland (Greenleaf Street)

Please give me a call if you have any questions.

Sincerely,



Christopher J.W. Coggeshall

CJWCtemp

Enclosures

P:\CJWC\LETT\RS\Howe 051402.doc

4-13

VERRILL
DANA LLP
Attorneys at Law

CHRISTOPHER J.W. COGGESHALL
PARTNER
ccoggeshall@verrilldana.com
Direct 207-253-4502

ONE PORTLAND SQUARE
PORTLAND, MAINE 04112-0586
207-774-4000 • FAX 207-774-7499
www.verrilldana.com

May 14, 2002

Peter A. Howe, Executive Director
Portland Housing Authority
14 Baxter Boulevard
Portland, Maine 04101

Re: Property Deeds

Dear Peter:

In accordance with your request, we have reviewed the records in the Cumberland County Registry of Deeds and identified the deeds by which Portland Housing Authority acquired property between 1968 and 1974.

Enclosed are copies of the following deeds which occurred during that period:

Kellogg Street, Portland, Maine

Book 3090, Page 105, from Antonio J. Amoroso, et al.
Book 3102, Page 397, from Charles A. Brown, et al.
Book 3112, Page 239, from Fay Avrech
Book 3112, Page 240, from Beatrice M. Star, et al.
Book 3120, Page 368, from Portland Renewal Authority (four parcels)

West End - Dermot Court, Clark Street, Danforth Street and Emery Street, Portland, Maine

Book 3176, Page 103, from Housing Opportunities, Inc. (Dermot Court and Clark Street)
Book 3198, Page 97, from F. D. Rich Housing Corp. (Danforth and Emery Streets)

East Deering Area, Portland, Maine

Book 3150, Page 101, from City of Portland (Cummings, Front and Presumpscot Streets)
Book 3196, Page 834, from Stirling Homex Corporation (Cummings, Front and Presumpscot Streets)
Book 3450, Page 186, from F. D. Rich Housing Corp. (Presumpscot and Sherwood Streets and Washington Avenue)

43BOYD.QUI.DED.1
04.16.97

SCHEDULE A

A certain lot or parcel of land known as Tax, Map and Lot 22-I-4 as shown on the maps of the Tax Assessor for the fiscal year 1997.

Meaning and intending to convey the interest acquired by the Grantor by virtue of a real estate tax lien filed in the Cumberland County Registry of Deeds on June 15, 1992 in Book 10118, Page 126; a real estate tax lien filed in the Cumberland County Registry of Deeds on June 11, 1993 in Book 10756, Page 176; a real estate tax lien filed in the Cumberland County Registry of Deeds on June 7, 1994 in Book 11473, Page 226; a real estate tax lien filed in the Cumberland County Registry of Deeds on June 8, 1995 in Book 11952, Page 010; and a real estate tax lien filed in the Cumberland County Registry of Deeds on June 19, 1996 in Book 12570, Page 206.

RECEIVED
CUMBERLAND COUNTY REGISTRY OF DEEDS

1997 JUN 20 PM 1:31

CUMBERLAND COUNTY

John B. C. Brien

032817

43BOYD.QUI.DED.1
04.16.97

197
JUL 9
MAY 31

QUITCLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS, that the City of Portland, a body politic and corporate in the County of Cumberland, State of Maine, in consideration of one dollar (\$1.00) and other valuable consideration paid by Portland Housing Authority, a quasi-municipal corporation of Portland, County of Cumberland, State of Maine, the receipt whereof is hereby acknowledged, does hereby remise, release, bargain, sell and convey and forever quitclaim to the said Portland Housing Authority, its successors and assigns, a certain lot or parcel of land described in Schedule A, attached hereto and incorporated herein by reference.

IN WITNESS WHEREOF, the said City of Portland has hereunto caused this instrument to be signed by Duane G. Kline, its duly authorized Director of Finance, this 16th day of April, 1997.

Frank F. Melvick
Witness

CITY OF PORTLAND
By: Duane G. Kline
Director of Finance

STATE OF MAINE
CUMBERLAND, ss.

April 16, 1997

Personally appeared the above-named Duane G. Kline, in his capacity as the Director of Finance of the City of Portland, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of the City of Portland.

Before me,
Jennifer L. Babcock
Notary Public/Attorney at Law

Printed Name
JENNIFER L. BABCOCK
Notary Public, Maine
My Commission Expires 6-26-03

EXHIBIT A

47-49 Boyd Street, Portland, ME

A certain lot or parcel of land with the buildings thereon, situated in the City of Portland, County of Cumberland, and State of Maine bounded and described as follows:

Beginning at a point on the easterly side of Boyd Street, said point being situated one hundred thirty-five and fifty-eight hundredths (135.58) feet northerly from the intersection of said line of Boyd Street with the northerly line of Oxford Street; thence easterly by a line parallel to Lancaster Street one hundred eight (108) feet to Boyd line, so-called; thence northerly by said Boyd line fifty (50) feet, more or less, to a point; thence westerly by a line parallel to Lancaster Street one hundred eight (108) feet to Boyd Street; thence by said Boyd Street to the point begun at.

Also another certain lot or parcel of land with the buildings thereon, situated in said Portland, and bounded and described as follows:

Beginning at a stake in the northeasterly sideline of Boyd Street nineteen (19) feet from the house on Boyd Street formerly owned by Samuel H. Colesworthy and Joseph C. Colesworthy; thence running southeasterly along the said sideline of Boyd Street thirty (30) feet to land formerly of Samuel H. Colesworthy, being the northwesterly corner of the first parcel above; thence northeasterly along said first parcel above, formerly of said Colesworthy; thence by said Colesworthy land northwesterly thirty (30) feet to the other land formerly of said Colesworthy; thence sixty (60) feet to the point of beginning. Excepting and reserving however, that portion of said parcel conveyed by Cumberland Savings and Loan Association to Florence S. F. Hooper by deed dated June 23, 1943, and recorded in the Cumberland County Registry of Deeds in Book 1720, Page 96.

Also another certain lot or parcel of land, situated in the rear of Boyd Street in said Portland, bounded and described as follows:

Beginning at the northeasterly corner of a lot of land conveyed by Cumberland Savings and Loan Association to Florence S. F. Hooper by deed dated June 23, 1943, at a point on the division line between the northeasterly sideline of said Association's land and the southwesterly sideline of said Hooper's land; thence northeasterly on a prolongation of the southeasterly side of the premises conveyed by said Association to said Hooper by the aforementioned deed forty-eight (48) feet, more or less, to the northeasterly sideline of land of said Hooper; thence southeasterly along the northeasterly sideline of said Hooper's land fifteen (15) feet to a point in the southeasterly sideline of said Hooper's land; thence southwesterly along the last named bound forty-eight (48) feet, more or less, to the division line between the northeasterly sideline of said Association's land and the southwesterly sideline of said Hooper's land; thence northwesterly along said last named division line fifteen (15) feet, more or less, to the point of beginning.

Received
Recorded Register of Deeds
Mar 12, 2013 03:35:55P
Cumberland County
Famela E. Lovley

22-1-3 ATT 4-A
22-1-9

Doc# 14534 Blk:30462 Pg: 167

Warranty Deed

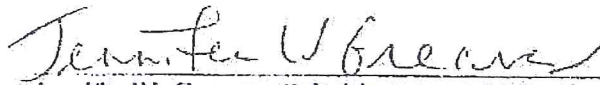
MOONSTONE PROPERTIES LLC, also known as Moonstone Properties, LLC, a Maine limited liability company with a mailing address of 661 Allen Avenue, Portland, ME 04103, for consideration paid, grants to Portland Housing Development Corporation, a Maine Corporation with a mailing address of 14 Baxter Boulevard, Portland, ME 04101, with WARRANTY COVENANTS, a certain parcel situated in the City of Portland, in the County of Cumberland, and State of Maine, bounded and described as follows, to wit:

See Attached Exhibit A

MAINE REAL ESTATE TAX PAID

Meaning and intending to describe the same premises conveyed by Quitclaim Deed Without Covenant from Synergy Properties, LLC to Moonstone Properties, LLC dated and recorded November 15, 2012 in the Cumberland County Registry of Deeds in Book 30131, Page 245.

In Witness Whereof, the said Jennifer W. Greaves, in her capacity as Sole Manager and Member of Moonstone Properties LLC, has set forth her hand this 12th day of March, 2013.



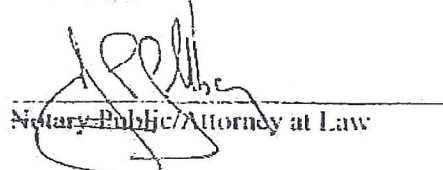
Jennifer W. Greaves, Sole Manager and Member
Moonstone Properties LLC
Duly Authorized Thereunto

STATE OF MAINE
CUMBERLAND, ss.

March 12, 2013

Then personally appeared the above-named Jennifer W. Greaves, in her capacity as sole member and manager of Moonstone Properties LLC and acknowledged the foregoing instrument to be her free act and deed and the free act and deed of Moonstone Properties LLC.

Before me,


Notary Public/Attorney at Law

JONATHAN L. GOLOBELL

**East Bayside Rezone Request
List of Affected Properties**

The following properties are included in the proposed Rezone Request:

Bayside East

- Map 12 R 001
- Map 13 N 001
- Map 13 B 001
- Map 13 B 002
- Map 22 H 001
- Map 22 K 007

Bayside Terrace

- Map 24 B 006
- Map 24 B 008









Kennedy Park

- Map 22 I 030
- Map 23 B 030
- Map 23 B 031

Other Properties

- Map 22 I 001
- Map 22 I 003
- Map 22 I 004
- Map 22 I 009
- Map 22 F 001

LEGEND

	EXISTING PARKING
	KENNEDY PARK
	BAYSIDE TERRACE
	BAYSIDE EAST
	BAYSIDE ANCHOR
	BAYSIDE TERRACE
	PHA/ PHDC OWNED
	PHA LAND HOLDINGS

BLOCK	SQUARE FOOTAGE	ACRE	# OF UNITS	DENSITY (UNITS/AC)
A	68,292	1.59	25	15.72
B	41,095	0.94	17	18.02
C	147,787	3.33	46	13.53
D	86,716	1.99	24	12.06
E	20,862	0.48	0	0
F	35,941	0.82	13	14.18
G	64,300	1.48	40	27.10

* DENSITIES FOR BAYSIDE EAST AND BAYSIDE ANCHOR ARE BASED ON THE TOTAL AREA OF THE BLOCKS.

PARKING	EXISTING	PROPOSED
KENNEDY PARK	45	200
BAYSIDE EAST	24	50
BAYSIDE TERRACE	66	67
BAYSIDE ANCHOR	0	45
TOTAL	135	362

Car / Units	Car / Units
1.18	0.78

* NIC on-street parking

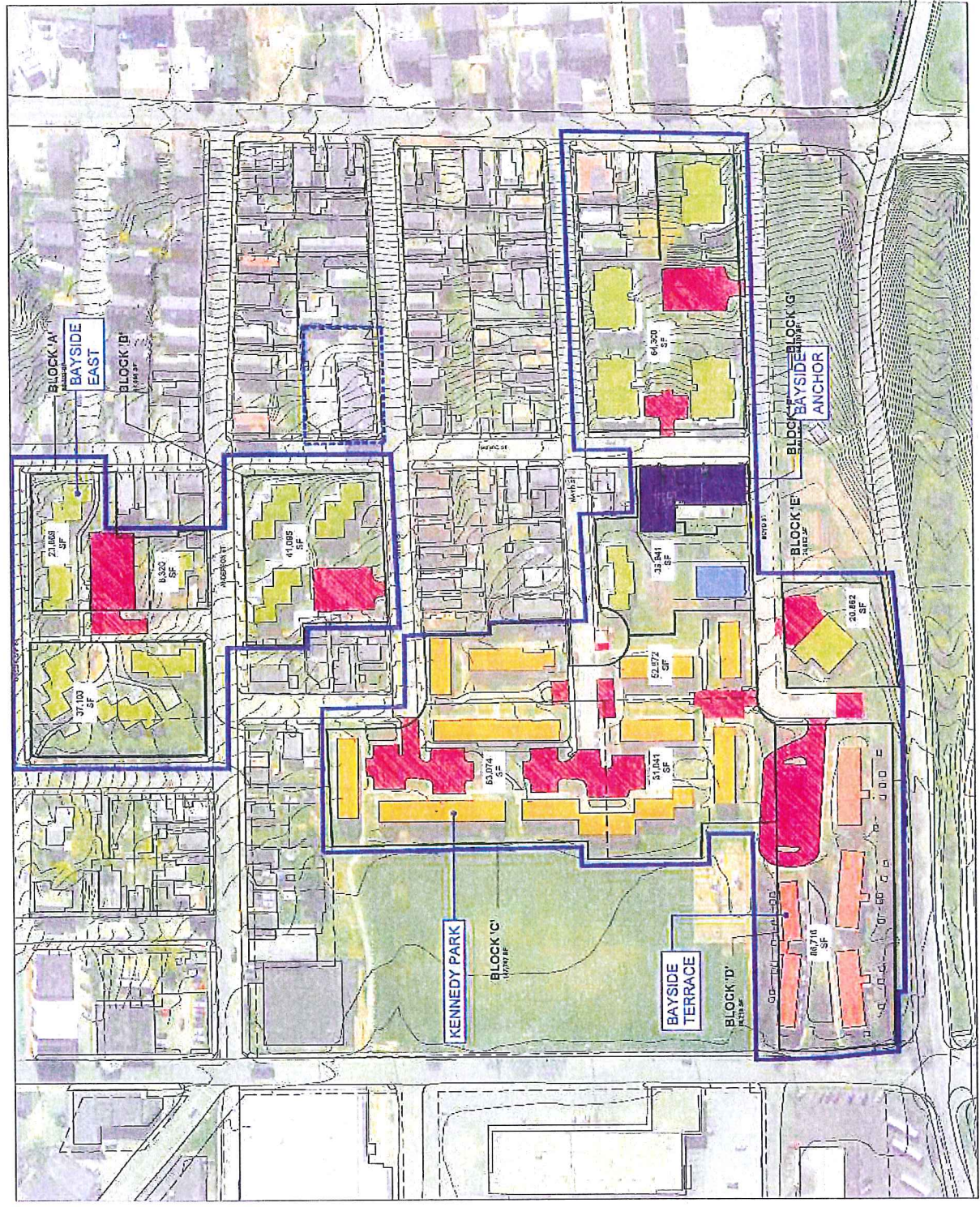


**EAST BAYSIDE
PHA PROPERTIES**

PROPOSED ZONE MAP CHANGE
OXFORD STREET, PORTLAND MAINE
EXISTING DENSITY & PARKING

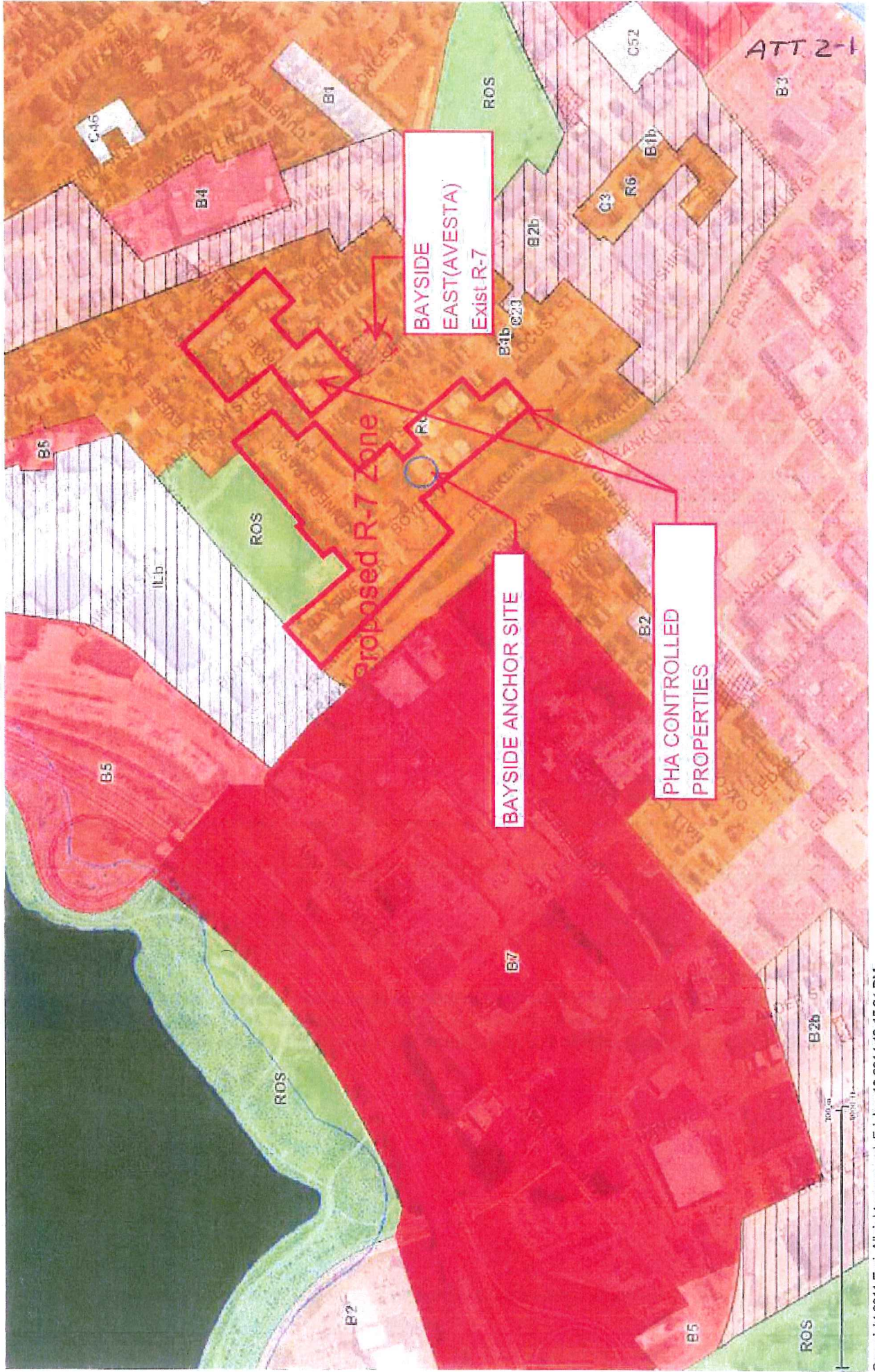
DATE: MARCH 31, 2014 BY: CARROLL ASSOCIATES

0 60' 120'



Potential R-7 Rezoning

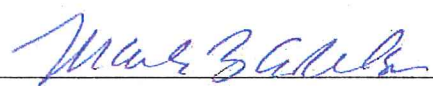
Attachment
Vicinity Map



APPLICATION FEE:

Check the type of zoning review that applies. Payment may be made in cash or check payable to the City of Portland.

Zoning Map Amendment <input checked="" type="checkbox"/> \$2,000.00 (from <u>R6</u> zone to <u>R7</u> zone)	Fees Paid (office use) —	The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) (notices are sent to neighbors upon receipt of an application, workshop and public hearing meetings for Planning Board and public hearing meeting for City Council) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately.
Zoning Text Amendment ___ \$2,000.00 (to Section 14- ___) (For a zoning text amendment, attach on a separate sheet the exact language being proposed, including existing relevant text, in which language to be deleted is depicted as crossed out (<u>example</u>) and language to be added is depicted as underline (<u>example</u>))	—	
Combination Zoning Text Amendment and Zoning Map Amendment ___ \$3,000.00	—	
Conditional or Contract Zone ___ \$3,000.00 (A conditional or contract rezoning map be requested by an applicant in cases where limitations, conditions, or special assurances related to the physical development and operation of the property are needed to ensure that the rezoning and subsequent development are consistent with the comprehensive plan, meet applicable land use regulations, and compatible with the surrounding neighborhood. Please refer to Division 1.5, Sections 14-60 to 62.)	—	

Signature of Applicant: 	Date: 2/4/14
---	------------------------

Further Information
 In the event of withdrawal of the zoning amendment application by the applicant, a refund of two-thirds of the amount of the zone change fee will be made to the applicant as long as the request is submitted to the Planning Division prior to the advertisement being submitted to the news paper.

Proposed Use of Property: Please describe the proposed use of the subject property. If construction or development is proposed, please describe any changes to the physical condition of the property.

The properties are proposed for rezoning from R-6 to R-7 to better provide for future development of new housing and renovation of existing facilities and apartments and better management of existing housing units. One project is currently proposed within the PHA holdings, Bayside Anchor, consists of new construction of 45 rental apartments and relocation of the Head Start, Portland Police, and PHA administrative offices proposed to be located on land at the corner of Oxford and Boyd Streets. Additional renovation and expansion projects will likely occur in these neighborhood over the next few years depending on availability of funding and tenant demand.

Site Plan: On a separate sheet, please provide a site plan of the property showing existing and proposed improvements, including such features as buildings, parking, driveways, walkways, landscape and property boundaries. This may be a professionally drawn plan, or a carefully drawn plan, to scale, by the applicant. (Scale to suit, range from 1" = 10' to 1' = 50'.) Contract and conditional rezoning applications may require additional site plans and written material that address physical development and operation of the property to ensure that the rezoning and subsequent development are consistent with the comprehensive plan, meet applicable land use regulations, and compatible with the surrounding neighborhood.

See Attachment D, Bayside Anchor Conceptual Site Plan
Attachment E, Proposed Zone Map Boundary Change

Surveyor Name: Owen Haskell, Inc 390 US Route 1, Unit 10 Address: Falmouth, ME 04105 City/State : Zip Code:	Surveyor Contact Information Work # 207-774-0424 Cell # Fax# e-mail: jswan@owenhaskell.com
Architect Name: Jesse Thompson Kaplan Thompson Architects Address: 424 Fore Street Portland, ME 04101 City/State : Zip Code:	Architect Contact Information Work # 207-842-2888 Cell # Fax# e-mail: jesse@kaplanthompson.com
Attorney Name: Gary Vogel Drummond Woodsum Address: 84 Marginal Way Portland, ME 04101 City/State : Zip Code:	Attorney Contact Information Work # 207-253-0518 Cell # Fax# 207-772-3627 e-mail: gvogel@dwmlaw.com

Right, Title, or Interest: Please identify the status of the applicant's right, title, or interest in the subject property:

See Attachment C- Right Title and Interest

Provide documentary evidence, attached to this application, of applicant's right, title, or interest in the subject property. (For example, a deed, option or contract to purchase or lease the subject property.)

Vicinity Map: Attach a map showing the subject parcel and abutting parcels, labeled as to ownership and/or current use. (Applicant may utilize the City Zoning Map or Parcel Map as a source.) See Attachment A

Existing Use: Describe the existing use of the subject property:

The properties are currently developed for rental apartments. A total of 164 dwelling units currently exist within the boundary area. Additionally, there are minor community based non-residential uses that occur on several parcels, including a Head Start program, Administrative Offices and Community Police Department Office. The properties in this neighborhood have been developed by PHA over the past 30+ years and provide affordable housing for a significant population in Portland.

Current Zoning Designation(s):

Properties are all currently zoned R-5 Residential

PROJECT ADDRESS: East Bayside Neighborhood - various parcels and addresses bounded by the following streets, Cumberland, Boyd, Fox, Mayo, Oxford, Smith, East Lancaster, Anderson, Monroe Court and Greenleaf.

CHART/BLOCK/LOT: See Attachment B- listing of affected properties

DESCRIPTION OF PROPOSED ZONE CHANGE AND PROJECT:

Proposed change from R6 to R7 zoning to allow future renovation and infill development of residential properties currently controlled by Portland Housing Authority (PHA) and the Portland Housing Development Corp. (PHDC), which are co-applicants, including Bayside Terrace, Bayside East, Kennedy Park, 47-49 Boyd Street, and the proposed Bayside Anchor Project (currently under design).

<p>CONTACT INFORMATION:</p>	<p>Applicant's Contact for electronic plans</p> <p>Name: Patrick Carroll e-mail Address: pcarroll@carroll-assoc.com work #: 207-772-1552</p>
<p>Applicant – must be owner, Lessee or Buyer</p> <p>Name: Mark Adelson Business Name, if applicable: Portland Housing Authority Address: 14 Baxter Boulevard Portland, ME 04101 City/State: Zip Code:</p>	<p>Applicant Contact Information</p> <p>Work #: 207-773-4753 Home# Cell #: Fax# 207-774-6471 e-mail: madelson@porthouse.org</p>
<p>Owner – (if different from Applicant)</p> <p>Name: Co-applicants: Portland Housing Authority and Portland Housing Development Corporation Address: Attn: Mark Adelson 14 Baxter Boulevard City/State: Portland, ME 04101 Zip Code:</p>	<p>Owner Contact Information</p> <p>Work # Home# Cell #: Fax# e-mail:</p>
<p>Agent/ Representative</p> <p>Name: Patrick Carroll Carroll Associates Address: 217 Commercial Street, Suite 200 Portland, ME 04101 City/State: Zip Code:</p>	<p>Agent/Representative Contact information</p> <p>Work #: 207-772-1552 207-329-8976 Cell #: pcarroll@carroll-assoc.com e-mail:</p>
<p>Billing Information</p> <p>Name: Mark Adelson Portland Housing Authority Address: 14 Baxter Boulevard Portland, ME 04101 City/State: Zip Code:</p>	<p>Billing Information</p> <p>Work #: 207-773-4753 Cell #: Fax# 207-774-6471 e-mail: madelson@porthouse.org</p>
<p>Engineer</p> <p>Name: John Mahoney Ransom Consulting, Inc. Address: 400 Commercial Street, Suite 404 Portland, ME 04101 City/State: Zip Code:</p>	<p>Engineer Contact Information</p> <p>Work #: 207-772-2891 Cell #: 207-831-6165 Fax# 207-772-3248 e-mail: john.mahoney@ransomenv.com</p>

Fee for City Review Services

- The City of Portland charges fees for service to cover the cost of reviews by Planning and Legal staff members. The charges will be billed at an hourly rate and will be invoiced monthly for reimbursement.
- Current billing rates: Planning services, \$40.00/ hour and Legal services: \$75.00/hour.

Fee for Third Party Review

- Portland contracts with local engineering firms to conduct engineering reviews of development proposals. The direct cost of all engineering services or third-party consultant reviews, such as the civil engineering review of stormwater management plans, traffic impact reviews and such other reviews as required under the City's Ordinances, will be included in the monthly invoices for reimbursement.

Public Notices

- Public notices must be sent to property owners within 500 for all proposals at the time an application is received. Zoning map amendments for Industrial zones require notices to be sent to property owners within 1,000 feet.
- In advance of a Planning Board workshop or public hearing, public notices for projects must be sent to property owners and are posted in a legal ad in the Portland Press Herald and on the City's web site.
- In addition, zoning map amendments, text amendments and conditional rezoning agreements require individual notices to be posted in the Portland Press Herald.
- The Planning Division mails public notices and posts notices in the newspaper. The applicant will be billed for actual or apportioned costs for advertising and sending mailed notices.
- The applicant is required to hold a neighborhood meeting under the City's regulations for zone change requests. The mailing labels must be purchased from the Planning Division for the neighborhood meeting invitation. A request for labels requires a minimum of two business days to generate the mailing labels and a charge of \$1.00 per sheet will be payable upon receipt of the labels.

Third Party Review Fees

- Engineer and Third Party Review Fees - The fees are assessed by the Consulting Engineers and Third Party Reviewers.
- Inspection Fee - This fee is 2% of the Performance Guarantee or as assessed by Planning or Public Works Engineer with \$300.00 being the minimum.

Noticing/Advertisements Planning Board/City Council Review

- Legal Advertisement: Percent of total bill
- Notices: .75 cents each
(notices are sent to neighbors upon receipt of an application, workshop and public hearing meetings for Planning Board and public hearing meeting for City Council)

<p>Planning Division Fourth Floor, City Hall 389 Congress Street (207) 874-8721 or 874-8719</p>	<p>Office Hours Monday thru Friday 8:00 a.m. – 4:30 p.m.</p>
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Zoning Map/Text Amendment Application Portland, Maine

Planning and Urban Development Department
Planning Division and Planning Board

Portland's Planning and Urban Development Department coordinates the development review process for requests for zoning map amendments, zoning text amendments and contract or conditional rezoning. The Division also coordinates site plan, subdivision and other applications under the City's Land Use Code. The **Application Process for a Zone Change** is summarized below under Section I and the associated costs for reviews are found under Section II, **Development Review Fees, Public Notices and Guarantees**, and are listed on the fee structure sheet.

I. APPLICATION SUBMITTAL

Pre-application meeting

Prior to submitting a zoning amendment application, the Planning Division recommends that the applicant or the designated representative schedule a pre-application meeting to discuss the review process and applicable standards for a proposal. Please contact Barbara Barhydt, Development Review Services Manager at 874-8699 to schedule a meeting.

Zoning Amendment Application

All plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

- Submit one (1) complete paper set of the zoning amendment application with a concept plan and a written narrative. Contract and conditional rezoning applications must include site plans and written material that address physical development and operation of the property to ensure that the rezoning and subsequent development are consistent with the comprehensive plan, meet applicable land use regulations, and compatible with the surrounding neighborhood. Applications may be submitted between 8 a.m. and 4:30 p.m. Monday through Friday at the Planning Division on the 4th floor of City Hall, 389 Congress Street, Portland.
- All applications are processed in the order in which they are received.
- In order for the Planning Division's Administrative Staff to accept and log-in an application, the application form must be complete, it shall be signed by the applicant's or the applicant's designated representative, and all applicable fees paid at the time of submittal.
- The Land Use Code is available on the City's website at www.portlandmaine.gov.
- If the application is found to be incomplete, the applicant will be informed in writing of the required plans and materials.

II. DEVELOPMENT REVIEW FEES, PUBLIC NOTICES AND GUARANTEES

Zoning Application Fees

- Each application must be submitted with the applicable fees as listed in the fee structure on page 4. The fees cover general administrative processing costs.
- Application fees may be paid in cash or by check (addressed to the City of Portland).
- An application will not be processed without the required application fees.



Zoning Map/Text Amendment Application Portland, Maine

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ATT 1-A



COMMISSIONERS

Tom Valleau, Chairperson
Robyn Tucker, Vice Chairperson
Faith McLean, Commissioner
Shirley Peterson, Commissioner
Christian MilNeil, Commissioner
Mariar Balow, Commissioner
Evan Carroll, Commissioner

Mark B. Adelson
Executive Director

14 Baxter Boulevard
Portland, Maine 04101
Office: 207-773-4753
Fax: 207-761-5886
www.porthouse.org

Ms. Barbara Barhydt
Planning Division
City Hall 4th Floor
389 Congress Street
Portland, ME 04101

February 4, 2014

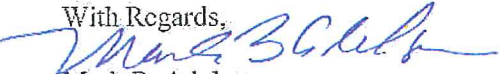
Dear Barbara,

On behalf of Portland Housing Authority and the Portland Housing Development Corporation we are pleased to submit this Application for a Zone Map Change associated with our properties in East Bayside. We are proposing the Portland Zoning Map be modified to shift our East Bayside properties which are currently in the R-6 Residential Zone District to the R-7 Residential Zone District. These properties include approximately 164 units of affordable rental apartments including our Public Housing developments of Bayside Terrace, Bayside East, and Kennedy Park, and the Development Corporation's property at 47-49 Boyd Street. The R-7 zone will allow increased flexibility and density as PHA and PHDC begin planning for future renovation and expansion of its properties within the East Bayside neighborhood.

This change is also in response to a new project that we are proposing named Bayside Anchor, which is located at the corner of Boyd and Oxford Streets. This project will complement the existing PHA properties and contain 45 new residential apartments, along with non-residential space including a relocated Head Start program, a neighborhood policing office, and administrative offices for PHA. The proposed program does not fit within the R-6 Zoning requirements, and rather than request a Zone change just for this particular property it seems logical to look at a larger zone that encompasses much of the neighborhood.

Attached and made part of this Application are the signed Application Form, Application Fee, and supporting documents and exhibits. We welcome the opportunity to begin the discussion with the Planning Staff and Planning Board on this project and look forward to working closely with you as this proposal moves forward. Please contact myself or Patrick Carroll if you have any questions or need additional information.

With Regards,


Mark B. Adelson,
PHA Executive Director and PHDC President

Enc.

CC: Seth Parker, Avesta Housing
Brooks More, Avesta Housing
Jesse Thompson, Kaplan Thompson Architects
Patrick Carroll, Carroll Associates

Ken Whitney

Kenji Funahashi, RA

Eileen Wilkinson

Allison Zuckman, RA

Damon Yakovleff

Thea Youngs

Charrette Volunteers from the Maine Design Community

Two-day Volunteers:

Michael Belleau, RA

Sergio Gaddar, AIA

Alan Holt, AIA

Cynthia Howard, AIA

One-day Volunteers:

Evan Carroll, RA

Pat Carroll, LA

Mac Collin, AIA

Dan Deprez, UMA Architecture Student

Alan Kuniholm, AIA

Kevin Moquin, AIA

Tony Muench, LA

Eric Stark, RA

Mark Torres, UMA Architecture Student

Half-day Volunteers:

Jennifer Claster, LA



Business In-Kind Support

Alan Holt | Community Design Studio

Jed Rathband | Stone's Throw Consulting

James Redpath | Videographer

Community In-Kind Support

Munjoy Hill Community Policing

Portland High School & the John Ford Auditorium

The Root Cellar

The Wishcamper Center | Muskie School of Public Service

Food Donations

Anthony's Italian Kitchen

Bogusha's Polish Restaurant & Deli

Coffee by Design

Hannaford's

Katie Made Bakery

Margarita's Mexican Restaurant

Mittapheap World Market

Pepperclub

Ricetta's

Saeed Saeed, Middle East Food

Skinny Cart BBQ

Tandoor Restaurant

Tu Casa

Wayside Soup Kitchen & Food Rescue

Chefs for the International Dinner

Shito Abdulllah

Fatima Aljabali

Olha Davis

Christine King

Mary Lou Napolitano

Duraid Showkat

Valentina Perfilieva

Zudwa Weldemarian

Staff Support from the Muskie School of Public Service

Jennifer Hutchins- Director of Communications

Barbara Ives- Project Assistant, New England Environmental Finance Center

Project Support: Muskie School/CPD Planning Workshop 2010

Alan Holt- Planning Workshop Director/Adjunct Professor

Robin (Diana) Beck

Randy Lautz

Laurie Leader

Hedda Steinhoff

John Stoll

Special Thanks To:

Applicant Sponsors

The East Bayside Neighborhood Organization (EBNO)

The Muskie School of Public Service – Graduate Program in

Community Planning & Development (CPD)

The City of Portland

Financial Supporters

Avesta Housing

Developers Collaborative

Gorham Savings Bank

Gorrill-Palmer Consulting Engineers, Inc

New England Environmental Finance Center

Portland Housing Authority

Random Orbit

The Root Cellar

Local SDAT Executive Committee

Co-chair: Alan Holt- Adjunct Professor, Muskie School of Public

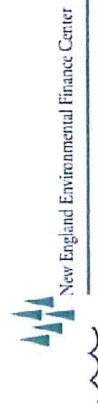
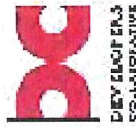
Service | CPD

Co-chair: Belinda Ray- Community Organizer, EBNO

Richard Barringer- Professor, Muskie School of Public Service |

CPD

Mac Collins- Maine AIA Executive Board



Kevin Donoghue- District 2 City Councilor, City of Portland

Alex Endy- President, EBNO

Eric Stark- Professor of Architecture, UMA Architecture Program

Penny St. Louis Littell- Director, Portland Department of

Planning & Development

Local SDAT Support Committee

Mark Adelson- Executive Director, Portland Housing Authority

Ethan Boxer- Macomber, Avesta Housing

Molly Casto- Senior Planner, City of Portland

Nan Cumming- Executive Director, Portland Trails

Joseph Gray- City Manager, City of Portland

Peggy Hinman- Outreach Coordinator, The Root Cellar

Kurt Holmgren- Portland Director, The Root Cellar

Craig Lapine- Executive Director, Cultivating Community

Greg Martin- EBNO

Markos Miller- Co-chair of the Franklin Reclamation Authority

Officer Gayle Petty- Senior Lead Officer for East Bayside,

Portland Police

Sally Struever- Co-chair of the East End Shops

Dana Totman- President; Avesta Housing

ACKNOWLEDGEMENTS

Assistance Team (R/UDAT) programs. In this capacity, he works with AIA components, members and partner organizations to provide technical assistance to communities across the country on sustainability and urban design. His expertise is in civic health and governance, and includes community-based technical assistance, process design, facilitation and training across a number of fields including juvenile justice reform, local government, education, family strengthening, civic media and emergency management. During the 1990s, Mr. Mills spent several years supporting international democratization initiatives by providing technical assistance to parliaments, political parties, local governments, civic and international organizations. His scope of work included constitutional design and governing systems, voter and civic education, election monitoring and administration, political party training and campaign strategy, collaborative governance, human rights and civil society capacity building. He maintains active memberships in the International Association of Facilitators (IAF), the International Association for Public Participation (IAP2), and the National Coalition for Dialogue and Deliberation (NCDD). His work has been featured on ABC World News Tonight, Nightline, CNN, The Next American City, Smart City Radio, The Washington Post, and other major media sources.

has worked for NeighborWorks America's Organizational Assessment Division and Field Offices. Reemberto's background includes community organizing, leadership development, civic participation, community design, urban planning, and teaching at the graduate level. He was an active member in his neighborhood in Atlanta for over 30 years before moving with his family to the Washington D.C. area three years ago. Reemberto holds Masters degrees in Architecture and Community Development; and is a graduate from the Development Training Institute fellowship program. He lives near downtown Silver Spring with his wife and two sons.

DAVE RODGERS, PE, LEED AP- GREEN INFRASTRUCTURE



Dave Rodgers, PE, LEED® AP is a principal civil engineer at SvR Design Company, a Seattle-based landscape architecture and civil engineering firm specializing in integrated and environmentally responsible design. SvR's areas of practice include green infrastructure,

complete streets, civic and community centers, mixed-use development, housing, parks and recreation, and environmental restoration. Dave has worked on a variety of projects from affordable housing redevelopments, to infill housing and living buildings, to parks and arterials. He also has extensive experience with low impact drainage design including natural drainage systems. He led the design of the third phase of the 102-acre HOPE VI NewHolly Housing Redevelopment and has led the design for a number of community oriented streetscapes, parks and trails, including the implementation of the Seattle Bicycle Master Plan. Dave is a professional engineer

with 17 years of experience; he holds a degree in Civil/Environmental Engineering from Clarkson University.

AIA STAFF:

ERIN SIMMONS

Erin Simmons is the Director of Design Assistance at the Center for Communities by Design at the American Institute of Architects in Washington, DC. Her primary role at the AIA is to provide process expertise, facilitation and support for the Center's Sustainable Design Assistance Team (SDAT) and Regional and Urban Design Assistance Team (R/UDAT) programs. In this capacity, she works with AIA components, members, partner organizations and community members to provide technical design assistance to communities across the country. To date, Erin has served as staff lead on over 30 design assistance teams. Prior to joining the AIA, Erin worked as senior historic preservationist and architectural historian for an environmental and engineering firm in Georgia, where she practiced preservation planning, created historic district design guidelines and zoning ordinances, conducted historic resource surveys, and wrote property nominations for the National Register of Historic Places. She holds a Bachelor of Arts degree in History from Florida State University and a Master's degree in Historic Preservation from the University of Georgia.

JOEL MILLS

Joel Mills serves as Director of the Center for Communities by Design at the American Institute of Architects. He provides process expertise, facilitation and support for the Center's Sustainable Design Assistance Team (SDAT) and Regional and Urban Design



RICHARD GOLL – YOUTH DEVELOPMENT

Richard Goll, co-founder and principal officer of Onsite-Insights, has over 35 years of experience in the field of youth development, with the last 15 focusing on youth and adult partnerships and youth engagement. From 1973 to his retirement

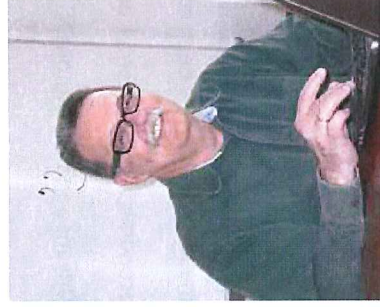
in 2001, Rich was Chief Executive Officer of Alternatives, Inc., a not-for-profit youth development organization in Hampton, Virginia, specializing in youth engagement and the creation of youth and adult partnerships. During this time, he guided the agency through many phases, each of which has been recognized for excellence at a local, state, and national level.

From the late 1960s through the early 1980s, Rich was responsible for the development and implementation of substance abuse treatment and prevention services in Maine, New York, and Virginia. In 1985, Alternatives, Inc. was recognized as the premier school-based substance abuse prevention service in the country. Also during this time, Rich co-founded and was a president of the Virginia Association of Drug and Alcohol Programs. He was instrumental in the development of the original certification process for Virginia's substance abuse counselors and served on a White House Commission studying national policy governing substance abuse services for youth.

In the early 1990s he guided the organization from substance abuse specific work into the field of youth development. He also was one of the chief architects for the youth civic engagement initiative in Hampton. This initiative was recently awarded Harvard's

2005 Innovations in American Government Award. When he retired, Alternatives Inc. was providing 34 different services that served as laboratories and research efforts for determining the most effective youth development, youth and adult partnership or youth engagement practices.

Currently he speaks and trains across the country on topics including youth master planning, youth engagement, youth and adult partnerships and organizational visioning and culture. He serves as a trainer and curriculum specialist for Search Institute, and consults with school districts, city governments, foundations and commissions, as well as local, regional, state, and national service organizations. He has authored or assisted in the development and publication of numerous articles, manuals, and curricula.



**REEMBERTO RODRIGUEZ- HOUSING/
NEIGHBORHOOD REVITALIZATION**

Reemberto Rodriguez recently became the Director of the Silver Spring Regional Center. In this appointed position he is responsible for the efficient and effective delivery of public services and policy development for a major unincorporated area in Montgomery County, Maryland. Previously, he was the Training Manager for the Community Building and Organizing Professional Certificate Program at NeighborWorks America's Training Institutes. He coordinated the curriculum for this Program as well as the curriculum for the Community Leadership Institutes, a regular convening of residents, volunteers, and partners of NeighborWorks Network member organizations. He



SELETA REYNOLDS, AICP – BICYCLE AND PEDESTRIAN PLANNING

Seleta Reynolds, AICP has 12 years of experience planning, funding, and implementing active transportation projects. She is the leader of Fehr & Peers’s Pedestrian and Bicycle Discipline Group, meaning she is involved in most complex bicycle and pedestrian-related studies conducted by the company, and she manages the firm’s Seattle office. She serves on the TRB Pedestrian Committee, the WalkScore Advisory Board, the National Complete Streets Steering Committee, and as the President of the Association of Pedestrian and Bicycle Professionals. She has lectured on complete streets for Portland State University, the University of California at Berkeley, and San Jose State University. Seleta contributed to the National Safe Routes to School toolbox and the upcoming AASHTO Guide to the Development of Bikeways. Recent projects include bike design guidelines for the City of Redmond, WA; a multi-modal plan for Cal State Long Beach, CA; Safe Routes to School plans and designs for Sonoma and Santa Clara, CA; and bicycle master plans for the cities of Kent and Des Moines, WA. She has written grants totaling over \$2 million for bicycle and pedestrian projects throughout the west. Prior to joining Fehr & Peers in 2001, she was the bicycle and pedestrian coordinator for the City of Oakland, California. One of her favorite recent projects done in her spare time was a civic art collaboration with Steve Lambert to create a series of posters envisioning the future of transportation unconstrained by politics, funding, or feasibility. The posters were

installed in kiosks along Market Street in San Francisco, CA (<http://visitsteve.com/work/wish-you-were-here-postcards-from-our-awesome-future-2/>).



NEIL TAKEMOTO – CREATIVE ECONOMY/ COMMUNITY

Neil Takemoto is the founding director of CoolTown Beta Communities, a crowdsourced-based placemaking and economic development firm codeveloping natural cultural districts with creatives. His work over the last 14 years has been committed to the development of places with significant economic, environmental and social benefit, currently working in Syracuse, New Orleans and Washington DC.

Neil is the founder of CoolTown Studios, a ‘crowdsourcing cool places for creatives’ blog/news site that attracts 40,000 unique visitors a month. It has been featured in Architect Magazine and the ULI’s annual developers conference.

He is also the cofounder of Bubbly, a crowdsourcing web application, and Mobfuse, a crowdsourcing consulting firm. With Andres Duany, Neil co-founded the National Town Builders Association in 1997, the only business trade group of Smart Growth/ New Urbanism real estate developers. Prior to that, he founded a national nonprofit educational clearinghouse for the New Urbanism field.

Portland, ME Sustainable Design Assessment Team Members



J. TODD SCOTT, AIA – SDAT TEAM LEADER

Todd is a licensed architect who specializes in historic preservation and downtown revitalization. His preservation experience includes stints with Oklahoma City, as historic preservation officer, and with King County, Washington, where he currently provides assistance for historic properties in that county and sixteen suburban and rural communities. He recently completed the intensive level survey of 175 historic barns on the Enumclaw Plateau and 200 historic residential and commercial properties in Kent, both in King County.

He has been involved in the rehabilitation of hundreds of structures in dozens of small downtowns as the state architect for Oklahoma Main Street and for DesignWorks, an arts-based design charrette program. Todd also served as community development director and assistant city manager for the city of Astoria, Oregon. He has presented at numerous state, regional, and national conferences on topics ranging from sustainability in design to mounting grass roots campaigns for endangered structures. Todd has served on the boards of various non-profit agencies including heritage organizations, community development corporations, urban renewal authorities, and architectural foundations.



PATRICIA SMITH, ASLA, AICP - CONNECTIVITY

Patricia Smith, ASLA, AICP has more than 20 years experience providing urban design and landscape architecture services to private and public sector clients. She specializes in streetscape improvements. With ZGF, she prepared the Master Plan for Santa Monica Boulevard in West Hollywood which received a national AIA Urban Design Award in 2001, followed by the landscape design plans for the boulevard, including extensive median landscaping. Construction was completed in 2001. She designed and prepared construction documents for Phase 1 streetscape and landscape improvements in the Los Angeles Sports and Entertainment District around Staples Center and prepared the Streetscape Master Plan for future improvements. Pat prepared the Mission Street Specific Plan for the City of South Pasadena in 1995 and more recently prepared a Downtown Streetscape Plan and construction documents for the same area. She worked with the local community in the residential South Park community of Los Angeles to design Venice Hope Park, which includes an integrated public art component. She has prepared more than 20 landscape plans for elementary, middle and high schools, with an emphasis on replacing asphalt with play fields and planting area and providing shade through strategic tree planting.

Creative Industry Zoning District

Zoning	Up to year 1	1-5 Years	5+ Years	Notes	Checks	Stars	\$\$\$\$
ILB to B-5		Arts retention program with incentives		1. Bonuses/retention: Just the arts? 2. Affordability	0	0	0
						1- Somewhere in between the two options	
Modified B-5 with arts bonus		Modified B-5 with arts bonus		1. Is there enough ILB in the city? 2. Cultural heritage 3. Local ownership 4. Need to keep light industrial for the arts	12	0	0

Small Business Development & Job Creation

Small Business/Jobs	Up to year 1	1-5 Years	5+ Years	Notes	Checks	Stars	\$\$\$\$
	Jobs for youth partner with small businesses (casey) 16-20 years of age			1. Start early in schools 2. Jobs in restaurants, farms, with artists & trades. 3. Sounds nice- make it work. 4. Like does for Maine graduates- CF opportunity Maine	11		
	Mentoring programs (business to business)			1. Very effective when happens holistically, otherwise not helpful. 2. Maine's Womens Fund program "Women Standing Together" could be helpful	5		1
		Business Incubator		1. Is it needed? Yes for arts businesses, agricultural business projects	1	1	1
		Sector Focus Business Development i.e. Restaurant strip, artists		Identity- Washington Avenue and Congress are well defined but not industrial area	4	1	1
			Pipeline job development: Apprenticeship, education, incubation, entrepreneurship	1. Focus on agricultural/food, the arts & manufacturing. 2. Start within 2.5 years of 5 year period.	6		
			Grow bigger small businesses (with triple bottom line lens).	1. Need clear guidelines/vision. 2. Keep to "sector" focus. 3. Do we want bigger businesses in this neighborhood?	1	1	1

Attainability/Housing

Up to 1 Year	1-5 Years	5 Years	Notes	Checks	Stars	\$\$\$\$
What are barriers to more housing?				1		
Identify sites (redevelopment)				4	1	
See where local business employees work-survey? Ask what kind of housing they would demand and dialogue with businesses.			Assess links to public transportation.	1		
Convene with developers.						
	Arterial plan with preferred alternative (will include new developable land) with concept designs/visioning.			1		
	Strengthen inclusionary zoning (3 years) Density bonuses for affordable housing.			1		
	Focus on family housing with associated amenities: open space, youth programs, etc. Stem loos of families to suburbs.		1. Access to childcare. 2. Bring in first time home owners or renters (young families). 3. Seattle is a great example of including families in the downtown development plan.	3		
		Add 200 units of housing (100 affordable and 100 market rate)	1. Mix of all income levels is important. 2. May be too high of a number 50/50?	6	1	
		Reinvigorate Public Housing (10+ years)		8	1	

Appendix 2: Notes From 3.30.10 SDAT Crowdsourcing Focus Group

Places of Destination/Sense of Community							
1 Year	1-5 Years	5 Years	Notes	Checks	Stars	\$\$\$\$	
Assessment of available space/current resources (meeting, studio, performance, creatives, talent.			Neighborhoods or citywide?	5			
Work plan/development plan for achieving realization of physical structure/building/community center.			Business plan needed				
Hold roundtable, public input sessions (invite schools, students, teachers to process).			Offer at neutral location	2			
Kickoff art or cultural event (Peppermint Park art celebration or N. Boyd trail connection).				5			
Neighborhood ownership exploration							
	Purchase property or building for development of community space (for local organizations, arts, etc.)		1. Support local ownership 2. Will it create jobs for neighborhood families & at what wages? 3. Could this be physical space for suggested business incubator? 4. Show me the \$\$\$-business plan	7		2	
	Proactive push to highlight existing cultural resources, pull more in (galleries, artists).			2		1	
	Continue to assess/track progress						

The Center for Teen Empowerment (Boston, MA) - The mission of the Center for Teen Empowerment is to realize the potential of inner-city youth to build healthier and safer communities and schools. Teen Empowerment hires and trains urban youth, including at risk youth, to be community organizers. Programs are based on the belief that urban youth represent a valuable, untapped resource and can significantly contribute to the rejuvenation of neighborhoods and local institutions. <http://www.teenempowerment.org/>

Seattle Young People's Project (Seattle, WA) - Seattle Young People's Project is a youth-led youth empowerment organization set up to provide young people with a voice to effect social change. <http://www.sypp.org/>

Just Act! for Human Rights (Washington, DC) - Changing young people's lives by helping them develop the leadership and vision necessary to advocate for meaningful change in their communities. <http://www.streetlaw.org/en/index.aspx>

Youth Speaks (San Francisco, CA) - Building and nurturing the next generation of leaders through the written and spoken word. Innovative programs nurture and develop the youth voice and promote positive social dialogue across boundaries of age, race, class, gender, culture, and sexual orientation. Throughout each facet of the organization, Youth Speak encourages active literacy, honest writing, and critical thought. <http://www.youthspeaks.org/>

Mobilizing America's Youth (Berkeley, CA) - An all-partisan network dedicated to educating, empowering, and energizing young people to increase our civic engagement and political participation. <http://www.mobilize.org/>

research and analyze the causes, issues and solutions, and develop and carry out action plans to effect social change. Some inspiring examples of youth in activist roles follow.

Teens Turning Green is a national coalition of teens educating peers and community members about safe, healthy, and green lifestyle choices. The campaign focuses on the daily chemical exposures in our schools and communities that harm our health. Teens across the country work to advocate for policy change to protect our health and inspire actions that sustain our earth. <http://www.teensturninggreen.org/>

Youth Empowerment Center (Oakland, CA) - This is the youth empowerment center website with information about several Bay Area youth organizing groups. <http://www.youthec.org/>

Hormies Unidos (Los Angeles, CA) - A non-profit dedicated to positive organizing among Latino youth gangs. The site includes useful research and other related material. <http://homiesunidos.org/>

Ya-Ya Network Youth Activists/Youth Allies (New York, NY) - A NY citywide network of young activists, their adult allies & established youth programs. They are anti-racist, anti-sexist allies with the LGBTQ community. They are an activist organization staffed by youth 15-19, primarily youth of color. They organize around the issues that impact on the quality of life of young people in NYC with a particular focus on counter-military

recruiting and the links between militarism and other social justice issues. <http://www.yayanetwork.org/>

Ruckus Society (Oakland, CA) - The Ruckus Society provides training in the skills of non-violent civil disobedience to help environmental and human rights organizations achieve their goals. The site offers training manuals for non-violent protest and information about action camps. <http://www.ruckus.org/>

Global Youth Connect (Mountain View, CA) - The mission is to build and support a community of youth working to defend human rights and social justice and to inspire and empower a new generation of youth to act for meaningful social change. <http://www.globalyouthconnect.org/>

The Young & the Restless - Highlander Center (New Market, TN) - Offers the democratic space and the skills for youth aged 15-21 to find their own voices and leadership. The program works with young people in a number of ways, including extensive outreach, field visits, and ongoing backup to support youth activists in their communities; and an intensive, youth-led camp called Seeds of Fire that gathers 20-25 young activists and provides them with peer-based training and experiences that open up the concepts of youth power, critical thinking about organizing, and ownership of their own projects and organizations. <http://www.highlandercenter.org/p-seeds-of-fire.asp>

districts, faith based leaders, non-profit leaders, school representatives, city staff and 2 youth members. The 2 youth members in turn facilitate a youth advisory group with 2 representatives from each of the 10 neighborhood districts. This affords the youth on the commission with the insights of youth from all the neighborhoods.

<http://www.hampton.gov/neighborhoods/commission.html>

Community/Neighborhood Youth Mapping approaches: Community/Neighborhood Youth Mapping (CYM) is a catalyst to mobilize youth and adults as they identify resources and opportunities that exist in their neighborhood. Through the CYM process, young people and adults canvass their neighborhoods in search of places to go and things to do. Using this data collection strategy, young people across the nation have identified a host of resources that may not be found in traditional directories. http://www.communityyouthmapping.org/about_cym.asp
AED has successfully assisted over 60 communities in the United States to implement a Community Youth Mapping initiative. All of these communities can be visited at the above site.

Youth as Voting Members in Neighborhood Associations: Neighborhood Associations are usually a group of individuals who serve as the leaders of their neighborhood. They are usually formal organizations with voting members and the members are chosen but their neighbors. Very rarely are young people a part of these groups. In fact members tend to be senior citizens who focus on keeping the neighborhood as it is or as much as possible. However, as the demographics of the neighborhood

change these leaders often fail to consider the new needs that are being created. By including the diversity of the neighborhood, including its young people, better decisions are likely to occur.

Intergenerational Models of Community Organizing: Southern Echo's underlying goal is to empower local communities through effective community organizing work, in order to create a process through which community people can build the broad-based organizations necessary to hold the political, economic, educational, and environmental systems accountable to the needs and interests of the African-American community. <http://southernecho.org/s/>

East Nashville – Oasis Community Impact: OCI is an initiative that works with youth to promote educational and economic equity for urban students, schools, and neighborhoods by cultivating grassroots leadership through a youth organizing strategy. <http://www.teenedge.com/article.aspx?iid=1143&tid=10&cid=19>

Youth Activism Opportunities

Youth activism is best summarized as youth voice engaged in community organizing for social change. Around the world young people are engaged as activism planners, researchers, teachers, evaluators, social workers, decision-makers, advocates and leading actors in the environmental movement, social justice organizations, campaigns supporting or opposing controversial issues. Within neighborhoods young people would identify issues of importance to them and their neighborhood,

- Spokane, WA: Teen Advisory Council - Formed in April, 1986, the Teen Advisory Council (TAC) provides an opportunity for teens in grades 8-12 from schools and organizations throughout Spokane County to get involved in community projects and initiatives of the Chase Youth Commission. <http://www.chaseyouth.org/>
- Farmington Hills, MI: The Farmington/Farmington Hills Mayor's Youth Council is a group of teens dedicated to bettering their city by creating programs that appeal to high-school students. The MYC gives teens the opportunity to have fun, make new friends, plan events, and get involved in their community. Members have the chance to get hands-on experience in local government by working with the City Council while learning leadership and organizational skills. This is civic training at its best, giving kids the outlets and tools they need to increase their understanding of how to run a municipal body and make a difference. <http://www.ci.farmington-hills.mi.us/F2H/MYC/OverviewMYC.htm>
- Hampton, VA: Hampton has young people serving on their neighborhood advisory committees. The Neighborhood advisory group's mission is, "Improve Hampton's neighborhoods by inspiring and involving youth in leadership, and creating a sense of unity between youth and adults. <http://www.altinc.org/projects/NYAB/NAYBindex.html>

Youth Advocacy:

Youth Health Advocates: The mission of the Youth Health Advocates Project is to create a network of service clubs at public and private high schools throughout Santa Clara County CA that will help nurture junior YHA clubs at elementary and middle schools in their local neighborhoods. This action will promote public awareness of the necessity of good nutrition and regular physical exercise to support wellness in their community and themselves. The goal is to recruit, train, and mobilize 1,000 Youth

Health Advocates by the year 2010, by creating a new kind of wellness movement that is of, by, and for young people who want to take an active leadership role in confronting important community health issues. <http://www.youads.org/>

Shared Leadership Opportunities

The key elements of this type of AYCE opportunities are:

- Responsibilities shared among all members (youth and adult)
- A far greater level of commitment is required of everyone
- Higher level of skills and training required
- Focus on broader issues (policies, strategic plans, shared authority, system changes, etc.)
- Has the greatest potential for impacting all youth
- Outcomes tend to be long-term solutions
- Changes the norm of who gets to be at the "table"
- Increases the leadership pool

Neighborhood Commissions: Neighborhood Commissions are structured and created as any other commission in a city. They have some power to act, but are primarily used as a way for elected officials to gain information and support for issues related to neighborhoods. Greenville does not have a Neighborhood Commission, however they do meet regularly with neighborhood leaders. Whether the city continues to use this format or if it creates a Neighborhood Commission young people should have the opportunity to serve as equal participants.

City of Hampton, VA: This 21 member Neighborhood Commission is a standing Commission within the city. It is made up of the leaders from the 10 neighborhood

- Environmental and cleanup approaches: Young people are often very passionate about the environment and how the neighborhood in which they live appears. Finding effective and meaningful ways to engage them in making their communities look better or to address an environmental issue that is impacting where they live is a great way for adults and youth to rally around a cause. The following are a few examples to think about:
 - o Alternatives for Community and Environment: <http://www.ace-ej.org/rep>
 - o Other sites that provide interesting neighborhood based opportunities:
 - o Lubec, ME Aquaculture Project: <http://www.rachel.org/en/node/94>
 - o Boston MA The Food Project: <http://www.thefoodproject.org/youth/index.asp>
 - o Philadelphia Student Union: <http://www.thefoodproject.org/youth/index.asp>
 - o Cefocine, Guayaquil, Ecuador: <http://www.shinealight.org/CEFOCINE.html>
 - o Las Vegas, Nevada: <http://www.lasvegasnevada.gov/TextOnly/Find/4852.htm>

Input and Consultation Opportunities

The key elements of this type of AYCE opportunities are:

- Adults retain the power to decide, but make better decisions based on youth input
- Enhances problem-solving ability of adults dealing with youth-related issues
- Youth have the opportunity to share their perspective in safe and appropriate ways
- Youth and/or adults can set the agenda
- When input is provided over time some skill building and training may be required

- Can be a short- or long-term commitment and results
- Issues addressed can be broad or specific in nature
- Focus is to have a positive impact on more than just individuals

Examples of Input and Consultation include:

- Conversations with Kids: Conversations with Kids is a series of community forums designed to address issues such as those faced by Colorado's communities. The forums convene policy level community leaders, state and local government, research and grant making organizations and community action organizations to develop actionable ideas and move dialog from theory to application and mobilization. http://www.buildassets.org/connections/c4k/c4k_home.htm
- Youth Focus Groups – A youth focus group is a form of qualitative research in which a group of young people is asked about their attitude towards a product, service, concept, advertisement, idea, or packaging. Questions are asked in an interactive group setting where participants are free to talk with other group members. These groups can be facilitated by either an adult, a young person or by a combination of the two. These are only valuable if the young people are truly listened to and if those asking for input are asking for the right reasons. Often this approach is used by elected officials to present a picture of inclusion, without the intention of actually valuing what they hear.
- Youth Advisory Groups - Youth Advisory Groups are basically advisory groups designed to provide neighborhood decision makers with insights that would not occur without the input of youth. They can be developed to serve for a short period of time or they can be organized to exist in an ongoing manner.

- Police Department: Law enforcement officers and young people can work together in a number of ways to increase safety, reduce juvenile crime, create a better image of both groups and to build lasting positive relationships that can increase the potential that the young people will want to become officers and that officers will have an increased tolerance for the young people they encounter. Portland's Police already focus a lot of programs toward young people and use a community policing approach which is much more youth friendly. Building on these makes great sense. Work with Officer Petty to explore more ways to build on this partnership. Some sites worth visiting include:
 - o CT Office of Policy & Mgmt: <http://www.ct.gov/opm/cwp/view.asp?a=2974&q=383636>
 - o Constitutional Rights Foundation: <http://www.crf-usa.org/cops--kids-working-together-for-peace-on-the-st/cops--kids.html>
- Community Development: Throughout the nation, many community development organizations and initiatives are reaping the benefits of youth involvement in their work: deeper engagement with the communities they serve, reenergized staff and volunteers, and unique insights that give their work greater impact:
 - o NeighborhoodWorks America: <http://www.nw.org/Network/comstrat/youth/default.asp>
 - o Community Youth Development – Sarasota FL: <http://www.cydonline.org/>

Other Possible Opportunities:

Youth Ambassadors: Youth Ambassador Initiatives take on a variety of approaches but all have the end goal being involving young people in ways that demonstrate their commitment to making the community a better place for everyone.

- Youth Ambassadors of Seattle WA -- Together We Can: -- <http://youthambassadors.net/>
- Youth Service CA: <http://yscal.org/cm/Programs/CATALYST/CATALYST.html>
- D250 Make Your Mark: <http://www.d250.ca/media.asp?ID=34>

There are really an unlimited number of possible AYCE opportunities that can be creating in a neighborhood. The following is a brief list that will get you thinking:

- Helping Others Learn to . . . : Teaching others a skill that you have mastered is a wonderful way to be authentically engaged and a great way to help others. Every young person has something that they are good at and creating a system in Greenville where it is easy to share that "gift" would be a great strategy for this initiative. Examples include a reading volunteer who acts as a tutor, helping illiterate children and adults learn this important skill, a high school sports team that volunteers to teach their skills to younger kids, or young musicians who can introduce others to the joy of music. There are limitless possibilities within this category.
- Supporting Those in Need: There are always people in every neighborhood that from time to time can use a little extra help. Whether that could be accomplished with a food drive, helping to fix up a house of an elderly couple, running errands for those who can't get around or any number of other services young people can help make any neighborhood a better place to live.
- Assisting within recreational opportunities: Young people, especially teens, can provide meaningful service by coaching, umpiring, being guides at Special Olympics, etc.)

Their <http://www.volunteermanatee.org/> website includes the Manatee Club which helps teens in the county find exciting and important volunteer opportunities.

Advocates for Youth is an international organization that provides important health and well-being information to young people. They also have great links to sites that promote youth engagement and volunteering. <http://www.advocatesforyouth.org/youth>

Neighborhood Partnership Network: This site identifies a number of neighborhoods who have found ways to engage young people in improving the neighborhoods in which they live. http://www.npnola.com/associations/neighborhoods/find_by_service/17/youth-engagement

Project, Tasks and Services Opportunities

The key elements of this type of AYCE opportunities are:

- That young people can serve in a variety of different roles,
- Most opportunities are short-term in duration, with short-term solutions,
- A minimal amount or no training is required,
- The issues addressed are usually specific in nature,
- Provides a positive experience, allowing participants to feel good about contributing,
- It increases neighborhood involvement,
- When opportunity involves a group it often includes opportunities for relationship building,
- Allows youth to test their interest in engagement activities,
- Almost any youth can find something that interests them or about which they are passionate,
- Provides real value to the neighborhood with a minimal output of time, resources or effort,
- Often allows a very young person to contribute to his or her neighborhood.

Examples of Projects, tasks and services include:

Manatee County, FL: A great website to see the possibilities of a communitywide effort to engage teens in meaningful service projects is from Manatee County Florida.

City/Neighborhood Partnerships:

Here are some ideas for how neighborhoods can partner with the city to ensure that young people can become engaged in projects, tasks or service oriented opportunities that will address important issues within their neighborhoods.

- Parks and Recreation Department: Young people have much to offer as volunteers in parks and recreation services offered by the City of Portland. There is currently no formal youth volunteer effort underway, but this could be developed as part of this initiative. Examples of cities/states that are currently engaging youth in their recreation services are:
 - o Scottsdale, AZ <http://www.scottsdaleaz.gov/volunteer/parksrecreation.asp>
 - o Bloomington, IN <http://bloomington.in.gov/parksvol>
 - o The State of Oregon <http://www.oregon.gov/OPRD/VOL/volunteer-ysadesc.shtml>

Appendix 1: Additional Resources & Information for Youth Development and Engagement

AUTHENTIC YOUTH CIVIC ENGAGEMENT EXAMPLES: NEIGHBORHOOD RELATED OPPORTUNITIES

The following are examples of how other communities are engaging young people within the neighborhoods in which they live, as well as sites that provide information about how to create an engagement opportunity. Some of these links also provide examples of engagement opportunities that could be created within Portland's schools, community-based organizations or the city. These are not presented as recommendations, but as a way to generate thought and the exploration of possibilities. The EBNO should explore what is right for the East Bayside neighborhood and, in partnership with young people, take the time to create your own ideas using these examples. Each example has a short description and, when available, a link to find out more information. The examples are separated using the Authentic Youth Civic Engagement triangle and two additional categories, General and Youth Activism.

What Kids Can Do (<http://www.whatkidscando.org/>) is a great site for exploring a vast array of youth engagement examples. Based in Providence, R.I., What Kids Can Do (WKCD) is a national nonprofit founded in January 2001. Using the Internet, print, and broadcast media, WKCD presses before the broadest audience possible a dual message: the power of what young people can accomplish when given the opportunities and supports they need and what they can contribute when we take their voices and ideas seriously. The youth who concern WKCD most are those marginalized by poverty, race, and language. On this website, WKCD presents

young people's lives, learning, and work, and their partnerships with adults both in and out of school. The publishing arm, Next Generation Press, honors the power of youth as social documenters, knowledge creators, and advisors to educators, peers, and parents. WKCD is a grant maker, too, collaborating with youth on multimedia, curricula, and research that expand current views of what constitutes challenging learning and achievement.

The Free Child Project's mission is to advocate, inform, and celebrate social change led by and with young people around the world, especially those who have been historically denied the right to participate. This is one of the most comprehensive sites there is about youth and their rights. <http://www.freechild.org>

Connect for Kids and *Child Advocacy 360* work to: (1) Connect concerned adults and young people—whether they're new to the issues or already activists—to compelling, accurate information and context on children's issues, as well as tools to take action, (2) Help child- and youth-focused organizations effectively reach a broad audience—the public, professional peers, and policymakers—with their content and materials, and (3) Break down silos in the broad child and youth field and strengthen connections among organizations and agencies to create a stronger, unified voice for children and youth. Through their website, Connect for Kids gives visitors the information and tools they need to learn about issues affecting children, families, and communities and to take action to improve policies and programs, and, ultimately, the fabric of our nation as a whole. <http://www.connectforkids.org/>

APPENDICES

vicinity to rail adjacent to multifamily housing provides one of the best scenarios for implementation.

Reclaimed water

With the local sewer treatment plant just north of East Bayside, we would recommend reviewing the irrigation demands of Fox Field, the Eastern Prom, East End Community School and adjacent green spaces. If these areas are currently receiving large volumes of irrigation water or they would benefit from receiving irrigation. The sewer treatment plant can sell the reclaimed water to private and public clients such as parks department, school district and mechanical process water in the industrial area. In the City's overall approach for managing resources, this approach can conserve drinking quality water while providing an income source to the treatment facility.

Sea Level Rise

Currently, during high tides with storm events, the sea level elevation comes close to the operating level of the wastewater treatment plant. The elevation of the industrial area of East Bayside allows flooding when there are storm events coinciding with high tides. If new storm outfalls are provided as part of the combined sewer overflow improvements, tide gates would be recommended. The existing outfalls should be retrofitted with tide gates. When properties are redeveloped, reviewing the possibility of raising finish floor elevations in the lower areas during permitting of new buildings. The Green Stormwater Infrastructure approaches listed throughout this document will assist in minimizing the peak storm flows.

of the City has a high groundwater table and therefore would be a prime candidate for geothermal heating and air conditioning systems, again either as part of a district energy system or for an individual building.

There are several renewable sources of energy in the area as well as nuclear power sources in the region. The peak flows for the Portland area are provided by an oil burning plant. One possibility for the industrial area and including potential re-development in affordable housing would be creating a district energy system. The system could be fueled by biomass (biological material derived from living, or recently living organisms – wikipedia) delivered by rail cars. The waste products of clean green programs and the natural by products of the logging industry are local and readily available sources of energy in comparison to petroleum based fuels. The systems can be set up in a staged manner to be implemented and expanded over years and potentially decades.

The waste energy from industrial processes can be utilized to heat housing units in the evening. Similar systems are being investigated for college campuses, as well as in Pioneer Square in Seattle, and these technologies have been utilized for decades in places like Copenhagen and Malmo Sweden.

The hot water district systems provide both hot water and heat without each housing unit having a large inefficient hot water heater. The initial capital costs provide one of the largest barriers to implementation. Having light industrial areas in the

4. Community as A Green Machine: Sustainable Infrastructure

Green Stormwater Infrastructure

Portland is currently experiencing combined sewer overflows (CSOs). This occurs when stormwater and sewerage are carried in a single system and the flows overwhelm the pipe and/or treatment capacity. Relief points (CSO's) overflow into surface water bodies preventing sewerage from backing up into streets and buildings.

A report was completed with projects identified throughout the City to minimize or eliminate overflows. We would recommend reviewing Green Stormwater Infrastructure as a solution for this basin. If it is determined storm flows from this basin are contributing, installing rain gardens, bioretention areas, rain barrels and planting underutilized rights of way and properties is an efficient way to remove stormwater from the combined system or provide treatment of stormwater if systems are ultimately separated. The Cities of Portland, OR, Seattle, WA, Cleveland, OH are just some of the municipalities



High Point, Seattle



Port Townsend, WA



Maynard Green Street, Seattle

using Green Stormwater Infrastructure as a way of meeting their regulatory goals while improving streetscape, walkability, creating gathering places and providing traffic calming. There are approximately 2-3 overflows in the East Bayside area.

Energy

The least expensive way to ensure there is sufficient energy for the region is conservation. Efficiency Maine (www.energymaine.com) provides free walk-through energy audits to small businesses and provides potential loans and other financial resources to implement the recommendations.

The next least expensive approaches are passive solar and solar hot water systems.

The solar hot water systems can be installed as part of a building or connected to a district energy approach. There are large areas of flat roofs in the industrial area which receive large amounts of unobstructed sunlight.

Included in the range of resources provided by Efficiency Maine is a potential low interest loan for geothermal, insulation, and refrigeration upgrades. A geothermal system uses the temperature of ground water to increase the efficiency of a heating and air conditioning system or to support an industrial process. This East Bayside area



East Bayside Sewers
UNIVERSITY OF MAINE PORTLAND
U.S. EPA

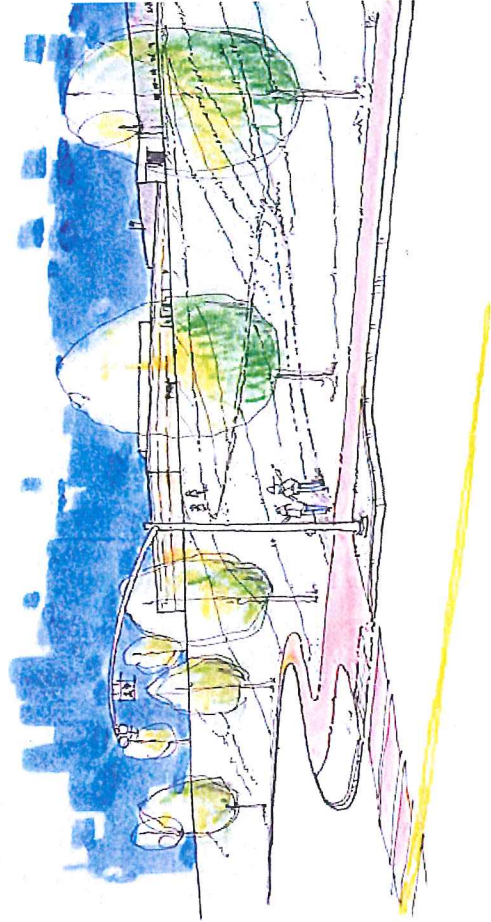
Potential Connection: East End Community School

The first challenge to connecting East Bayside to East End Community School is crossing Washington Avenue. That requires both adding a controlled crossing, for example, a "hawk signal" as shown in the sketch below and slowing down the traffic that is exiting the Interstate.

The next challenge is walking up the hill. There is currently no sidewalk on Washington Avenue to the school and, if there were, it is not likely anyone would use it as it is a rather indirect route. A path up the slope with pedestrian-scale lighting could provide a more usable route.



Existing view of Washington Avenue at East Promenade.

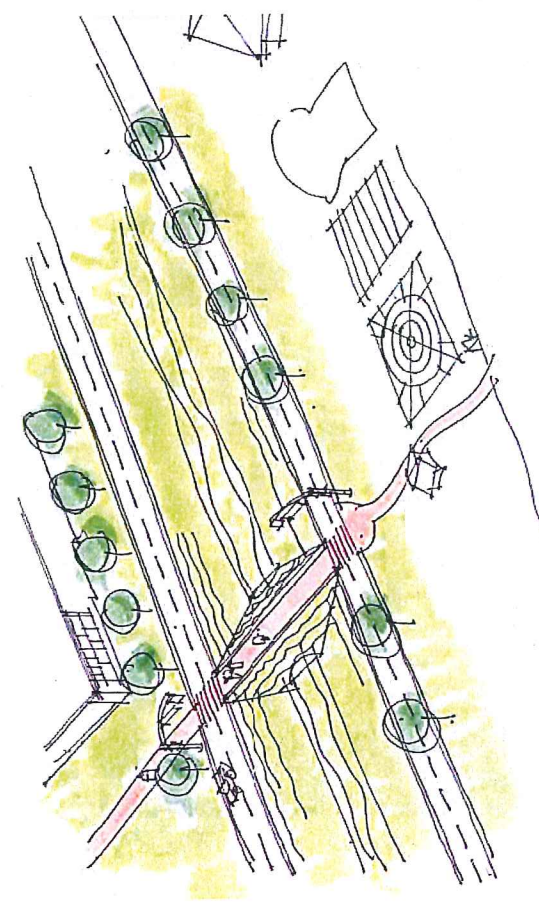


Washington Crossing
Park Control

Sketch of controlled crosswalk and path to the East End Community School.



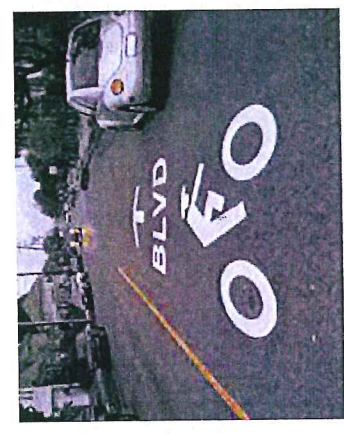
get a WALK indication. The HAWK is approved for use in the newest version of the Manual on Uniform Traffic Control Devices.



Potential Connection: Oxford Street Bicycle Boulevard

Oxford Street between Washington Avenue and Franklin Arterial is a quiet, low volume street which could be appropriate for a type of shared lane bikeway known as a Bicycle Boulevard. Bicycle Boulevards are typically residential streets with average daily vehicle volumes of 3,000 or fewer, which include special pavement stencils, wayfinding elements, and traffic calming devices. They provide a comfortable ride for cyclists and are often used to direct less experienced cyclists to routes off of busier streets. They also include bicycle-friendly measures at street crossings such as moving stop signs off the bicycle boulevard to the cross street or even bicycle signals at busy

arterials. Bicycle Boulevards have been in use in Palo Alto and Berkeley, California for the last decade and are growing in popularity. The Initiative for Pedestrian and Bicycle Innovation (IPBI) in Portland, Oregon recently issued the Bicycle Boulevard Guidebook, which includes details about the elements of a successful bike boulevard.



Elements of bicycle boulevards include special pavement stencils and signs as well as traffic calming measures such as traffic circles or street closures that are permanent for cyclists and pedestrians.

3. Rebuilding Connections

Reconnecting places within East Bayside as well as reconnecting the East Bayside district with the rest of the City requires engineering, education, enforcement, and encouragement measures. Infrastructure alone cannot effect comprehensive change in the ways people move around and through the district.

Building on the enthusiasm of a new Safe Routes to School coordinator and the strong relationship between the community and the police department, the first step could be the creation of a Safe Routes to School plan for East End Community School. The planning process offers another opportunity to strengthen relationships within the district and to build positive momentum through a shared goal of a safe place for students to walk and ride. The National Safe Routes to School Partnership has a readily-adaptable set of measures that could be implemented at low cost right away.

Examples include:

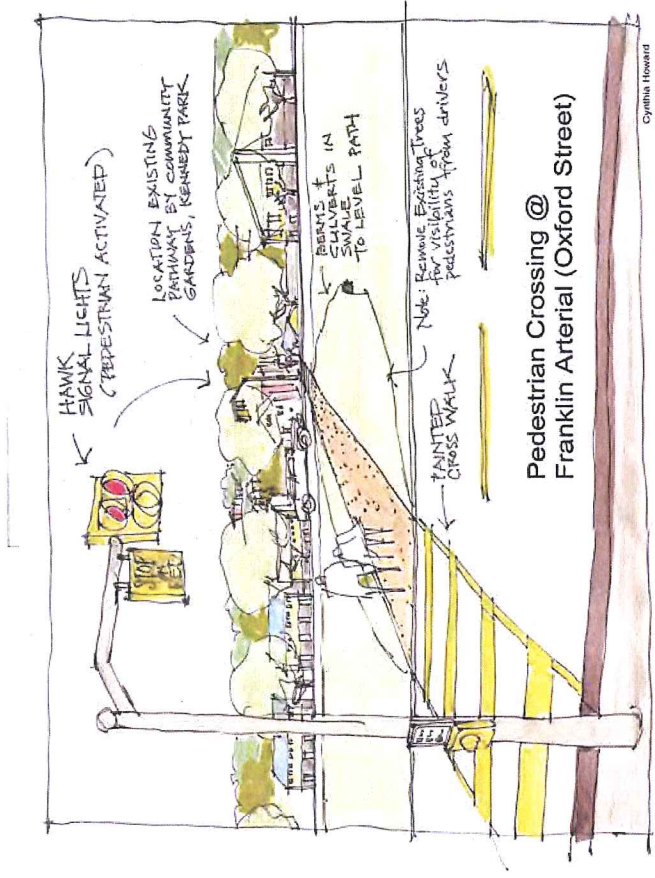
- A walking school bus
- Contests to log the most miles walked or biked to school
- Bike rodeos
- Junior crossing guard programs
- Establishing walking and cycling routes to school

The following pages include short and long-term recommendations for capital projects to improve walking and cycling within the neighborhood.

Potential Connection: Franklin Arterial

Franklin Arterial is the subject of a longer planning process currently underway. Likely outcomes include larger capital projects that could take several years to fund, design, permit, and build. In the meantime, a simple short-term project that could be readily expanded as part of a larger vision is a marked crosswalk aligned with the informal path at Oxford Street.

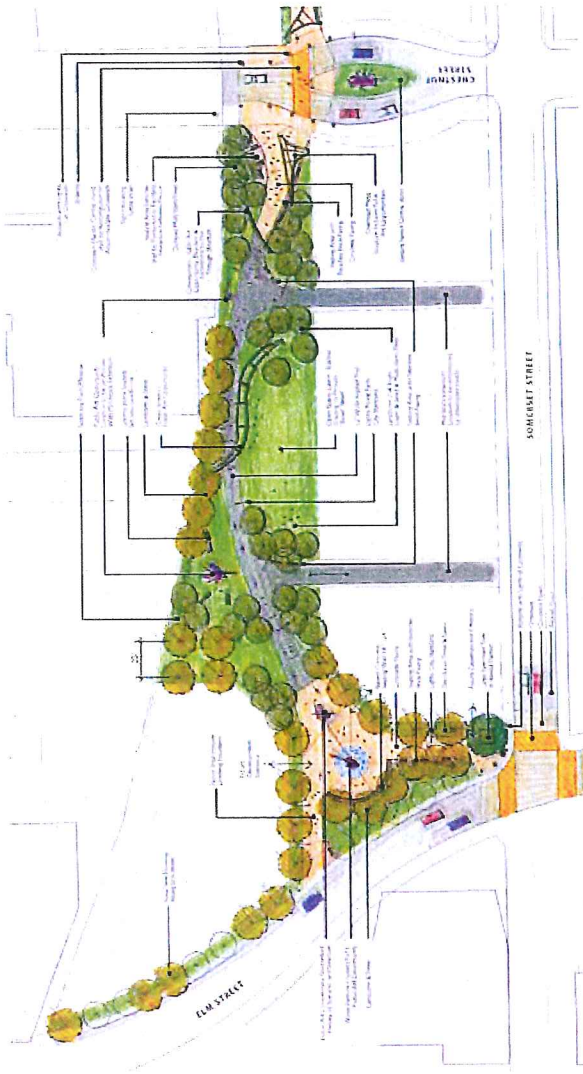
Since Franklin Arterial is a multi-lane street, the most appropriate crossing treatment is either a full pedestrian signal or a beacon such as the HAWK. The HAWK signal is an actuated signal that rests on dark until a pedestrian pushes the button to activate the signal. The signal then shows a yellow and red indication to drivers while pedestrians



Place with Potential: Bayside Trail Corridor

The Bayside Trail will create a "greenbelt" between the Marginal Way business corridor and the Anderson Street industrial/arts districts. The trail and its adjacent landscaping will provide pedestrian and bicycle access and amenities for those districts and the nearby residential neighborhood. It also has the potential to attract tenants who would benefit from being adjacent to the trail, both directly and indirectly: bicycle and recreation-related and serving uses, as well as businesses with employees and clients who would like to use the trail for commuting and/or recreation. Retail and restaurants along the trail can benefit from the increased activity. The area along the trail has the potential to develop a unique identity associated with the trail.

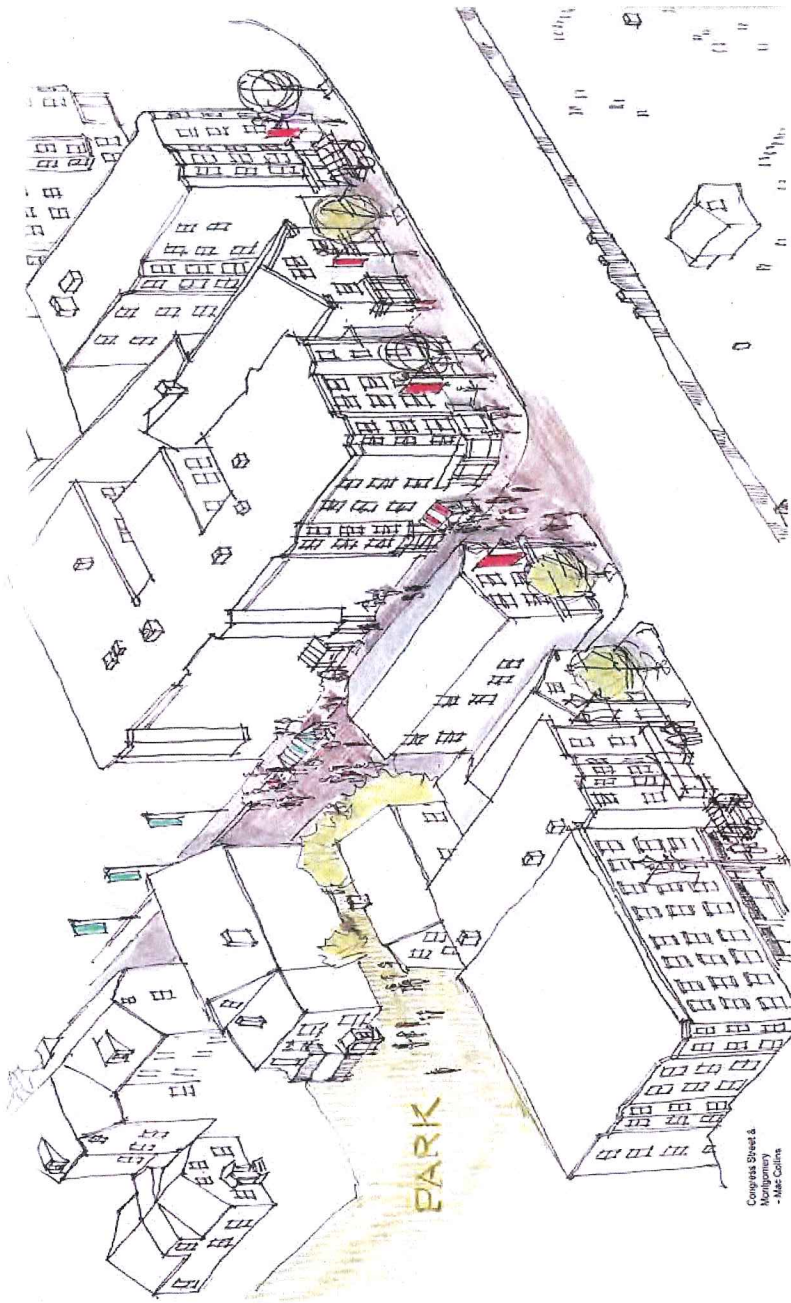
The community should add more pocket parks and supplemental landscaping, as well as more connections into the community like the one the City is providing from Fox Field.



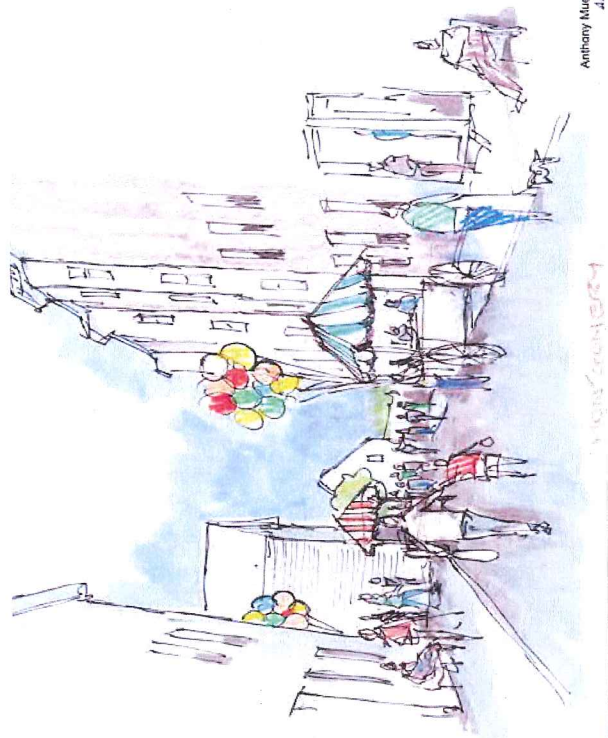
This plan of a segment of the trail west of Franklin shows the potential for landscaping, although the right-of-way for the trail is not as wide in East Bayside as in the segment shown. Source: Portland Trails



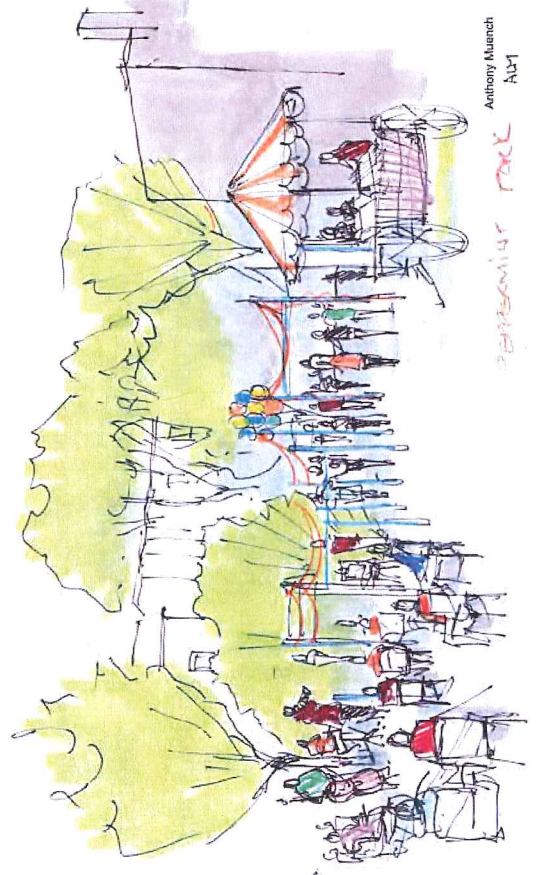
Bicycle rental and repair shops may benefit from the trail.



Congress Street &
Magnum
-Map Collins



Anthony Muench
A1.16



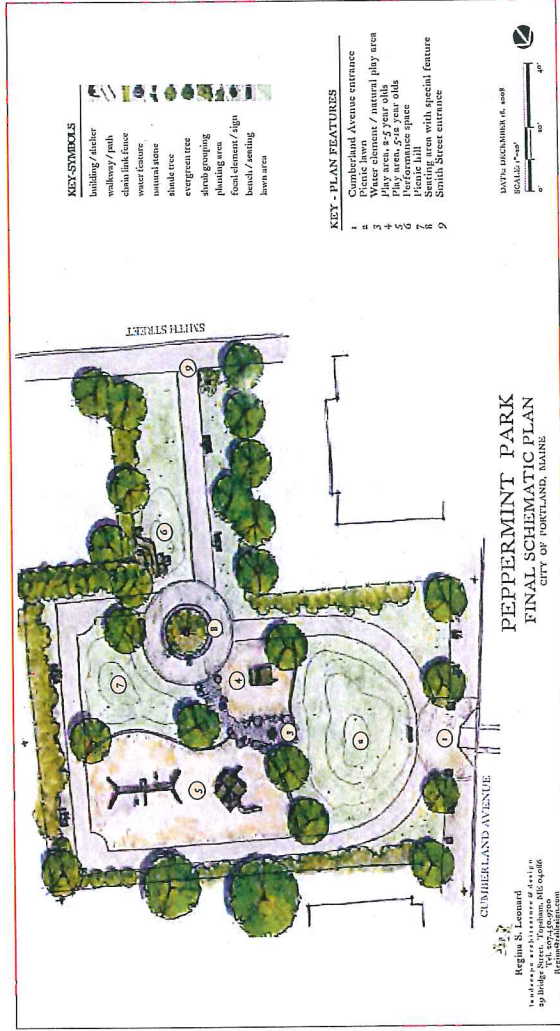
Anthony Muench
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PERSONAL FILE

Place with Potential: Congress/Cumberland and Peppermint Park

Congress/Cumberland could be an even more active mixed-use district with the addition of live-work and other ground floor commercial uses. Unlike Washington Avenue, which is linear, Congress/Cumberland includes the two major streets as well as the cross streets that connect them. Non-linear districts have placemaking opportunities that linear districts lack. For example, it is easier to close the smaller cross streets for regular events and even spontaneous activities. In addition, Peppermint Park is at the center of the district and can be used for events. In fact, both the park and Montgomery Street and even Smith Street could be used for community events, as illustrated in the adjacent sketches.

Peppermint Park is currently being renovated (see plan below) and should incorporate night lighting and other elements needed for events. In particular, electrical outlets can be provided so that inefficient, polluting generators are not required for events.



Plan for Peppermint Park remodel.

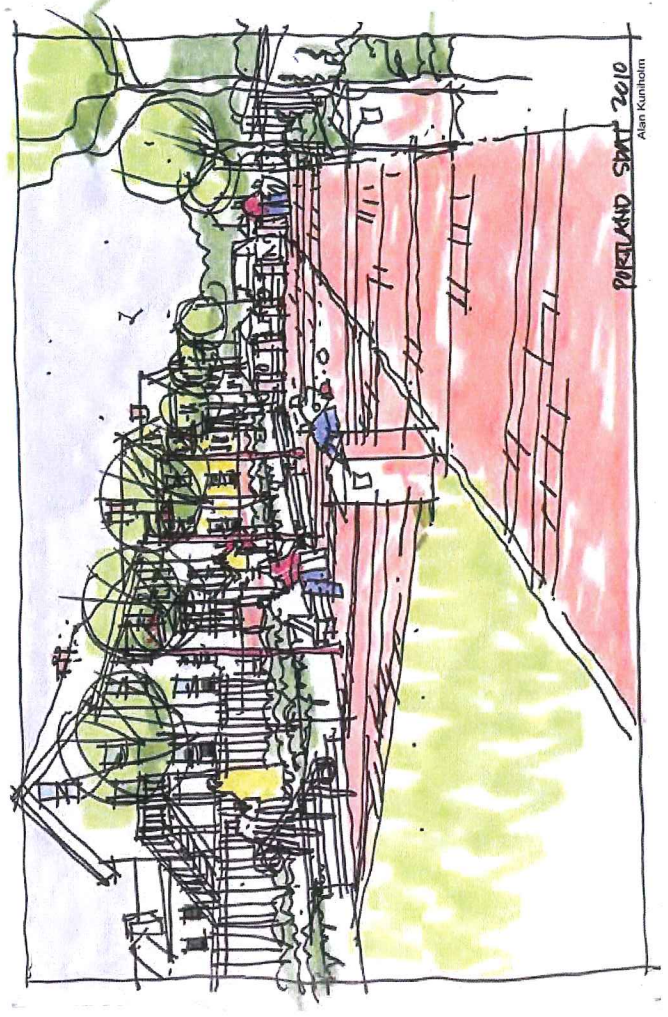


A variety of activities and events can take place in the park.

Place with Potential: Greenleaf Street

Greenleaf Street between Madison Street and Everett Street is currently closed to through traffic. The community can work with the adjacent property owners and the City to decide how to fix it up. You could decide to open it up to through traffic or you could turn it into a pocket park as illustrated in the sketch below.

This is a relatively modest endeavor. It could be planned, designed and even constructed in part by community members and particularly by youth if they identify it as a priority project to pursue.



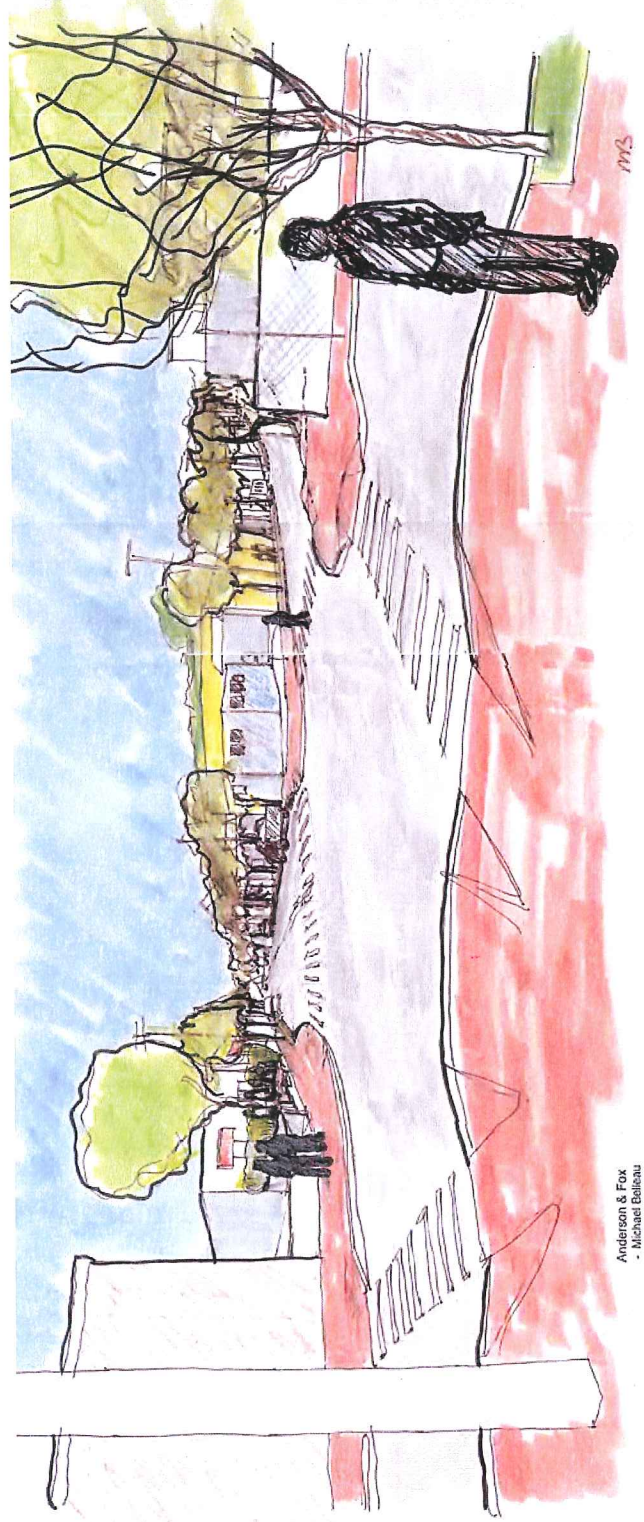
- Working with the property owner and tenant on the northeast corner, add a pocket park on the undeveloped triangle of land and the curb extension with facilities that would complement the uses at Fox Field and support commercial activity.
- Plant street trees in pathways, install pedestrian street lights, and other streetscape improvements.
- Attract neighborhood-serving uses, such as a coffee shop or a deli, to Anderson Street near its intersection with Fox Street.
- Continue to refine facilities around the edges of Fox Field to accommodate complementary park uses, including seating, picnicking, and other park uses.
- Close the street for special community events and turn the street into an outdoor room.
- Consider programming events at Fox Field.
- Expand the park as more facilities are needed.
- Add a recreation / community center near Fox Field.



Existing sidewalk on Fox Street adjacent to Fox Field.



Sketch of sidewalk with curb extension, storm water parkway and trees.



Anderson & Fox
- Michael Balleau

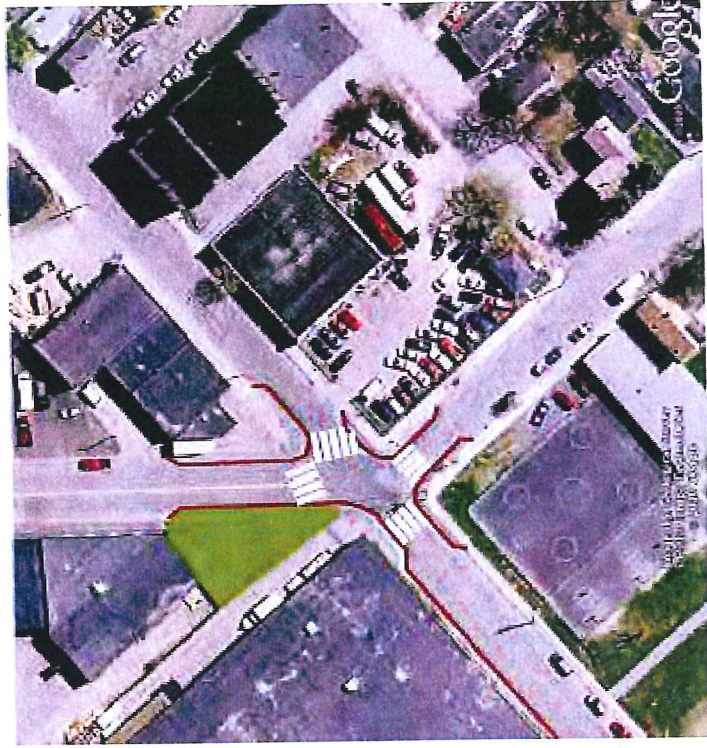
Above: The intersection of Fox and Anderson Streets today.
Below: A sketch showing crosswalks, curb extensions, brick sidewalks, a pocket park, street trees and storm-water collection parkways.

PLACES WITH POTENTIAL

Place with Potential: Fox and Anderson

The intersection of Fox Street and Anderson Street is a community center both geographically and socially. It is at the juncture between the residential neighborhood and the light industrial/arts district. It includes Fox Field, which is the primary outdoor recreational facility in East Bayside and a gathering place for youth. There is potential for both creating a place where a broader spectrum of community members can gather and for building upon the improvements to Fox Field that the City and community are already making. Some ideas for how Fox and Anderson could be transformed over time as funding is found are listed below.

- Paint crosswalks at the 4-way stop.
- Install curb extensions (“bulb-outs”) to increase sidewalk area to emphasize the pedestrian orientation and channelize vehicular traffic. The sidewalk paving could be brick as shown in the adjacent sketches.



Top: Plan view of crosswalks, curb extension and a green space.

Bottom: Bird's eye sketch showing brick paving, street trees and a gateway.

Fox & Anderson - Bird's eye
May 2010

Congress Street and Cumberland Avenue

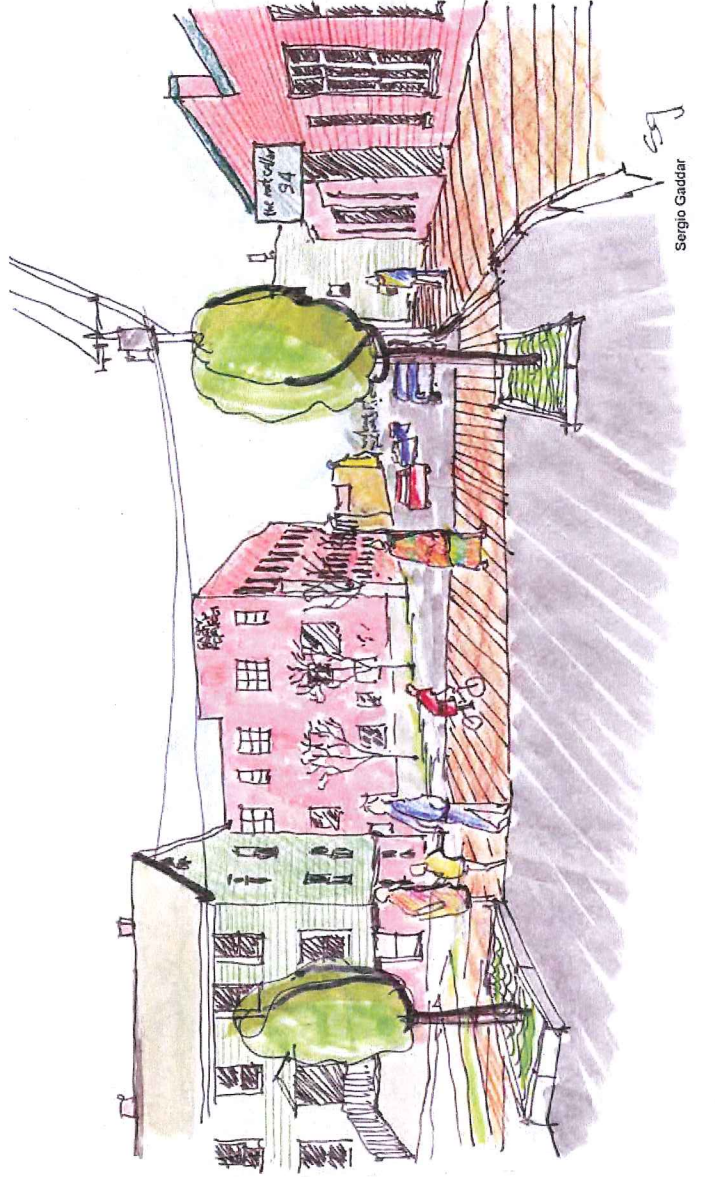
- Consider allowing commercial ground-floor uses in existing buildings on Cumberland Avenue, so that the Congress and Cumberland can function as a single mixed-use district. This will enable the area to evolve with a different character from Washington Avenue.
- Maintain building walls with storefronts along the street.

Anderson Street

- Consider whether Anderson Street might evolve as a low-key mixed industrial/arts/support retail street with access mostly on foot and bicycle, where residents and workers would come for their day-to-day need from coffee and lunch to car repair.
- Create a neighborhood node at/near Fox Street (see Places with Potential)

Residential Streets

- Add parkways and street trees wherever possible.
- Design parkways to collect storm water.



Summary of Placemaking Opportunities for Bayside Streets

All Commercial Streets

- Develop a different market niche for each commercial district - appeal to different users and develop a different look. Make the commercial districts complementary rather than competitive with one another.
- Plant more street trees.
- Plant them in parkways or large tree wells.
- Install pedestrian-scale street lights.
- Add crosswalks and corner curb extensions at key streets to make the street more walkable and to better connect East Bayside to

Munjoy Hill.

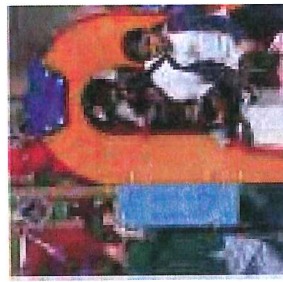
Washington Avenue

- Reduce and narrow curb cuts.
- Widen sidewalks a few feet when new buildings are constructed to provide enough room for street trees in large tree wells or parkways, walking and outdoor dining or other commercial activities.
- Complete the brick sidewalks.
- Locate new buildings along the back of the sidewalk with storefronts and display windows along the sidewalk with parking behind.
- Consider shared parking so each individual business does not have to provide on-site parking.
- Find a good location for a small open space that would support outdoor dining or other commercial/community activities.



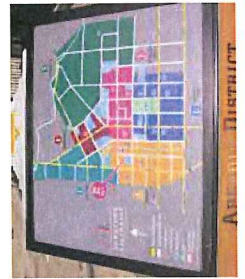
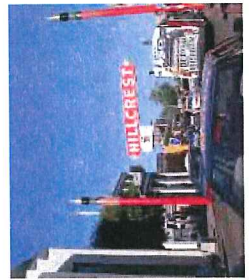
Placemaking Tool for Streets: Sidewalk Parks, Plazas and Gardens

Look for unused or under-used spaces, both public and private where adjacent to the street or to another public space. These spaces can be transformed into usable parks, plazas and gardens to serve community members of all ages.

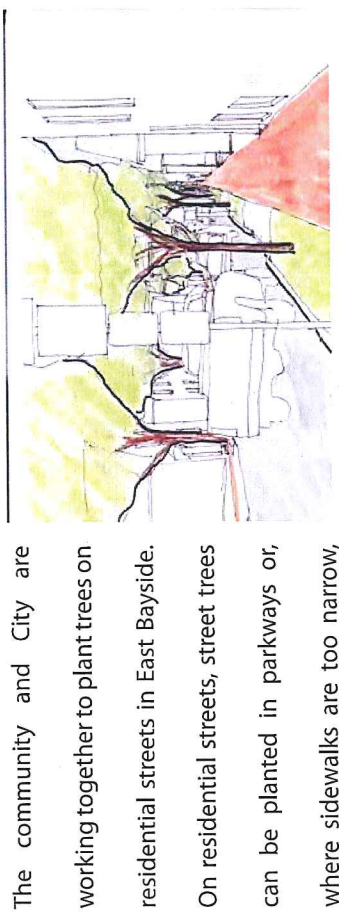


Placemaking Tool for Streets: Gateways, Wayfinding Signs & Public Art

Gateways let visitors know when they are entering your community. Wayfinding signs help them get around once there. Art can be incorporated into a variety of functional elements in the public realms. You can also provide spaces for temporary art.



Placemaking Tool: Residential Green Streets



The community and City are working together to plant trees on residential streets in East Bayside. On residential streets, street trees can be planted in parkways or, where sidewalks are too narrow, in front yards. One tree per lot of a size that will result in a more-or-less continuous canopy is typically ideal. On streets that are at least 8 feet wide, a 4-foot wide walkway can be provided and the remainder of the sidewalk along the curb can be a continuous landscaped parkway that will allow trees to grow bigger and healthier and live long. The parkways can also collect and infiltrate storm water. A gentle slope to the center from either side of the parkway to reduce runoff is the simplest approach. This type of parkway can collect storm water from the sidewalk. A more ambitious approach is to collect storm water from the street, typically by providing inlets from the street gutter into the parkways. With this type of parkway, the storm water can be infiltrated into the ground if the groundwater table is not too close to the surface. Infiltration requires rapidly draining soil and storage capacity. If the native soil does not drain rapidly, it can be replaced to a depth of several feet with gravel or other permeable medium combined with soil. If the storm water cannot be infiltrated, it can be "treated" by grasses and other plant materials that collect and, to some extent, absorb pollutants and then release them back into the street. These approaches to storm water collection can also be used on commercial streets.

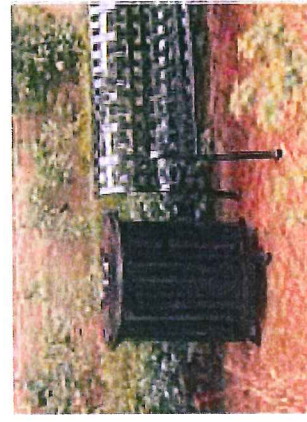
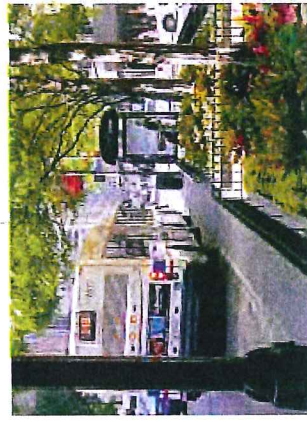
Placemaking Tool for Streets: Pedestrian Street Lights

In addition to street lights that illuminate the roadway for vehicles, ornamental lights on lower pedestrian-scale poles can provide additional illuminate of the sidewalk at night and can contribute to community and district identity both at night and during the day time.



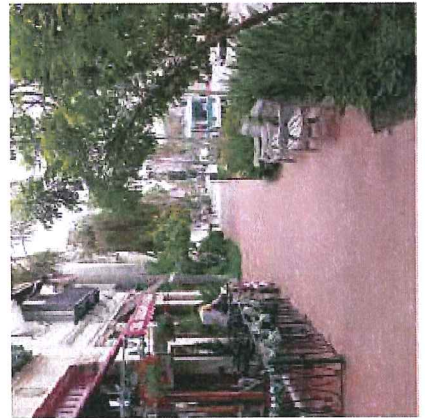
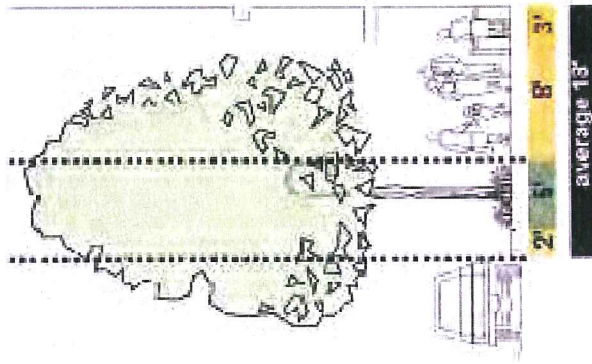
Placemaking Tool for Streets: Street Furniture

Like lighting, street furniture is functional and can contribute to community and district identity. Bicycle racks, trash receptacles, seating and bus shelters are the most widely used elements.



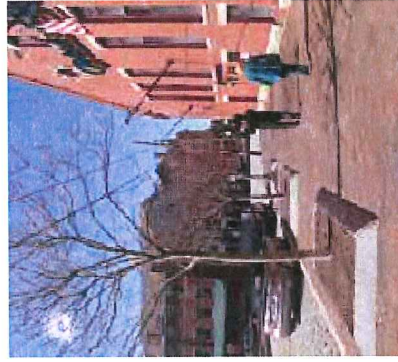
Placemaking Tool for Streets: Parkways

Parkways allow trees to grow and provide a buffer between the sidewalk and the street. They can be uniform along a street or they can be designed as an extension of the adjacent building or business. Parkway can also collect and infiltrate storm water (see Green Streets).



Placemaking Tool for Streets: Street Trees

Street trees are often identified as the most important improvement that can be added to a street, providing the “biggest bang for your buck.” They should be close enough together to provide shade where needed and, where appropriate, a continuous canopy. They should be appropriate in form to the street they are on, for example columnar trees on narrow sidewalks and trees with central trunks that can be pruned up above business signs on commercial streets. By the same token, appropriate conditions that will allow trees to grow so they can provide the many environmental and aesthetic benefits they have to offer (shade, carbon reduction, storm water collection, visual enhancement). Appropriate conditions include enough soil surface area and volume for their roots to grow and absorb air and water. Large tree wells are good. Continuous landscaped parkways are even better.

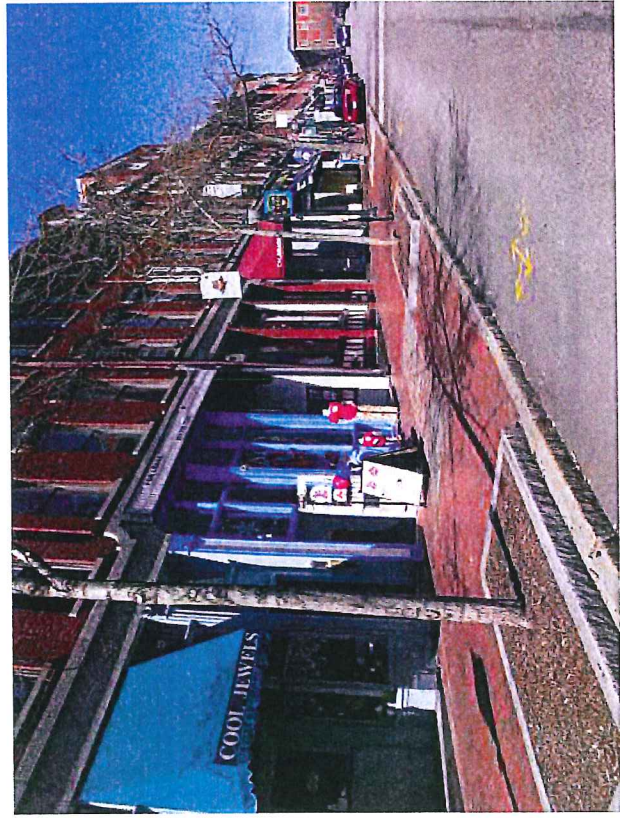


Placemaking Tool for Streets: Sidewalk or Shared Street Paving

In Portland, brick sidewalks denote commercial streets and they connote care. Congress, Cumberland and most of Washington have brick sidewalks. There may be other streets where brick sidewalks could be used to designate a community place. Special paving is sometimes used on streets that are shared by pedestrians and vehicles to show down traffic and indicate that they are different from other streets.

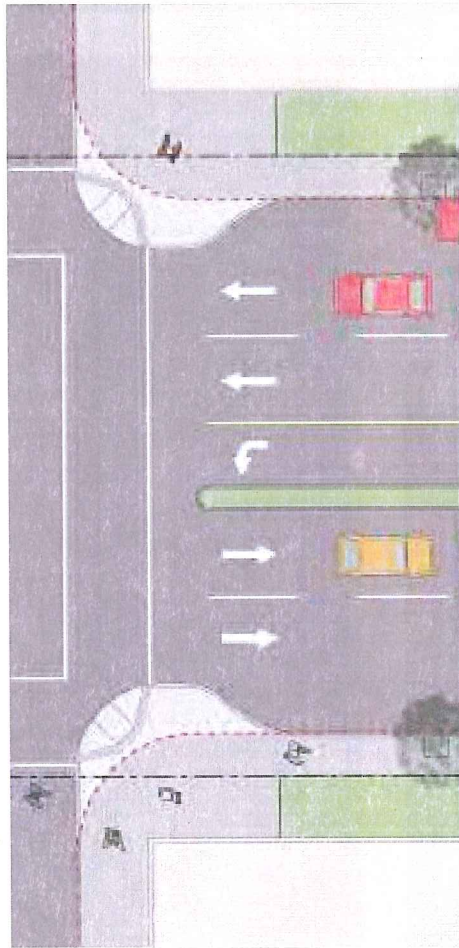


Examples of brick sidewalks, granite curbs and granite shared street paving in Portland.



Placemaking Tool for Streets: Curb Extensions

Curb extensions are often located as crosswalks to make it easier to cross the street and to make waiting pedestrians more visible to motorists. They are also provided at bus stops to provide more space for bus riders and bus stop furniture. They can also be located along other segments of a block where wider sidewalks are needed. They can be paved, planted, used for outdoor dining, vendors or anything else you might think of.



Plan view of curb extensions at a crosswalk.



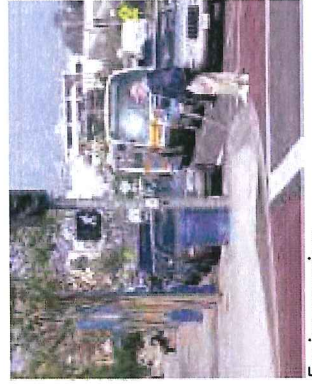
Paved curb extension



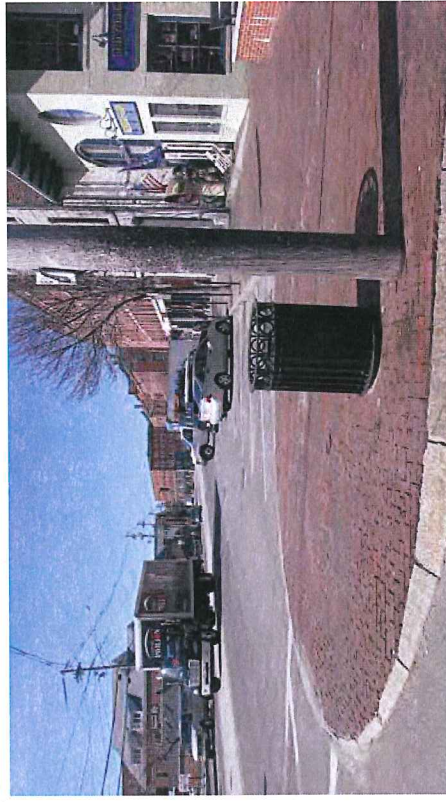
Landscaped curb extension.



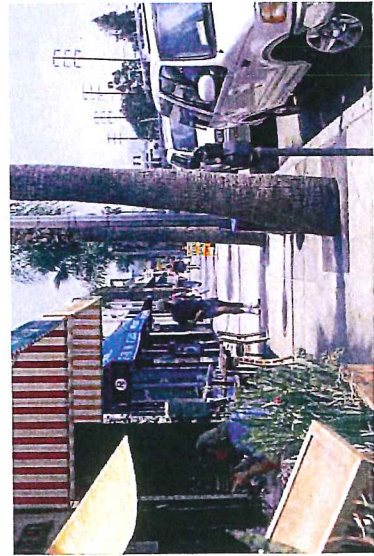
Outdoor Dining.



Easier crossing.



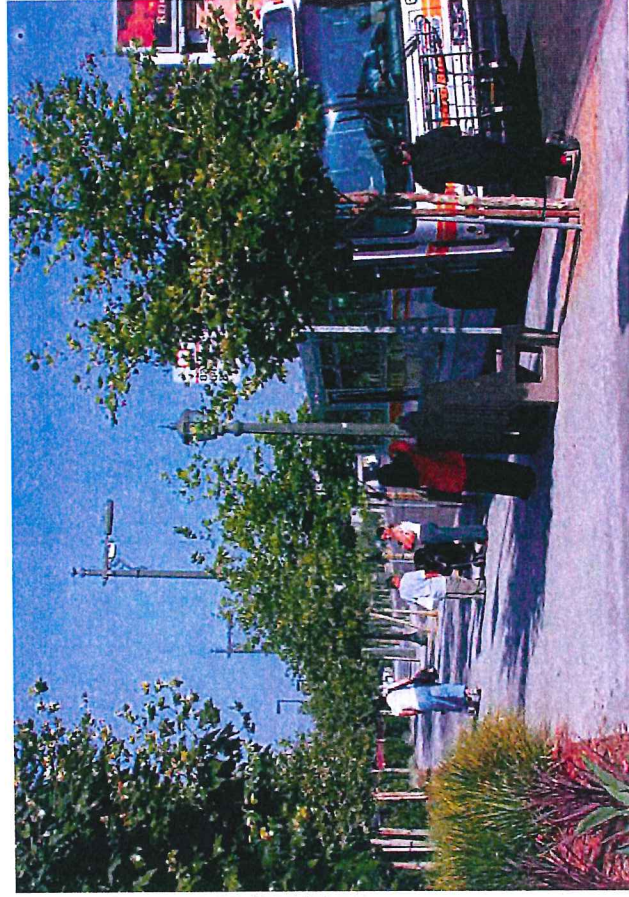
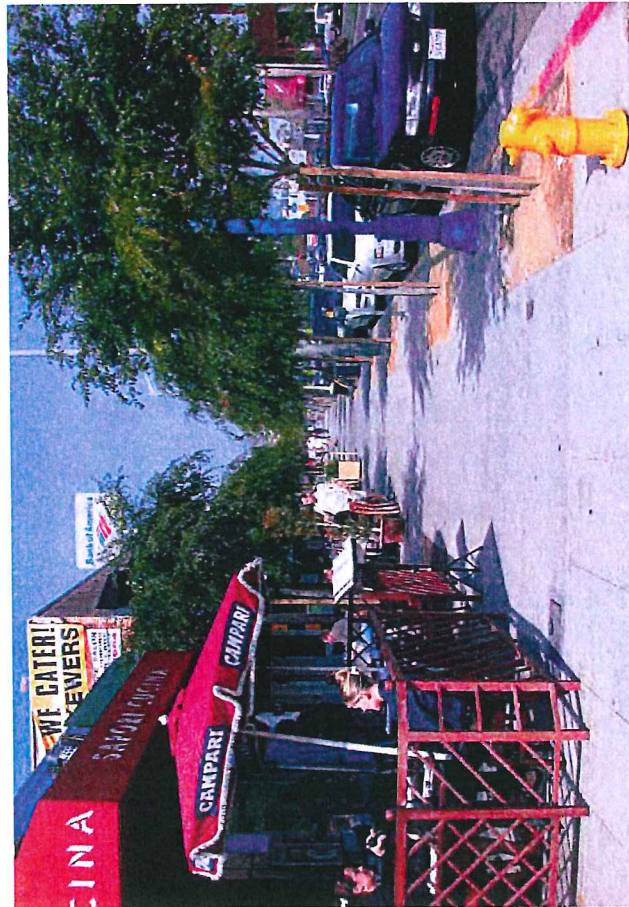
Portland curb extensions.



A 7-foot wide sidewalk on a commercial street was widened to 24 feet by extending the sidewalk into the existing roadway to accommodate a double row of trees, a wide walkway and a wide outdoor dining zone.



An 8-foot wide sidewalk on at a busy bus stop was widened to 24 feet by setting the new development back to accommodate a more generous bus stop, wider sidewalk and landscaped buffer from the adjacent surface parking lot.

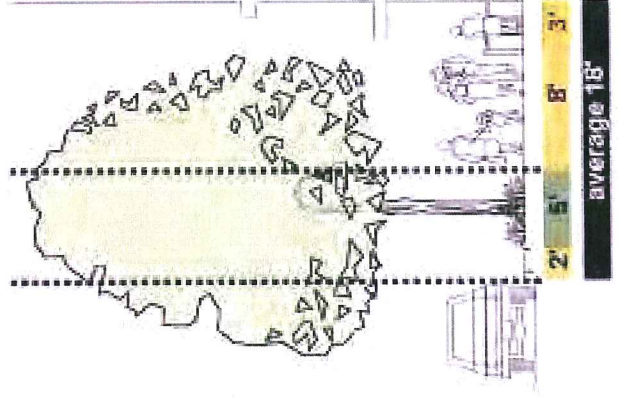
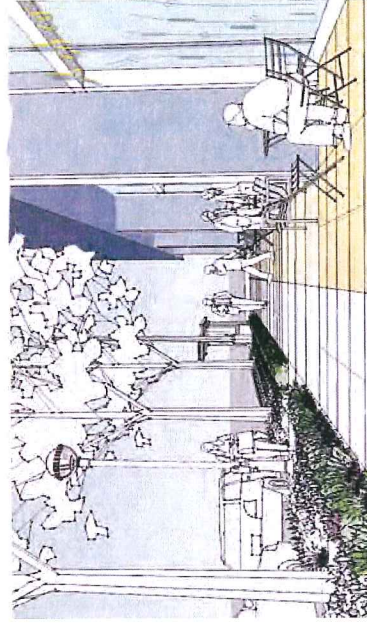
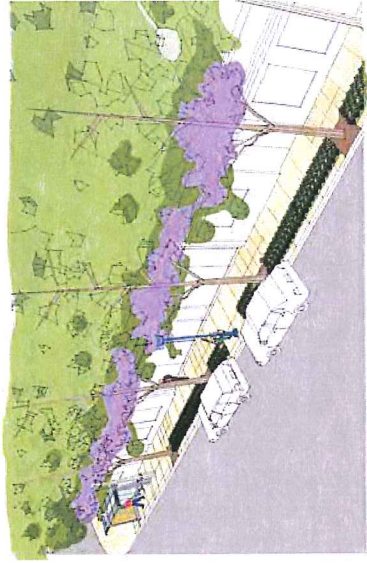
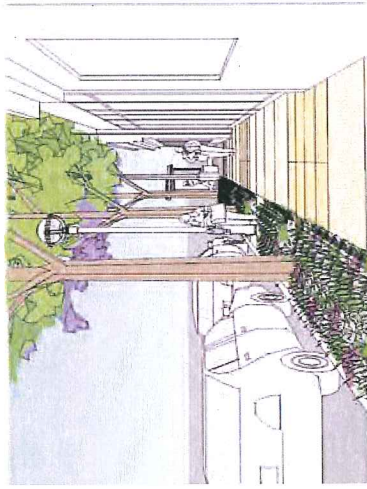


Placemaking Tool for Streets: Sidewalk Width

Wide enough sidewalks are fundamental for sidewalk activity. For commercial streets with ground floor retail along the sidewalk, 16 to 18 feet is desirable to accommodate an access zone for curbside parking, a parkway or large tree wells (8 to 10 feet long) with street trees, a walking zone, and outdoor dining and other commercial activity on the street, as illustrated in the top example below. However, 12 to 14 feet can work with limited outdoor dining. Even 10 feet can work if the curbside landing strip is eliminated adjacent to street trees, as illustrated in the bottom example below.

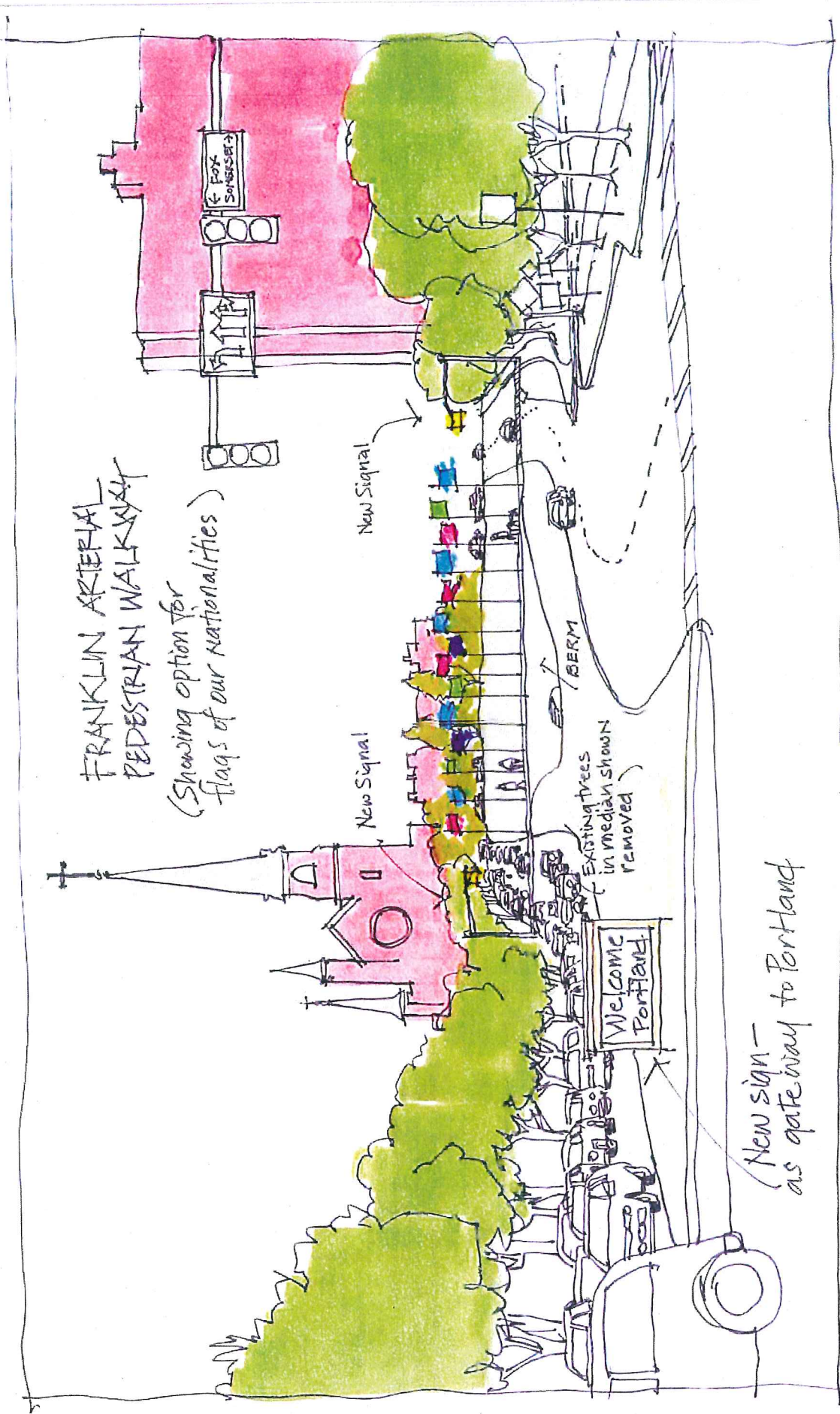
On two-lane residential streets with low to medium density housing, a minimum 10- to 12-foot wide sidewalk with a 6 to 8-foot wide parkway for storm water collection and street trees and a minimum 4-foot wide walkway is desirable.

If the roadway to wider than necessary, the sidewalk can be widened into the street (a curb extension), as shown in the first example on the following page. Where new buildings are planned is typically easier and less costly to set the building back a few feet to widen the sidewalk, as shown in the second example on the following page.



Top: 10-foot wide sidewalk shown in street view sketch and bird's eye view sketch.

Bottom: The same views of an 18-foot wide sidewalk.



FRANKLIN ARTERIAL
PEDESTRIAN WALKWAY
(Showing option for
flags of our nationalities)

New Signal

New Signal

Existing trees
in median shown
(removed)

BERM

(New sign -
as gateway to Portland)

Cynthia Howard

C. HOWARD

The median on Franklin could be enhanced with a gateway element.

Placemaking Tool for Streets: Control Curb Cuts and Parking

Access to parking requires a curb cut and driveway which both create a conflict with pedestrian activity and interrupt the building wall along the sidewalk. As noted in the previous Placemaking Tool, on a pedestrian-oriented commercial or mixed-use street, the building "street wall" should have active uses, such as shops with display windows, on the ground floor along the sidewalk.



Frequent, wide curb cuts (driveways) reduce walkability.

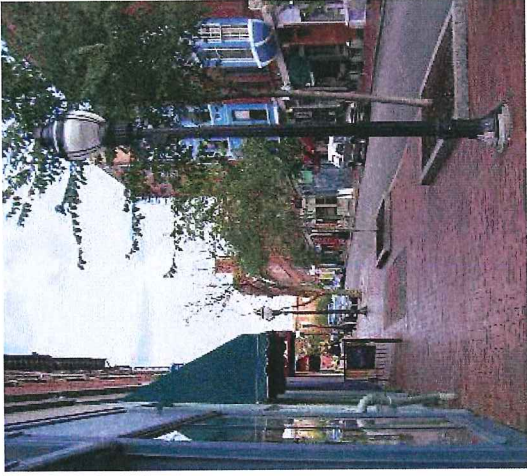
To minimize pedestrian conflicts and breaks in the pedestrian-oriented street wall, parking should be accessed from the alley if there is one or curb cuts should be located on streets with less pedestrian activity, usually the side streets along streets like Washington Avenue, Congress Street and Cumberland Avenue.

There should be as few curb cuts as possible and they should be as narrow as possible. For the same reasons, private parking should not be located along the primary pedestrian street or between a building and the sidewalk on a primary pedestrian street.

Placemaking Tool for Streets: Shared Parking Facilities

One reason there are so many curb cuts is because each lot has to provide its own parking. A centralized public parking facility that is shared by all businesses in a district has several benefits, including:

- Fewer parking spaces are needed because the shared parking can be used more efficiently - fewer unused spaces and more parking once for multiple trips.
- Individual buildings can be better designed - without driveways and surface parking and, therefore, creating more commercial activity along the street.



Continuous storefronts along the sidewalk with parking behind or in a shared facility is more walkable and has a greater potential to be a successful place.

Placemaking Tool for Streets: Landscaped Medians

If there is room in the center of a wide street, even for a short distance, a landscaped median can be added to enhance community identity. At the entry to a community, landscape medians can provide a good home for a gateway elements.

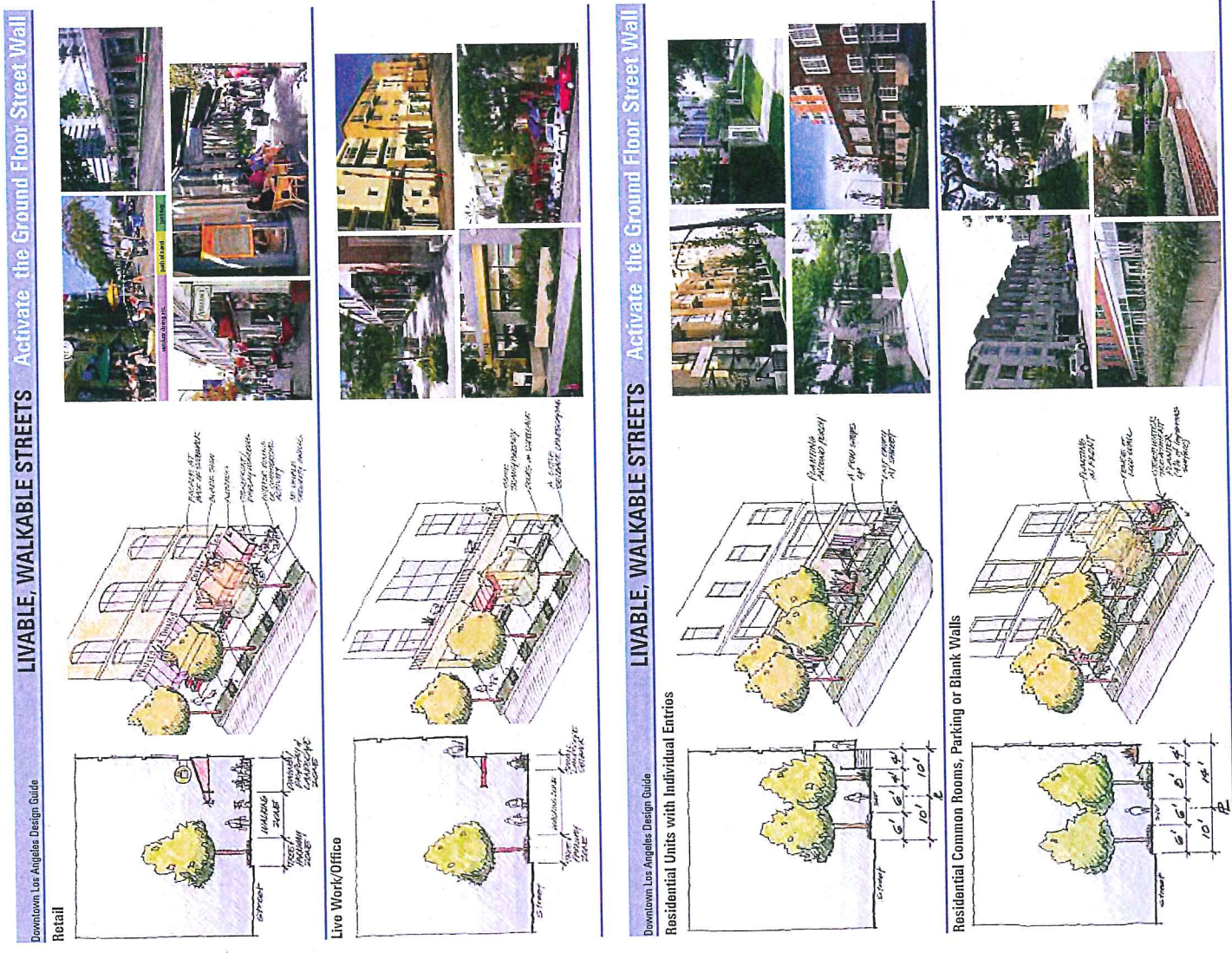


Landscaped median example.

Placemaking Tool for Streets: Active "Street Wall" in Commercial and Mixed Use Districts

Interest and activity along the sidewalk can occur with almost any building use. Retail uses will typically generate the most activity and tend to be thought of as most walkable. However, other uses, including office or live/work space, and residential units or common areas in a residential building can still be attractive and interesting to look at as the sketches and images below illustrate. Some key elements of successful building walls along the street include:

- No surface parking or visible parking
- Building wall at back of sidewalk
- Ground floor designed to accommodate retail (even if it is not initially used for that)
- Transparency (display windows)
- Entries
- Awnings, signs, and other human scale elements



median could be added to further reduce the perceived width and to make the street more attractive and provide a buffer for pedestrians.

Placemaking Tool for Streets: Bicycle Lanes

Portland is a bicycle city. There are bicycles everywhere. On two-lane residential streets that provide local access to homes, like those in the East Bayside residential neighborhood, bicyclists can share the street with motorists.

But not everyone is comfortable bicycling in the same lane with or next to cars on busier streets. So, where possible, a network of bicycle facilities should be provided to make the mode of transportation available to as many people as possible. A striped bicycle lane, which is typically a minimum of 5 feet wide, can be added between the curbside parking lane and traffic lane if there is room. Sometimes, a lane can be designated as a "shared" bicycle/motor vehicle lane in which everyone must move at the same speed as bicycles. Where there is a high volume of traffic and a limited

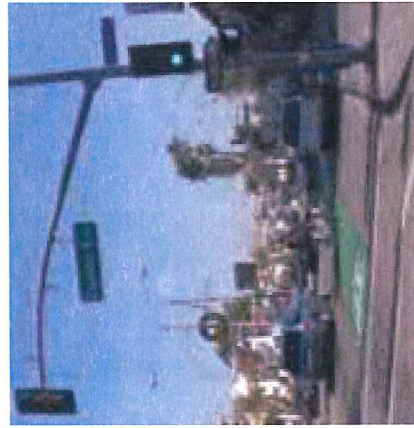
number of curb cuts and cross streets, a protected bicycle lane can provide buffer between faster moving traffic and bicyclists.



Portland is a bicycle city.



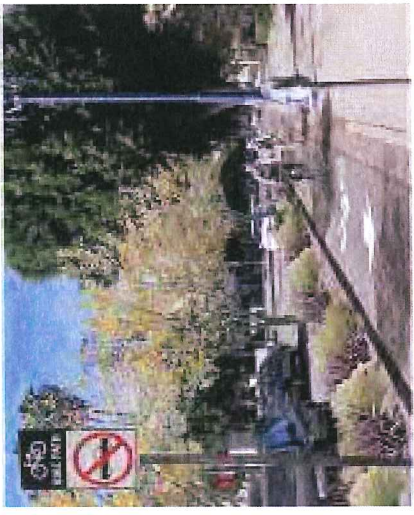
Basic bicycle lane.



Shared slow-speed lane.



Protected bicycle lane.

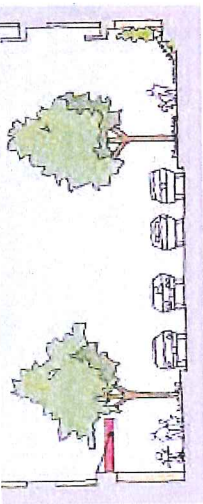


Protected bicycle lane with raised median.

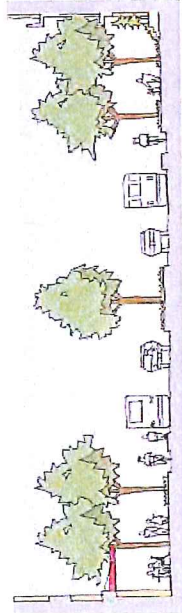
Placemaking Toolkit for Streets

The East Bayside community has a variety of tools at its disposal as you work on turning streets into places where people can spend time and interact. All of them have been used extensively throughout the City of Portland.

- Roadway width and lane striping



- Bicycle lanes
- Crosswalks
- Active "street wall" in commercial and mixed use districts



- Limited curb cuts and parking facing the sidewalk

- Shared parking facilities

Start by thinking of streets as places.

- Landscaped medians
- Sidewalk width
- Curb extensions
- Sidewalk and shared street paving

"If we can develop and design streets so they are wonderful, fulfilling places to be...then we will have successfully designed about one-third of the city directly and had an immense impact on the rest."

Allan B. Jacobs

- Parkways

- Street trees

- Sidewalk parks, plazas and gardens (outdoor rooms)

- Gateway elements and wayfinding signs

- Public art

Placemaking Tool for Streets: Roadway Width and Lane Striping

Motorists drive faster on wide streets than on narrow streets. Excess roadway pavement is not used. It could be put to better use for bicycles or pedestrians or

for parking or landscaping to collect storm water runoff, provide a buffer between motor vehicles and other modes, and make the street more attractive. As a general rule, it is a good idea to first figure out and draw on a plan how much of the roadway is needed for traffic lanes and parking and then use whatever is leftover for other users. Curbside parking should generally be provided on walkable streets both to provide convenient access to shops and to provide a buffer between pedestrians and moving vehicles.

As an example, a first step toward making Washington Avenue a more usable place for everyone would be to narrow the lanes between I-295 off ramps and Eastern Promenade. The roadway is about 45 feet wide. Since there is no curbside parking and none is needed, only about 28 feet is needed to accommodate the two lanes of traffic, so the outside edges of the lanes could be striped about 8 feet from the existing curb on each side of the street. In the future, a landscaped parkway or



Top: existing view of Washington Avenue looking west at East Promenade.

Middle: lanes narrowed with striping to slow traffic.

Bottom: lanes narrowed with parkway to slow traffic, buffer pedestrians and make the street more attractive.

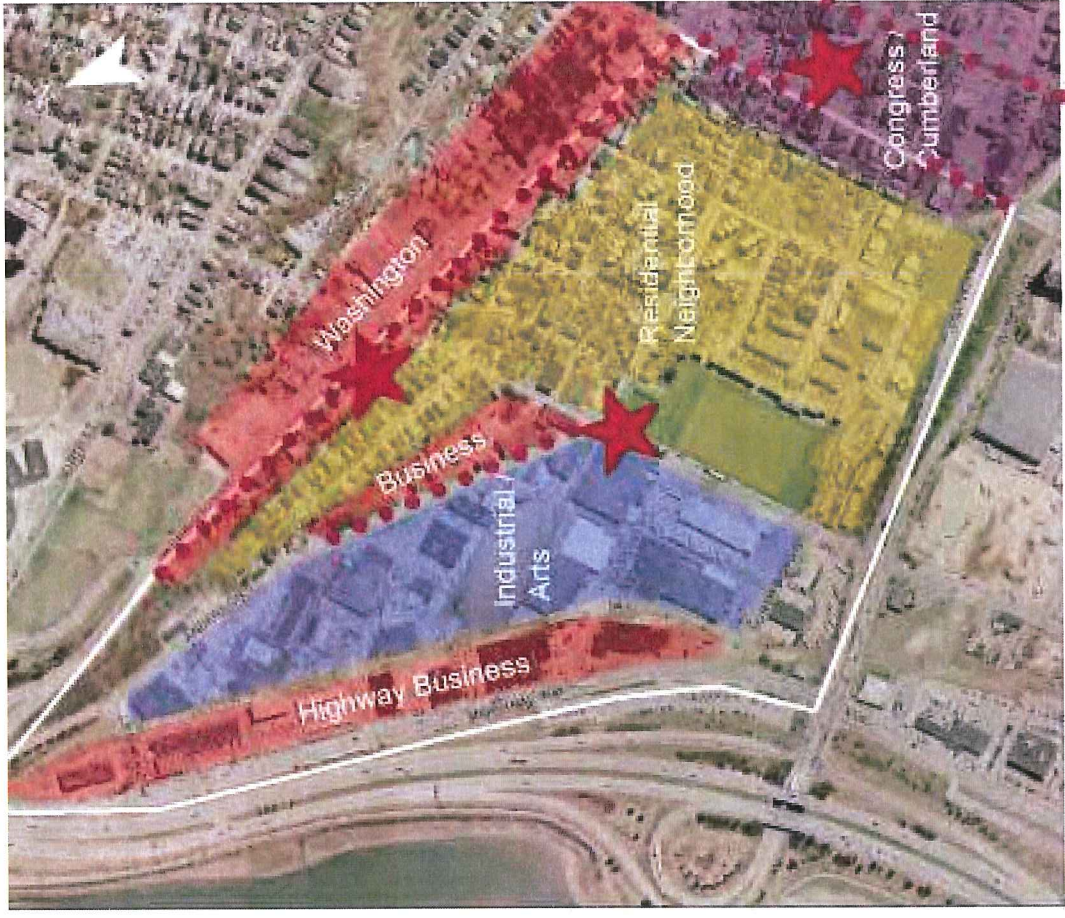
2. Cultivating Community Places

One way to enhance identity or “sense of place” at the community level is to reinforce the identity of each district and neighborhood, while maintaining a cohesive identity for the whole East Bayside community. Ways to distinguish districts from one another include: reinforce the different mix of uses that already exist in each East Bayside district; reinforce the different building heights, massing and materials already used in each district; and attract a different group of businesses to each commercial district so they are not competing with each other but complement each other.

Then, within each district, identify one or more places with potential for more community activity and interaction and identify improvements you want to make to transform them. These places may be existing centers of activity that can be enhanced by physical design interventions, both small and big. Or they may be entirely new centers of activity that spring up within the community. One way to allow that to happen is to make the streets ready to be places.

The first part of this section describes some common tools for turning your community’s streets in to places where residents and visitors will want to spend time. The next part of this section describes a few existing places that could be easily enhanced by design changes and offers a few suggestions about what you might do to make them more community-oriented places. The final part offers some suggestions as to how your streets can be made more ready to accommodate a variety of community activities. Existing commercial streets, like Washington Avenue,

Congress, and Anderson Street are likely to accommodate larger scale community activities and events, while other streets will tend to accommodate day-to-day activities, including commute and recreational walking, bicycling, and small social gatherings.



Several barriers to mobility include:

Franklin Arterial: This broad street provides a high level of mobility for vehicles, but

was not designed with the maxim, "build only what you need." Rarely congested, the street offers insight into the unintended consequences of providing too much capacity for vehicles (particularly during non-peak times): high speeds, long pedestrian crossings, poor sight lines



Path Across Franklin Arterial

for drivers and pedestrians, and long distances between crossing opportunities. Pedestrian desire lines, or places where pedestrians would like to cross the street, are clearly visible worn paths across the wide berm that separates the two sides of Franklin Arterial. Although it could provide a direct route to one of the City's major investments, the Bayside Trail, Franklin Arterial's character is only appropriate for experienced, intrepid cyclists.

Washington Avenue: A small neighborhood retail district has begun to grow along this corridor, which is also the continuation of an off-ramp from I-295. Context cues such as a narrow, well-marked street or the introduction of medians could signal to drivers that they are entering a neighborhood. Without these, drivers continue without stopping to the first signalized intersection at Congress Street, which is over 0.5 mile away from the off-ramp.

Lack of transit & Limited on-street bikeways: Bikeways fall into three categories: separated bikeways such as trails or cycletracks (dedicated bikeways that are parallel

to a roadway), dedicated bicycle lanes usually marked with pavement stencils and signs, and shared lanes marked with either signs alone or with special pavement stencils such as sharrows. East Bayside sits in close proximity to the Bayside Trail, a path that follows the water line from the Eastern Promenade to Deering Oaks Park. Recently, the Maine Department of Transportation and the City agreed to construct an access point near the Franklin Arterial ramps to I-295. The City's Bicycle Master Plan envisions bicycle lanes on Congress Street and Marginal Way, but presently, there are no on-street bikeways within East Bayside or along key routes to and from the neighborhood.

Tukeys Bridge: Tukey's Bridge is a complex and challenging choke point for bicycle and pedestrian access to and from East Deering.

Limited pedestrian crossing opportunities: The City's existing crosswalk policy and committee guide decisions about where and how to mark crosswalks. While intended to provide clarity, the current policy does not appear to incorporate the latest understanding and research about the relative effectiveness and appropriate placement of crossing treatments.

Limited ADA accommodation: Missing or outdated curb ramps, missing or broken sidewalks, and inaccessible grades pervade the neighborhood.

Hills: Significant grades to and from the East End Community School present a special challenge during rain, snow, and ice.

Aesthetic Value: Most often a City's largest public space, the transportation system offers great potential to contribute to community character and pride. However, utility often trumps charm, and communities view streets as a purely functional necessity rather than a valuable communally-owned asset.

As noted in earlier sections, key destinations include:

- Fox Field
- Boyd Street Urban Farm
- Peppermint Park
- East End Community School
- The Root Cellar
- Kennedy Park
- Bayside Trail
- Washington Ave.
- Commercial District
- Congress/Cumberland Mixed Use District



Many destinations internal to the neighborhood, such as Peppermint Park, are within easy walking distance of most of the residential density. However, others, such as the East End Community School and the Bayside Trail, are separated by major barriers both natural (water, hills) and manmade (I-295, Franklin Arterial, Washington Avenue). In addition to these assets, the neighborhood has several strengths that could contribute to its ultimate success as a great place for all modes:

- Informal worn paths tended by neighborhood volunteers provide evidence that the land uses could support walking and bicycling if the facilities would follow.

- The beginning of a path from the Root Cellar up to Standpipe Park.
- A number of students already walking or bicycling to East End Community School; a supportive community police officer; and a new Safe Routes to School coordinator.
- Quiet neighborhood streets, such as Oxford Street, which could connect destinations and offer an attractive route for casual cyclists.
- Narrow streets like Romesco Lane or streets that are only permeable to cyclists and pedestrians, like Greenleaf Street.
- A vibrant, visually interesting commercial corridor along Washington Avenue.



Map showing the informal trails (dashed) and existing off-street pathways (solid).

uses occupy relatively large-scale buildings (20,000 to 30,000 square feet) with large surface parking lots. Running parallel to Interstate 295, Marginal Way is developed only on the south side. Its visibility from the Interstate makes it desirable for highway-oriented uses.

Anderson Street, running parallel and adjacent to Marginal Way, has a 40-foot wide roadway with one lane each way and curbside parking. It generally has no sidewalks on the industrial side and narrow (8' 6") sidewalks on the business side. A large percentage of the street frontage is occupied by surface parking lots with frequent curb cuts.

All residential streets have one lane in each direction and curbside parking. They typically have 44 to 48-foot wide rights-of-way with 28 to 32-foot wide roadway. Sidewalks are typically 8 to 10 feet wide. Key residential connectors within the community and to the perimeter commercial streets are Oxford Street, Fox Street and Smith Street.

Mobility

We measure an area's mobility in terms of how easily travelers journey through a place, by any mode. Mobility for cyclists and pedestrians relies on different factors than mobility for drivers. For instance, frequent crossings, short distances between places, and sidewalks wide enough to walk comfortably side-by-side create a high level of mobility for pedestrians. Well-timed traffic signals and a grid with direct connections

contribute to mobility for drivers. East Bayside offers excellent mobility for drivers, pedestrians, and cyclists within the neighborhood; however, mobility to and from the neighborhood to the wider community presents challenges for all modes. We do not measure the transportation system by mobility alone: safety, comfort, sustainability, and aesthetic value each contribute to the overall success of a neighborhood.

Safety: Road users are like a food chain. How a transportation system serves the most vulnerable one ripples all the way to the top. In other words, a road where pedestrian safety is prioritized is generally a safe road for all users.

Comfort: Although the term "livability" is subjective, a comfortable and enjoyable walking and bicycling environment is widely accepted as a key indicator of a place's health and vitality. Elements that contribute to comfort for bicyclists and pedestrians include buffering from traffic (parking lanes, bicycle lanes, frequent street trees, and wide sidewalks), slower 85th percentile vehicle speeds (25 miles per hour or slower), and lower vehicle volumes.

Sustainability: Transportation sustainability reaches into a variety of areas. Key questions include: Does the transportation system encourage low-impact modes of transport such as bicycling, walking, transit, and carpooling? Does the system offer opportunities for physical activity that contribute to the long-term health of its residents? Is the system easy to maintain? Is the standard to provide only as much pavement as necessary?

East Bayside Street Grid 1886

EAST BAYSIDE COMMUNITY
 PORTLAND, MAINE
 CIRCA 1886
 SCALE 1"=250'
 SOURCE: JAMES P. HIC



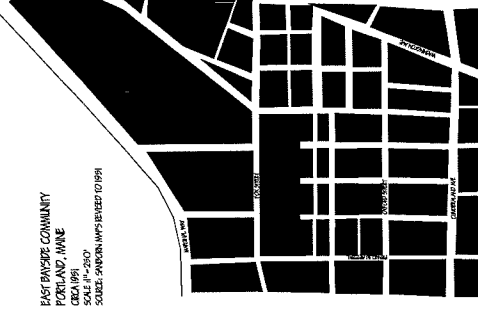
Congress Street is also a two-lane, two way street with curbside parking and brick sidewalks. The roadway is 42 feet wide and the sidewalks range from 10 to 12 feet wide. Again street trees have been planted in some locations at about 30 feet apart, a spacing more similar to Downtown and other commercial streets in Portland. Curb cuts are more limited than on Washington Avenue, resulting in fewer pedestrian-vehicle conflicts and a more continuous building wall along the street.

Cumberland Avenue, parallel and adjacent to Congress Street, is similar to Congress Street, except that the roadway is a little narrower and the sidewalks a little wider and there are fewer street trees. The sidewalks are brick and there are not too many curb cuts. Ground floor uses are largely residential with some commercial.

Marginal Way has 52-foot wide roadway that includes one lane in each direction, bicycle lanes and curbside parking. It does not generally have sidewalks. Commercial, wholesale and industrial

East Bayside Street Grid 1951

EAST BAYSIDE COMMUNITY
 PORTLAND, MAINE
 CIRCA 1951
 SCALE: PARSON MAPS REVISED TO PSH



East Bayside Street Grid 2000

EAST BAYSIDE COMMUNITY
 PORTLAND, MAINE
 CIRCA 2000
 SCALE 1"=250'
 SOURCE: CITY OF PORTLAND/CPTLE



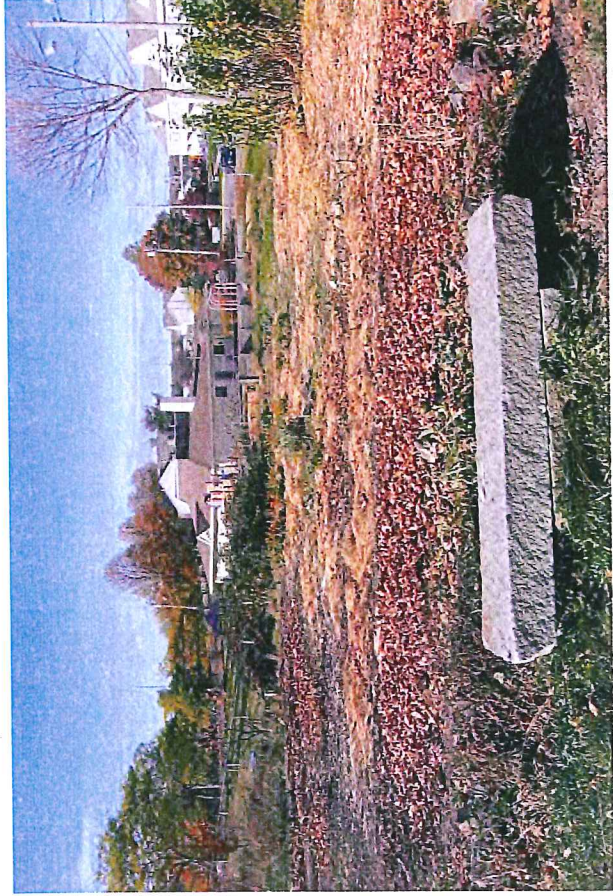
Street Character, Walkability and Connectivity

The grid and block size. Blocks in the residential and commercial districts of East Bayside range from about 200' x 200' to 200' x 700' and average about 200' x 400', which is a walkable block size. The blocks in the industrial/arts district are larger, which is appropriate and necessary for industrial uses. The most significant interruption of the grid and connectivity occurred where Franklin Street was converted to a limited access arterial in the 1960s. This cut East Bayside off from the Bayside district to the west. Less critically, Fox Field eliminated the connection of Mayo Street to Fox Street and Kennedy Park cut East Lancaster Street (formerly Lincoln) off from Mayo and Boyd Streets. These connections are still accessible on foot or bicycle, in contrast to the Franklin Arterial, which is more difficult to traverse.

There are four commercial streets in East Bayside, all around the perimeter. Washington Avenue is a two-lane, two-way street with curbside parking. The roadway is approximately 40 feet wide and sidewalks range in width from 8 to 12 feet and are brick for the most part (from Eastern Promenade to between Oxford and Cumberland). Street trees have been planted in tree wells or parkways along some of the street, spaced 40 to 60 feet apart. The majority of ground floor uses are retail, restaurant, service or other commercial or community uses that generate moderate pedestrian activity along the street. There is a large number of wide curb cuts and surface parking lots next to the sidewalk on the east side of the street, which create conflicts between vehicles and pedestrians and interrupts the "flow" of commercial activity along the sidewalk and street.



Fox Field provides active recreation in the center of East Bayside. A path will be added to link Fox Field to the new Bayside Trail

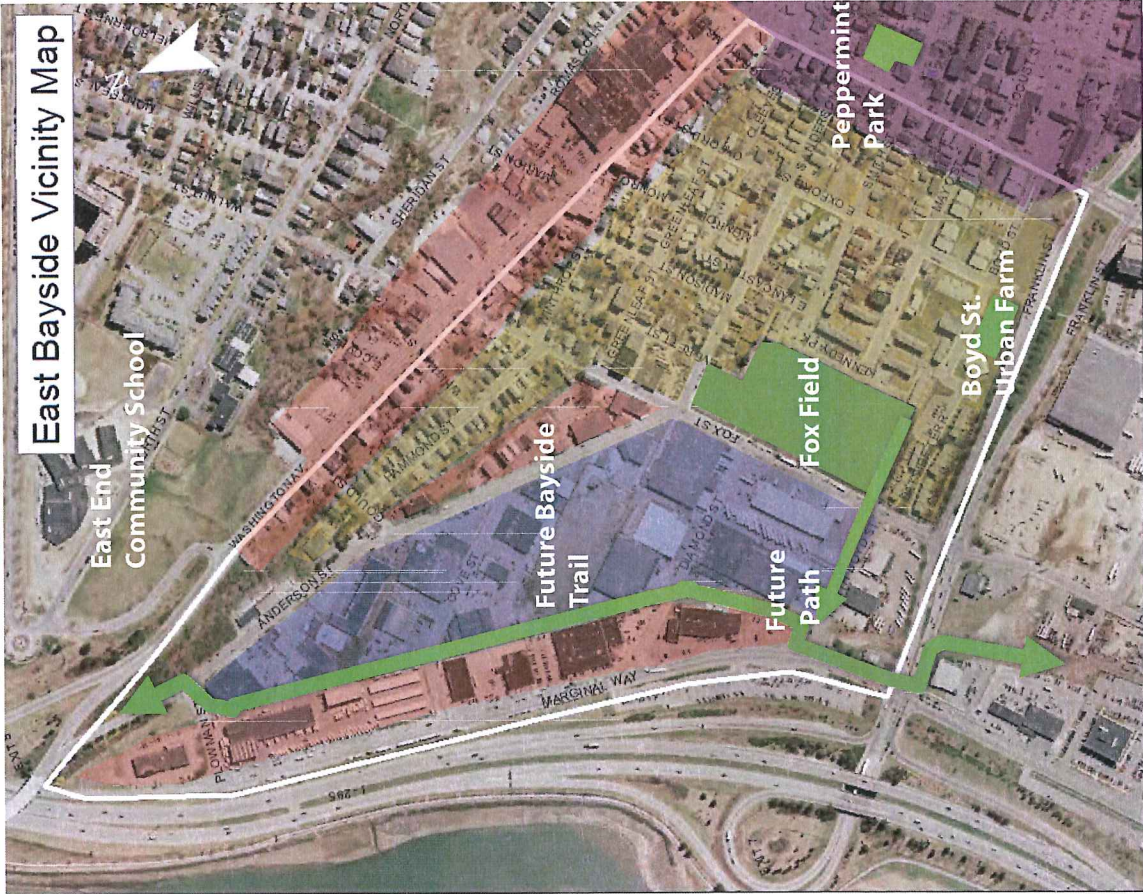


The Boyd Street Urban Farm has the potential to expand as demand for community garden plots increases.



Yellow path on aerial shows the planned Bayside Trail connecting East Bayside to Deering Oaks Park (foreground) and the Eastern Promenade (background). Source: Brian Peterson/Courtesy Portland Trails

PARKS, GARDENS, TRAILS AND OTHER OPEN SPACE



East Bayside has 3 primary open spaces within its boundaries:

- Fox Field (approximately 4.5 acres)
- Peppermint Park (approximately 0.3 acre)
- Boyd Street Urban Farm, currently approximately 0.4 acre with the potential to expand to include another acre.

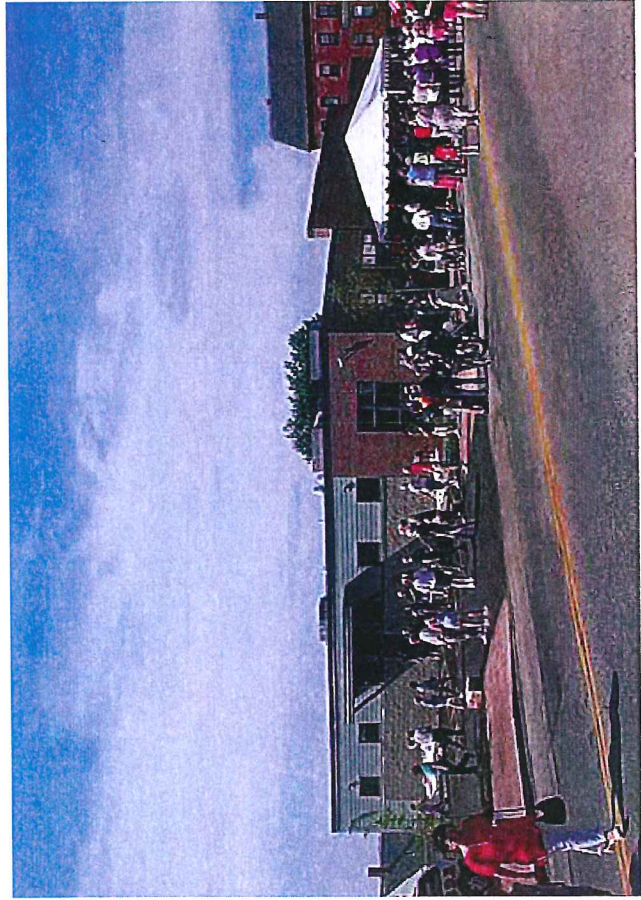
A fourth will be added once the Bayside Trail is completed. It will eventually link East Bayside to the Eastern Promenade to the north east and to Deering Oaks Park in the center of the city, expanding recreational access to nearby open spaces and enhancing connections to the rest of the city. An open space link will also be added to connect Fox Field to the Bayside Trail.



East End Community School is up the hill from East Bayside.



Fox Field is a gathering place for youth in the center of East Bayside.



The Root Cellar is a community center on Washington Avenue.



Peppermint Park is a gathering place in Congress/Cumberland.

COMMUNITY CENTERS AND GATHERING PLACES

East Bayside residents identified a series of existing community centers and gathering places, including:

- Fox and Anderson / Fox Field
- The Root Cellar
- Peppermint Park
- The intersection of Washington Avenue and Congress Street where the two commercial districts meet
- East End Community School, though outside the boundaries of the East Bayside, is the Elementary School serving the area.

These places already serve as the focus of community activity and interaction in East Bayside.

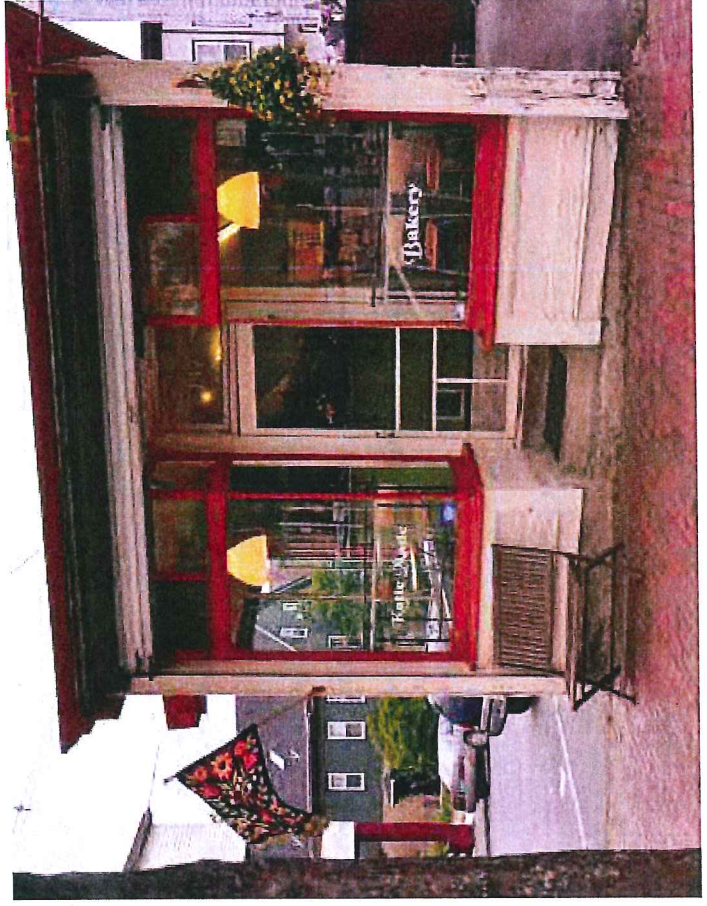
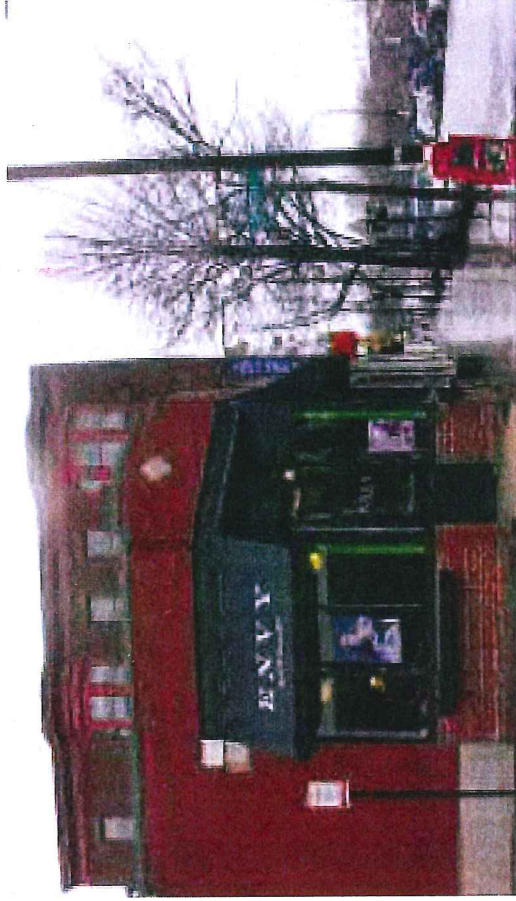


The intersection of Washington and Congress is at geographic center of commercial activity in East Bayside.

Washington Avenue Commercial District



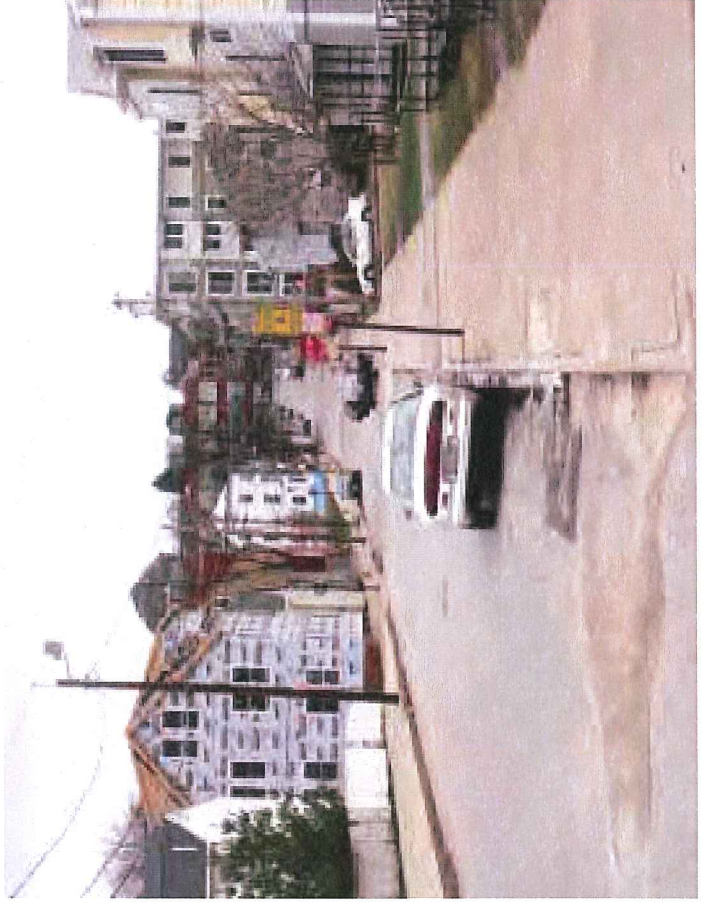
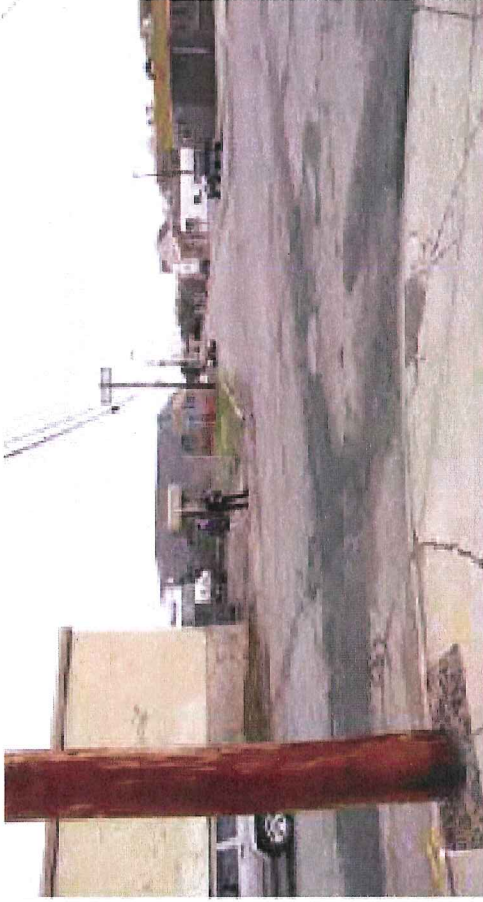
Mixed Use District: Congress/Cumberland



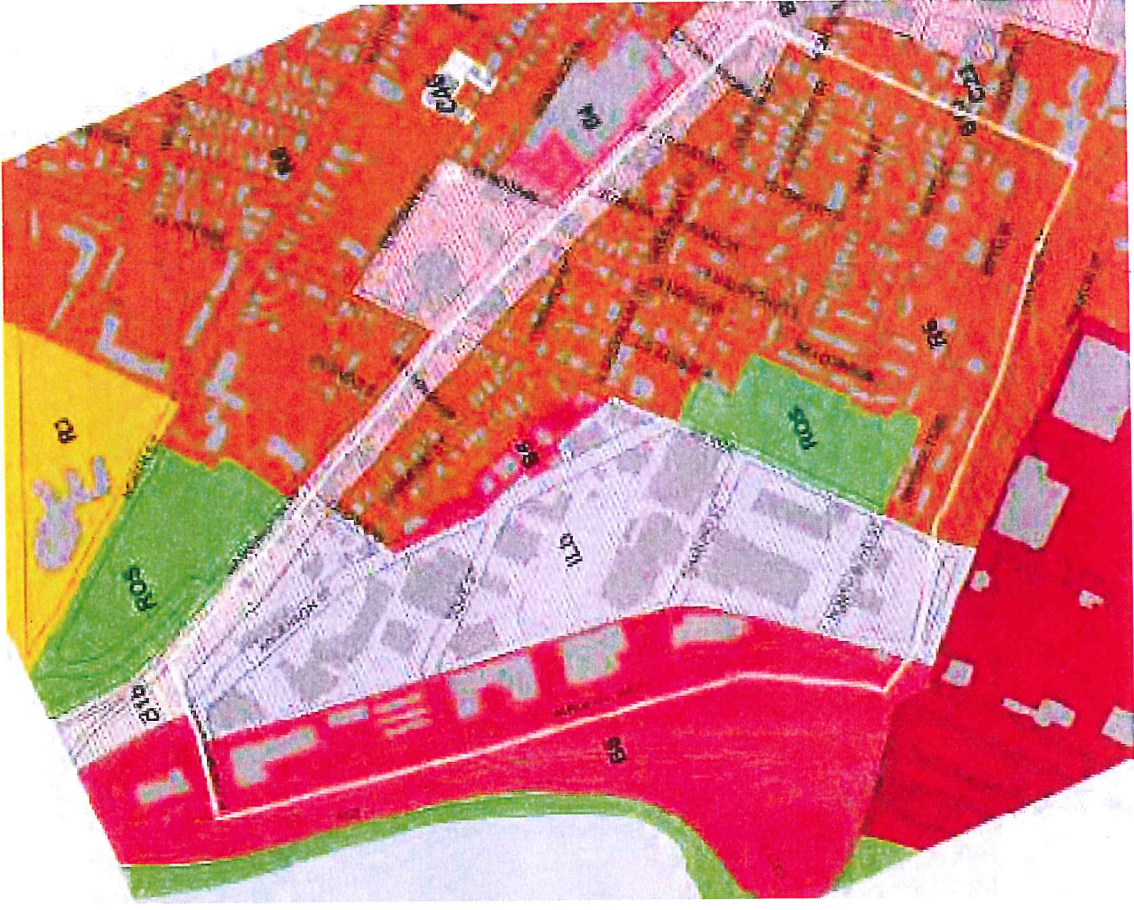
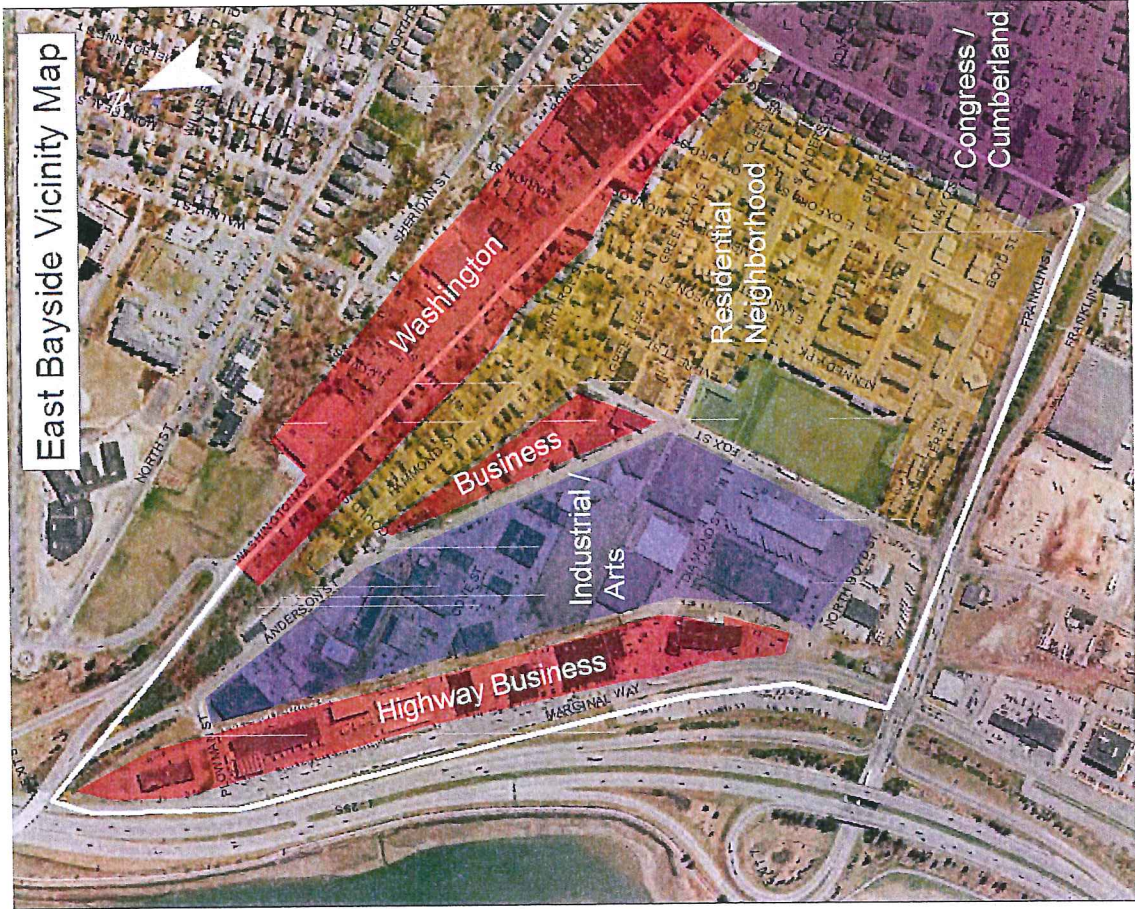
East Bayside Residential Neighborhood



Anderson Street Light Industrial/Arts District



Existing Districts and Current Zoning



- Commercial districts
- Mixed use district
- Light industrial/arts
- Neighborhood

1. What's Here NOW

Just as East Bayside has a rich collection cultures, it is also made up of a rich mix of land uses in distinct districts; a network of streets, trails and paths; and natural systems, which together make up the environment of East Bayside. This section provides a brief overview of existing:

- Land use, districts and neighborhoods
- Community gathering places
- Parks, gardens and open spaces
- Mobility
- Street character

Land Use, Districts and Neighborhoods

A sustainable community typically has a balanced mixed of uses, making it possible for people to live, work and play within a walking or cycling distance. Depending on its size, a sustainable community is often made up of distinct districts, each with a different character, which together create a complete community. Their differences often make them more interesting and often make them more attractive to new businesses and residents.

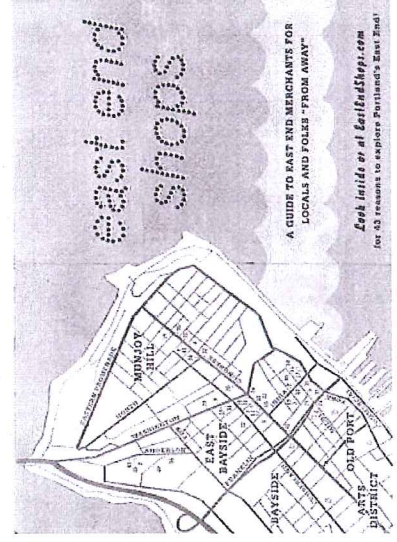
East Bayside has a balance of land uses: residential, commercial and industrial. Those uses are located in districts that have different characteristics:

- The East Bayside residential neighborhood is at the heart of the community. It has a mix of single-family and low-rise (one to three story) multi-family housing.

- To the north is the Washington Avenue commercial district, with its brick sidewalks, mostly small scale, one and two story and pedestrian-oriented storefront shops and services.
- To the east is the Congress/Cumberland mixed use district, with both commercial and residential uses.
- To the west is the Anderson Street district with its larger scale warehouse and light industrial buildings with a mix of industrial and arts uses.
- Along Marginal Way is a highway-oriented business corridor.



Together, these districts and their mix of uses create a synergy in which the whole is greater than the sum of its parts, where the mix of uses and interconnections between the districts make it richer and more interesting than, for example, a mostly residential community. East Bayside has more layers of identity: it is part of the East End and of the entire City of Portland.



- New and remodeled green buildings use less energy, collect and infiltrate storm water, and reduce the use of unhealthy chemicals.
- Household, commercial and industrial energy use declines as a result of ongoing energy conservation and an increasingly large share of your energy comes from renewable sources.
- The urban forest flourishes in large parkways and medians, providing shade and absorbing GHGs.
- Food is grown locally and without pesticides and chemical fertilizers, while the soil is replenished through the addition of compost.

Key Suggestions

- Work with what you have (which is a lot) and what is already working (also a lot).
- Take small steps/make incremental changes, even as you push the big changes forward.
- Put people first; places will follow: cultivate places where people can come together and create community.
- Start with places that are already happening and need a little help (don't mess with the ones that are already working).
- Turn streets into places where both intentional and accidental encounters can contribute to the cultivation of relationships and community.
- Make connections within East Bayside and to the larger community that expand and strengthen your community.
- Enhance your community's longevity by making the human-made infrastructure that interfaces with natural systems more sustainable.

What's in this section?

1. **What's Here Now:** A look at East Bayside's environment, both natural and built, as it exists today.
2. **Cultivating Community Places:** Some ideas about enhancing existing gathering places to further facilitate community interaction and activity, including ways to turn your streets into places where community interaction can occur.
3. **Rebuilding Connections:** Suggestions about pedestrian and bicycle connections that could expand and strengthen community.
4. **Community as A Green Machine:** Some ideas to make your infrastructure more sustainable.

A SUSTAINABLE ENVIRONMENT TO SUPPORT A SUSTAINABLE COMMUNITY

Overview

It is not by chance that this discussion of the natural and built environment follows chapters that talk about harnessing East Bayside's human resources to build a sustainable community. Community engagement leads to physical changes. You are working together to figure out how you need to refine your physical environment to support the sustainable community you are creating. This section contains some observations about what you already have in your natural and built environment, and some ideas about what you might do to harness your physical assets to support your sustainable community.

What is Sustainability and Why is it important?

Sustainability is an age-old concern: ensuring that our children and grandchildren inherit a tomorrow that is at least as good as today, preferably better. The most widely quoted definition internationally is the "Brundtland definition" of the 1987 Report of the World Commission on Environment and Development: sustainability means "meeting the needs of the present without compromising the ability of future generations to meet their own needs." Similarly, the U.S. National Environmental Policy Act of 1969 declared as its goal a national policy to "create and maintain conditions under which [humans] and nature can exist in productive harmony, and fulfill the social, economic and other requirements of present and future generations of Americans."

"The nation behaves well if it treats the natural resources as assets which it must turn over to the next generation increased, and not impaired in value."

- Theodore Roosevelt, 1910

At present, the critical measure of sustainability is greenhouse gas (GHG) emissions. If we do not reduce GHG emissions in the immediate future, there may not be a future for humans or at least not one we would recognize. This concern hits close to home in East Bayside since much of the area is only a few feet above sea level and it already is and will continue to be directly impacted by sea level rise due to global climate change.

The transportation sector produces 40-50% of greenhouse gas emissions, so a key to reducing greenhouse gases is to reduce vehicle miles traveled. Energy use by buildings is also a large contributor, so, among other actions, we can eliminate the use of electricity generated from coal and oil and shift reliance to renewable resources and we can plant large-scale, healthy trees to absorb GHGs.

Some Attributes of a Sustainable Built Environment

You can get around much of the time without a car: you can live, work and play and meet your day-to-day needs locally by walking, bicycling or other "small slow vehicles", and local transit. Walking, bicycling and other small slow vehicles are more attractive than driving. Citywide and regional transit connections to other centers and cultural facilities make driving an option rather than a necessity.

ISSUE 4: SUSTAINABLE STREETS, OPEN SPACE & INFRASTRUCTURE

Seleta Reynolds

Dave Rodgers

Patricia Smith

Keys to Success

- The more that the Crowdsourcing Project Sponsors attract both public and private sources of capital/resources as active members of their team, the better the chances of implementation.
- If a Crowdsourcing Project starts to bog down, host a public meeting and run the Phase 2 exercise on its behalf. Also, the next time you run the Phase 2 exercise overall, see if this project is still a priority.

ideas they like (only one per person per idea) and comment if they like. For those that identify themselves as resources, place a dollar sign if they think it's an idea they'd invest in.

e. The ideas with the most crowd support, but no funding interest are the most viable/neighborhood initiatives. The ideas with the most funding interest, but little crowd support let the crowd know where the money is waiting for them. The ideas with the most crowd support and funding interest are the most 'crowdfundable', and should get started right away, especially with the people who expressed interest.

Part 3: Develop Implementation Plan for Crowdfundable Projects

a. Break off into the three groups that expressed the most interest as far as crowd support, for both funding and no funding, by show of hands. Make sure to record who's in each group, and provide them an opportunity to either continue to convene online, or join an existing group with the same vision.

b. For those groups willing to continue beyond this exercise, provide them the opportunity to name a Sponsor to represent their group, ideally funding representatives, a vision statement and prospective members. Upon completion of these, they should now be given 'Crowdfunding Project' status. You now have a much better idea of what's possible, based on every single person in the room. As a side note, this aforementioned exercise can be done online using the Bubbly crowdfunding web tool: bubblyapp.com, which is something I developed for this very purpose. In fact, this exercise was modeled off of this web tool.

c. Initiate online social network customized for crowdfunding (ie ning.com, which is free) stating the vision and objectives with timelines, and listing the interest groups and summaries of meetings. The objectives need to be updated with whether or not they were achieved, so groups learn to both be accountable, as well as better provide realistic objectives.

Phase III: Establish a System for Implementation

Host monthly beta community meetings of Sponsor, Crowdfunding Project Sponsors, Stakeholders and Champions. Remember, we're talking about implementing triplebottom-line sustainability here, not a free-for-all town hall meeting to express your gripes. It's up to you how much to make this a public meeting.

1. Provide an agenda listing the Stakeholders and their objectives that are posted on the social networking site.
2. Have each Stakeholder report their progress based on their objectives.
3. Have each Crowdfunding Project Sponsor report their progress based on their objectives. The value of these is that they represent the values of the Stakeholders in the form of a project.
4. The discussion of the meeting should be focused on two things:
 - o What actions can be taken to fulfill the objectives of the Stakeholders through the Crowdfunding Projects that represent them. Remember, that's what the exercise in Phase 2 was about: Translating the diverse interests of everyone into implementable projects. This is where the problems can be identified on the 'clock' level now that the 'cloud' is defined.
 - o If any Stakeholder does not feel properly represented in any of the Crowdfunding Projects, figure out how can this be solved.

Phase II. Establish East Bayside 3BL Sustainability 'Beta Community'

The leaders were identified in the first phase, but much of the real work happens with the people who live and work in East Bayside. Only a fraction of that latter crowd will spend their time and energy to contribute, and it's not necessarily fair to the rest to identify this group as 'better', so a term I prefer using is 'beta community', or 'test community'. These are the people who don't talk about change, they're the ones who actually try it out. If things go well, the beta community eventually simply becomes the community as a whole, or they can continue to try new things.

1. Identify the Champions (the 'lead followers' most likely to be willing to spend time and energy supporting the vision and objectives) from the greater creative community. Champions usually identify themselves, and are the best candidates to become Stakeholders.

See this TED video on the importance of 'lead followers': http://www.ted.com/talks/derek_sivers_how_to_start_a_movement.html

2. Host an informal meeting with the Sponsors, Stakeholders and Champions to brainstorm ideas, and identify which ones are the most implementable in terms of both crowd support and funding. For those at the March 30, 2010 focus group regarding the creative community, this is that 3-hour process. See the Appendices for the summary of that meeting, masterly notated by Lori from the Muskie School of Public Service Public Policy program. Fortunately, many of the candidates for Sponsor, Stakeholders and Champions were there. A brief summary of that meeting of people who sat in a circle, which is important:

Part 1: Introductions, Groups

- a. Roundtable introductions and what you hope to get out of attending.
- b. Roundtable mention of one idea someone else mentioned (other than your own) that resonated with you.
- c. Identification of groups of 4-6 people that share common interests. To do so, mention the most common ideas/themes, and consolidate or subgroup them into groups of 4-6 people. If the group becomes larger than 6, certain individuals tend to talk too much, while others don't say anything, while the value of their ideas to the group may be just the inverse.

Optional break: This is a good time for the groups to start talking to one another.

Part 2: Brainstorming, Brainwriting, Identify Crowdsourcable Projects

- a. Break off into the interest groups. Give them 3-5 minutes to come up with a brief vision statement. There may already be one in existence that represents the interest. Have them stop when time is up and look up.
- b. Have them brainstorm ideas for implementation in roundtable fashion for about 10 minutes, allowing people to interrupt, skip or mention more than one at their turn. Don't provide any further instruction. Have them stop when time is up and look up.
- c. Ask them to prioritize not more than two to three implementable ideas for each timeline: Less than a year, 1-5 years, more than five years. Thus, a total of 6-9 ideas. Have them write each of the ideas on a sheet of large paper, at the top of each idea's own column. This allows the crowd to add comments below the ideas ('brainwriting'). 10 minutes. Place the sheets on the wall.
- d. Brainwriting. This is another fun part: Ask those in the crowd who represent public or private resources/capital to raise their hands. Ask the crowd to then, in a free-for-all, checkmark any

East Bayside 3BL Sustainability Crowdsourcing System

3BL = Triple bottom line = Economic, Social, & Environmental

Implementing an economically, socially, environmentally sustainable plan for East Bayside is a 'cloud' problem, whereas clouds are defined as nebulous, diffuse, and escape attempts to pin them down. It's not a 'clock' problem, requiring precise, specialized technical expertise to solve. Thus it requires a "clock" problem-solving system, not a clockmaker. The following system, defined by its steps for implementation, involves the ever-increasing usage of crowdsourcing as a cloud problem-solving system.

Phase I. Establish East Bayside 3BL Sustainability Leadership:

1. Identify the Sponsor for the project, their values and principles, their needs, their vision and goals for the program. The East Bayside Neighborhood Organization would be one candidate. There needs to be just one organization being primarily accountable, otherwise no one will. Even with two-person partnerships in business, experts strongly recommend that one partner has at least 51% ownership. I would define 'vision' as the vision for East Bayside's economic, social and environmental sustainability.
2. Define the triple bottom line/3BL (economic, social, environmental benefitting) vision of the champion sponsor. How is this vision going to benefit its residents, workers and businesses on those three levels?
3. Identify supportive Stakeholders (those with cultural and economic impact on the project), their values and principles, needs, vision and goals. Let the Stakeholders use the vision statement from above as a guide. The same process needs to happen as with step 1, for all those that represent the neighborhood in terms of the triple bottom line. One is needed for youth, and one is needed for the immigrant community. If there is not one Stakeholder to represent each of the immigrant communities (ie Somalis, Sudanese...), there should be designated representatives for each of those groups to work with the

immigration community champion. Others include business owners (and there already is a women's business owners group with Sally Streuver), entrepreneurs (Jeff Anthony, Mohammed Dini), environmentalists, neighborhood groups, etc. It should be any group that's willing to collaborate on action.

4. Define the economic, social and/or environmental sustainability visions and goals of the Stakeholders. Each of the stakeholders need to provide such a vision from their respective groups. How? This is where Richard Goll's programs with youth and Reemberto Rodriguez's techniques with reaching out to people of diversity in their homes and social circles, as outlined in their reports, is critical. New Stakeholders are always welcome, as long as the interests don't start to overlap or groups start to compete. Again, see Richard and Reemberto's reports regarding this.
5. Host an informal meeting with the Sponsors and Stakeholders to symphonize their triple bottom line visions into a consensus vision. The Sponsor then adopts this as their new vision statement. Each group still retains their own vision statement, but realizes they are alone if they base their actions on it.
6. Draft a written agreement from Sponsor-Stakeholder group that it will fundamentally involve the Stakeholders in its planning and execution in exchange for those Stakeholders providing commitment to its success. Everyone needs to be accountable for how they're going to contribute, and that needs to be in writing. Most important, the Stakeholders need to be emotionally committed.
7. Determine metrics and schedule for success. Consolidate goals from each of the Stakeholders and the Sponsor, and redefine into objectives with dates that are easily evaluated. For instance, the entrepreneurial group may have an objective of 50 members in its social network in six months, or the immigrant community will host a neighborhood food festival by the end of the year.
8. Sign agreement. There's no collective, sustainable sense of accountability unless there's a symbolic document.

ISSUE 3: CROWDSOURCING SUSTAINABILITY

Neil Takemoto

Fostering Community Engagement

To get there from here, we have to meet people where they are comfortable, to engage them in their space and adapt to their decision making systems. Some examples of practical, tangible, results-oriented activities that stakeholders are currently engaged in include:

- Matching local volunteers to local opportunities in order to maximize connections to existing volunteer organizations in East Bayside.
- Bringing educational opportunities to East Bayside: Fostering financial literacy through partnerships with nearby banks & the Housing Authority; Encouraging leadership development through partnerships with local schools and institutions; and expanding the Study Center concept to other age brackets and beyond the confines of the Kennedy Housing Project.
- Grow the local university connection: Formalize community engagement with the University of Southern Maine to establish an ongoing mechanism for providing tangible, real-world alternatives and options to East Bayside residents.

In addition to the initiatives that East Bayside is currently engaged in, consider implementing the following suggestions:

- A Neighbors Campaign: Partnering those in power with those outside the mainstream to do door knocking in the community to simply get to know your neighbors.
- Living Room Gatherings: Try to find 5 families willing to do 5 inclusive community-wide gatherings in their living rooms.
- Soccer Field & Basketball Court Dialogues: Engage the organizers, participants, and spectators amongst those already involved in these activities in their space, on their time, at their place.

- Shop & Talk: Go to the stores frequented by your neighbors that are not necessarily on your usual shopping rotation. Meet your fellow residents, taste their food, and set up a table for outreach and inreach.
- Walk the neighborhood: Walk around the neighborhood, talk to folks on their porch, and talk to those walking their dogs and playing with their children.
- Share Stories: Invite newcomers to share their journey to the neighborhood, and invite the old-timers to share their stories in order to understand each other's heritage and traditions.
- Use the Arts: The traditional Anglo-based decision-making process is not the only legitimate procedure to make decisions; after all, meetings are truly an unnatural human act. People don't necessarily feel most creative sitting around a table in a windowless room. The spoken word, music and other means of performance are universal and unifying techniques.

Most of the possibilities above do not require a massive infusion of funds or elaborate bureaucratic structure. They are presented here in hopes that they will ignite the imagination of a champion – or two – who can become a “community connector” to make them happen.

Conclusion

The ultimate goal is to create, maximize, and reuse space and to establish a natural system where people will bump into each other by design or happenstance to spark ideas and a call to action. The challenge is for the various stakeholders to work across community segments – particularly youth, ethnicity, social strata, and tenure status – to connect community assets to community opportunities. In many ways, we are simply talking about reclaiming the lost art of conversation.

Community Leadership, Community Building, & Community Organizing

This community engagement process happens at the intersection of

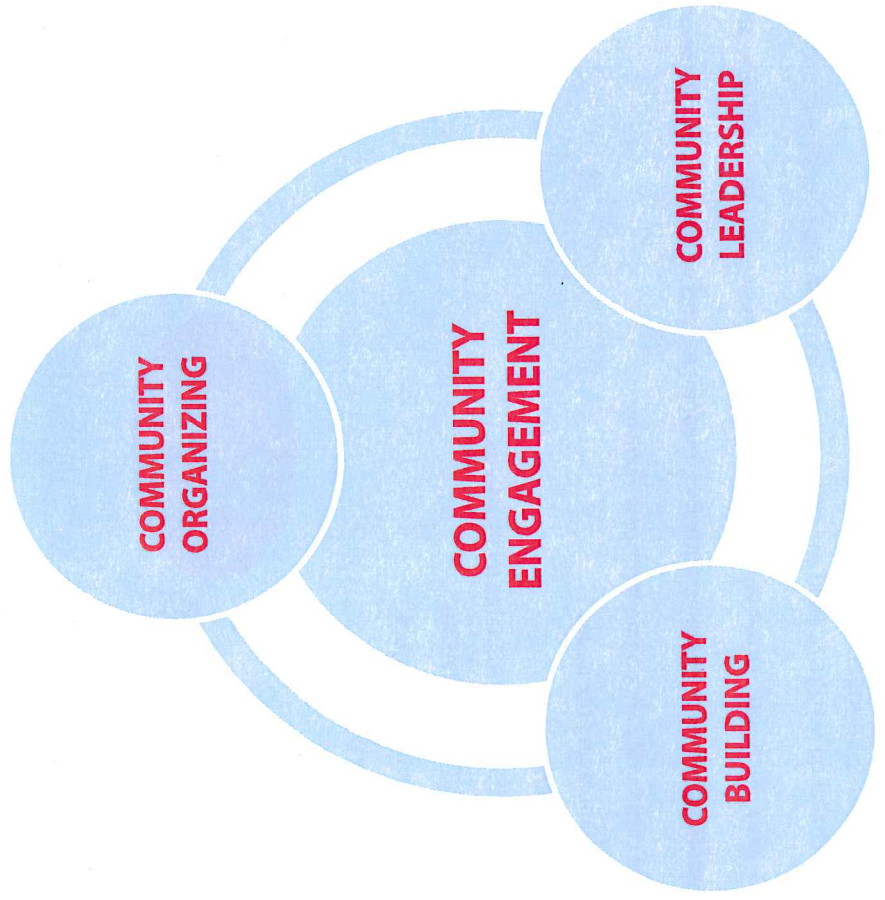
- Community building
- Community leadership
- Community organizing

Community engagement brings together these three elements in order to improve lives and strengthen communities. Successful community engagement is the positive, constructive convergence of strong community building efforts and active community organizing with a relentless commitment to community leadership.

East Bayside is faced with the increasingly difficult challenge of stabilizing in the face of the devastating impact of economic disruptions and dislocation, foreclosure, joblessness, and diminishing traditional resources. Bricks and mortar alone are not the answer. Traditional involvement models no longer suffice. These models are impeded by the real stress of longer commutes, the necessity of multiple jobs to maintain a household, and larger numbers of families caring for the young and old simultaneously. The resiliency of community residents and leaders is being tested like never before, yet their boldness to invent new ways to engage the community consistently shines.

Participation in community – indeed, volunteerism in general – has matured beyond simply going to meetings or helping out the local charity. Community organizing, community building, and community leadership now come together to engage the whole community to create a better place to live, work, play, and worship.

It is through community engagement that people connect to improve lives where they live, and bring together individual, institutional, and social network interests to serve the common good. Community engagement thrives when partnerships, collaborations and coalitions are nourished. Its values are rooted in inclusion, tolerance, and active participation. These values and context are operationalized in a real-world environment that is first and foremost diverse. Diversity is the driving cultural paradigm of successful community engagement. Ultimately it is through connecting people that communities thrive.



Caution! Beware!

As mentioned earlier, this process is hard and difficult. Along the way, major stumbling

blocks will appear that can derail good intentions. Key among these are:

- Moving too fast too soon: The new immigrant population in East Bayside is barely a decade old. Given the community's commitment to refugees, newcomers will continue to constantly arrive. There is no "instant integration formula". It is critically important that newcomers be given the space to share and participate at their pace.
- Unrealistically high expectations: The process will not be perfect. High expectations can mar sensible progress. Celebrate small victories; identify little things that mean a lot.
- Demanding instant results: Our culture is incredibly anthropologically complex. There is simply no quick-fix to most any of the issues facing East Bayside. While a new mural may help create a sense of community ownership, it will not erase years of disenfranchisement.
- Over-analysis: Analysis is certainly necessary, but there is a point when it is necessary to make a decision and move on. Beware of paralysis by analysis.
- Demanding too much data: Data is critical to the analysis. However, too much information can be overwhelming and ultimately too problematic to comprehend. Beware of death by data.

None of the beware points above are "bad" in and of themselves. We need to move on, have expectations, demand results, analyze, and have credible data. But you should certainly avoid a situation in which of any of these – or a combination of them – become the end point of the overall process.

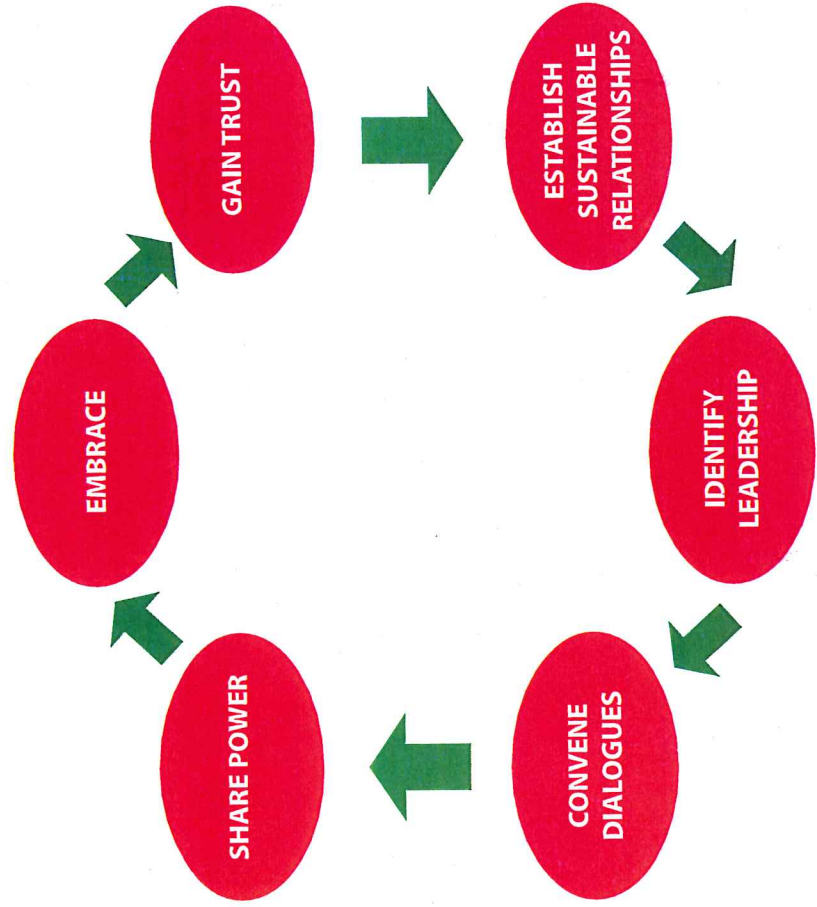
Community Engagement Process

The challenge remains to build and sustain trust to establish and nourish relationships,

as only then can community members make decisions with credibility and accordingly expect genuine, authentic, meaningful and enthusiastic participation.

The community engagement process involves:

1. Embracing the issues.
2. Gaining trust.
3. Establishing sustainable relationships.
4. Identifying leadership.
5. Convening dialogues.
6. Sharing power.



Of Clocks and Clouds

Connecting a community to work towards a robust, revitalized neighborhood is hard work. To have a community where people from so many different walks of life come together both intentionally and by happenstance is something that does not normally or naturally occur in most places. What East Bayside is trying to do has not worked very well anywhere in the world other than certain parts of entry (some parts of San Francisco and New York, for example.) More often than not, culture segments gravitate towards their own; most of us would prefer to hang out with our own kind. This is the case however you slice our culture: by age, ethnicity, social strata, or even tenure in place.

Yet, in East Bayside as in a growing number of communities in the United States, many of the residents are embracing the values of togetherness, collaboration, and partnership across age, ethnicity, social strata and tenure in place. This is not easy. Challenging what some might term the 'human intuition' to 'stick with our type' is not a linear process; there is no quick fix; there are no clear and concise solutions.

This process is not like clockwork. Clockwork implies firm technical solutions: turn the dial and it is done; set the timer and let it go. Rather, this process is much more like a cloud. It is not a linear process. It is not necessarily efficient. It is messy, fraught with false starts, wrong turns, and wasted times. But, like the cloud, it can bring much needed rain or sunshine.

TOLERATE

ACCEPT



EMBRACE

REJECT

Dial of Relationship

Much of this work is about relationships: building, nourishing, and strengthening them. In the 'dial of relationship', which goes from rejection, to tolerance, acceptance, and embracing, most in East Bayside seem to have chosen "full steam ahead": embracing. That is a noble, commendable, wise, and economically savvy decision. Only cutting through the issues that divide you and finding where the agendas of the different segments of the community intersect will you move forward across age, ethnic, social strata, and tenure status. You could have chosen to reject the newcomers; only tolerate the youth; merely accept those from other cultures, yet it is evident that a critical core of stakeholders in your community embrace the changes at hand and are willing to work towards a thriving community that benefits all community members.

ISSUE 2: REVITALIZING FOR SUSTAINABILITY

Reemberto Rodriguez

- and the group itself would serve as the Shared Leadership Pathway opportunity.
2. Identify someone who can train the EBNO and youth in the principles and practices of youth development and engagement and how to create a sustainable youth engagement framework. I hesitate to recommend someone until you determine if that person exists locally. If not, I will help you identify someone who would come to you. I believe that funding for this individual could be identified fairly easily. I estimate that the training would not need to exceed two days.
 3. Once the opportunities are identified, the goals are established and the training is completed, recruitment can begin. Each opportunity can be advertised and personal contacts with young people can be made. The key is not to get the most difficult young people to participate. You want to start with those youth who are interested in the issue being addressed by the opportunity. Remember, this is more about helping the community than about helping kids.
 4. As the opportunities take place, make sure success is measured by assessing if the goal was obtained or not. You can measure other outcomes, but they have far less value. So when identifying an opportunity's desired outcomes make sure they are realistic and addressing some form of change in those impacted, rather than those providing the service.
 5. As success is reached, begin to add opportunities. Use the People Mapping information for the recruitment of both young people and adults. Don't do too much. It is just as dangerous to the overall success of the initiative to do too much, as too little.
 6. Make sure that people are thanked and that the opportunity's outcomes are celebrated publically.

Closing Comments

It was a joy to learn about the East Bayside neighborhood and to meet so many people who are dedicated to making the neighborhood one that is and continues to be moving to thriving. I have no doubts that there will continue to be an ever increasing

number of positive relationships built, which over time will shift the neighborhoods chatter from negative to positive. Good luck!

Enhancing Relationships

I recommend that the already existing partnership between Lead Officer Petty and Christine Thibeault, the chief prosecutor for Juvenile Crime in Maine's District Attorney's office, be expanded to include representatives from the EBNO, the Tenant Council (TC), youth serving organizations that serve the neighborhood and selected youth from the neighborhood. Since the DA's office is committed to a youth development approach I believe this approach would be agreeable to all parties.

Some thoughts about this partnership:

1. I believe the partnership should find ways that the youth of the neighborhood can be part of making the neighborhood a safer place for everyone and a place that promotes thriving. If young people aren't part of the social contract, they will find no reason to follow it.
2. I believe that it is important to make this a very organized process, one that has the buy in of multiple service organizations who are willing to work together for a common goal. By having the EBNO and the TC involved it makes it more of a neighborhood project rather than just a youth specific project.
3. I would also try to enlist the Red Claws in some way because of their ability to get some of the teens involved. Whatever strategies the group embraces they must be ones that incorporate fun activities throughout. The strategies should also begin with what's working and how do we do more of that.
4. It should not be labeled a youth crime reduction effort, especially publicly. That will destroy its potential from the outset. Market it as a community development initiative or youth and adult partnership.

Building a Youth Engagement System Within East Bayside

I recommend that the East Bayside neighborhood begin to create its own youth engagement system. Since about half of East Bayside's residents are under the age of 21, I believe a youth engagement approach will allow many of these young people to

become meaningful contributors to the neighborhood's vision. Youth engagement approaches, however, are not easy to implement and sustain. Since the EBNO is not staff rich, it will be necessary to find an organization that is willing to champion this approach and to provide the training that is needed for the youth and adults to partner together successfully.

In the short time I spent in Portland I was not able to determine if there were any organizations that understand youth engagement and have any experience in managing such an effort. There is an active, albeit not very empowered, Youth Advisory Council for the City of Portland (The Youth Advisory Council Coordinator is William Nelligan and the Council can be found on Facebook under City of Portland Youth Advisory Council). The EBNO may want to contact them to determine ways to partner. Another possibility is that Portland was a recipient of a Youth Innovation Fund, which was designed to get youth involved in issues about how they were being represented in the media. YOUTHink appears to have been a successful venture, but has since ceased being funded.

Because of my lack of ability to identify an organization to assist you in this process I suggest the EBNO proceed slowly. The following are my suggestions:

1. Using the youth engagement framework presented earlier, I recommend that you recruit and convene a group of 5 to 6 teenagers from the neighborhood who will serve as your advisors. These young people should have the ability to interact comfortably with adults and be willing and able to confront issues directly and openly. This group of youth and adults would identify 2 or 3 Project Pathway opportunities, 1 or 2 Input and Consultation Pathway opportunities,

event, such as a block party. People mapping can also be a project done by youth and adult teams. People Mapping is a five step process:

1. It begins by having the EBNO decide that it is an initiative it wants to undertake. I suggest this because it will have more credibility if it is a formal process that is endorsed by the EBNO and connected to its vision.
2. Once the EBNO decides to do a People Mapping project it will need to develop a marketing strategy, determine how the information will be gathered and how the information will be stored and updated. The marketing strategy needs to take into consideration people's reluctance to share personal information and their fear about how the information will be used. You need to ensure that sharing the information is not a commitment to offer the "gift" when asked. You need to connect the effort to the neighborhood's vision.
3. Next you create a very simple form for people to complete. It should include their name, address and the gift(s) they would like to share with the neighborhood.
4. Collecting the data is the fourth component of the People Mapping process, the most important and most difficult. However, the real beauty of the collection process is that it gets people who may have never interacted with a certain person, becoming acquainted. It is first and foremost a relationship building process. When done by youth and adult teams it also becomes less threatening to individuals not used to sharing about themselves.
5. The final component is using the information in ways that will enhance the neighborhood. Using the Officer Petty example, she could get a group of young people from the neighborhood to take pictures of East Bayside that could be used in brochures or hung in an exhibit in the Zero Station gallery. Alex's puppeteer skills could be used at the annual block party.

The key to a successful People Mapping effort is that everyone understands that the greatest benefits of People Mapping are that it builds relationships and that it creates a data base of skills that can be used to improve the neighborhood.



opportunities they need to empower themselves. In a neighborhood with such a rich diversity of youth, this will require youth development in all shapes and sizes.

Recommendations for the East Bayside Neighborhood:

Now that I have identified what I experienced as already working within the neighborhood (Obviously during a three day period I wasn't able to identify all of what's working) and shared some of the basic principles of youth development and engagement, I want to present some recommendations that I believe will allow the neighborhood to increase its ability to move more quickly to thriving. Some of these recommendations focus on the overall system and some are more specifically targeted.

Enhancing the Effectiveness and Reach of the EBNO

After talking with both Belinda Ray and Alex Endy regarding the makeup and role of EBNO and after visiting its website, I would make the following three recommendations to enhance the organization's effectiveness.

1. I recommend that since most of the new Mainers reside in the public housing sections of East Bayside that an attempt be made to more formally align the EBNO and the Tenant Council. This alignment should increase both groups' ability to serve the entire neighborhood. It will also help to bridge the gap between new Mainers and the more long-term residents. I believe that the primary purpose of these joint gatherings should be relationship building and exploring ways to work together. It is my opinion that they should not be used to air grievances, point fingers or find fault.
2. I also recommend that the EBNO add three (3) additional members to its Executive team. I recommend that two of these new members be new Mainers

and one be a young person between the ages of 20 and 30. When selecting, make sure that you pay attention to the cultural realities of the individual you select. Make sure that the people selected, are individuals that will be listened to by those you hope he or she will represent. I suggested a 20-30 year old rather than someone under 20 because I believe it would be best to ease into the youth engagement effort. Your first duties following the addition of these three new members will be to find common ground, regardless of how long this takes.

3. I would also create, if one doesn't already exist, a vision statement for the neighborhood. You already have a mission statement, but I could find no vision statement anywhere. A vision is a statement about what your neighborhood wants to become, what it will be in the future. It should resonate with every resident and help each feel proud, excited, and part of something much bigger than themselves. A vision should stretch the neighborhood's capabilities and image of itself. It gives shape and direction to its future. It is not how you intend to get there—that is your mission. Visions range in length, but most visioning experts recommend shorter vision statements because people will tend to remember and embrace them more easily. Vision example: East Bayside, a place that all are proud to call home.

People Mapping

I recommend that an effort be made to better understand what each East Bayside resident and business owner can offer to make the neighborhood a better place for everyone. People Mapping is a strategy that allows people to share things about themselves that are less known than the more obvious "gifts" they have. The examples I used in the team's final PowerPoint presentation were that Officer Petty, a very gifted police officer, also has a passion for photography and Alex Endy is also a puppeteer and a sound board technician. While not everyone will want to share their "gifts", it can be made into a fun neighborhood effort that can stand alone or be linked to another

Aspects of Identity

- A Sense of Safety and Structure
- High Self-Worth and Self Esteem
- Feeling of Mastery and Future
- Belonging and Membership
- Perception of Responsibility and Autonomy
- A Sense of Self-Awareness and Spirituality

Areas of Ability

- Physical Health
- Mental Health
- Intellectual Health
- Employability
- Civic and Social Involvement

Supports: Motivational, emotional and strategic supports to succeed in life. The supports can take many different forms, but they must be affirming, respectful, and ongoing. The supports are most powerful when they are offered by a variety of people, such as parents and close relatives, community social networks, teachers, youth workers, employers, health providers, and peers who are involved in the lives of young people.

Opportunities: Chances for young people to learn how to act in the world around them, to explore, express, earn, belong, and influence. Opportunities give young people the chance to test ideas and behaviors and to experiment with different roles. It is important to stress that young people, just like adults, learn best through active participation and that learning occurs in all types of settings and situations.

Quality services: Services in such areas as education, health, employment, and juvenile justice that exhibit: relevant instruction and information, challenging opportunities to express oneself, to contribute, to take on new roles, and be part of a group, and supportive adults and peers who provide respect, high standards and expectations, guidance and affirmation to young people.

Youth development is not a highly sophisticated and complicated prescription for “fixing troubled kids.” Youth development is about people, programs, institutions and systems who provide all youth—“troubled” or not—with the supports and

If East Bayside is truly serious about increasing the likelihood that all of its youth residents have the potential to fully develop and thrive, it needs to work with the families and organizations that are serving the youth of the neighborhood to embrace the above outcomes for their efforts and work.

There are a number of well-known factors in youths’ lives that contribute to reaching these positive developmental outcomes. The Search Institute has identified 40 assets, internal and external, which form a foundation for healthy development of young people. The 40-asset framework covers eight categories (support, empowerment, boundaries and expectations, constructive use of time, commitment to learning, positive values, social competencies, and positive identity) and provides communities a tool to measure these assets in their youths’ lives.

The leaders of East Bayside will know if the youth serving people, programs and institutions operating within their neighborhood are engaged in youth development if there is strong evidence of the following practices:

A neighborhood-based AYE initiative invites young residents of East Bayside to be major contributors to the civic process through meaningful roles in neighborhood policy, planning and decision-making that can lead to improved outcomes for youth and community. An AYE initiative can only thrive in a climate of reciprocity and respect where young people, in partnership with adults, are prepared and supported to tackle relevant issues that can impact change. And an AYE initiative ensures that young people are seen as resources to a larger goal of improving outcomes for youth and the neighborhood.

To get started neighborhood leaders need to be willing to use their platform to promote youth voice and leadership in the neighborhood and to be committed to listening to youth voice and acknowledging what they heard.

Finally, the neighborhood and its partners must find ways to ensure that both the youth and adult participants have access to the training that will be needed to ensure success. This training could come from any number of the community-based organizations already supporting East Bayside.

Youth Development Principles

Youth development is the ongoing growth process in which all youth are engaged in attempting to meet their basic personal and social needs to be safe, feel cared for, be valued, be useful, and be spiritually grounded, and to build skills and competencies that allow them to function and contribute in their daily lives.

The above definition describes youth development as a process that all young people go through on the way to adulthood. As the definition implies, it is a process or journey that automatically involves all of the people around a young person—family and community. A young person will not be able to build essential skills and competencies and be able to feel safe, cared for, valued, useful, and spiritually grounded unless their family, neighborhood and community provide them with the supports and opportunities they need along the way. Thus, youth development is also a process in which family, neighborhood and community must actively participate.

Youth development, then, is a combination of all of the people, places, supports, opportunities and services that most of us inherently understand that young people need to be happy, healthy and successful. Youth development currently exists in a variety of different places, forms and under all sorts of different names.

East Bayside has a number of people, programs and institutions already involved in youth development and working toward positive results in the lives of the neighborhood's youth. Some have clearly defined these desired positive results—or outcomes—in an attempt to more effectively work toward them. There are many efforts to define the outcomes of youth development, and while language may differ from place to place most express the results that most people want for their own children. These outcomes include, but move above and beyond the academic skills and competencies, which are the focus of most schools. The Center for Youth Development & Policy Research has identified those outcomes as the following:

attracting the greatest variety and number of youth, and it increases the potential for impact on multiple issues of social concern. Most importantly, neighborhood leaders will need to shift their beliefs from only wanting to do this because it will be good for the young people, to doing this because it will be good for the neighborhood. When something is good for the neighborhood it will be good for its young people. Truly embracing a resource attitude will be critical to any efforts to embrace the youth engagement framework.

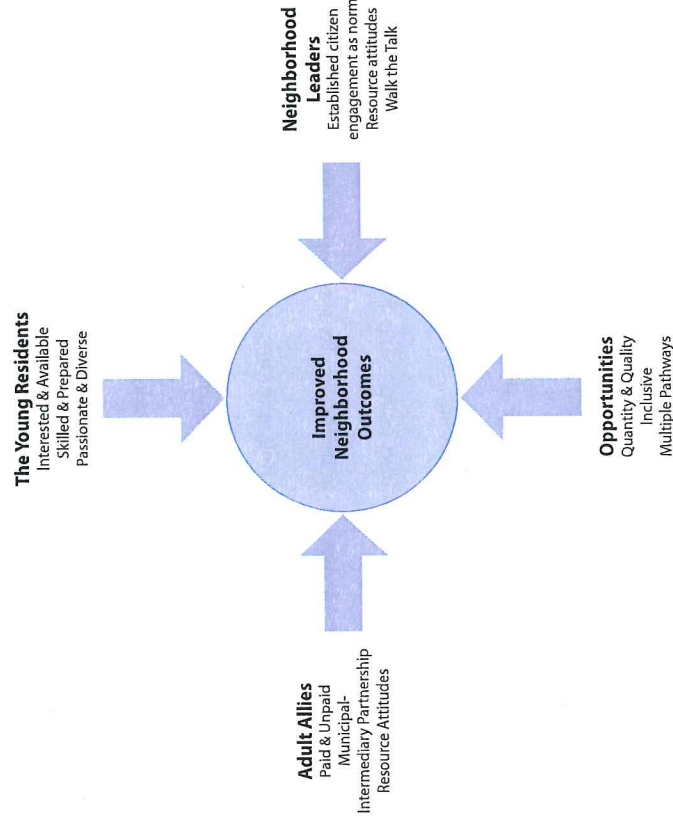
Like adults, many young people want to participate only in the Project Pathway. Their desire for meaningful involvement may coincide with limited available time or different interests, yet it still must allow them roles as engaged and competent citizens. A strong foundation of these activities will provide the scope of opportunities for youth to test their affinity toward civic involvement; the more opportunities, the more young people can find something of interest to them. This type of engagement is the very core of community-based volunteerism. Once involved, opportunities open up for young people as they are exposed to new information, new skills, and new relationships. As they gain confidence, experience success, and taste the excitement of impacting change, their interest grows in the other pathways. If the scope of opportunities is crafted as a system, the likelihood for movement within and among the pathways increases. Often adults will notice youth volunteers who have passion for an issue and refer them to advisory opportunities. Young people who never would have considered serving on a board are exposed to new volunteer

service opportunities. The result is a rich and diverse pool of youth leaders, passionate about their role in their neighborhood.

Critical Elements for Authentic Youth Civic Engagement

The following diagram represents the elements that are needed to create an affective youth engagement framework. It is not just about creating opportunities and putting kids into them. It is creating a system that must have neighborhood leaders who support it and embrace resource attitudes and other adults who can provide opportunities, training, and overall support. When all of these elements are in place and coordinated, young people will have the support and guidance needed to feel safe and willing to contribute.

**Authentic Youth Engagement (AYE)
Critical Ingredients to a Successful Neighborhood-based Initiative**



participating in projects, tasks, and service within a neighborhood can provide mentoring or tutoring support to younger kids, collect canned goods for a food drive, conduct surveys, help organize and participate in neighborhood clean-ups and recruit their peers to get involved. They are making a difference by giving of their time and talent or providing a needed service to the neighborhood.

Input and Consultation

This pathway is an advisory function. Here young people enhance the decision-making and problem solving of adults by adding a "youth voice" into processes usually dominated by an "adult only" perspective. Although adults ultimately maintain the authority to decide, the unique perspective provided by young people impacts those decisions. Advisory opportunities can be short or long-term commitments, generally requiring skills in listening, presentation, and analysis of the issues in question, which may be broad or specific in nature. Where Project Pathway activities often impact an individual who is the recipient of a community service such as tutoring or volunteering in a nursing home, Input Pathway activities usually impact groups or organizations that benefit from the input provided. The youth-serving organizations, schools, local businesses and the East Bayside neighborhood may provide opportunities for advisory-based engagement in the form of focus groups, advisory boards, and opportunities to assist in data analysis and program development.

Shared Leadership

This pathway offers the greatest potential for impact on community change. Here youth work "shoulder to shoulder" with adults, sharing responsibility for activity and

outcome. Many take on leadership roles far beyond those normally afforded others of their age, thus changing neighborhood norms of who is "at the table." This type of engagement carries a greater need for skill and commitment, and usually implies a focus on broader areas of impact-policy, strategic planning, systems change. East Bayside young people in the Shared Leadership Pathway may serve on the EBNO Board or serve as lobbyists or activists for issues impacting the neighborhood. Wherever they choose to focus their energies, they become part of deliberative processes focused on the decision-making that impacts the lives and wellbeing of the youth in the neighborhood and the neighborhood as a whole.

Each pathway is an important element in an overall framework of youth engagement. The arrow on the right side of the diagram points to an increase in potential opportunities offered and the corresponding number of potential participants. The arrow on the left indicates the increased potential for neighborhood change and the corresponding need for higher levels of skill. While the number of individuals tends to decrease with opportunities further up the triangle, the potential for impact increases. It is also important to recognize that the lines separating the pathways are broken, indicating that a young person can easily move from one opportunity to another, or could even serve in two different pathways within a single opportunity.

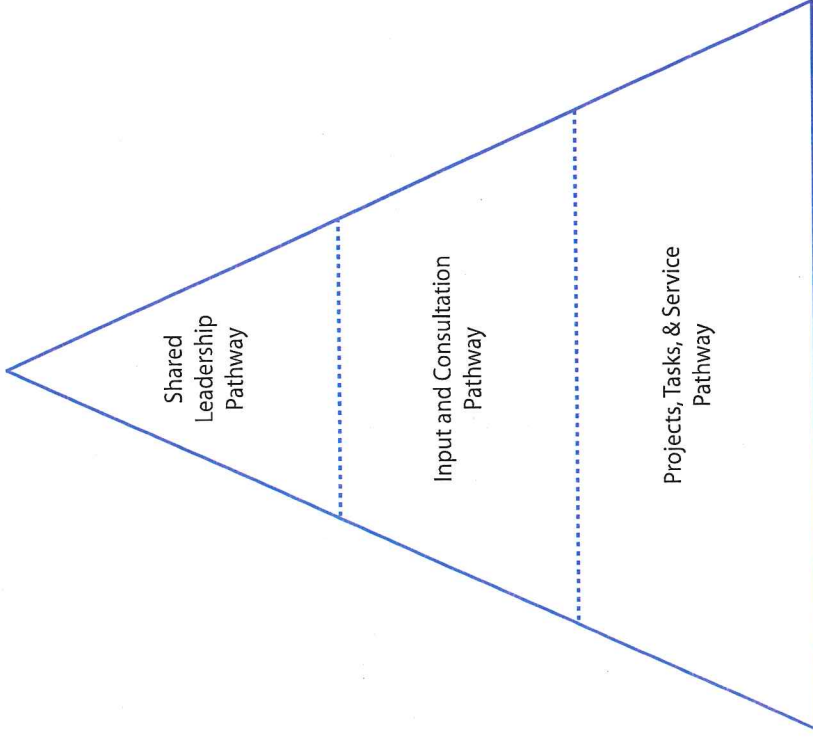
For the East Bayside neighborhood to significantly influence the trends away from increased high-risk youth behaviors to increased thriving behaviors all three pathways of activity must be available, and meaningful. This increases the possibility of

the neighborhood enhances the dynamics between youth and adults, increases the number of stakeholders working to make the neighborhood a better place and in turn also builds the skills and confidence of the youth who are engaged. Neighborhoods that have successfully and meaningfully engaged young people have learned that while it may be more work, the benefits far outweigh the challenges.

Youth Engagement Framework

The award winning Youth Engagement Framework created in Hampton, VA is now operating in hundreds of other communities across the country. While simple in appearance, when fully incorporated into the fabric of a community, it will ensure that every young person has the opportunity to make meaningful contributions to the overall community. And when an ever-increasing number of young people are meaningfully engaged, communities begin to experience reductions in high-risk behaviors and increases in thriving behaviors. The principles of a youth engagement framework work at a citywide, a neighborhood, or an organizational level.

Within any engagement opportunity, people choose to participate at varying levels, depending on interest, availability, skill, or the ultimate goal of the activity in which the participant is engaged. For young people it is no different; yet, most adults limit their vision of a young person's level of interest and their potential to help others or impact the community. The three "pathways", beginning with the base, describe an increase in the complexity of the role of the young person as an engaged citizen and a corresponding potential for impact on community change.



Projects, Tasks, and Service

The myriad volunteer activities available to young people to be helpful and serve others constitute the first pathway of the framework. Most communities have a host of these opportunities, scattered throughout the youth-serving and civic institutions. They are short-term, often "hands on," activities requiring few specific skills and minimal training.

The Projects Pathway can offer an almost unlimited variety of options for participation with specific issues that offer a positive experience to individuals. Young people

work of the East Bayside neighborhood it will be important for you to understand the implications of the Spectrum of Attitudes theory.

Lofquist found that there are three distinct attitudes that adults have regarding young people. The first is the **object attitude**. The basis of the object attitude is that an adult(s) "knows what's best" for a young person or group of youth, and that they have the right to determine the circumstances under which these youth function. The primary reason to approach a young person this way is to ensure their health, safety and to begin to help them form an understanding of appropriate behaviors. An example of when approaching a young person with an object attitude is appropriate is when an adult keeps a child from touching a hot burner. Problems occur when an adult(s) become so comfortable with the object attitude that they use it in circumstances that are not appropriate or necessary. This is especially true when a young person has been identified by someone as "at risk or problematic". Even entire institutions can assume object attitudes. An example in some communities is the Juvenile Justice system.

The second is the **recipient attitude**. The basis of the recipient attitude is that an adult(s) has something of value and believes that providing it to a young person will be good for that young person. The motivation of the adult is less driven by a need to control and more from a desire to provide. The primary reason to approach a young person this way is to assist them in their personal growth and educational development. While this is a very honorable attitude for an adult to have, problems

occur when an they become so comfortable with being in the role of provider that they fail to recognize when the young person is capable of providing rather than merely receiving and when the adult considers teaching more important than learning. Schools often become mired in the celebration of the recipient attitude.

The third is the **resource attitude**. The basis of the resource attitude is that an adult(s) believes that young people bring something of value to a given situation and that allowing them to become engaged will enhance the outcomes of their efforts. The most important reason to use this approach is to access the incredible gifts that young people can contribute. While this is also a very honorable attitude for an adult to have, problems can still occur when an adult goes too far and abdicates all decision-making to a young person who is incapable of handling that level of responsibility. The most effective way to honor young people as resources is to enter into a partnership with them, ensuring that the gifts of everyone are fully and appropriately utilized.

It is important that everyone realizes that all three types of attitudes may be appropriate depending on circumstances. Problems occur when an individual or organization becomes too comfortable within any one of the three attitudes. Both the object and recipient attitudes are ones that focus on what is good for the individual young person, while the resource attitude focuses on what is good for the situation. It can be easy for the adults in a neighborhood to view youth only from an object or recipient attitude. Finding meaningful ways to engage young people in the life of

the recent arrival to Portland of the Red Claws, a NBA Development League team. The team has "adopted" the East Bayside community and offers a lot of mentoring services as well as fundraising support. The players also provide a great example for the youth living in the neighborhood.

11. There are a significant number of individuals who have artistic talents who are living and working in the neighborhood. This provides the EBNO with wonderful opportunities to connect the neighborhood's young people in more creative opportunities. These opportunities can be both good for the individual and the community.

12. While the neighborhood was unfamiliar with the power of engaging young people as contributors to the neighborhood, when residents and service providers were exposed to the concept at the roundtable sessions they became very excited.

13. The perception that East Bayside is a crime-riddled neighborhood is simply not supported by the crime statistics. And it is certainly not the case that young people are committing a great deal of crime in the neighborhood. To begin with, those living in East Bayside represent 4% of the city's population, but commit only 3% of the crime. And even more astonishing is that there were only eight juvenile arrests recorded in East Bayside over the last three years.

14. There is a new, 3 years this May, East Bayside Neighborhood Association (EBNO) that is energized, focused and relational. They have identified their primary purpose as creating and maintaining a safe neighborhood; taking advantage of funding opportunities for neighborhood revitalization; and helping low-income, elderly, and disadvantaged members of the community to thrive. They have already accomplished the following:

- o The EBNO Crime Watch: A crime prevention program that has created packets containing home security and Crime Watch information which were distributed to East Bayside residents and local businesses to educate them about crime and encourage them to take steps to keep themselves and their neighborhood safe.

- o East Bayside's Annual Neighborhood Block Party in June 2008 & 2009. This event is a celebration of all things East Bayside and a chance for members of the community to come together for food, music, and civic engagement.

- o The Re-Design and Improvement of Peppermint Park was done through a partnership with the Department of Recreation and Facilities Management. The improvements provide a welcoming, relaxing, engaging, natural space for residents of all ages while decreasing criminal activity in the area through environmental design.

- o A partnership with the Muskie School of Public Services at the University of Southern Maine and the City of Portland to develop a winning proposal for support from the American Institute of Design that has produced this report.

Basic Youth Development and Engagement Principles and Practices

When a group can begin from a place of "what's working", it increases the likelihood that stakeholders will be open to try new discoveries and experiments rather than simply relying on the status quo. To this end, I present the following principles and theories regarding working more effectively with the East Bayside youth population.

Spectrum of Attitudes

Bill Lofquist, a community development specialist for the past 50 years, developed the Spectrum of Attitudes theory in the 80s to describe relationships that are not equal. These relationships can be varied: boss-employee; parent-child, elected officials-citizens; staff-client, etc. While the theory applies to the relationships between any two people, it is especially powerful when looking at the relationships that exist between adults and young people. If you are going to involve young people in the

among those who live and work within the neighborhood. This impacts every one of the four aspects. Like "location, location, location" is real estate's mantra, "relationships, relationships, relationships" needs to be the mantra of neighborhoods and community development.

2. Many who live and work in East Bayside understand the importance of coming together and finding common ground. One of the East Bayside Neighborhood (EBNO) most important responsibilities needs to be to continue finding ways to create an ever-increasing number of opportunities for residents and business owners to find common ground.

3. There is a very positive relationship between the community police officers, the police department and those who live and work within the neighborhood. The Senior Lead officer assigned to the neighborhood, Officer Gayle Petty, lives in the neighborhood. The Chief of Police will soon be reducing her patrol duties to free her up to do more community policing responsibilities. This is a very unusual set of realities that should be nurtured and developed as much as possible. In many neighborhoods, police-resident relationships are often a barrier that simply can't be overcome.

4. There are a significant number of community-based organizations that are already offering a wide variety of services, supports and opportunities for those who live within the neighborhood, especially the young people living there. Some of the service providers actually live within the neighborhood. The need for more services is less important than having those services that are doing a good job to work together to fill some of the gaps.

5. Based on input from Christine Thibeault, the chief prosecutor for Juvenile Crime in Maine's District Attorney's office, her office has recently adopted a positive youth development approach, which, if fully embraced, should greatly reduce

the numbers of minorities who become "part of the system". Since East Bayside is the most diverse community in Maine it could become a model for the application of these new approaches. Upon further investigation Officer Petty and the District Attorney's office are already working closely together. As Officer Petty's time is freed up her ability to build this relationship's effectiveness will increase.

6. Another thing I learned was that many of those who live in the East Bayside neighborhood don't agree with the negative image that those outside the community have about their neighborhood. Most are very committed to changing that perception.

7. A tremendous asset to the community is located within the neighborhood boundaries. The Root Cellar is a community gem because most residents perceive it as a safe gathering place for all. While faith-based, it doesn't appear they are pushing a specific



religious message. Based on the 213 very diverse people who attended Tuesday's dinner meeting, they have the ability to get people out. The neighborhood can certainly build on this partnership as it moves forward.

8. While I didn't have time to communicate with large numbers of people, those with whom I did speak and those who spoke at the dinner, indicated a love for the diversity that the "new Mainer" populations bring to the neighborhood and they also indicated that they want to find ways to reduce the tension that also comes with that diversity.

9. The wealth of long-term relationships that have been formed among residents and with service providers and local businesses will be a positive asset as the neighborhood moves forward.

10. An unexpected plus for the neighborhood and the city as a whole has been

Youth & Development Introduction

Neighborhoods are a mixture of infrastructure (what has been built), history, social capital and what I call chatter. All four of these aspects have both an internal and an external component. The internal component relates to the impact experienced by those who live, work, serve or visit East Bayside. The external component relates to how those not directly related to the neighborhood perceive it.

The infrastructure aspect creates the look of the neighborhood as well as contributing to how the people feel about it. When a neighborhood's structures and connectors are in bad condition or impede optimal livability it will create negative chatter among the residents and those living outside the neighborhood. Much of this report addresses ways to improve East Bayside's infrastructure.

The history of a neighborhood often creates a learned mindset that can paralyze residents into thinking a certain way. It also can impact how external decision makers act when policy or other decisions are made that will impact that neighborhood. The chatter that is created by a neighborhood's history can both be accurate or inaccurate. Because people very often make decisions based on what they perceive as the true history, it is critically important that they take the time to learn the true realities.

A neighborhood's social capital refers to those who live, work or in any way interact with that neighborhood. Internally these include residents, neighborhood merchants, those who enter the community to provide a service and even those who visit either

the families living there or who frequent the businesses. Externally it includes anyone who has the authority to make decisions that impact the neighborhood as a whole or any part of that neighborhood's infrastructure, history or people. Often, only wealthy neighborhoods are viewed by a city as resources to their decision making. Struggling, (whether real or perceived), neighborhoods rarely have the social capital needed to influence a city's decision making. Finding ways to change this reality is key to a neighborhood's revitalization efforts.

And finally, the chatter. All aspects of the community create chatter. It exists regardless of what you do. It can't be stopped, but it can be influenced. What this report does is provide you with strategies that are designed to redirect the chatter, to move it from reactive and negative chatter to positive and proactive chatter. The first step in making this shift is to identify what's working and to find ways to do that in all of the four aspects.

What's Working in East Bayside

Observations made during the team's visit to the East Bayside neighborhood, combined with the information that was provided before we arrived and while we were in town, and with the roundtable discussions and the neighborhood dinner meeting allowed me to draw the following conclusions. Focusing the majority of the neighborhood's energy and efforts on these "what's working realities" will allow all stakeholders to move proactively towards a more thriving neighborhood and a better relationship with the city as a whole.

1. There already exists an overwhelming desire to improve the relationships

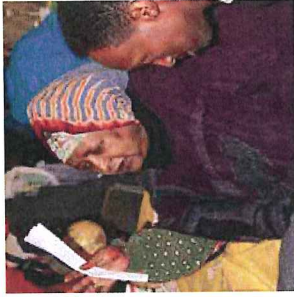
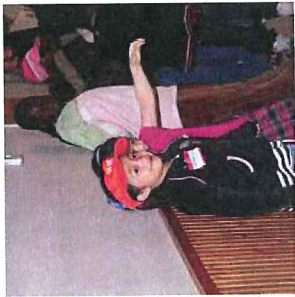
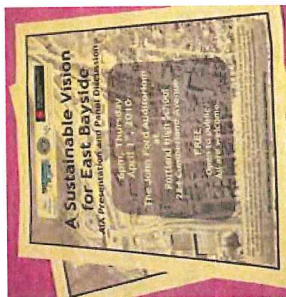
ISSUE 1: YOUTH DEVELOPMENT & ENGAGEMENT

Richard Goll

organization to be primarily accountable, otherwise no one will feel they have to be. It's likely this organization is the relatively young East Bayside Neighborhood Organization. It has the capacity, the leadership, and the desire to move forward. For now, there are some basic parameters we as a team feel are important for the East Bayside Neighborhood Organization to adhere to when they approach the issues present in the neighborhood:

- We hope to spark the imagination of those in the community to own the possibilities in East Bayside.
- We hope to have everyone believe he/she can make a difference.
- We hope to help those in the community to understand that those who have not participated in the process are as important to community success as they are.
- We want you to feel that things will continue to improve.

This document is intended to be a road map for the future of East Bayside (and resulting, downtown Portland in general). Some of these items will take years to accomplish. Some can be done tomorrow. You CAN do this. It's not going to be easy, but you can. And it's going to be YOU. It's your neighborhood, and while there are people outside the neighborhood willing to help, you are the ones that will make it happen. In these economic times, organizations and governments have much less capacity to help. So those opportunities are going to be fewer and farther apart. And finally, the best word of advice, from our teammate Reemberto Rodriguez, "High expectations can mar sensible progress. Celebrate small victories." I look forward to following East Bayside's progress for years to come, and hope to help you celebrate some of the myriad of small and great victories I believe you can accomplish.



The East Bayside Neighborhood is one of the most intriguing areas that many of us have worked on in New England or elsewhere. It is encountering many difficult issues that much of the rest of the nation is working on – immigration; deteriorated, inadequate and poorly designed infrastructure; rising sea level potential; unemployment and underemployment; and economic stress. Many communities deal regularly with two or three of these issues, but for East Bayside they're all present and concentrated. We were asked to come to Portland and to look specifically at the East Bayside Neighborhood and its possibilities for a brighter future as part of the AIA's Communities by Design SDAT program. SDAT has some specific tenets which it follows. For us, sustainability means community sustainability, and includes three legs – social equity, economic development, and environmental stewardship. These tenets are even more critical in a neighborhood like East Bayside. SDAT is particularly effective because we follow these principles:

- Use a multi-disciplinary team;
- Arrive from outside the community so we can offer an objective opinion...we have no permanent stake in this community, so we can really tell you what we think; and
- finally, the best part...we really try to involve as much of the community as we can...from organizations and governments to residents, employees, and families. It's extremely important for us to hear from as many of these as we can.

In this report we'll attempt to address as many of the issues that our team felt was most critical to the success of East Bayside. On our initial visit to Portland I told the community, as team leader, that our SDAT team wanted to help determine how to

stitch East Bayside back into the fabric of the city; physically, socially and economically. The neighborhood has many barriers to cross if this promise is to occur. Franklin Arterial was identified as the prime physical barrier, and in this report Seleta Reynolds addresses this difficult issue, including insight on the City's existing crosswalk policy and its need to incorporate the latest understanding and research about effective and appropriate placement of crosswalk treatments. The inadequate sidewalks and lack of community gathering places throughout were also identified as potential parts of the existing infrastructure to improve, and Pat Smith begins her assessment of this problem by simply stating "Put people first; places will follow." She further encourages the cultivation of places where people can come together, and indicates that you should start where these places are already happening and need just a little help (furthermore, don't mess with the ones that are working)!

But physical infrastructure was only the most visible barrier for East Bayside. Significant immigrant populations are perceived as having difficulties assimilating or communicating with the broader community. There are keys as to how to engage these communities, and both Rich Goll and Reemberto Rodriguez will offer critical advice in this matter. What much of it boils down to though, is summed up in the words of Rich Goll: "Like location, location, location is real estate's mantra, relationships, relationships, relationships needs to be the mantra of neighborhoods and community development." And for improving the economic opportunities in the neighborhood, Neil Takemoto has taken a bold step by step approach for his crowdsourcing recommendations. He further advocates the need for just one

EXECUTIVE SUMMARY & INTRODUCTION

J. Todd Scott

- **Inclusive and Participatory Processes.**

Public participation is the foundation of good community design. The SDAT involves a wide range of stakeholders and utilizes short feedback loops, resulting in sustainable decision-making that has broad public support and ownership.



- **Objective Technical Expertise.** The SDAT Team is assembled to include a range of technical experts from across the country. Team Members



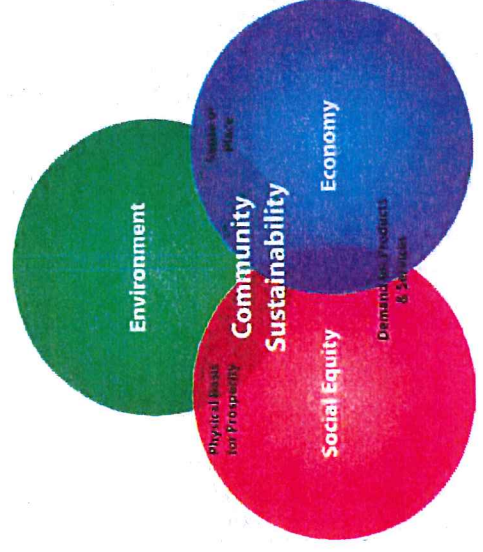
do not accept payment for services in an SDAT. They serve in a volunteer capacity on behalf of the AIA and the partner community. As a result, the SDAT Team has enhanced credibility with local stakeholders and can provide unencumbered technical advice.



- **Cost Effectiveness.** By employing the SDAT approach, communities are able to take advantage of leveraged resources for their planning efforts. The AIA contributes up to \$15,000 in financial assistance for each project. The SDAT team members volunteer their labor and expertise, allowing communities to gain immediate access to the combined technical knowledge of top-notch professionals from varied fields.

The SDAT program is modeled on the Regional and Urban Design Assistance Team (R/UDAT) program, one of AIA's longest-running success stories. While the R/UDAT program was developed to provide communities with specific design solutions, the SDAT program provides broad assessments to help frame future policies or design solutions in the context of sustainability and help communities plan the first steps of implementation. Through the Design Assistance Team (DAT) program, over 500 professionals from 30 disciplines have provided millions of dollars in professional pro bono services to more than 180 communities across the country. The SDAT program leverages the pivotal role of the architectural community in the creation and support of sustainable livable communities.

The following report includes a narrative account of the Portland SDAT project recommendations, with summary information concerning several principle areas of investigation. The recommendations are made within the broad framework of sustainability, and are designed to form an integrated approach to future sustainability efforts in the neighborhood.



The American Institute of Architects Sustainable Design Assessment Program



Introduction

In November 2009, the community of Portland, ME submitted a proposal to the American Institute of Architects (AIA) for a Sustainable Design Assessment Team (SDAT) to assist the city and its citizens in addressing key issues facing Portland's East Bayside Neighborhood. The issues included planning and land use, urban design, transportation, revitalization, preservation and civic capacity. The AIA accepted the proposal and, after a preliminary visit by a small group in February 2010, recruited a multi-disciplinary team of volunteers to serve on the SDAT Team. In March 2010, the SDAT Team members worked closely with local officials, community leaders, technical experts, non-profit organizations and citizens to study the community and its concerns. The team used its

expertise to frame a wide range of recommendations, which were presented to the community in a public meeting. This report represents a summary of the findings and recommendations that were presented to the community.

The Sustainable Design Assessment Team (SDAT) Program

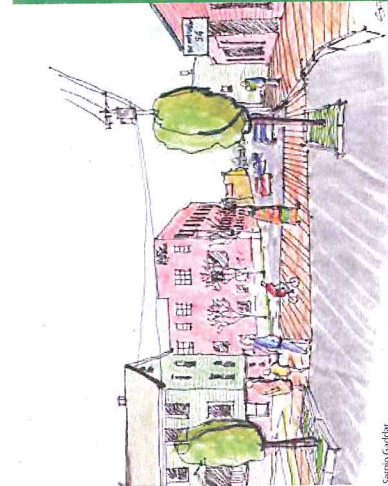
The Sustainable Design Assessment Team (SDAT) program focuses on the importance of developing sustainable communities through design. The mission of the SDAT program is to provide technical assistance and process expertise to help communities develop a vision and framework for a sustainable future. The SDAT program brings together multidisciplinary teams of professionals to work with community stakeholders and decision-makers in an intensive planning process. Teams are composed of volunteer professionals representing a range of disciplines, including architects, urban design professionals, economic development experts, land use attorneys, and others.

Today, communities face a host of challenges to long-term planning for sustainability, including limited resources and technical capacity, ineffective public processes and poor participation. The SDAT approach is designed to address many of the common challenges communities face by producing long-term sustainability plans that are realistic and reflect each community's unique context. Key features of the SDAT approach include the following:

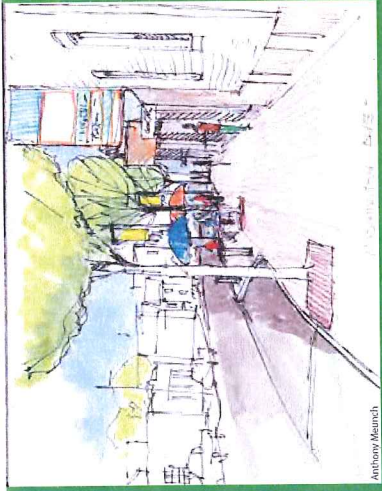
- **Customized Design Assistance.** The SDAT is designed as a customized approach to community assistance which incorporates local realities and the unique challenges and assets of each community.
- **A Systems Approach to Sustainability.** The SDAT applies a systems-based approach to community sustainability, examining cross-cutting issues and relationships between issues. The SDAT forms multi-disciplinary teams that combine a range of disciplines and professions in an integrated assessment and design process.

Contents

EXECUTIVE SUMMARY	3
YOUTH DEVELOPMENT & ENGAGEMENT	6
REVITALIZING FOR SUSTAINABILITY	20
CROWDSOURCING FOR SUSTAINABILITY	25
SUSTAINABLE STREETS, OPEN SPACE & INFRASTRUCTURE	30
APPENDICES	73
TEAM ROSTER	86
ACKNOWLEDGEMENTS	92



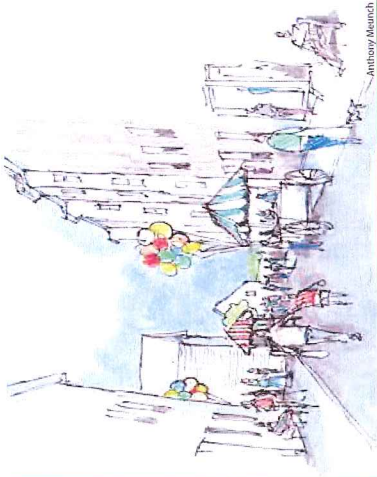
Seung Gookbae



Anthony Meurch



Pat Carroll



Anthony Meurch

PORTLAND, ME SDAT

Creating a Sustainable Vision for Maine's Most Diverse Neighborhood



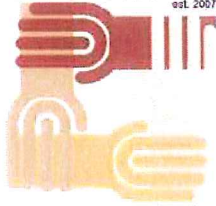
Anthony Meurch

attached Sustainable Design Assessment Team (SDAT) Program report that outlines many of the visions, goals and objectives that EBNO continues to work toward and achieve. We are grateful for your service to the City of Portland and are looking forward to continued collaboration with you to ensure that East Bayside remains a thriving neighborhood and destination.

Sincerely,

Members of Board
East Bayside Neighborhood Organization

EAST BAYSIDE
est. 2007



NEIGHBORHOOD ORGANIZATION

Mission:

We create and maintain a safe neighborhood, help community members to thrive, ensure East Bayside is represented in city matters, and create a sense of community while preserving and respecting diversity.

Mr. Rick Knowland, Senior Planner and Members of the Planning Board
Planning and Urban Development Department
Planning Division
City Hall, 4th Floor
389 Congress Street
Portland, Maine 04101

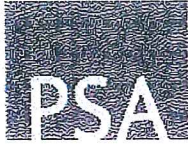
April 14, 2014

Dear Mr. Knowland and Members of the Planning Board,

We are grateful for the opportunity to express our interest in the application for the proposed R-6 to R-7 Residential zoning for the East Bayside area. Such a proposal is potentially an exciting one, and with the right balance, has the opportunity to expand the success of existing developments that have contributed to our thriving neighborhood. Our commitment to the wonderfully diverse community to which we belong and serve is to ensure that we are represented in City matters that impact our neighborhood. However, we believe that the short timeframe in which this significant proposal has evolved does not engage adequate, thoughtful discussion of how to create and share a deliberate vision for East Bayside.

While we embrace change, vitality, and thoughtful development of our neighborhood we, the EBNO Board, strongly object to the Planning Board/City Council recommending any zoning changes until there has been adequate time to consider the significant proposal before us. A responsible period of time would also allow for consideration of the Housing and Community Development Committee's work on possible R-6/R-7 zone amendments, which could potentially be a better fit for our neighborhood. We recognize this stance may delay future development on the Boyd/Oxford Street parcel. To expedite a zone change proposal, however, would not be in the best interest of our community.

We look forward to sharing the same ultimate goal of building a vibrant small city. We are committed to development that respects the scale and character of traditional development patterns while preserving the socio-economic and cultural diversity of our neighborhood. We believe that effective, thoughtful planning creates a balance of housing/development opportunities across sectors. We encourage you to review the



To the Members of the Planning Board:

April 3, 2014

The Portland Society for Architecture favors rezoning parts of East Bayside in order to allow construction that more closely approximates historic building patterns in that neighborhood and to allow flexibility in the use of smaller, otherwise nonconforming lots. Rezoning a sizeable contiguous area is preferable to the current practice of applying modifications on a lot-by-lot basis as individual projects are proposed. The Portland Housing Authority properties in East Bayside should also be included in the R-7 district.

The R-6, as written, is not appropriate for any of the Peninsula locations where it is applied. It has building setbacks, minimum lot and dwelling unit sizes that stymie construction and do not reflect the existing neighborhood fabrics. The R-6 should be addressed soon, but waiting for a hypothetical future repair to R-6 will continue to discourage improvement in East Bayside at a time when the demand for housing at all income levels and sizes is high.

The current R-7 designation is not without flaws, but considering the currently available options for East Bayside, R-7 is the best overall fit. It allows a smaller land area per dwelling unit, more reasonable minimum dwelling unit sizes and it would permit the construction of 4 -story residential buildings.

Given the critical importance of creating affordable housing in Portland in coming years and the city's commitment to increasing density without compromising the quality of neighborhood life, it is fitting to rezone the East Bayside portion of the Peninsula to R-7. Our hope is that these new spaces will include a full range of unit sizes that will be affordable to a wide range of Portland residents.

Thank you.

The Portland Society for Architecture

Rick Knowland - Zoning in East Bayside

From: Melissa Hoskins <Melissa.Hoskins@opportunityalliance.org>
To: "rwk@portlandmaine.gov" <rwk@portlandmaine.gov>
Date: 4/3/2014 8:43 AM
Subject: Zoning in East Bayside

Dear Rick,

I am contacting you in regard to the zoning discussion in East Bayside. After attending the meeting in which a rezone of R-7 was discussed I feel strongly that the policy of "spot zoning" for this area should be upheld. I understand that it slows the process for developers because it requires that each exception to current zoning standards be considered on an individual basis. I am supportive of the changing face of our neighborhood and I think it is vital to the health and future wellbeing of this area that those currently living here are giving an opportunity to shape these changes. A rezone of R-7 would jeopardize this opportunity.

There is an overwhelming consensus among the residents here that a broad R-7 zoning change would be harmful to our community and potentially threaten the valued mix of low and median housing currently available in East Bayside. Further, the enabling larger structures on a grand scale would literally change the landscape of the neighborhood. I currently live across the street from Bayside East, a building built with acceptations to the current zoning standards. Though this particular structure, with its zero set back from the street and 5 story height is well placed, I would not be supportive of multiple structures of this size built without careful consideration and feedback from affected property abutters and other local residents. Buildings of this size literally block out the sun and affect the character of the space.

I am a home owner in East Bayside and a member of the East Bayside Neighborhood Organization and hope to continue to make this my residents for myself and my family for years to come. I hope that you will consider my voice in this decision. Thank you for your time and consideration.

Sincerely,

Melissa Hoskins

Together we'll build a stronger community.

Confidentiality Notice: This email message, including any attachments, may contain confidential and privileged information and is for the SOLE use of the intended recipient(s). Any unauthorized review, use, disclosure or distribution of this email and/or its attachments is strictly prohibited. If you are not the intended recipient, please contact the sender by reply email and destroy/delete all copies of the original message.

Att. H

March 20, 2014

To City of Portland Planning Board and Planning Staff;

My name is Evan Carroll, I live at 5 Everett Street, and I am writing the in regards to the proposed R-7 rezone in East Bayside. I am a local architect conducting business in Portland and I am a commissioner for the Portland Housing Authority. I attended an East Bayside Neighborhood meeting on Tuesday, March 18th and I feel that many of my neighbors expressed sentiments similar to what I will express.

In this greater context, I am writing only on behalf of myself and my wife, Sasha Salzberg.

I am in support of zoning that allows more dense housing to be created in East Bayside. This is critical to the healthy growth of a city, and is also inevitable in East Bayside, given the market pressures on the Peninsula. I support denser housing because it will allow more people to live in close proximity to their jobs and their daily needs. I moved to East Bayside because it had the qualities of an urban neighborhood, including families. I love the mix of backgrounds in our neighborhood, and support the creation of more subsidized housing and more market-rate housing.

I also appreciate that the City has developed a comprehensive response to a specific and isolated rezoning request. This approach builds trust between the neighborhood and the City by setting a tone that everyone must play by the same rules. I would support a rezone of the entire residential area of East Bayside.

With my support I would also like to issue a challenge: I hope that as a city and a neighborhood we can find a way to make sure that newly created market rate living units continue support the variety of economic strata that already live in East Bayside; my particular focus is in young families. I challenge us all to plot a path that is an alternative to the housing trend that we have seen on Munjoy Hill.

I am not against the creation of high end units, I am in favor of the creation of living units for many demographics, including young families. The city has been building a brand: "Yes. Life's good here." This brand is based on the creativity of our citizens, our quality of life, and the relative affordability of living in Portland when compared to other cities in New England. I hope that we will also compare the affordability of our urban living to the suburban and rural communities directly around us. Otherwise, the growth of Portland could lead to an exodus of families and the end of the sustainable demographics that currently support our city.

I expect that a direct discussion of the cost of market-rate living units will be critical to the necessary success of the East Bayside R-7 re-zoning.

Thank you for your time.



Evan A. Carroll
5 Everett Street
Portland, Maine

From: "Jonathan Culley" <jonathan@redfernproperties.com>
To: "Jeff Levine" <jlevine@portlandmaine.gov>, "Alex Jaegerman" <AQJ@por...>
CC: "Rick Knowland" <RWK@portlandmaine.gov>
Date: Wednesday, April 16, 2014
Subject: 89 Anderson Street, East Bayside - R-7

Jeff and Alex,

I am following up on 89 Anderson St. as it relates to the Planning Board meeting on April 22nd. We have now established Right, Title, and Interest (a firm P&S) for the site and will most certainly need R-7 to develop the feasible market-rate apartment project that we envision.

I am interested in what Staff will be presenting to the Planning Board for a vote next Tuesday night. My sense from the Workshop is that nearly all Board members support the PHA Bayside Anchor project and most support a rezoning of the entire PHA property. However, it seems to get complicated in that some members of the Planning Board may not support a broad 'map expansion', while others are philosophically against 'spot zoning'.

I wonder if the 89 Anderson Parcel can be part of a compromise solution, in the event that the PHA plus the 7 additional blocks does not garner enough support. Given that 89 Anderson is a very logical site for R-7 (a large underutilized parcel on the edge of the ILB Zone), and that we, with Right, Title, and Interest, are seeking R-7 (this may be different from some of the other blocks where owners are more hesitant), maybe this can be part of a less controversial package, where the Board can recommend a smaller (and less controversial) package of parcels for R-7 rezoning to the Council.

I plan to attend the Public Hearing and will remind the Board that we want R-7 for the 89 Anderson site.

Please let me know if there is anything else I can be doing to support the Staff proposal. Thanks!

Jonathan Culley
Redfern Properties LLC
Cell: 207-776-9715
Office: 207-221-5746
Fax: 207-221-2822
jonathan@redfernproperties.com
www.redfernproperties.com
www.redfernhomes.com
www.munjoyheights.com

-----Original Message-----

From: Jeff Levine [mailto:jlevine@portlandmaine.gov]
Sent: Monday, April 07, 2014 11:16 AM
To: Alex Jaegerman; Barbara Barhydt; jonathan@redfernproperties.com
Cc: Rick Knowland
Subject: Re: RE: 89 Anderson Street, East Bayside - R-7

That parcel is still in the group that staff supports rezoning. We plan to advance that set to the Planning Board. It includes the PHA properties and a

Att. N

Rick Knowland - East Bayside rezoning

From: "Tim Carolan" <tim@marineelectric.biz>
To: <rwk@portlandmaine.gov>
Date: 4/8/2014 9:42 AM
Subject: East Bayside rezoning

Mr Knowland, Unfortunately i cannot attend the Planning Board Workshop this evening. I am sending this email to let you and the Planning Board know that I am fully supportive of a change from R-6 to R-7 zoning. I am the principal operator of Perigee LLC, which owns the land and buildings on the corner of Fox Street and Anderson Street. CBL 012-I-001-001 and CBL 012-I-005-001. It is my beleif that the rezoning is best for East Bayside's future. Please feel free to contact me if I can be of assistance.
Tim Carolan, Owner
Marine Electric
P.O.Box 4714
Portland, Me 04112
207.874.9569
www.facebook.com/marineelectricportland



M.2

LEGEND

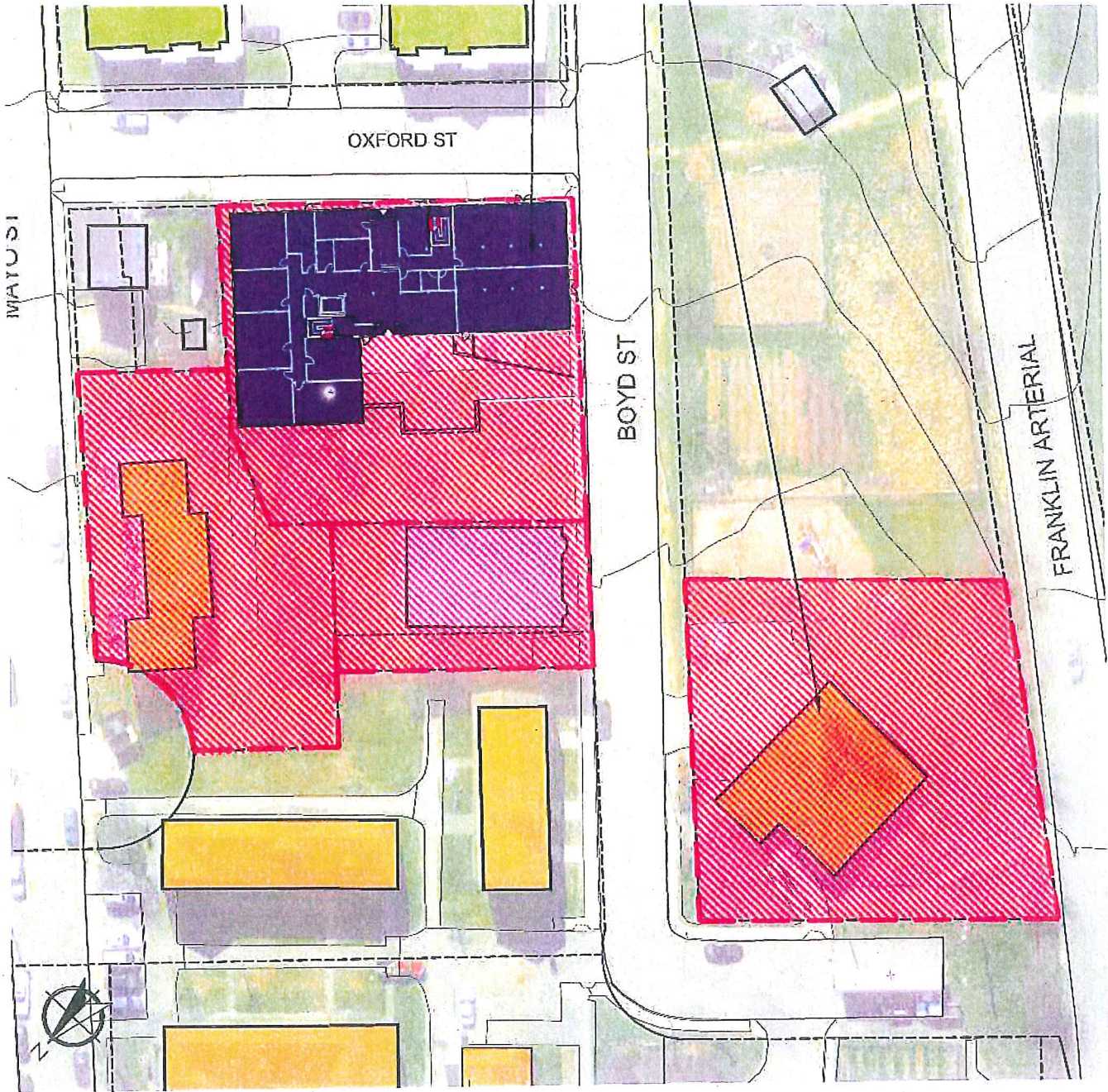
- KENNEDY PARK
- BAYSIDE TERRACE
- BAYSIDE EAST
- BAYSIDE ANCHOR
- PHA/ PHDC OWNED
- PROPOSED R7

DATA SOURCE:
 - CITY OF PORTLAND GIS DATA
 - MAINE GEO-LIBRARY 2FT 2012 ORTHO-IMAGERY

EAST BAYSIDE R7
PROPOSED ZONE MAP CHANGE
 OXFORD STREET, PORTLAND MAINE
OPTION 3

DATE: APRIL 2014 BY: CARROLL ASSOCIATES

0' 60' 120'









PROPOSED BAYSIDE ANCHOR

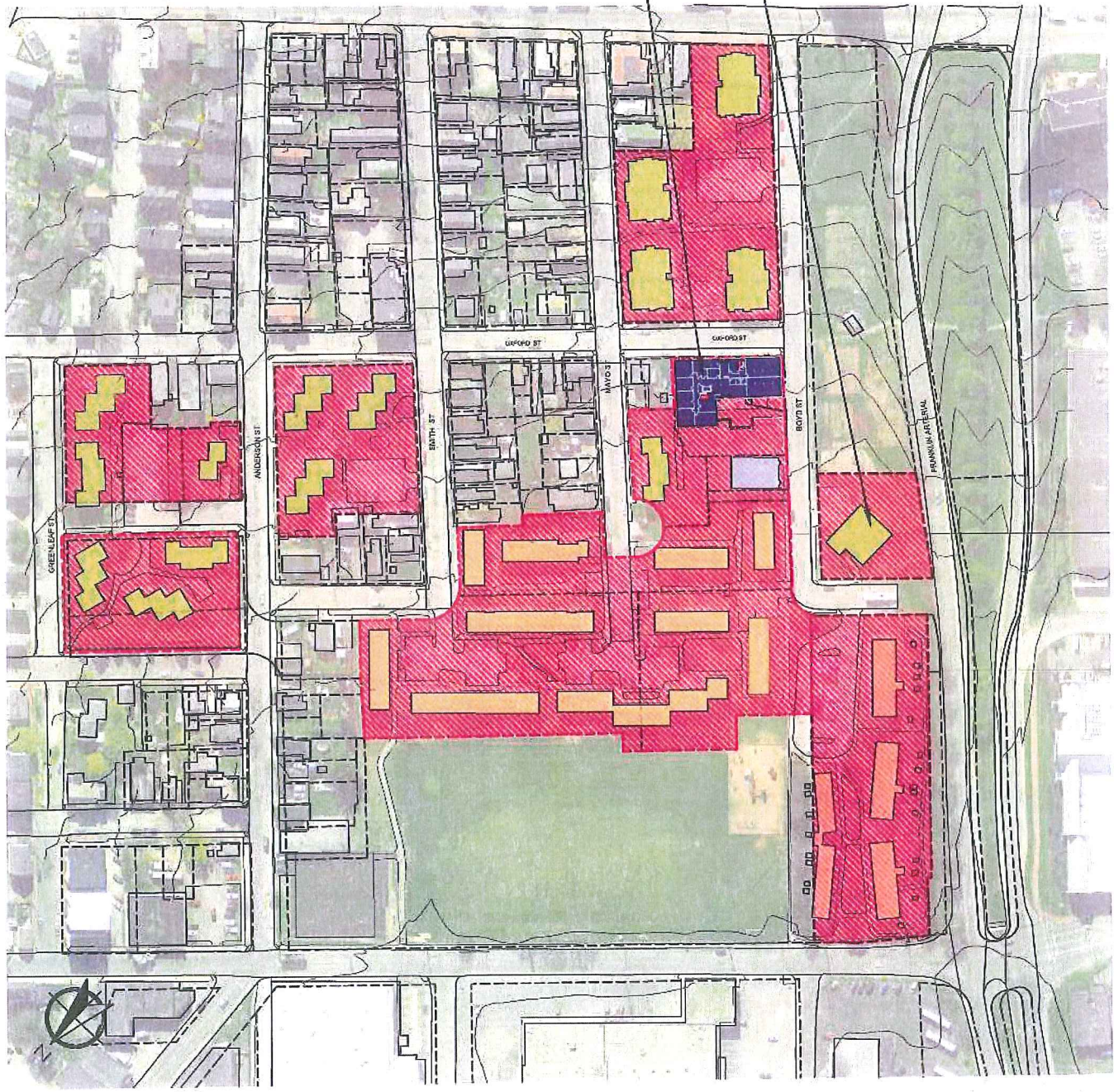
COMMUNITY CENTER

FRANKLIN ARTERIAL

M.I

LEGEND	
	KENNEDY PARK
	BAYSIDE TERRACE
	BAYSIDE EAST
	BAYSIDE ANCHOR
	PHA/ PHDC OWNED
	PROPOSED R7

DATA SOURCE:
 - CITY OF PORTLAND GIS DATA
 - MAINE GEO-LIBRARY 2FT 2012 ORTHO-IMAGERY



EAST BAYSIDE R7
PROPOSED ZONE MAP CHANGE
 OXFORD STREET, PORTLAND MAINE

OPTION 2

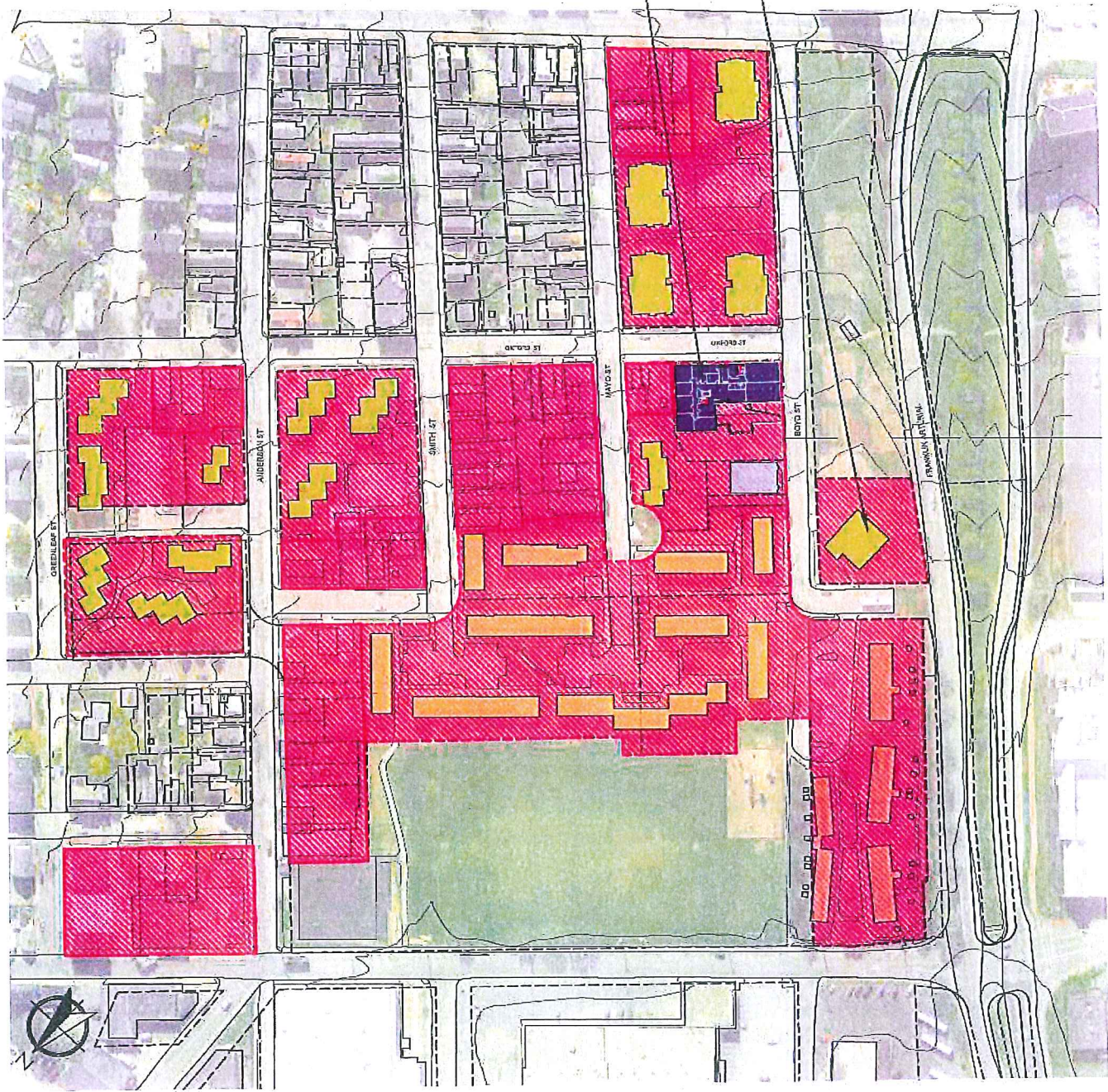
DATE: APRIL 2014 BY: CARROLL ASSOCIATES

0' 200' 400'

A.H.M

LEGEND	
	KENNEDY PARK
	BAYSIDE TERRACE
	BAYSIDE EAST
	BAYSIDE ANCHOR
	PHA/PHDC OWNED
	PROPOSED R7

DATA SOURCE:
 - CITY OF PORTLAND GIS DATA
 - MAINE GEO-LIBRARY 2FT 2012 ORTHO-IMAGERY




PROPOSED BAYSIDE ANCHOR

COMMUNITY CENTER

EAST BAYSIDE R7
PROPOSED ZONE MAP CHANGE
 OXFORD STREET, PORTLAND MAINE

OPTION 1

DATE: APRIL 2014 BY: CARROLL ASSOCIATES



Kevin Donoghue: Framed as unaffordable city or concern about building envelope and protection of setbacks and sky exposure. E. Bayside has more sky than Munjoy Hill. Answers don't fit R-6/R-7 box. People do not like zero setbacks next door. How to protect open spaces and allow affordable housing.

Chris Teret: What is the process going forward where this decision will be made?

Jeff Levine response: Planning board will have another workshop or two then have a public hearing and recommendation to the City Council. Final decision rests with the City Council.

_____ : Portland Housing Authority was the catalyst for this, then Planning Board was inspired to look at R-7 in larger area.

Brendan O'Neil: Clarified his question on what prompted the Board?

Ben Chipman (5 Mayo Street): What is R-6 density? Lots of 2-3 unit buildings. Could not rebuild if they were torn down.

Kevin Donoghue: Which aspects of the R-7 does Portland Housing Authority need?

Jesse Thompson: R-6 goes back many decades and does not allow much to be built, especially buildings that fit the older pattern of development. Especially need lower front yard to meet the street. Side yards get larger with height. Side yard needed relief. Height not so much. Area per dwelling unit is critical. 435 is more workable than 1,000. Minimum lot size 4,500 is rare but we meet that. In summary, Bayside anchor needs changes to area per dwelling unit and setbacks. (Front and sides in our care). R-6 zone can't make a good city building. Did not want or need 100% lot coverage.

_____ : Why not rezone the entire peninsula?

_____ : How many units are allowed in the R-6 versus R-7?

Jeff Levine response: For a 5,000 sq. ft. lot, 5 units, or 10-11 units in R-7.

_____ : If inclusionary zoning goes forward, how many units would be affordable?

Jeff Levine response: Range from 1 in 6 to 1 in 12 or negotiable. Likely 1 in 10 units but still under development.

Keri Lord: The impetus for this is Portland Housing Authority, this is too broad. Parts should stay R-6, some to R-7. Would not want that Portland Housing Authority building next to her house. Need to re-think the peninsula and living on peninsula. Lots of 3 unit buildings in the neighborhood. What is wrong with that for East Bayside? Do we want tall new buildings? All

Evan Carroll (5 Everett Street): Echoed Chris and Kevin's comments Likes more units in neighborhood and dense zoning. Would like to see R-7 for entire East Bayside, good idea by Planning Board and Department to look at that. How is affordability to be assured?

Keri Lord: Concerns about affordability of all new development in Portland, and size of some units. How can we regulate unit sizes? People with larger families, especially immigrants families, should not be pushed off peninsula. Lives in Parkside – Who is building 3 bedroom apartments? Parkside used to be more stable, people would stay longer. Now more transient, less stable. We need ample places for families to live – 2 babies now on Deering Street. Need affordable family size units.

Kathleen McKeon: Lives across from Hammond Street's 2 new tri-plexes. More attention to environmental conditions, especially after clear cut Jack path site.

Cynthia Cochran: RE: Hammond Street - you say those R-7's fit the neighborhood on Hammond Street and other locations where R-7 would not fit. These are established neighborhoods.

Byron Davis (Anderson/Madison Street): if R-7 is proposed in your neighborhood, would you have standing to object to proposed building next door?

Jeff Levine response: Site plan and design standards would apply.

Rebecca Leeman: Fox Street house has no setbacks or yard. I do not want that new development 5 feet from my house. Can't hang out in the yard. Parking requirements – Planning Board always gives waivers for parking.

Ellen Barley (Hammond Street): Has traffic concerns. This is not the 1950's. It is a different world. Corner of Fox and Washington is already dangerous. Already too congested and dangerous. More density will bring more traffic and more accidents, more dangerous conditions. Especially bad in the winter.

Megan Garay (Cleeve Street): Has a yard and driveway. She would not want to see more buildings with less space. The neighborhood needs setbacks. In winter conditions, no one shovels sidewalks. R-7 with minimum yards and frontage is not good.

Brendan O'Neil (Walnut Street): Does the Planning Department have data on parking utilization on the street? Also, projects that have not gone forward due to zoning that would go forward with R-7?

Jeff Levine response: We are getting parking data from Portland Housing Authority. Not aware of projects that have not gone forward. Usually developers move on when zoning won't work for them. No data on lost opportunities.

March 31, 2014
East Bayside Neighborhood Meeting

Kevin Donoghue: Introduction

Jeff Levine: Opening remarks to set context (Power Point Presentation)
Several Areas on the peninsula under consideration for R-7. Parkside, Parts of Libby town and East Bayside. We are also looking at zoning text in R-6 and R-7. Presented Housing Policy issues, including the housing affordability gap.

Rick Knowland: Presented the map of area under consideration for rezone from R-6 to R-7, and presented the differences between R-6 and R-7 and street view images of existing R-7 projects in the neighborhood.

Michelle Castner (Anderson Street): Asked about the auto repair garage site – If rezoned would garage be allowed?

Rick Knowland response: It is and would still be grandfathered.

Kevin Donoghue: Does housing stock resemble more of R-6 or R-7?

Rick Knowland response: Setbacks are R-7, height and density is R-6.

Judy Ridge (Washington Avenue): Lots of area was (used to be) industrial zone. Are they grandfathered?

Jeff Levine response: Most are grandfathered.

Ken Lord (Deering Street): Why 5' difference? How is height measured?

Rick Knowland response: Explained height measurement.

Chris Teret (Anderson Street): How would change to R-7 lead to more affordable housing? Concerned that the neighborhood will lose its affordable housing. New housing won't necessarily be affordable. Portland Housing is affordable; we don't want to lose existing affordable housing.

Jeff Levine response: New supply will offset demand even though new housing will charge what it can. The City is also looking ahead to consider zoning provisions to proceed but much housing is very expensive, driving market rate development. Most existing houses are much lower than 45 or 50 feet. The issue is how to encourage affordable housing types, but not producing just high end units.

AH.L
Att. G-1

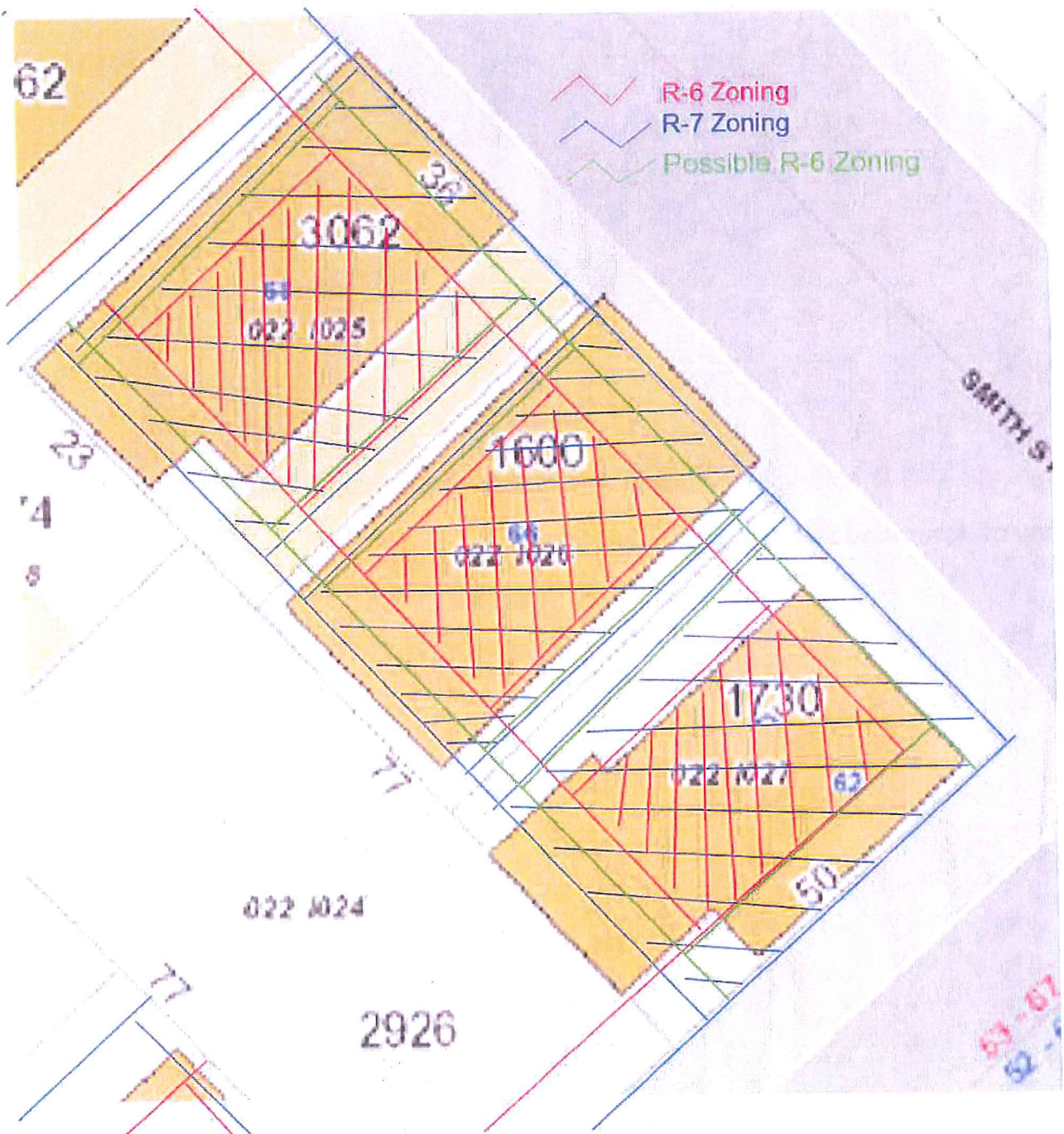
R6/R7 Neighborhood Meeting Notes
PHA Community Room 6:00 – 7:30 PM

Attendance Sheet

Alex Jaegerman	Portland Planning Department
Kevin Donoghue	City Councilor
Patrick Carroll	Carroll Associates
Mark Aldelson	Portland Housing Authority
Brooks More	Avesta Housing
Jesse Thompson	Kaplan Thompson Architects
Morgan Law	Kaplan Thompson Architects
Hope Chrupcala	86 Anderson Street
Michele Castner	86 Anderson Street
Cynthia Cochran	17 Hammond Street
Ellen Bailey	17 Hammond Street
Rebecca Leeman	23 Fox Street
Wendy West	23 Fox Street
Byron Davis	77 Anderson Street
Chris Teret	77 Anderson Street
Kathleen McKeon	53 Hammond Street
Megan Garauy	24 Cleeve Street
Erin Kelly	24 Cleeve Street
Chelsea Valentine	24 Cleeve Street
Even Carroll	5 Everett Street
Sasha Salzberg	5 Everett Street
Judith Ridge	190 Washington Avenue
Brendon O'Neil	105 Walnut Street
Jeff Levine	Portland Planning Board
Ben Chipman	5 Mayo Street

Att. K

Comparison of Three Parcels in East Bayside Existing Buildings and "Zoning Envelopes" R-6 Zoning, R-7 Zoning and Proposed R-6 Zoning Changes



2-8



View of Hammond Street toward Gould Street

J-7



View of Madison Street toward Washington Avenue

J-6



View of Fox Street looking toward Washington Avenue



View of Fox Street toward Washington Avenue

J-5



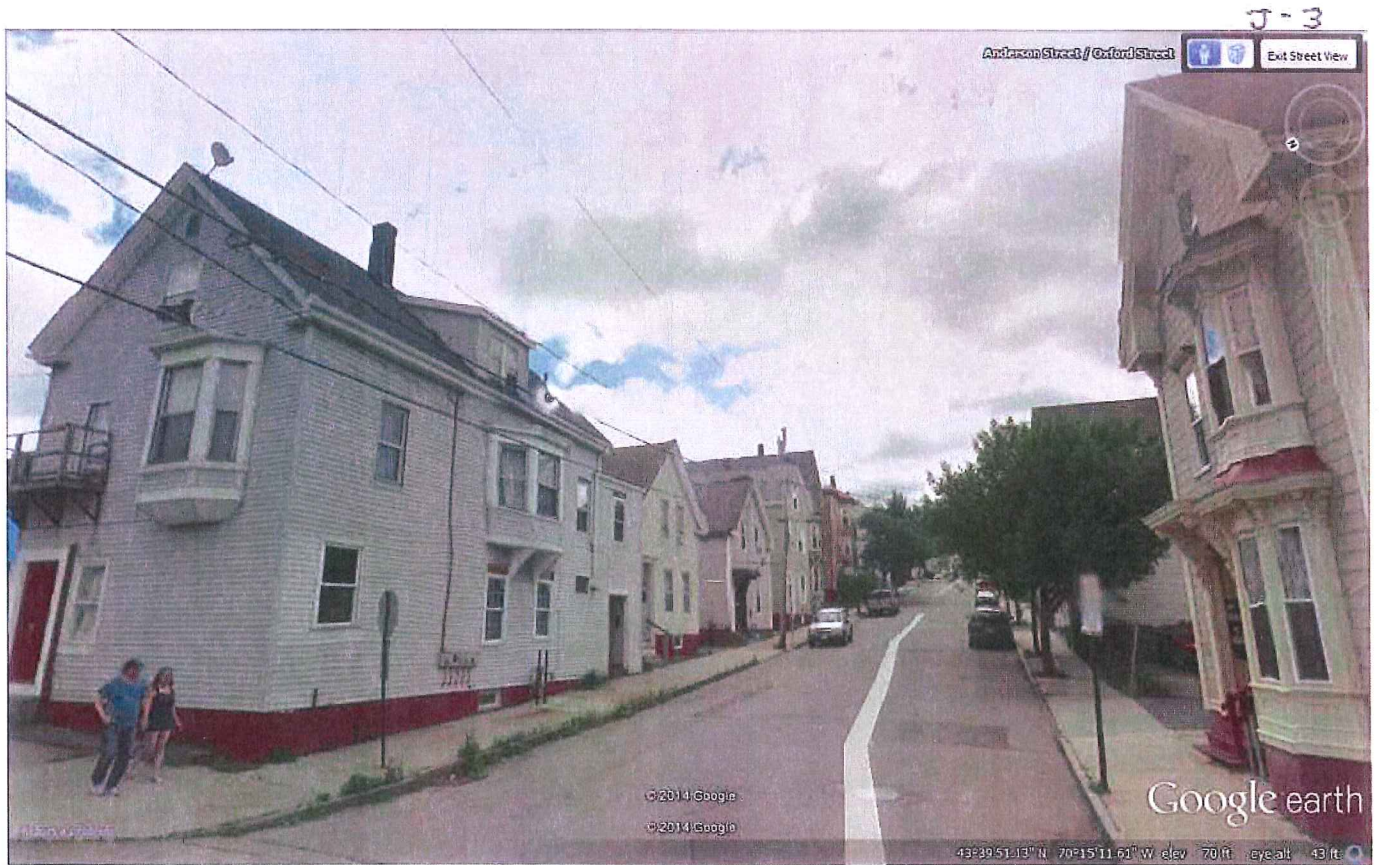
View of Greenleaf Street from Fox Street



J-4



View of Cleeve Street at Cumberland Avenue toward Oxford Street



View of Anderson Street at Oxford Street (looking toward Cumberland Avenue)



Anderson Street View at Cumberland Avenue looking toward Oxford Street
Site of existing R-7 zone

J-2



View of Smith Street from Cumberland Avenue



View of Smith Street from Cumberland Avenue

ATT J-1



View of Mayo Street toward Cumberland Avenue



View of Mayo Street toward Cumberland Avenue



A#1

Three G Auto Repair Site Fox-Anderson-Everett

FOX-GREENLEAF-WINTHROP-EVERETT BLOCK #17

Address	CBL	Lot Area in Sq. Ft.	Housing Units
32 Fox St.	12-J-4-5	4,095	1
34-36 Fox St.	12-J-3	3,288	4
38 Fox St.	12-J-2	1,588	1
40 Fox St. (49-53 Greenleaf St.)	12-J-1	1,174	1
15 Everett St. (43-47 Greenleaf St.)	12-J-7	2,400	1
13 Everett St.	12-J-8	2,400	1
9-11 Everett St.	12-J-9	2,400	1
5 Everett St.	12-J-11	3,120	1
22 Winthrop St.	12-J-12	2,440	1
26-28 Winthrop St. (26 Fox St.)	12-J-6	2,080	1

MADISON-GREENLEAF-EVERETT-WINTHROP BLOCK #15

Address	CBL	Lot Area in Sq. Ft.	Housing Units
13 Madison St.	12-M-10	2,409	1
15-17 Madison St.	12-M-9	2,400	1
19 Madison St.	12-M-8	2,395	1
21 Madison St.	12-M-7	3,120	1
23-25 Madison St.	12-M-6	2,725	1
31 Greenleaf St. (27 Madison St.)	12-M-5	2,865	2
37-41 Greenleaf St. (12-16 Everett St.)	12-M-10	6,370	7
8-10 Everett St.	12-M-2	3,200	1
12 Winthrop St. (2-6 Everett St.)	12-M-3	3,200	1
8-10 Winthrop St.	12-M-4	3,200	Vacant

FOX-WINTHROP-MADISON BLOCK #16

Address	CBL	Lot Area in Sq. Ft.	Housing Units
18 Fox St.	12-K-21	1,331	1
14-16 Fox St.	12-K-2	1,998	1
10-12 Fox St.	12-K-3	3,446	1
20-22 Fox St. (23-27 Winthrop St.)	12-K-1	2,795	Vacant
19 Winthrop St.	12-K-7	3,196	1
13-15 Winthrop St.	12-K-12-14	6,348	1
11 Winthrop St.	12-K-23	1,400	Vacant
9 Winthrop St.	12-K-16	2,245	1
7 Winthrop St.	12-K-17	2,201	Vacant
5 Winthrop St.	12-K-19	1,932	1

4.8

GREENLEAF-MONROE-MADISON BLOCK #13

Address	CBL	Lot Area in Sq. Ft.	Housing Units
12-14 Madison St.	12-O-5	3,200	1
16 Madison St.	12-O-4	3,120	1
18 Madison St.	12-O-3	2,480	2
22 Madison St.	12-O-2	2,480	4
25-27 Greenleaf St. (24-26 Madison St.)	12-O-1	2,960	3
23 Greenleaf St.	12-O-11	1,800	2
21 Greenleaf St. (17-21 Greenleaf/17-21 Monroe Sts.)	13-A-1-2	5,644	1
13 Monroe St.	13-A-4	2,400	1
15 Monroe St.	13-A-3	2,400	Vacant

ANDERSON-MADISON-GREENLEAF-EVERETT BLOCK #14

Address	CBL	Lot Area in Sq. Ft.	Housing Units
26 Everett St.	12-L-3	4,800	Garage
30 Everett St.	12-L-2	2,384	1
40 Greenleaf St. (20-24 Everett St.)	12-L-4-5	3,710	3
34 Greenleaf St.	12-L-11	1,120	1
32 Greenleaf St.	12-L-12	1,120	1
37 Madison St.	12-L-10	2,400	1
39 Madison St.	12-L-9	2,400	Vacant
41 Madison St.	12-L-8	2,400	Vacant
43-45 Madison St.	12-L-13	1,800	1
71-73 Anderson St. (47 Madison St.)	12-L-12	1,424	1
77 Anderson St.	12-L-7	3,200	1
79 Anderson St.	12-L-6	3,224	1
83 Anderson St.	12-L-1	3,200	2

H. J.

OXFORD-CLEEVE BLOCK #11

Address	CBL	Lot Area in Sq. Ft.	Housing Units
15 Cleeve St.	13-E-17	3,039	1
17-19, 21 Cleeve St.	13-E-21	1,105	1
23 Cleeve St.	13-E-14	1,454	1
23-25 Cleeve St.	13-E-9	1,013	Vacant
25-31 Cleeve St.	13-E-1-8	6,996	3
18 Oxford St.	13-E-2	1,618	1

OXFORD-GREENLEAF-MONROE BLOCK #12

Address	CBL	Lot Area in Sq. Ft.	Housing Units
6-10 Monroe St.	13-C-4	2,523	2
12-14 Monroe St.	13-C-2	5,102	3
9-11 Greenleaf St.	13-C-15	3,258	3
15 Greenleaf St. (16-20 Monroe St.)	13-C-15	3,280	3
1-7 Greenleaf St. (13-15 Oxford St.)	13-C-8	4,113	1
5-7 Oxford St.	13-C-10	4,800	2
9-11 Oxford St.	13-C-9	5,161	1

H.6
Page 7

CUMBERLAND-OXFORD-ANDERSON-CLEEVE'S BLOCK #10

Address	CBL	Lot Area in Sq. Ft.	Housing Units
119-121 Cumberland Ave. (2-6 Cleeve St.)	13-D-17	1,896	3
123 Cumberland Ave.	13-D-16	5,057	3
127 Cumberland Ave.	13-D-15	2,312	4
5 Anderson St.	13-D-14	1,512	Vacant
7-9 Anderson St.	13-D-13	2,075	3
11 Anderson St.	13-D-12	1,525	3
13-15 Anderson St.	13-D-10	1,025	3
17-19 Anderson St.	13-D-8	3,157	3
23 Anderson St.	13-D-6	2,450	2
25 Anderson St.	13-D-5	2,457	1
27 Anderson St.	13-D-3	2,531	1
34 Oxford St.	13-D-1	3,548	4
29-31 Anderson St.	13-D-18	5,833	1
8-10 Cleeve St.	13-D-11	3,288	3
12-16 Cleeve St.	13-D-9	3,540	3
18-20 Cleeve St.	13-D-7	3,554	3
22-24 Cleeve St.	13-D-4	2,252	Vacant
26-28 Cleeve St.			

4.5

CUMBERLAND-OXFORD-SMITH-ANDERSON BLOCK #9

Address	CBL	Lot Area in Sq. Ft.	Housing Units
145-147 Cumberland Ave. (27-31 Smith St.)	22-L-17	3,180	4
141-143 Cumberland Ave.	22-L-18	2,790	3
139 Cumberland Ave. (2-6 S. Anderson St.)	22-L-19-20-21	4,870	4
8 Anderson St.	22-L-24	2,712	1
10-12 Anderson St.	22-L-15	2,995	1
14 Anderson St.	22-L-13	3,272	3
16-18 Anderson St.	22-L-12	3,635	3
20-22 Anderson St.	22-L-8-9	4,447	1
24-26 Anderson St.	22-L-7-25	3,676	3
28-32 Anderson St. (36-42 Oxford St.) Condo #1	22-L-4-22-23	0	1
28-32 Anderson St. (36-42 Oxford St.) Condo #2	22-L-4-22-23	0	1
28-32 Anderson St. (36-42 Oxford St.) Condo #3	22-L-4-22-23	0	1
33 Smith St.	22-L-16	4,000	3
35-37 Smith St.	22-L-14	5,643	4
39-41 Smith St.	22-L-11	4,900	2
43-45 Smith St.	22-L-10	5,000	2
47-55 Smith St. (48-50 Oxford St.)	22-L-1-2-3-6-26-27	14,600	20

H.4

FOX-ANDERSON-EVERETT-GREENLEAF #7

Address	CBL	Lot Area in Sq. Ft.	Housing Units
89-99 Anderson St. (Everett and Fox Sts.)	12-I-1	20,440	Commercial
29 Everett St.	12-K-5	2,920	Commercial
42-52 Greenleaf St.	12-I-2	11,592	15

CUMBERLAND-OXFORD-MAYO-SMITH BLOCK #8

Address	CBL	Lot Area in Sq. Ft.	Housing Units
5 Mayo St.	22-J-23	2,283	3
9 Mayo St.	22-J-19	2,390	2
11 Mayo St.	22-J-16	3,300	2
13 Mayo St.	22-J-12-15 (Unit 1)	9,460	1
13 Mayo St.	22-J-12-15 (Unit 2)	0	1
15 Mayo St.	22-J-12-15 (Unit 3)	0	1
21 Mayo St.	22-J-11	3,955	1
23 Mayo St.	22-J-8-0	4,286	1
66 Oxford St. (27-79 Mayo St.)	22-J-1-2-4-33 (Unit 1)	7,181	1
68 Oxford St. (27-79 Mayo St.)	22-J-1-24-33 (Unit 2)	0	1
52-58 Oxford St. (56-58 Smith St.)	22-J-5-6	5,743	1
48-52 Smith St.	22-J-7-10	5,419	2
44-46 Smith St.	22-J-13	3,182	2
42 Smith St.	22-J-14	3,495	2
38 Smith St.	22-J-18	3,002	2
36 Smith St.	22-J-21	3,002	3
32-34 Smith St.	22-J-20-22	4,156	1
149 Cumberland Ave. (Corner of Mayo St.)	22-J-29	1,700	4
151 Cumberland Ave.	22-J-28	2,156	3
155 Cumberland Ave.	22-J-26	3,569	3
151 Cumberland Ave.	22-J-28	2,156	3
153-155 Cumberland Ave.	22-J-27	3,283	Vacant

H.3

Address	CBL	Lot Area in Sq. Ft.	Housing Units
31 Oxford St.	13-B-8	3,200	3
27 Oxford St.	13-B-7	3,200	3
35 Oxford St. (37-41 Anderson St.)	13-B-6-13	2,895	3

OXFORD-ANDERSON-GREENLEAF-MONROE BLOCK #5 (Adjacent to PHA)

Address	CBL	Lot Area in Sq. Ft.	Housing Units
74-76 Anderson St.	23-B-13-33	4,800	1
78 Anderson St.	23-B-11	1,500	Vacant
80-82 Anderson St.	23-B-7-9	5,700	2
86 Anderson St.	23-B-3	5,550	1
90 Anderson St.	23-B-32	6,080	City Building
1-7 Lancaster St./Anderson St.	23-B-21	8,400	1

ANDERSON-LANCASTER BY SOCCER FIELD BLOCK #6 (Adjacent to PHA)

H.2

OXFORD-MAYO-SMITH BLOCK #3 (Adjacent to PHA)

Address	CBL	Lot Area in Sq. Ft.	Housing Units
35-39 Mayo St. (65-67 E. Oxford St.)	22-I-19	2,600	3
41 Mayo St.	22-I-18	2,470	2
43 Mayo St.	22-I-14	2,692	Vacant
45 Mayo St.	22-I-13	2,886	Garage
49 Mayo St.	22-I-10	3,960	3
78 Smith St.	22-I-11	2,700	a
76 Smith St.	22-I-12	2,288	2
74 Smith St.	22-I-16	2,640	a
70 Smith St.	22-I-17	3,062	a
68 Smith St.	22-I-25	1,800	3
66 Smith St.	22-I-26	1,600	3
62 Smith St. (53-55 E. Oxford St.)	22-I-27	1,730	2
57 Oxford St.	22-I-22-24	3,641	Garage
61 R. Oxford St. (east)	22-I-15-28	4,353	Vacant

LANCASTER-SMITH-ANDERSON BLOCK #4 (Adjacent to PHA)

Address	CBL	Lot Area in Sq. Ft.	Housing Units
77 Smith St.	22-K-2	2,448	1
14-16 E. Lancaster St. (79-83 Smith St.)	22-K-20	3,408	1
10 E. Lancaster St.	22-K-3	3,907	2
2 E. Lancaster St./58-60 Anderson St.	22-K-4	5,266 Total for Both	1
6 E. Lancaster St. (58-60 Anderson St.)	22-K-4	0	1
12 E. Lancaster St.	22-K-1	2,192	1

H.I

EAST BAYSIDE NON-PHA PROPERTIES BY BLOCK

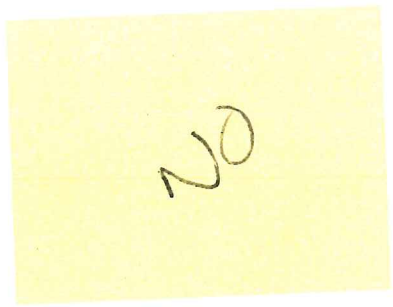
Attachment B

CUMBERLAND-OXFORD-MAYO-BOYD BLOCK #1 (Adjacent to PHA)

Address	CBL	Lot Area in Sq. Ft.	Housing Units
165 Cumberland Ave. (2-6 Mayo St.)	22-H-26	4,200	12 (Ingraham House)
8-10 Mayo St.	22-H-28	1,815	2
12 Mayo St.	22-H-23	3,850	School (Owned by Charity)
171 Cumberland Ave.	22-H-24	3,080	Commercial
169 Cumberland Ave.	22-H-25	3,024	(Ingraham House)

OXFORD-BOYD-MAYO #2 (Adjacent to PHA)

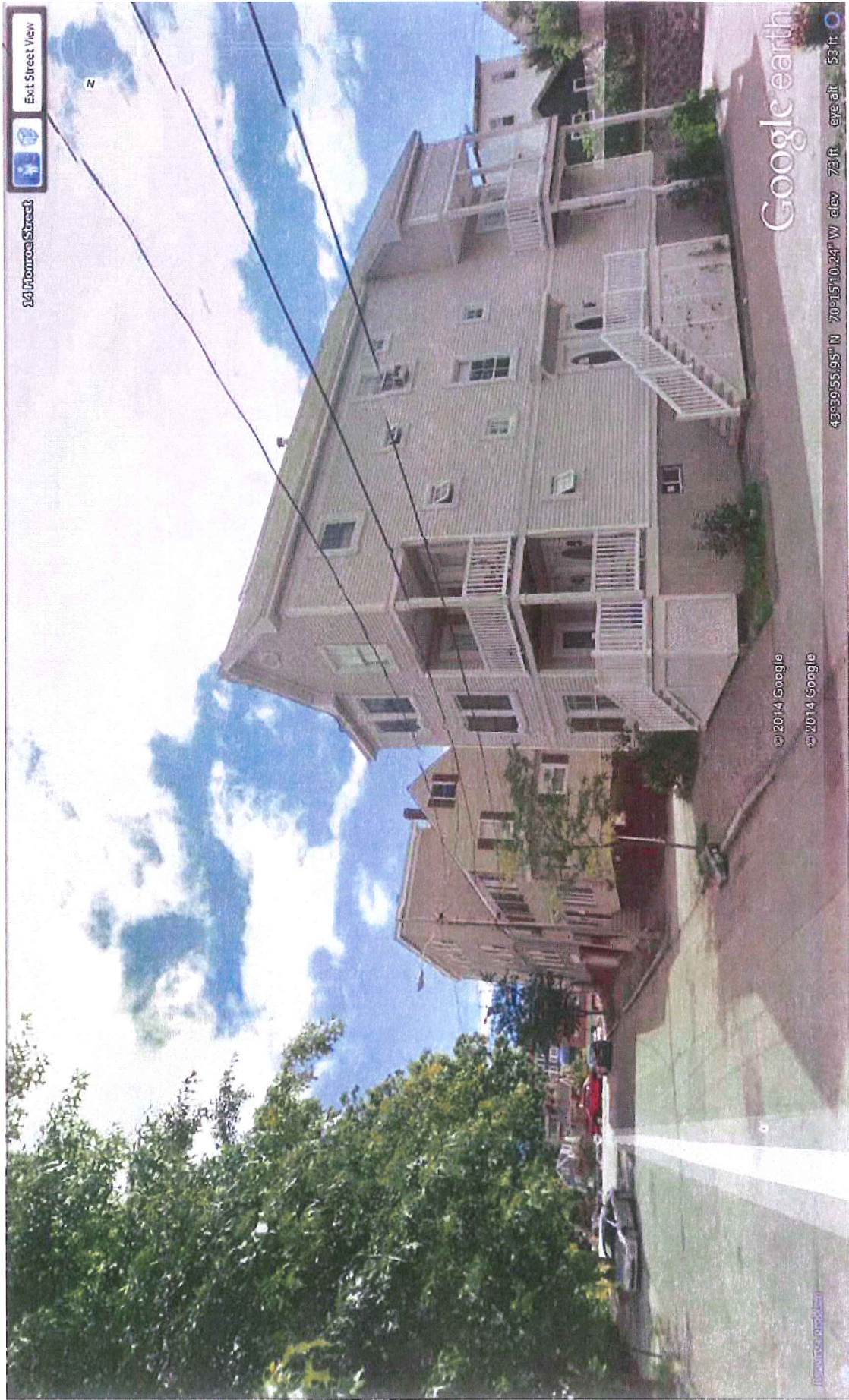
Address	CBL	Lot Area in Sq. Ft.	Housing Units
36-40 Mayo St. (69-73 Oxford St.)	22-I-5, 6	4,340	1





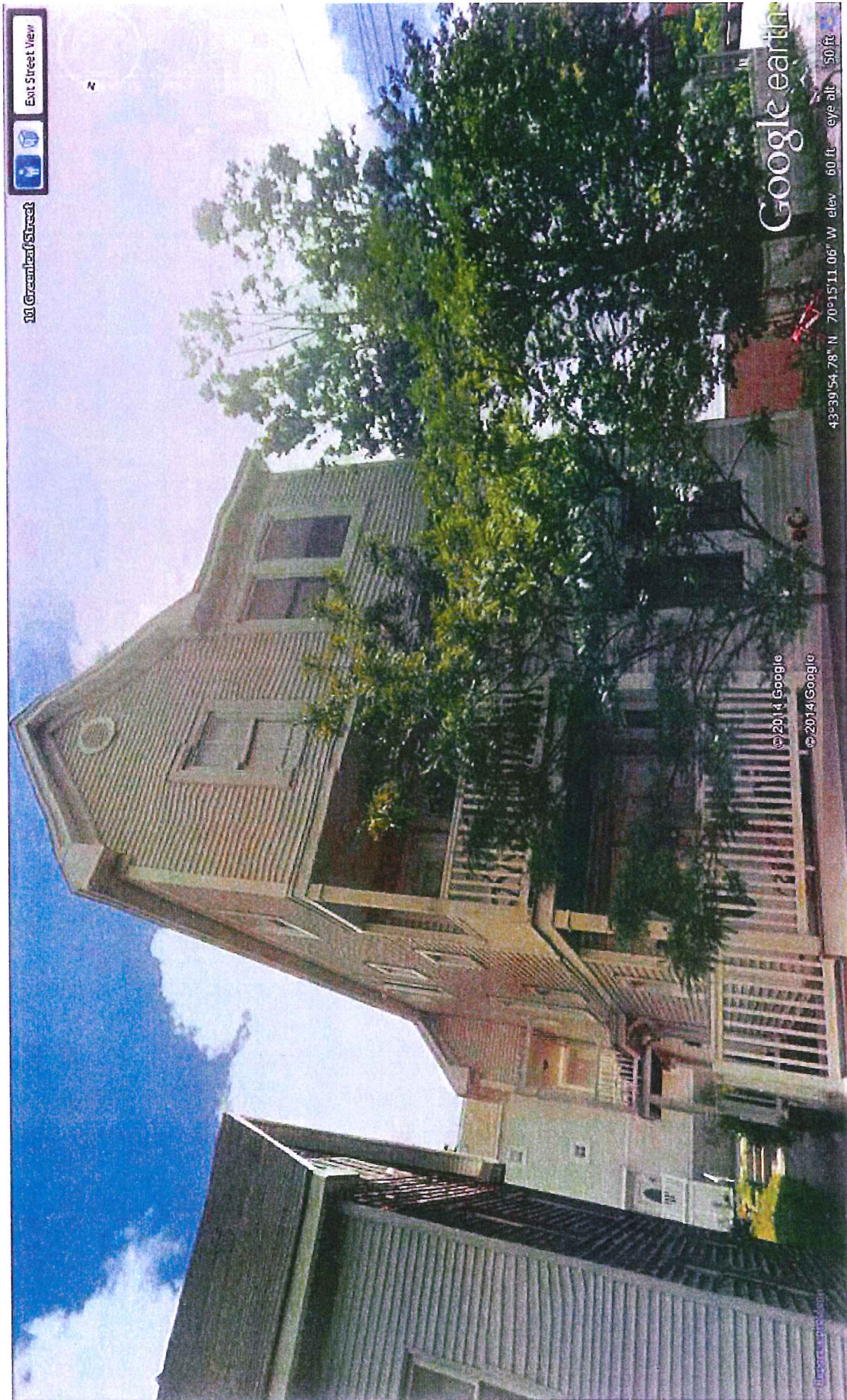
Cumberland and Anderson Existing R-7 Zone

F.4



14 Monroe Street Existing R-7 Zone

F.3



9 Greenleaf Street Existing R-7 Zone

F.2



Smith and Oxford Existing R-7 Zone

F.1



A.H. F

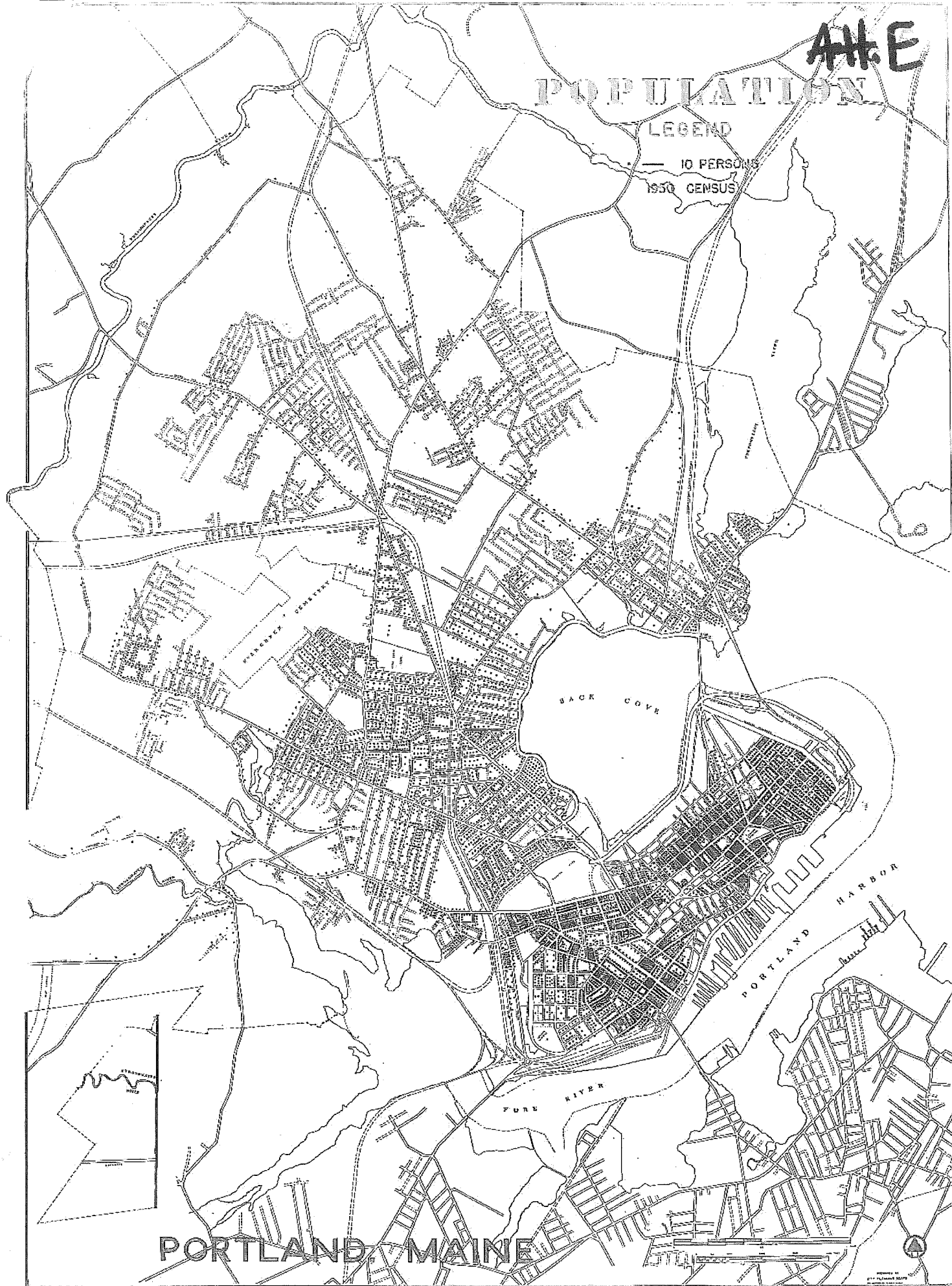
Smith and Oxford Existing R-7 Zone

A.H.E

POPULATION

LEGEND

— 10 PERSONS
1950 CENSUS



PORTLAND, MAINE

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1950

Title: PHA East Bayside Campus
Date: April 2, 2014
Page: 2 of 2

D.3

For the Bayside Anchor project, the PHDC is creating a separate Limited Partnership with Avesta Housing. This partnership was created to maximize the ratings of the development team in its Maine Housing project rating, and also to provide PHA with expertise and training in developing and managing Tax Credit projects. Per the project's Development Services Agreement, Bayside Anchor will be managed by PHA within three (3) years after the completion of construction.

We believe the properties managed and controlled by Portland Housing Authority in East Bayside are considered a campus. They are owned and managed under the umbrella of PHA, which provides a daily presence on the property, PHA provides various services and activities programmed through their offices, and they have a vested interest in the neighborhood. Bayside Anchor is envisioned to be a strong vibrant contributor to that campus and is proposed to house the community services currently located at the East Bayside Community Center.

We are currently looking at using underutilized parking within the PHA East Bayside Campus to help meet the parking demand for the Bayside Anchor project. As mentioned above, we believe it is all currently being managed as a campus and request your review and opinion on whether this is a valid approach. Your ruling on this will affect our approach moving forward. Please review with Counsel if necessary and get back to either Staff or our office. We would like to meet with you to review this in greater detail or answer any questions that you might have, ideally by the end of the week if your schedule permits.

With Regards,
CARROLL ASSOCIATES



Patrick J. Carroll, Principal

CC: Mark Adelson, PHA
Brooks More, Avesta
Rick Knowland, City of Portland



D.2

April 2, 2014

Ms. Marge Schmuckal, Zoning Administrator
City of Portland
389 Congress Street
Portland, ME 04101

RE: East Bayside PHA Campus

Dear Marge,

We have been meeting with City Staff regarding the pending rezone of the East Bayside neighborhood and one question that keeps arising is our interpretation of the PHA properties as a 'campus', controlled and managed under one Ownership. I am hoping this letter will provide some background and clarification from your perspective about whether this is a valid classification of use and ownership.

The overriding mission of the Portland Housing Authority is to *"provide and expand affordable housing and services that improves quality of life, builds community, enhances safety, and promotes personal success in the people they serve and neighborhoods in which they reside"*. PHA is a major contributor to the Portland's housing stock and owns/ manages over 1,100 dwelling units across the city, providing a multitude of affordable housing opportunities for a wide range of families and individuals.

PHA's inventory in the East Bayside neighborhoods of Bayside Terrace, Kennedy Park, and East Bayside were all developed in the 1960's and 1970's, and provide a mix of housing types and arrangements for low income families. These three developments, while separate by name, deed and building style are all owned and managed by Portland Housing Authority, and fall under the same HUD assigned group designation.

The continuous presence of PHA is central to the neighborhood, offering programs such as a Head Start preschool program, after school education and study programs, a community Center with regular tenant events and activities, and a Community Policing Center in addition to managing the housing stock.

In 1983, the Portland Housing Authority created the Portland Housing Development Corporation (PHDC) to act as its development arm in ventures into creating new affordable housing units. While PHDC is a separate legal entity it is a component corporation of the Portland Housing Authority with interlocking boards of directors. The intent is that any new housing developed through the PHDC or its affiliates will be managed through PHA as part of their portfolio. To date they have purchased one property in the East Bayside neighborhood, a 9 unit building at 47-49 Boyd Street, and have a second parcel under contract. This is the parcel of land targeted for development of the Bayside Anchor project at the corner of Boyd and Oxford Streets. These properties are adjacent to PHA property and will continue to be controlled and managed by the Portland Housing Authority as part of their East Bayside portfolio.

Virtually all affordable housing being developed in Maine today utilizes the federal program of Low Income Housing Tax Credits, administered through MaineHousing. The structure of these programs requires separate Limited Partnerships and LLC's for each project. This requirement has led to creation of distinct entities for legal reasons, but the overall control and management still remains with the parent company. A good example of this is Pearl Place, where Avesta Pearl Street One, LP developed Phase One (66 DU) and Avesta Pearl Street Two, LP and Pinecone Housing Corporation, GP developed Phase Two (54 DU). Both projects are managed under the umbrella of Avesta Housing. It is noted here that the parking for Phase One and Phase Two is shared with mutual easements and use agreements across both properties.

D.1

Rick Knowland - PHA Campus in East Bayside

From: "Patrick Carroll" <pcarroll@carroll-assoc.com>
To: RWK@portlandmaine.gov; JLT@portlandmaine.gov; MES@portlandmaine.gov
Date: 4/2/2014 3:40 PM
Subject: PHA Campus in East Bayside
CC: bmore@avestahousing.org; madelson@porthouse.org
Attachments: Marge Schmuckal Letter April 2 final.pdf

Hi Marge,

As indicated in the attached letter, we are working with the Planning Staff on several issues relating to the Bayside Anchor project, and one that has surfaced several times relates to how the Portland Housing Authority projects in the East Bayside neighborhood are owned and managed. This neighborhood contains a significant amount of underutilized parking and PHA is proposing to manage the parking such that Bayside Anchor could utilize some of the excess parking to meet their parking demand. This is a critical component to the Bayside Anchor project as it uses available parking rather than constructing new spaces in the neighborhood, keeping site costs down, minimizes impervious cover, and makes the project affordable. We believe the entire PHA neighborhood should be considered a campus, similar to USM or Maine Medical Center, and PHA is prepared to develop a Parking Management Plan for all of their East Bayside properties that regulates and manages their parking to insure that all tenant parking needs are being met. A key zoning issue relates to interpretation of "Ownership", and so we have prepared the attached letter that attempts to clarify how the PHA properties are owned and managed.

This issue is important now, as the PHA and City are looking at a rezone from R6 to R7, and if necessary there might need to be a text change to make this work for Bayside Anchor. We are hopeful, however, that you will concur that the PHA East Bayside neighborhood, including the Bayside Anchor site, can be considered a campus for the purposes of sharing and managing the parking demand.

We would like to schedule a meeting with you, Jen, and Planning Staff to review this issue, ideally this week before the Planning Board workshop which is scheduled for April 8.

Please let me know if you have any questions or need additional information. I believe Rick Knowland has exhibits and maps of the East Bayside neighborhood describing the areas and parking demands, I am glad to also send them to you and Jen if desired.

Regards, Pat

Patrick J. Carroll
Carroll Associates Landscape Architects
207-772-1552 (w)
207-329-8976 (c)
pcarroll@carroll-assoc.com

 Please consider the environment before printing this email.

Rick Knowland - Planning on Commercial Street

From: "Eli Dale" <elidale@maine.rr.com>
To: <rwk@portlandmaine.gov>
Date: 5/12/2014 10:57 AM
Subject: Planning on Commercial Street

Dear Richard Knowland,

Unfortunately, my husband and I are always out of town when there is a public meeting about Commercial Street, so please accept these comments via e-mail.

I quickly paged through a document relating to a workshop on this area, and while I see maps with lots of areas shaded out for commercial enterprises, I don't see any territory designated as a public shore-side park. Did I miss something?

We are all in favor of a working waterfront. We're very excited that Phineas Sprague decided to move his boat yard to our end of town. We even like to see shipping containers on the waterfront, as they are evidence of the health of marine-related industry. Portland doesn't have enough industry, so these developments are all good.

However, where is the plan for **people**? We'd love to launch our canoe or our sailboat at the shoreline we can see from our dining room. We'd love to see some green space among all this industry. Balance, balance, balance.

Perhaps you can send me a link to the Master Plan for the peninsula so we can see the overall vision.

Sincerely,
Elizabeth (Eli) Dale
40 Salem Street, Portland, ME 04102
774-1203



A.H.C

Attachment E is a map showing the density of people living in the City in 1950. The map indicates most Portland residents lived on the peninsula with a comparatively small number of people off-peninsula. This contrasts with present day where North Deering has the largest population of any neighborhood and 64 percent of the city's residents live off-peninsula. (1990 Census).

Census Bureau data indicates that Portland's population reached its peak in 1950 with 77,634 people. Over a period of time population declined as growth in suburban areas drew people outside the City.

As previously indicated the R-7 provides more flexibility than the R-6 zone to address the opportunities of infill development including a higher residential density. A discussion on the context of density and neighborhoods is appropriate particularly since peninsula neighborhoods have far fewer people today than in the past.

Residential Density

**All other uses in the R-7 Zone shall observe the requirements of the R-6 Zone (Sec.14-142 (a)6e)*

A chart comparing the R-6 with the R-7 is shown below. Generally the R-7 has more flexible dimensional requirements than the R-6 zone including density, minimum lot size, setbacks and height.

RESIDENTIAL*	R-6	R-7
Min. Lot Size	4,500 sf	None
Min. Street Frontage	40 feet	None
Min. Front Yard	10 feet	None
Min. Rear Yard	20 feet	5 feet
Side Yard	10 feet – 1 to 3 stories 12 feet – 4 stories 15 feet – 5 stories Side street: 10 feet	5 feet Side street: None
Structure Height	45 feet	50 feet
Max. Lot Coverage	40% for lots which contain 20 or more dwelling units 50% for lots which contain less than 20 units	100%
Min. area per dwelling unit	600 sf additional units 1,000 sf gross area 1,200 sf for each unit after first 3	435 sf gross area 400 sf habitable floor area
Open space ratio	20%	n/a
Parking	Off-street parking is required	Off-street parking is required

The R-7 is a valuable tool to enhance infill development in a neighborhood. The present layout and pattern of residential development in many R-6 neighborhoods could not be replicated under the present R-6 zoning text. In many cases existing buildings constructed at the turn of the century (well before zoning) could not meet present day R-6 requirements such as

Since the enactment of the R-7 zoning text in 1999 a number of R-7 map changes have been implemented on the peninsula. These rezonings and the subsequent housing developments provide a track record of how this zoning concept has worked. Generally these developments have been well received, contribute towards neighborhood revitalization, and blend in well with their surroundings.

V. IMPLEMENTATION OF R-7 ZONE

Clearly the automobile wasn't a factor at the turn of the 20th century but it is today. Automobile parking takes up space on a property occupying about 162 square feet of land area for a standard parking space and up to 270 square feet in a formal parking lot with circulation factored in. Depending on the size of the site and number of units proposed, the amount of residual lot area available to accommodate parking may be limited. But there are other considerations. In an in-town location not everyone needs a car since public transportation is available and jobs, shopping and services are often within walking distance. The Planning Board is able to modify the normal one space per dwelling requirement in which parking demand is reduced through travel demand management programs, shared-use vehicles and other measures.

A review of the twelve R-7 rezonings listed in this report indicates only a couple projects that reached the maximum R-7 residential density and those required a conditional rezoning. R-7 zoning allows flexibility in building placement (more than the R-6) which may be more critical to developers than maximizing density to the R-7 limits. The R-7 does allow more density but there are other zoning provisions such as height, parking and setbacks that pose practical limits on density.

The latest Census count indicates Portland's population stands at 66,194 people (a 3 percent increase from 2000 to 2010) which is comparable to the population around World War I. Historically peninsula neighborhoods and housing were built with a higher density of people in mind. In earlier times, family sizes were larger thus there were more people per housing unit than present. Suburbanization and people having fewer children changed that. While the R-7 density is higher than the present R-6 density standard (see above) the fact remains there are now fewer people per unit occupying the City's housing stock. According to the 1950 Census the average Portland household (population per household) had 3.16 persons with several census tracts in Munjoy Hill having 3.43 persons per housing unit. Today the average household size in Portland is 2.07 (2010 Census). As we go back into time this disparity would likely increase. An R-7 designation may not necessarily translate into a significant increase in the total number of people living in a given residential building when compared to an earlier time in the neighborhood's history.

minimum lot size, setbacks, lot coverage and density. It is precisely these building placement traits that contribute toward the physical character of a neighborhood. The R-7 on the other hand is more flexible which means building placement can reflect the traditional development pattern of a neighborhood.

Below is a list of R-7 rezonings. The column "Reason for Zone Change" refers to the reason why the developer sought out the more flexible provisions of the R-7 zone although there may be other considerations such as building placement that are not listed. Note several of these zone changes also included conditional zoning. Three of the R-7 rezonings have taken place in East Bayside including corner of Greenleaf and Monroe; corner of Smith and Oxford; corner of Cumberland and Anderson. The PHA proposal would be the largest R-7 rezoning to date.

Project	Land Area (sq. ft.)	Housing Units	Reason for Zone Change
Unity Village (Berman)	31,000	33	Density, setbacks
Greenleaf and Monroe (PROP)	10,833	9	Side yard and parking
Hanover (PROP)	3,820	3	Side yard and parking
Smith and E. Oxford (AVESTA)	14,790	20	Density
Cumberland/Anderson (PROP)	5,005	4	Parking, setback
Grant and Mellon (PROP)	18,980	16	
Valley and Gilmanon (Shalom)	19,683	24	Density and parking
91 State Street (Butterfield)	8,548	10	Density and min. dwelling size
High on Danforth (CHOM)	7,656	30	Density and parking
66-68 High Street (CHOM)	23,797	38	Density and "lot coverage?"
Federal Street (Gan)	11,528	8	Parking, side yard
53 Danforth Street (Santon)	16,470	43	Side yard, density, height,

VI. EAST BAYSIDE LAND USE CONSIDERATIONS

In assessing the entire East Bayside R-6 neighborhood a number of observations can be made regarding land use, housing, and development patterns.

Overview

The existing East Bayside R-6 is framed by a B-2b zone along Washington Avenue, a B-2b along Congress Street, Franklin Street, an I-Lb zone and B-5 zone between I-295 and the neighborhood as well as an R-OS zone (Fox Field).

The existing R-6 residential zone is almost entirely residential except for the Mayo Street Art facility (12 Mayo Street), City of Portland Recreation Services building (90 Anderson Street), Ingraham Volunteers (165 Cumberland Avenue) and Union Bagel (147 Cumberland Avenue). The Cathedral Church, Portland Adult Education facility (formerly Cathedral School) and Bayside Variety Store (166 Cumberland Avenue) are located between Cumberland Avenue and Congress Street. The Three G auto repair facility is located on the corner of Anderson, Fox and Everett Streets.

Neighborhood park facilities include Peppermint Park (playground), Bayside Playfield (4 acres with Fox Field, a playground and basketball courts) and Boyd Street open space (a 1.5 acre green area with a community garden). A new trail connecting Boyd Street to the Bayside Trail has been partially constructed and will be completed next year. Most residences are within a two or three block walk of open space or park facilities.

Three R-7 zones have been implemented to date in the neighborhood including the corner of Smith and Oxford Streets; corner of Greenleaf and Monroe Streets; and corner of Cumberland and Anderson Streets. See Attachment F for site photos.

East Bayside Lot Data

Attachment G from the March 11th workshop memo includes a map featuring city blocks numbered 1 to 16 for non-PHA parcels. These city block numbers correspond to charts shown on Attachment H (organized by blocks) which provide individual lot information including street address, lot area, land use and number of housing units. This information does include the Hammond Street block and the block between Cumberland Avenue and Congress Street.

A review of this data reveals the prevalent housing type is single, two and three family dwellings with an intermixing of some larger residential buildings. Single family houses constitute in excess of 45 forty percent of the developed housing lots in the neighborhood. Most of the single family houses are located in the blocks bounded by Anderson Street (east side) to Oxford Street, Greenleaf Street, Monroe Street, Madison Street, Winthrop Street and Fox Street (blocks 11 to 17).

The charts indicate there are 8 four unit buildings in the neighborhood. Larger scale multi-family buildings are represented by four other properties having 7 unit, 12 unit, 15 unit and 20 unit blocks between Cumberland and Congress Street.]

Neighborhood lots are generally small. Of the 149 lots (developed and vacant) only 26 exceed the R-6 4,500 sf minimum lot size standard.

Most lots though small do meet the R-6 density standard of 1,000 sf of land area. Only 21 lots are nonconforming in terms of the R-6 residential density standard of 1,000 sf per dwelling unit.

In reviewing maps with building footprints, it appears at least one-half of the lots do not meet one of the R-6 side yard requirements or some other dimensional requirement.

Seventeen lots are listed as vacant or having a garage (with no other use) according to City Assessor records. Presumably these lots could be built on or combined with an adjacent parcel providing additional housing opportunities. The size of these parcels however reflects the general small lot size found in the neighborhood. The largest vacant parcel is only 4,800 sf in size while 13 of the lots are 2,400 sf or larger in size. There are no obvious oversized vacant non-PHA parcels that could serve as sites for larger size housing developments.

Although not a vacant lot, the non-conforming Three G auto repair facility (20,440 sf; corner of Fox and Anderson) is the largest underutilized non-PHA parcel in the neighborhood. See photo of property on Attachment I.

Neighborhood Development Pattern

The PHA campus is an anomaly in East Bayside as it doesn't fit the traditional building orientation, configuration or layout of the neighborhood. When the campus was created the traditional street grid was ignored and buildings were typically placed in a suburban layout pattern.

Ironically the 10.8 acre PHA campus is well under the R-6 density with just one dwelling unit per 2,865 sf of land area. As buildings are replaced over time (Kennedy Park buildings are 40 years old) there is an opportunity for new infill development to be designed inline with the traditional neighborhood. A first step in that direction is the proposed Bayside Anchor development featuring 45 units on 20,147 sf of land (447 sf per dwelling unit) which is close to the R-7 density of 443 sf per dwelling unit. The site of the existing Kennedy Park community center building has been mentioned as a potential opportunity for infill development.

The remainder of East Bayside follows a traditional neighborhood grid pattern. While the ratio of building wall to street lot frontage may not be as high as some blocks on Munjoy Hill, the traditional neighborhood appears still intact except for a few vacant lots. A closer review of Richard's Atlas (1914) reveals a denser neighborhood back then with generally more buildings per block than exist today. See Attachment B. The number varies by block but the Greenleaf-Madison-Winthrop-Everett block (#15) is the only block that appears to have the same number of buildings today as it in 1914. The remainder of the block groups have experienced some reduction in the number of residential buildings over time (exclusive of the losses associated with the PHA blocks) which suggests some opportunities for infill development for new construction in the neighborhood.

Past and present development patterns in East Bayside suggest potential for infill development whether by adding a unit or two to an existing building or newly constructed buildings. Context sensitive architectural designs as exemplified in the three R-7 zoned developments and reinforced by site plan design standards are a significant advancement over suburban designs of the 1960s and 1970s, such as the original PHA buildings.

Attachment G shows the footprint of existing buildings which is helpful in understanding the neighborhood development pattern including the relationship of building mass to available land. To supplement this information we have included street view photos (Google) of individual streets to get a sense of building placement and mass, spatial relationship between buildings, streetscape, and other physical defining elements that may be helpful in the R-6/R-7 rezoning discussion. See Attachment J. As discussed in the previous memo much of Bayside could not

be replicated under the present R-6. In many cases existing buildings constructed at the turn of the century (well before zoning) could not meet present day requirements such as minimum lot size, setbacks, lot coverage and density. This becomes apparent when reviewing the attached material.

The photos attempt to capture typical street level views that may not be apparent from an aerial photo or a building footprint map. These photos include non-PHA street blocks. The initial photos focus on the side streets off Cumberland Ave. including Mayo, Smith, Anderson and Cleaves, to Oxford Street (Block #s 8 to 10). These blocks are generally longer than other East Bay side blocks and help "frame" the neighborhood given their proximity to Cumberland Avenue and Congress Street and the presence of civic and commercial uses associated with these streets. These images are included on Attachments J-1 to J-4.

Views of other streets are provided which hopefully capture a representative profile of the neighboring character.

VII. LAND USE POLICY

As stated the purpose of the R-7 Compact Urban Residential Overlay Zone is:

"To encourage and accommodate compact residential development on appropriate locations on the Portland peninsula, pursuant to the New Vision for Bay side element of the comprehensive plan and housing plans of the City of Portland. Sites suitable for in-city living should be within walking distance of downtown or other work places, shopping and community facilities and have access to public or private off-site parking or transit service. The intent of this zone is to foster increased opportunities for compact in-city living for owners and renters representing a variety of income levels and household types.

Locations for siting the R-7 zone are intended to be located on the peninsula of Portland, in the area encompassed in the Bay side plan, and other peninsula R-6 locations characterized by moderate to high density multi-family housing in a form and density exceeding that allowed in the R-6 zone and where infill development opportunities exist; and areas on the peninsula with mixed business and residential zoning and uses which can accommodate higher density infill residential development without negatively impacting the existing neighborhood or adjacent properties..."

Housing: Sustaining Portland's Future contains several goals which are applicable to this proposed map amendment. Chief among them is Policy #1 *Ensure an Adequate and Diverse Supply of Housing for All* which states:

"Ensure that an adequate supply of housing is available to meet the needs, preferences, and financial capabilities of all Portland households, now and in the future."

Response: The R-7 has more flexible zoning provisions than the R-6 in terms of setbacks, density, lot coverage and other zoning provisions. This can facilitate housing since it removes certain barriers to house construction otherwise associated with the R-6 zone.

Question: What is the link between the R-7 and affordable housing?

Below are responses to some pertinent questions regarding the R-6 to R-7 rezoning proposal.

VIII. COMMONLY ASKED QUESTIONS

- Objective 1.a. Ensure the construction of a diverse mix of housing types that offers a continuum of options across all income levels for both renter and owner-occupied.
- Objective 1.b. A variety of housing choices should be available such that no one should have to spend more than 30% of their income for housing. Encourage and support Portland Housing Authority to become active in development of more housing.
- Objective 1.c: Encourage higher density housing for both rental and home ownership opportunities, particularly located near services, such as schools, businesses, institutions, employers, and public transportation. Encourage higher density multi-family developments and mixed-use projects with housing, along major public transportation routes, near service areas, and in redevelopment or infill areas.
- Objective 1.d: Increase Portland's rental housing stock to maintain a reasonable balance between supply and demand yielding consumer choice, affordable rents, and reasonable return to landlords.
- Objective 1.d.2 Evaluate and update current zoning, as needed, to eliminate barriers to the creation of rental housing
- Policy #5: Portland's Comprehensive Plan encourages a manageable level of growth that will sustain the City as a healthy urban center in which to live and work and to achieve a shared vision for Portland. Portland should encourage sustainable development patterns and opportunities within the City by promoting efficient land use, conservation of natural resources, and easy access to public transportation, services, and public amenities.
- Objective 5.b: Maximize development where public infrastructure and amenities, such as schools, parks, public/alternative transportation, sewer lines, and roads exist or may be expanded at minimal costs.



Of the twelve R-7 zones approved to date, ten of them involved affordable housing developments. Non-profit housing groups have used R-7s to further their development goals.

Building more housing, increases the supply of housing in the community. In the market place, an increase in supply should stabilize or decrease housing costs to consumers. While the "trickle down" theory is an economic argument that supply impacts cost, there is no obligation for a developer (under R-7) to provide affordable housing.

Zoning generally does not regulate housing price or rental rates although a number of communities have used inclusionary zoning to mandate affordable housing as a certain percentage of a development's unit mix. Portland's zoning ordinance provides a bonus density of up to 25% for developers if they provide affordable housing under sec. 14-488. However this bonus density on a R-6 zoned site would still be below the maximum density of the R-7.

Question: For a homeowner and their property what are the practical differences between the R-6 and the R-7?

A chart comparing the R-6 and R-7 was provided earlier in the report but an explanation of the ordinance nonconformity provisions is in order.

Many existing houses in East Bayside do not meet the R-6 setback requirements such as side yards, rear yards or other dimensional requirements. If a house falls in that category, renovations that increase living space are limited. Additions are restricted to modifying the upper floor/attic area of a house while first floor additions are prohibited. Newly created floor area is restricted to the equivalent of not more than 80 percent of the first floor area of the house. So if the house has a first floor area of 1,000 sf, the upper floor/attic addition is limited to 800 sf. If a house does not meet the R-6 land area requirement, the limitation in floor area is restricted further to the equivalent of 50 percent of the first floor area of the house.

In contrast the R-7 has more flexible setback and dimensional requirements thus proposed additions would more likely be allowed and not restricted by the limitations described in the above paragraph. For a homeowner wanting to add an apartment to their building, the R-7 standard (425 sf of land area/dwelling) is more likely to allow it than an R-6 zoned property (1,000 sf of land area/dwelling).

A graphic showing a comparison of three parcels with existing buildings in East Bayside showing "zoning envelopes" for existing R-6 zoning, existing R-7 zoning and proposed changes to the R-6 zoning text. See Attachment K.

Question: Explain the review process that a proposed R-7 housing development would need to go through.

There are a number of requirements a R-7 housing development must address as part of the city review process.

The Planning Board reviews a R-7 development that has three or more units. Planning Board review typically includes site plan and subdivision ordinance reviews which encompass review standards such as drainage, landscaping, fire, utilities, traffic and other impacts. Special design standards (sec. 14-143) were created for the R-7 zone "to achieve an attractive and comfortable city neighborhood environment". Standards require a design approach that provides a "permanent expression of the character of the neighborhood" while providing that the "façade shall be varied and articulated to provide visual interest to pedestrians". If a single family or duplex is proposed under the R-7 zone, it would be reviewed administratively as a level 1 minor residential application.

The Planning Board as a process includes sending notices to area residents to inform them of the submission of the development proposal. A copy of the plans are available in the Planning Office for residents to come in and review. Generally one or more planning board workshops are scheduled to review the project which are open to the public and includes time for public comment. Notices of all workshops and public hearings are sent to area residents. The developer is required to schedule a meeting with the neighborhood as an opportunity for residents to ask questions and provide comments to the developer prior to a public hearing. At the end of the process, a public hearing is scheduled to provide the opportunity for public comment prior to the Planning Board making a decision on a development application.

Question: How do any proposed map amendments from R-6 to R-7 affected by the current discussion of text changes to the R-6 district?

The changes under discussion for the R-6 zone would lower the minimum lot size and relax the setback requirements, among other changes. However, staff analysis of the part of East Bay side closest to the PHA campus (see Attachment K) suggests that the built form in that area would still not be reflected by the R-6 zone, even after such amendments. The proposed changes to the R-6 zone may improve the conformity of many buildings on Munjoy Hill, and even in the eastern portion of East Bay side such as Hammond Street. It would be impossible to develop text changes to the R-6 zoning district that would make all of the existing R-6 districts more conforming without allowing for inappropriate scale of development in some parts of the district.

The R-7 zone has the ability to help property owners in some parts of East Bayside without running into excessive regulations. Under the current R-6 zone, most of these buildings are already nonconforming and therefore their ability to add even a small addition is significantly limited.

IX. NEIGHBORHOOD MEETINGS

The applicant held a neighborhood meeting in East Bayside on February 27, 2014. Information on the meeting is shown on Attachment 10.

Planning Staff held a neighborhood meeting in East Bayside on March 31st to discuss the larger R-6 to R-7 rezoning proposal. Notes from the meeting are shown as Attachment L. The predominant view expressed at the neighborhood meeting was that the R-7 density and lack of setbacks was viewed as incompatible with the existing development pattern in the neighborhood, and several residents expressed the opinion that they would not want an adjoining lot to be developed so closely and at a scale exceeding their homes. At least one person did express support for the R-7 rezoning. See Attachment L.

Planning Staff attended an East Bayside Neighborhood Organization meeting on April 15th to provide further information on the proposed R-7 map change and the differences between the R-6 and R-7. Based on the results of the above meetings and comments heard at the previous two Planning Board workshops there appears to be limited neighborhood support to rezone all of East Bayside to R-7. However, there was openness to rezoning of the western part of the neighborhood, closest to the PHA campus, particularly if done along with some text changes to the R-7 zone that would lower the permitted height and the permitted lot coverage.

X. SUMMARY AND STAFF RECOMMENDATION

Generally when the Planning Board reviews a map change, the Board looks beyond the applicant's proposal to consider other adjacent areas that may be appropriate for a rezoning so that such zone changes are considered comprehensively rather in isolation. This may result in the Board considering a larger geographic area for the purposes of holding a public hearing. At the public hearing, the Board can reduce the scope or area to be rezoned when the Board formulates its recommendation. In this case the Board advertised the entire R-6 zone in East Bayside to R-7.

In the April 8th workshop memo we offered three different options in formulating a recommendation to the City Council. Based upon further analysis and consideration we are offering a different set of options. We are not recommending that the entire R-6 East Bayside be rezoned to R-7 because there is limited public support for such a change and there are alternative means to address certain zoning issues in the neighborhood.

Below are the reformulated options. These are shown graphically as maps on Attachment M as Option 1, Option 2 and Option 3.

Based upon the information contained in the Planning Report for the April 22, 2014 public hearing dated April 18, 2014, the comprehensive plan of the City of Portland, the testimony and evidence heard at the Public Hearing, and other factors, the Planning Board finds that:

X. MOTIONS FOR THE BOARD TO CONSIDER

In addition, based on the comments heard at the East BaySide Neighborhood Association meeting, we have looked at the existing 50 foot height limit and 100% ground coverage allowance in the R-7 zone. Staff agrees that these numbers are probably excessive for the R-7 zone as a whole, particularly if it is going to cover more property on the Peninsula. For this reason, we propose to bring forward some text amendments that would lower the 50 foot height for market-rate developments in the R-7 zone to 45 feet and lower the ground coverage limit to 80% for all developments. In addition, given the fact that a larger R-7 zone will mean more and some smaller projects in the R-7 district, we would propose a text amendment that authorizes the Planning Authority to conduct the design review required of smaller projects in the R-7 zone that would not otherwise go to the Planning Board for review.

We are also recommending that parcels that share the same block with the PHA also be included in the zone change. These seven "split blocks" about the PHA campus and include the Three G auto repair site (a nonconforming property which is the largest underutilized property in East BaySide). "Filling out" these blocks seems to be a logical extension of a rezoning.

Planning Staff is recommending Option 1 for a number of reasons. The PHA campus is hamstrung by the existing R-6 zone and the unfortunate building layout and configuration devised when the campus was first built. PHA's goal is to provide affordable housing and the R-7 zone is a better fit in achieving affordable housing and addressing long term deficiencies in the campus layout though infill redevelopment. The three R-7 developments constructed to date in East BaySide demonstrate that well designed R-7 development can be compatible with and enhance the neighborhood character. In addition, as stated above, the existing built environment in the area covered by Option 1 reflects the dimensional requirements of the R-7 zone far better than the existing, or even proposed, R-6 zones. Rezoning these parcels will free existing property owners to make changes to their property without running into issues related to excessive setback requirements.

Option 3: Rezone to R-7 the BaySide Anchor site and several other parcels that are directly adjacent to the BaySide Anchor sited including the PHA Community Center site. Note: This option would allow PHA to move forward with the BaySide Anchor project and provides opportunities for further infill development in the near term when such opportunities arise.

Option 2: Rezone to R-7 all of the PHA campus.

Option 1: Rezone to R-7 all of the PHA campus plus the seven blocks that about the PHA campus (including the Three G property) Note: This is the Planning Staff Recommendation.

The proposed zoning map amendment from R-6 to R-7 (for Option 1 as described in this report) [is/is not] consistent with the comprehensive plan of the City of Portland, and therefore [recommends/does not recommend] the proposed map amendment to the City Council.

ATTACHMENTS

Staff Attachments

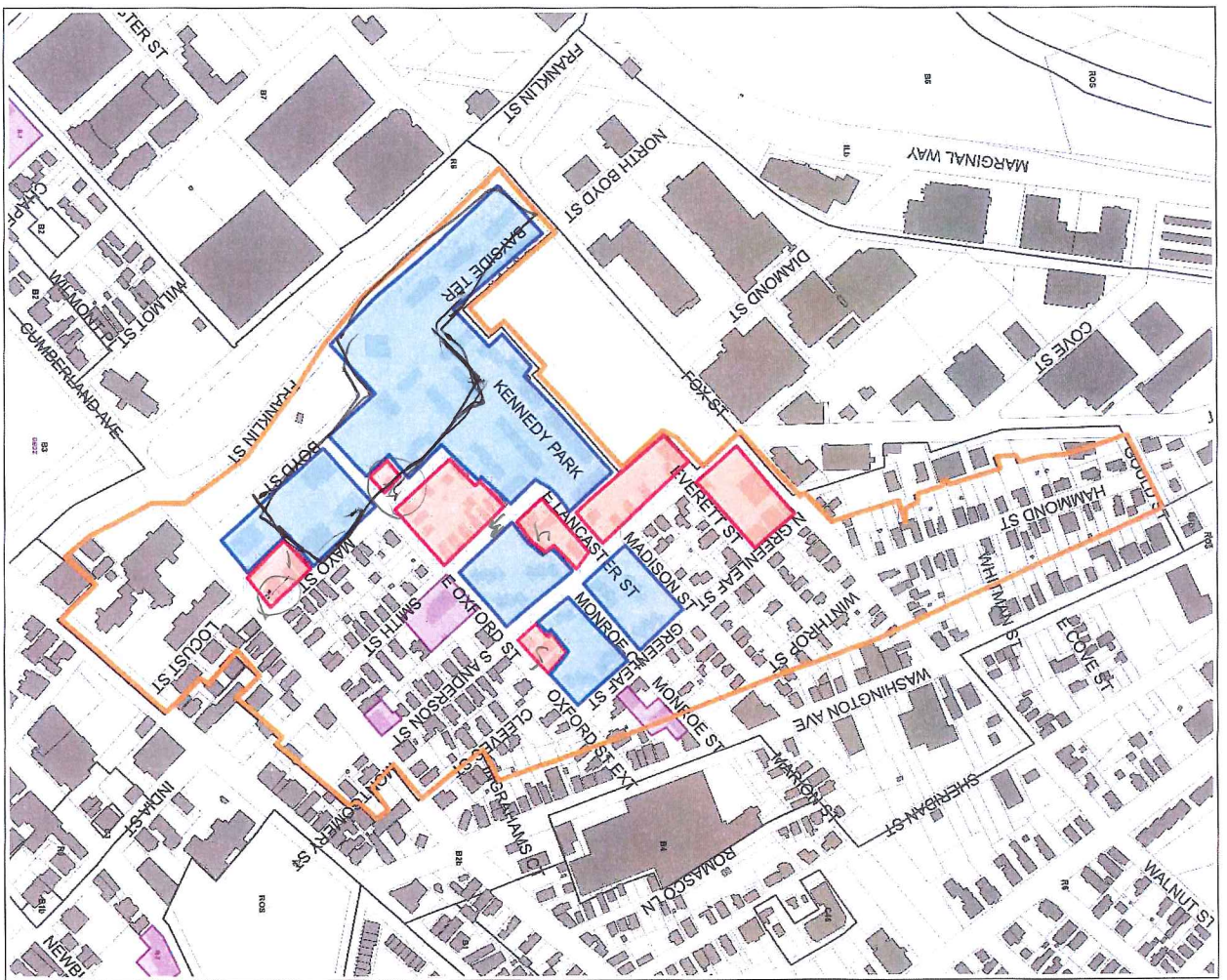
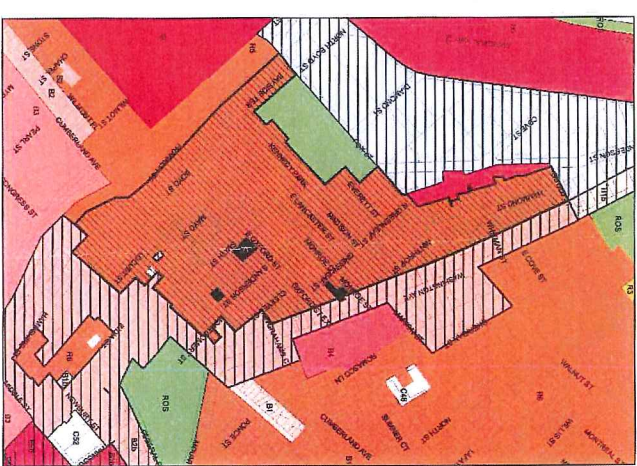
- A. East Bayside Map Area and Zoning Map
- B. Excerpt of Richard's Atlas (1914) of East Bayside
- C. East Bayside Aerial Photo
- D. Memo from Marge Schmuckal, Zoning Administrator, dated 4-17-2014 (with attached documentation from applicant)
- E. Portland Density Map of 1950
- F. Photos of Existing R-7 Sites in East Bayside
- G. East Bayside Map with Numbered Blocks Representing Non-PHA Parcels
- H. East Bayside Lot Size, Use and Density by Block (Non-PHA Parcels)
- I. Photo of Three G Property (Fox-Anderson-Everett)
- J. Views of Various East Bayside Streets
- K. Comparison of Three Parcels in East Bayside of Zoning Envelopes of Existing R-6, Existing R-7 and Proposed R-6 Zoning Amendments.
- L. Neighborhood Meeting Notes Held on 3-31-2014
- M. East Bayside R-7 Zoning Options (Options 1 to 3) dated April 2014
- N. Written Public Comment

Application Submissions

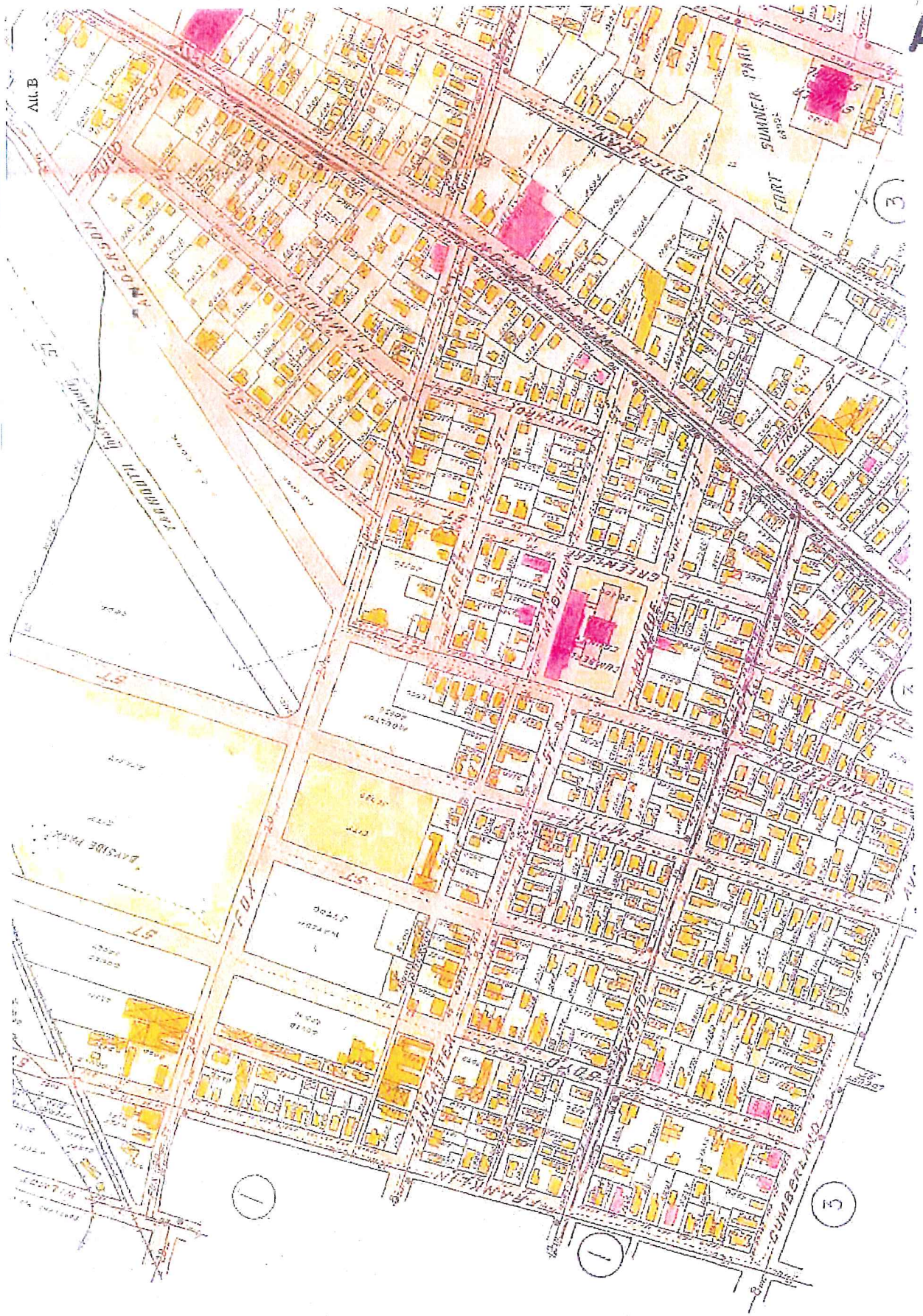
1. Zone Change Application
2. Vicinity Map and Updated PHA Campus Map with Residential Density and Parking (received 3-31-2014)
3. List of PHA Properties to be Rezoned
4. Deeds (excerpt, remainder on file in Planning Offices)
5. Site Plan
3. Zone Change Map (dated 2-4-2014)
- PHA Campus Density (dated 2-26-2014)
- PHA Campus Parking Count (dated 1-10-2014)
- Bayside Anchor Ownership Info.
- Neighborhood Meeting Notes Held on Feb 27, 2014

East Basyde
 Proposal to Rezone From
 Residential R-6 to Residential R-7

-  Study Area
-  Existing R-7
-  Portland Housing Authority Parcels
-  Adjacent Parcels
-  Buildings
-  Zone Lines



Att. B



REFERENCE COPY ONLY



Memorandum
Planning and Urban Development Department
Planning Division

To: Stuart O'Brien, Chair and Members of the Portland Planning Board
From: Richard Knowland, Senior Planner
Date: April 18, 2014
Re: East Bayside Rezoning/Portland Housing Authority (R-6 to R-7)
Project #: #2014-013
Meeting Date: April 22, 2014

I. INTRODUCTION

A public hearing has been scheduled to consider a proposal by the Portland Housing Authority and Portland Housing Development Corporation to rezone their residential property holdings in East Bayside from R-6 to R-7. These properties include Kennedy Park, Bayside Terrace, Bayside East, 47-49 Boyd Street and the proposed Bayside Anchor project. The genesis for the zone change is PHA's desire to provide additional infill development within their landholdings. However, this proposal came at a time when City staff was examining all of the residential zones on the Peninsula for possible text and map changes, and as a result this was seen as an opportunity to look at the zoning map in the neighborhood. PHA is referred in this memo as the applicants. After conducting a public hearing, the Board will be asked to make a recommendation to the City Council on the proposed map change.

An East Bayside zoning map; an excerpt from Richard's Atlas (1914) of East Bayside; and an aerial photo of East Bayside are shown as Attachments A, B and C, respectively.

For purposes of holding a public hearing and to consider a comprehensive review of the neighborhood residential land use issues, the entire R-6 East Bayside area was advertised for the purposes of holding a public hearing. The Staff recommendation for the rezoning is summarized in Section X of this report. We are recommending that the R-7 map change should incorporate the PHA campus and the seven adjacent (split blocks) including the Three G property but not the entire R-6 zone of East Bayside.

A table of contents of this report is shown below:

- I. Introduction
- II. Findings
- III. Bayside Anchor Proposal
- IV. Comparison of R-6 and R-7
- V. Implementation of R-7 Zone
- VI. East Bayside Land Use Considerations
- VII. Land Use Policy
- VIII. Commonly Asked Questions
- IX. Neighborhood Meetings
- X. Summary and Staff Recommendation
- XI. Motions For The Board To Consider

Notice of the workshop consisted of the item appearing in the Portland Press Herald on April 7, 2014 and April 8, 2014. In addition, 271 notices were mailed to area property owners.

II. FINDINGS

Existing Zoning:	R-6	1,000 sf or 43 units per acre
Proposed Zoning:	R-7	435 sf or 100 units per acre
Land Area:		10.79 acres
Existing Dwelling Units:		164 units or 2,865 sf per dwelling unit
Bayside Anchor Proposal		
	Land Area:	20,147 sf
	Dwelling Units:	45 units or 447 sf per dwelling unit
Total Dwelling Units:		209 units
Existing Parking Spaces:		183
Proposed Parking Spaces:		157

III. BAYSIDE ANCHOR PROPOSAL

PHA would like to construct a 45 unit multi-family building (Bayside Anchor) at the corner of Boyd Street and Oxford Street on the site of an existing parking lot. Attachment 2 includes a vicinity map and a map of the PHA campus identifying the zone change area and the various housing developments within the campus, including existing housing unit counts and residential density. The Bayside Anchor site is located within the PHA campus, but will be owned and developed by an affiliate corporation, thus the lot must have sufficient land to satisfy density requirements. The 20,147 sq. ft. lot would fall short of the R-6 density requirements for 45 housing units hence the request for an R-7. A conceptual site plan has been submitted and is shown as Attachment 5. The proposed building is anticipated to be 4 stories high.

Uses

In addition to residential uses the proposed building will feature Head Start, a neighborhood policing office and PHA administrative offices on the first floor. These uses will be relocated from an existing one story building on Boyd Street. The PHA offices appear to be accessory to the campus, the police office is a permitted municipal use and Head Start (an accessory or conditional use). Applicant will need to provide specific information on these uses so that Marge Schmuckal (Zoning Administrator) may make a formal determination on the appropriate use classification at the time of development review.

Parking

The proposed development will occupy the site of an existing 26 space parking lot and therefore be dependent on other PHA off-street parking areas on their campus to meet their parking needs. Currently PHA has 201 parking spaces for 155 dwelling units or a ratio of 1.18 spaces per dwelling unit. See Attachment 2. With the Bayside Anchor housing project in place, PHA indicates they will have a total of 157 spaces or 0.78 parking spaces per unit. The PHA consultant team is in the process of undertaking a parking study to confirm the existing campus parking demand. Anecdotal information appears to indicate that the present PHA parking demand is well under one space per dwelling.

As an affordable housing development it qualifies under sec. 14-332.2(b) provides for a reduced parking standard with review by the Planning Board. Under the provisions of sec. 14-333, parking for Bayside Anchor may take place at an off-site location but must be within 300 feet of the project. This provision allows the Planning Board to substitute for the Board of Appeal review if the Planning Board is already considering the project under development review.

Applicant has provided further information on ownership of the Bayside Anchor property in relationship to the PHA campus and their campus parking facilities available for the project. A memo from Marge Schmuckal, Zoning Administrator, has been received in response to that submission. See Attachment D.

Scope of Map Change

Initially PHA requested a zone change for the Bayside Anchor site only. However upon further consideration and Planning Staff input, PHA has extended their zone change to include all their landholdings in East Bayside. The submission indicates the "R-7 zone will allow increased flexibility and density as PHA and PHDC begin planning for future renovation and expansion of its properties within the East Bayside neighborhood."

The Bayside Anchor site needs an R-7 zoning designation since it does not meet R-6 setbacks, density, lot coverage and possibly open space requirements. The PHA campus as a whole is well under the R-6 density requirements but its development pattern is out of character with the surrounding residential neighborhoods in terms of building placement, orientation and layout. An R-7 designation will assist future PHA efforts to facilitate infill and redevelopment more in keeping with typical neighborhoods found on the peninsula.

Generally when a map change amendment is reviewed, the Board looks at it comprehensively and considers other adjacent areas that may be appropriate candidates for a similar rezoning. This may result in the Board considering and **advertising a larger geographic area** for the purposes of holding a public hearing, which can be reduced in scope when the Board formulates its recommendation to the City Council. For Tuesday's public hearing the entire R-6 area in East Bayside was advertised for a possible R-7 rezoning. See Section X of this memo for the Planning Staff zone change recommendation.

Development Reviews

Assuming the zone change is approved, the development will be subject to Planning Board site plan and subdivision review. Depending on the Zoning Administrators interpretation of the Head Start use, a conditional use review (kindergarten) by the Board of Appeals may be required.

IV. COMPARISON of R-6 and R-7 ZONE

Zoning requirements for R-6 versus R-7 zones		
STANDARD	R-6	R-7
Purpose	<p>Sec. 14-135. Purpose. The purpose of the R-6 residential zone is: (a) To set aside areas on the peninsula for housing characterized primarily by multifamily dwellings at a high density providing a wide range of housing for differing types of households; and to conserve existing housing stock and residential character of neighborhoods by controlling the scale and external impacts of professional offices and other nonresidential uses.</p>	<p>Sec. 14-141. Purpose. (excerpt) The purpose of the R-7 Compact Urban Residential Overlay Zone is to encourage and accommodate compact residential development on appropriate locations on the Portland peninsula, . . . Locations for siting the R-7 Zone are intended to be located on the peninsula of Portland, in the area encompassed in the Bayside plan, and other peninsula R-6 locations characterized by moderate to high density multi-family housing in a form and density exceeding that allowed in the R-6 Zone . . .</p>
Permitted Uses	<p>Residential: Single and Two-family; Multifamily dwellings; Handicapped family unit; Single-family, multiple-component manufactured housing; Single-family single-component manufactured housing Other: Lodging house; Cemeteries; Parks; Accessory uses; Home occupation; Municipal uses; Special needs independent living units; Conversion into bed & breakfast; Hostels; Wind energy systems</p>	<p>Uses permitted in the R-6 Zone</p>