

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DEPARTMENT

## PERMIT

Permit Number: 100273

### PERMIT ISSUED

Please Read Application And Notes, if Any, Attached

This is to certify that PIERCE RYAN/TRD

has permission to Interior renovations to second floor, change second floor roof in part & add deck, add shed (8'5") & gable (23'8")

AT 106 NORTH ST City of Portland 012 Q016001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

APR 22 2010

City of Portland

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Jennie Bunker* 4/23/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0273	Issue Date:	CBL: 012 Q016001
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Location of Construction: 106 NORTH ST	Owner Name: PIERCE RYAN	Owner Address: 106 NORTH ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	Zone: R-6

Past Use: 2 Unit Residential	Proposed Use: 2 Unit Residential - Interior renovations to second floor, change second floor roof in rear & add deck, add shed (8.5') & gable (23'8") dormers, new deck off second floor (10' x 14.5')	Permit Fee: \$820.00	Cost of Work: \$80,000.00	CEO District: 1
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC-2003 Signature: JMB 4/23/10
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**Proposed Project Description:**  
Interior renovations to second floor, change second floor roof in rear & add deck, add shed (8.5') & gable (23'8") dormers, new deck off second floor (10' x 14.5')

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: Idobson	Date Applied For: 03/19/2010
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**Zoning Approval**

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**Special Zone or Reviews**

Shoreland

Wetland *using section 14-434(b)*

Flood Zone *using 18.5g of standards*

Subdivision

Site Plan *Exemption*

Maj  Minor  MM

Date: \_\_\_\_\_

**Zoning Appeal**

Variance

Miscellaneous

Conditional Use

Interpretation

Approved

Denied

Date: \_\_\_\_\_

**Historic Preservation**

Not in District or Landmark

Does Not Require Review

Requires Review

Approved

Approved w/Conditions

Denied

*JMB*

Date: \_\_\_\_\_

**PERMIT ISSUED**

APR 22 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0273	Date Applied For: 03/19/2010	CBL: 012 Q016001
-----------------------	---------------------------------	---------------------

Location of Construction: 106 NORTH ST	Owner Name: PIERCE RYAN	Owner Address: 106 NORTH ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	

Proposed Use: 2 Unit Residential - Interior renovations to second floor, change second floor roof in rear & add deck, add shed (8.5') & gable (23'8") dormers, new deck off second floor (10' x 14.5')	Proposed Project Description: Interior renovations to second floor, change second floor roof in rear & add deck, add shed (8.5') & gable (23'8") dormers, new deck off second floor (10' x 14.5')
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Dept: Zoning      Status: Approved with Conditions      Reviewer: Ann Machado      Approval Date: 03/22/2010

Note: Using section 14-436(b). 80% of first floor footprint is 867.6 sf. Dormers are adding 160.85 sf which is 18.5% of allowable 80% increase.      Ok to Issue:

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks to the proposed deck, it may be required to be located by a surveyor.
- 2) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Approved with Conditions      Reviewer: Jeanine Bourke      Approval Date: 04/23/2010

Note:      Ok to Issue:

- 1) All breached floors and walls that separate dwelling units or dwelling units and common areas are required to meet a 1 hour fire rated assembly and sound transmission rating of 45 STC.
- 2) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating per Sec. 712 of IBC and R317.3.1.2 of the IRC
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 6) Those renovating a dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

**Comments:**

3/22/2010-amachado: Needs to apply for siteplan exemption. Spoke to Diane Milliken. She will submit ASAP.

4/7/2010-gg: received granted site plan exemption as of 04/07/10. Filed with permit. /gg

3/23/2010-amachado: Received site plan exemption application. Gave it to planning.

4/21/2010-jmb: Tammy started the review, I followed up with some additional required details. Spoke with Diane M. Reviewed items and noted comments on the plans. She will submit detail on a larger deck girder or additional bearing.

<b>Location of Construction:</b> 106 NORTH ST	<b>Owner Name:</b> PIERCE RYAN	<b>Owner Address:</b> 106 NORTH ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> TBD	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Duplex	
4/23/2010-jmb: Received the engineering calcs for the deck beam spans, ok to issue			

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY)**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

  **X**   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  **X**   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  **X**   **Final inspection required at completion of work.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



# Demolition of a Structure Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>106 NORTH ST.</u>		
Total Square Footage of Proposed Structure <u>2,663</u>	Square Footage of Lot: <u>2,954</u>	
Tax Assessor's Chart, Block & Lot: Chart# <u>012</u> Block# <u>Q</u> Lot# <u>016</u>	Owner: <u>RYAN PIERCE</u>	Telephone: <u>970-331-1350</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>RYAN PIERCE</u> <u>106 NORTH ST.</u> <u>PORTLAND, ME</u> <u>04101</u>	Cost Of Work: \$ <u>\$99,000</u> <sup>\$80,000</sup> Fee: \$ <u>\$2,000</u> <sup>\$820</sup>
Current legal use: (i.e. garage, warehouse) <u>RESIDENTIAL</u> If vacant, what was the previous use? <u>—</u> How long has it been vacant? <u>—</u> Project description: <u>RENOVATION TO 2<sup>ND</sup> UNIT ONLY. RENOVATION INCLUDES OPENING UP MAIN FLOOR PLAN TO MAXIMIZE VIEWS + SUNSHINE. ALSO, FINISH 3<sup>RD</sup> FLOOR (ATTIC NOW) TO MASTER BEDROOM W/ SHED + GABLE DORMER. ALSO, SMALL 2<sup>ND</sup> FLOOR DECK + 3 FLOOR ROOF DECK</u>		
Contractor's name, address & telephone: <u>TBD</u>		
Who should we contact when the permit is ready: <u>DIANE MILLIKEN</u> Mailing address: <u>106 NORTH ST.</u> Telephone: <u>207-650-8126</u> <u>PORTLAND, ME 04101</u>		

RECEIVED

MAR 19 2010

Please submit all of the information outlined in the Demolition call list. Failure to do so will result in the automatic denial of your permit.

Dept. of Building Inspections  
City of Portland Maine

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Ryan Pierce</u>	Date: <u>3/19/10</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



# Application for Exemption from Site Plan Review Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

# RECEIVED

PROJECT NAME: Milliken / Pierce Remodel

APR - 7 2010

PROJECT ADDRESS: 106 North St. Portland ME 04101

Dept. of Building Inspections  
City of Portland Maine

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

Please see attached plans for details (2 family) on deck - 10' x 14.5' is new footprint.  
Remodel of second floor & third floor, addition of 2 decks (one on roof of 2nd story bump-out)

CHART/BLOCK/LOT: ? 12-Q-16 → on tax map - our lot is identified by 012-Q016

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: Ryan Pierce  
Address: 106 North St.  
Portland, ME 04101  
Zip Code: 04101  
Work #: 970-331-1350  
Home #: - same -  
Fax #: 207-221-5415  
E-mail: Ryan.pierce@gmail.com

#### CONSULTANT/AGENT

Name: RECEIVED  
Address: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Work #: \_\_\_\_\_  
Home #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
E-mail: \_\_\_\_\_

all contact  
Diane Milliken  
207-650-8124(c)  
diane@horizonme.com  
- or -  
milliken.diane@gmail.com

#### Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?

Applicant's Assessment Y(yes), N(no), N/A	Planning Division Use Only
N	N
Y	Y
Y	Y
N	N
Y	Y
Y	Y
N	N
N	N
N	N
N/A - Y(?)	Y
Y	Y

**Planning Division Use Only**      Exemption Granted       Partial Exemption       Exemption Denied

Conditions  
1. All disturbed areas post-construction shall not increase the pre-existing ~~volume~~ volume or rate of surface water runoff.

Planner's Signature [Signature]      Date 4/2/10

**Planning Erick Giles AICP, LEED AP**

April 2, 2010 – This Exemption request has been approved subject to the following condition:

1. All disturbed areas post-construction shall not increase the pre-existing volume or rate of surface water runoff.



Applicant: Ryan Pierce

Date: 3/22/10

Address: 106 North St.

C-B-L: 12-Q-16

perm. # 10-0273

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1876 - existing two family

Zone Location - R-6

Interior or corner lot -

Proposed Use/Work - interior renovations to 2nd unit (2nd & 3rd floors) finish third floor - add gable shed dormer, add second floor deck & roof deck.

Sevage Disposal - city

Lot Street Frontage -

Front Yard - 10' or ~~10'~~ <sup>average</sup> = N/A - steps on property line.

Rear Yard - 20' min - 20' scaled to ~~rear~~ <sup>proposed</sup> rear deck.

Side Yard - 10' min - 1' on right \* to house - 10' to proposed deck - 14' on left - to house & ~~rear deck~~ <sup>proposed</sup>.

Projections -

Width of Lot -

Height - ~~25~~ 45' max

Lot Area - 4520' - 2954'

Lot Coverage Impervious Surface - 50% = 1477'

Area per Family - 1,000' (OK)

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection -

Flood Plains -

Open space - 20% = 590.8' (OK)

$$1229.5 \text{ (footprint)} + 423 \text{ (dr)} = 1652.5$$

$$\frac{1652.5}{2954} = 56\% \text{ covered}$$

x using section 14-432(6)

50% of ~~1084.5~~ <sup>1084.5</sup>

= 867.6

gable = 23.67' x 5' = 118.35'

shed 8.5 x 5 = 42.5

adding 160.85'

using 18.5%

existing 1084.5

needed 10 x 14.5 = 145.

1229.5 (OK)

dw 47' x 9' = 423

**From:** Jamie Broadbent <jamie@kaplanthompson.com>  
**To:** <JMB@portlandmaine.gov>  
**Date:** 4/22/2010 3:43 PM  
**Subject:** Milliken/Pierce remodel deck calculations  
**Attachments:** 20100422154132.pdf

Hi Jeannie,

Here are structural calculations and a table from our engineer. The deck will work as designed.

Let me know if you need anything else. I assume this unlocks the permit for the clients?

Regards,

JAMIE BROADBENT, ARCHITECT, LEED AP  
KAPLAN THOMPSON ARCHITECTS  
424 FORE STREET  
PORTLAND, ME 04101

207 842-2888 x108

JAMIE@KAPLANTHOMPSON.COM  
[HTTP://WWW.KAPLANTHOMPSON.COM](http://www.kaplanthompson.com)

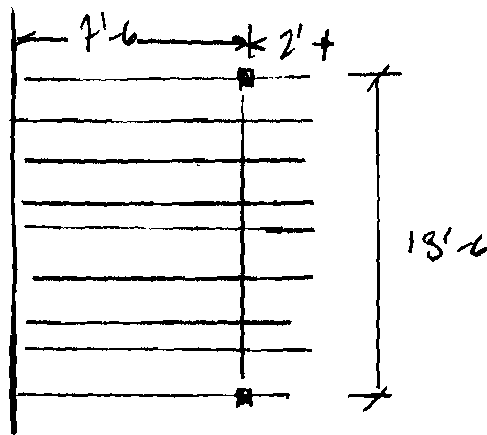
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City of Portland Maine

PORCH BEAM - SPAN = 13'-6"

DL = 10 PSF

LL = 40 PSF - PER IBC USE SAME AS FLOOR LOADING

DECK LAYOUT



TRIB TO BEAM =  $4.5/2 + 2 = 5.75'$

LOAD : DL =  $5.75' (10 \text{ PSF}) = 57.5 \text{ PLF}$

LL =  $5.75' (40 \text{ PSF}) = 230 \text{ PLF}$

TL = 287.5 PLF

$M_{\text{max}} = \frac{wL^2}{8} = \frac{287.5 (13.5')^2}{8} = 6,550 \text{ lb-ft (12)} = 78,600 \text{ lb-in}$

USE (3) 2x10 -  $S = \frac{bd^2}{6} = \frac{4.5 (9.25')^2}{6} = 64.2 \text{ in}^3$

BENDING STRESS =  $f_b = \frac{M}{S} = \frac{78,600}{64.2} = 1224 \text{ psi}$

→ USE SOUTHERN PINE No 2 TREATMENT TREATED

ALLOWABLE BENDING STRESS  $F_b = 1500 \text{ psi} > f_b = 1224 \text{ psi} \checkmark$   
(NDS)

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Dept. of Building Inspections  
City of Portland Maine

**Table 4B Design Values for Visually Graded Southern Pine Dimension Lumber (2"-4" thick)<sup>1,2,3,4</sup>**

(Tabulated design values are for normal load duration and dry service conditions, unless specified otherwise. See NDS 4.3 for a comprehensive description of design value adjustment factors.)

**USE WITH TABLE 4B ADJUSTMENT FACTORS**

Species and commercial grade	Size classification	Design values in pounds per square inch (psi)					Modulus of Elasticity E	Grading Rules Agency		
		Bending F <sub>b</sub>	Tension parallel to grain F <sub>t</sub>	Shear parallel to grain F <sub>v</sub>	Compression perpendicular to grain F <sub>c⊥</sub>	Compression parallel to grain F <sub>c</sub>				
Dense Select Structural	2"-4" wide	2050	1800	175	800	2250	1,900,000	SP18		
Select Structural		2050	1800	175	585	2100	1,800,000			
Non-Dense Select Structural		2050	1350	175	480	1800	1,700,000			
No.1 Dense		2000	1100	175	800	2000	1,800,000			
No.1 Non-Dense		1800	1800	175	585	1900	1,700,000			
No.1 Non-Dense		1700	800	175	480	1700	1,600,000			
No.2 Dense		1700	875	175	800	1800	1,700,000			
No.2 Non-Dense		1650	825	175	585	1800	1,600,000			
No.2 Non-Dense		1350	775	175	480	1800	1,400,000			
No.3 and Stud		850	475	175	585	875	1,400,000			
Construction Standard Utility		4" wide	1100	825	175	585	1600		1,800,000	
			825	380	175	585	1800		1,800,000	
		305	175	175	585	975	1,300,000			
Dense Select Structural	5"-6" wide	2700	1800	175	800	2150	1,900,000	SP18		
Select Structural		2550	1400	175	585	2000	1,800,000			
Non-Dense Select Structural		2350	1200	175	480	1800	1,700,000			
No.1 Dense		1750	880	175	800	1800	1,800,000			
No.1 Non-Dense		1680	800	175	585	1750	1,700,000			
No.1 Non-Dense		1800	800	175	480	1800	1,800,000			
No.2 Dense		1480	775	175	800	1750	1,700,000			
No.2 Non-Dense		1600	725	175	585	1680	1,600,000			
No.2 Non-Dense		1150	675	175	480	1680	1,400,000			
No.3 and Stud		750	485	175	585	825	1,400,000			
Dense Select Structural		8" wide	2450	1350	175	800	2000		1,800,000	SP18
Select Structural			2300	1300	175	585	1900		1,800,000	
Non-Dense Select Structural	2100		1100	175	480	1750	1,700,000			
No.1 Dense	1680		875	175	800	1900	1,800,000			
No.1 Non-Dense	1500		825	175	585	1650	1,700,000			
No.1 Non-Dense	1350		725	175	480	1550	1,600,000			
No.2 Dense	1400		675	175	800	1700	1,700,000			
No.2 Non-Dense	1200		680	175	585	1650	1,600,000			
No.2 Non-Dense	1100		600	175	480	1450	1,400,000			
No.3 and Stud	700		400	175	880	975	1,400,000			
Dense Select Structural	10" wide		2150	1200	175	800	2000	1,800,000	SP18	
Select Structural			2050	1100	175	585	1650	1,800,000		
Non-Dense Select Structural		1850	950	175	480	1750	1,700,000			
No.1 Dense		1450	775	175	800	1750	1,800,000			
No.1 Non-Dense		1300	725	175	585	1600	1,700,000			
No.1 Non-Dense		1800	850	175	480	1800	1,800,000			
No.2 Dense		1800	825	175	800	1650	1,700,000			
No.2 Non-Dense		1050	675	175	585	1500	1,600,000			
No.2 Non-Dense		850	550	175	480	1400	1,400,000			
No.3 and Stud		600	385	175	585	880	1,400,000			
Dense Select Structural		12" wide <sup>4</sup>	2050	1100	175	800	1950	1,800,000		SP18
Select Structural			1900	1080	175	585	1800	1,800,000		
Non-Dense Select Structural	1750		880	175	480	1700	1,700,000			
No.1 Dense	1380		725	175	800	1700	1,800,000			
No.1 Non-Dense	1250		675	175	585	1600	1,700,000			
No.1 Non-Dense	1150		600	175	480	1500	1,600,000			
No.2 Dense	1150		675	175	800	1600	1,700,000			
No.2 Non-Dense	975		580	175	585	1480	1,600,000			
No.2 Non-Dense	800		525	175	480	1350	1,400,000			
No.3 and Stud	575		325	175	585	825	1,400,000			

4

DESIGN VALUES

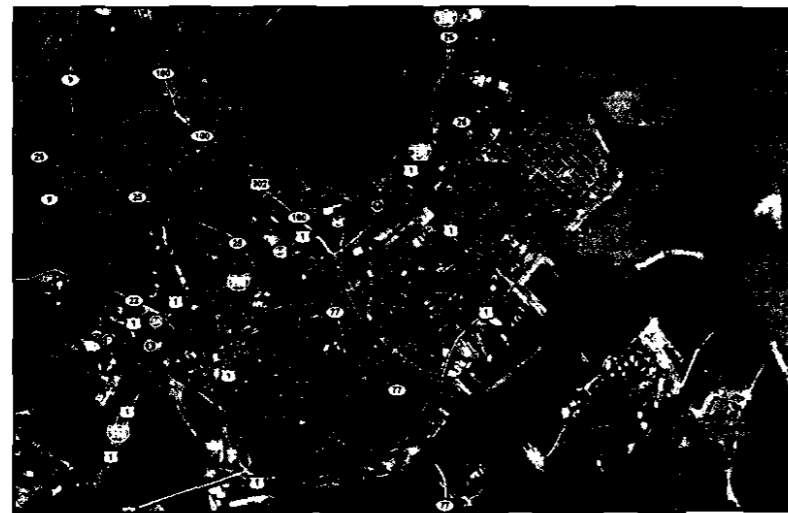
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 Dept. of Building Inspections  
 City of Portland Maine

# MILLIKEN/PIERCE REMODEL



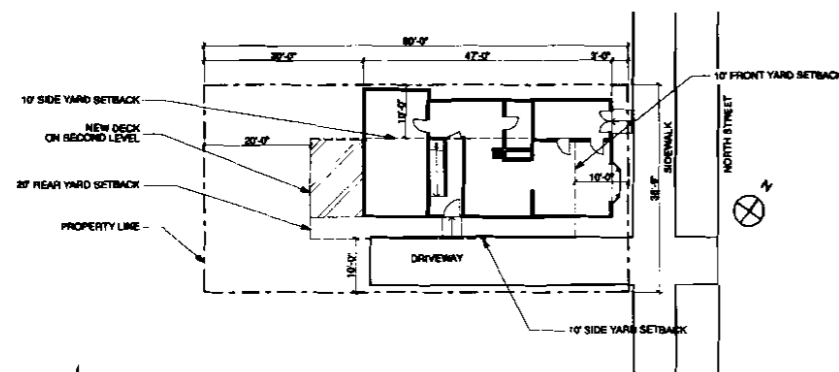
RENDERING OF PROPOSED CHANGES



EAST END, PORTLAND, ME



SITE LOCATION (from Tax Map)



1 Plot Plan  
SCALE: 1/8" = 1'-0"

## PROJECT INFORMATION

**Client:** Diane Milliken & Ryan Pierce  
**Architect:** Kaplan Thompson Architects  
**Contractor:**  
**Map / Lot:** Map 012, Block Q, Lot 016  
**Project Address:** 106 North Street  
**Zoning:** R-6 district  
**Building Codes:** IRC 2003  
NFPA / 1999

**Site Area:** 2,954 SF / 0.068 ACRE  
**Building SF:** 2,663 SF  
**Occupancy:** R-6 Two-Family  
**Maximum Building Height:** 45'-0"  
**Setbacks:** Front: 10'  
Side: 10'  
Rear: 20'

*All additional  
Notes  
per tel/con  
w/ Diane M.  
4/21/10*

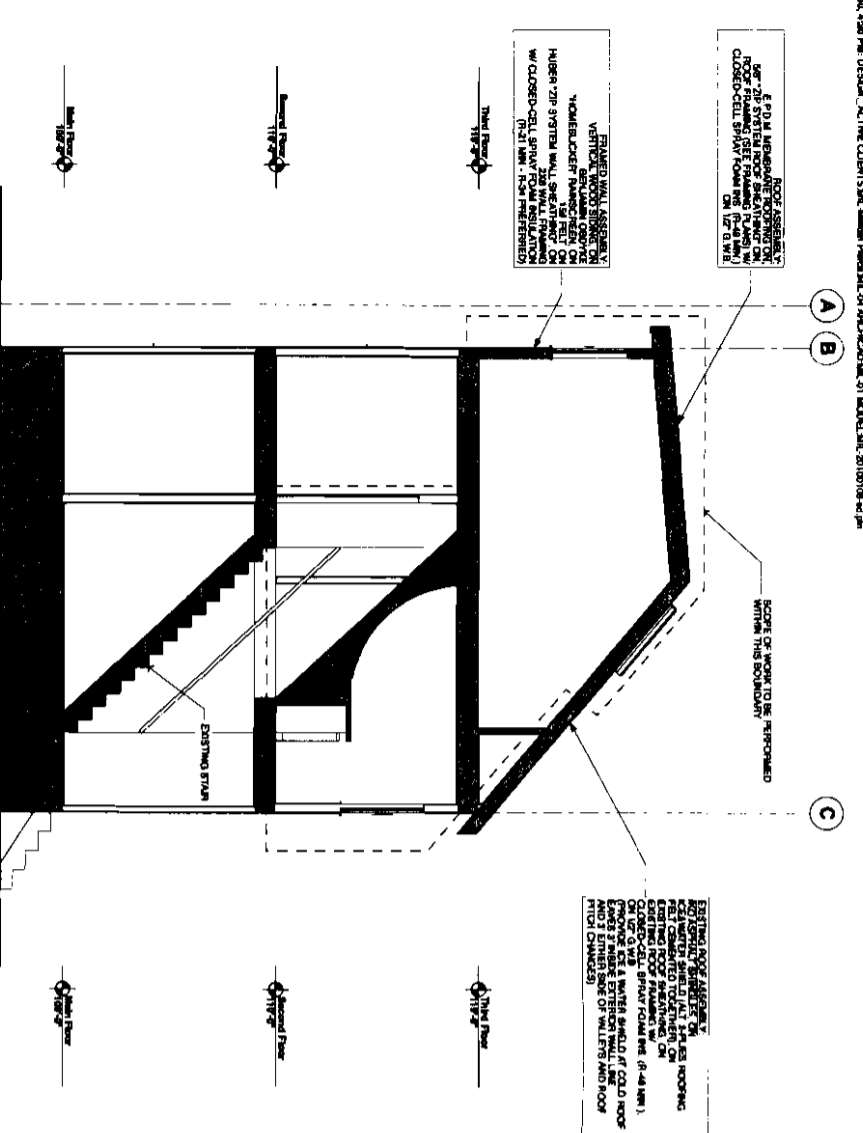
## DRAWING INDEX

- Cover Sheet
- A-1.1 Main & Second Floors
- A-1.2 Third Floor
- A-1.3 Roof Plan
- A-2.1 New Elevations
- A-2.2 Existing Elevations
- A-3.1 Building Sections
- A-5.1 Details
- S-1.1 Structural Plans

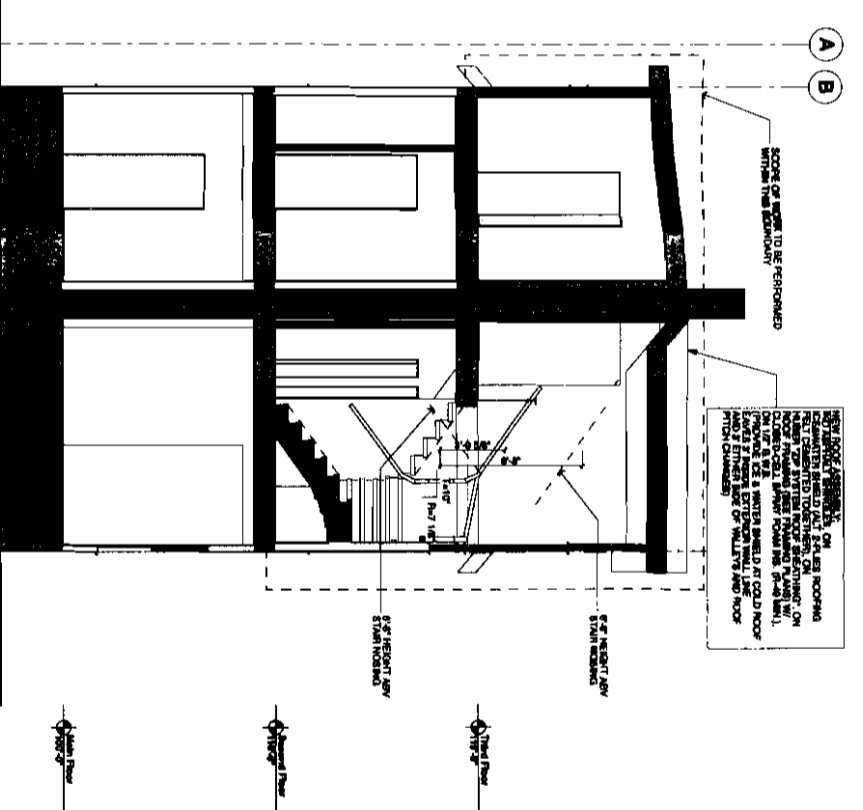
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MAR 19 2010

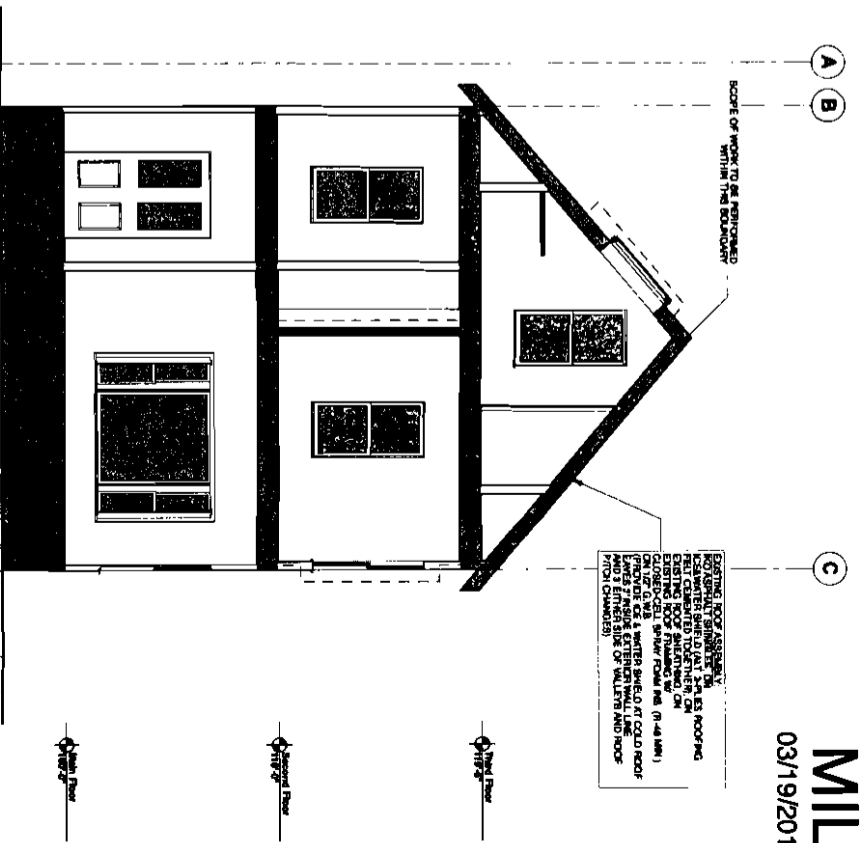
Dept. of Building Inspections  
City of Portland Maine



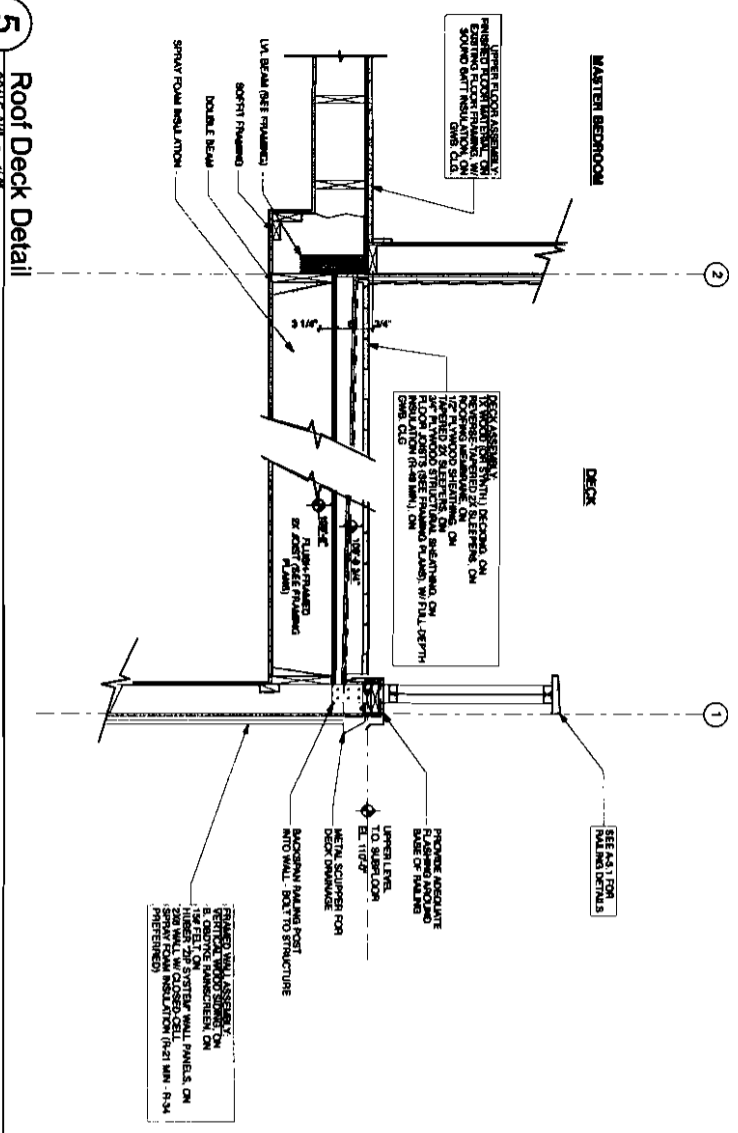
4 North / South Section  
SCALE: 1/4" = 1'-0"



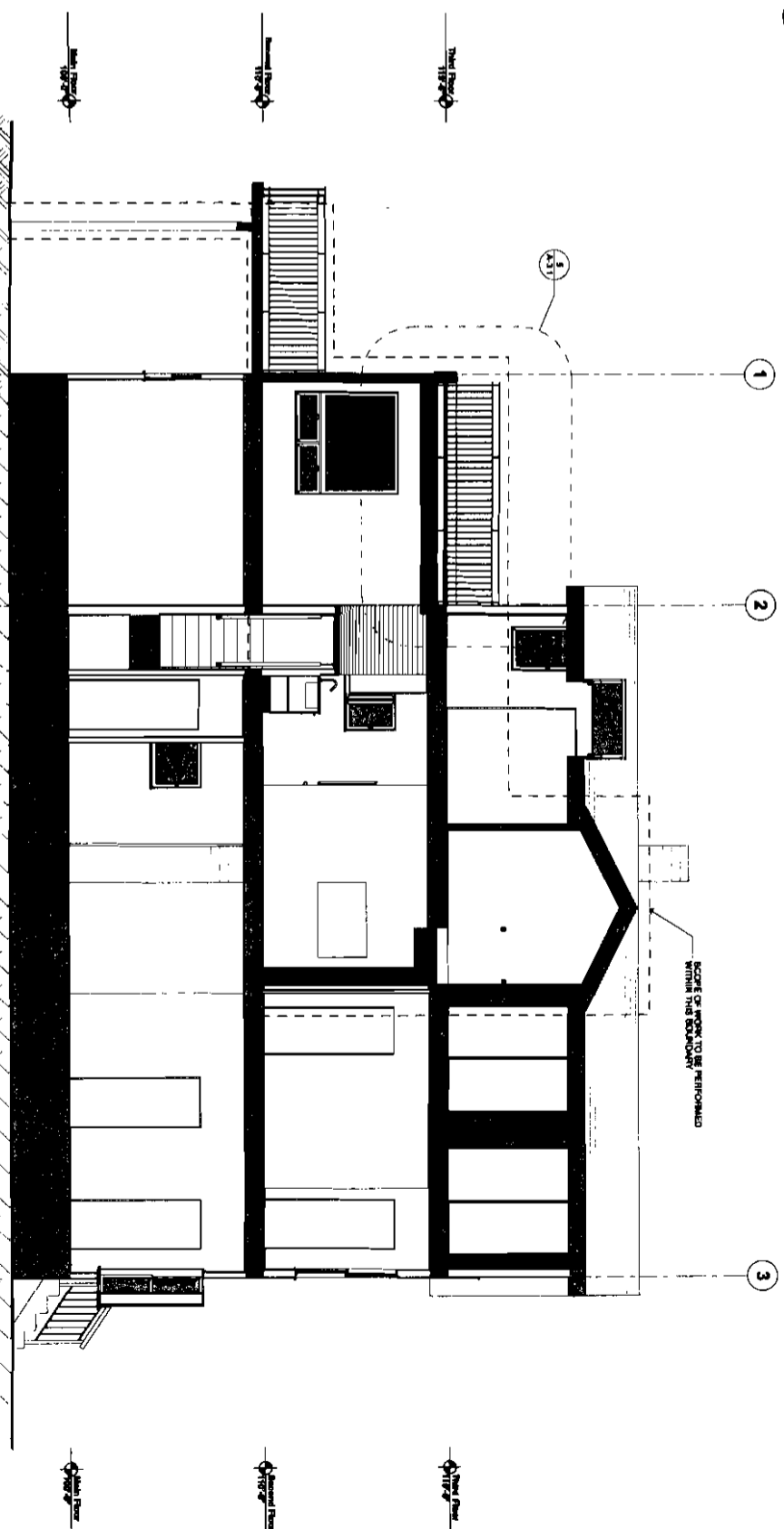
3 North / South Section  
SCALE: 1/4" = 1'-0"



2 North / South Section  
SCALE: 1/4" = 1'-0"

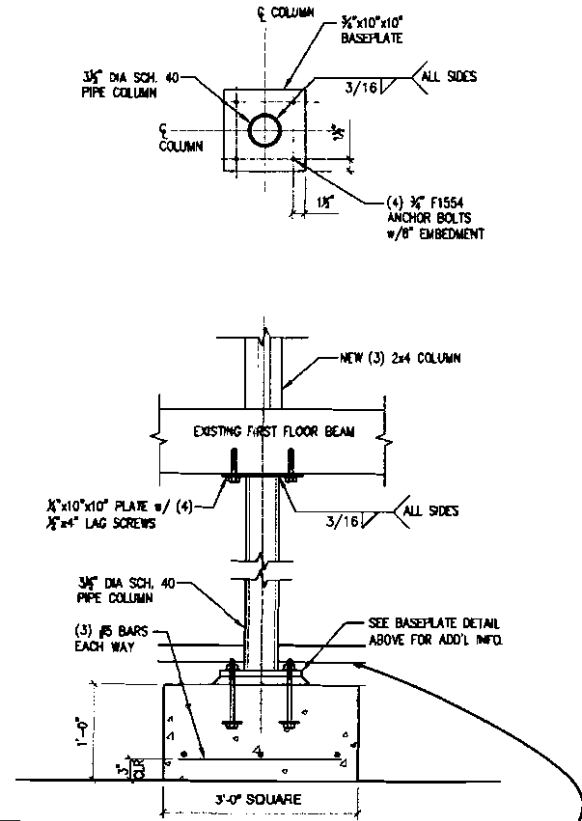


5 Roof Deck Detail  
SCALE: 3/4" = 1'-0"



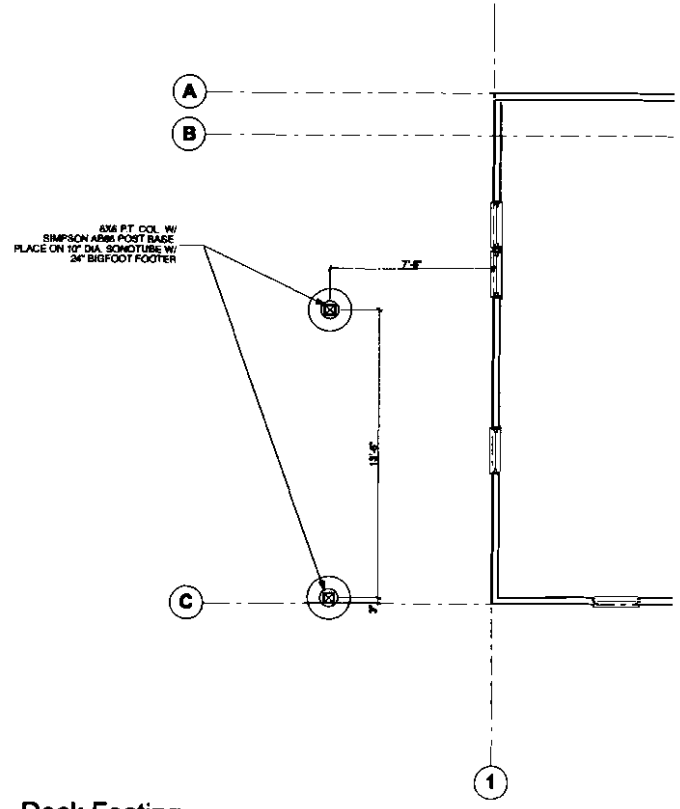
1 East / West Section  
SCALE: 1/4" = 1'-0"



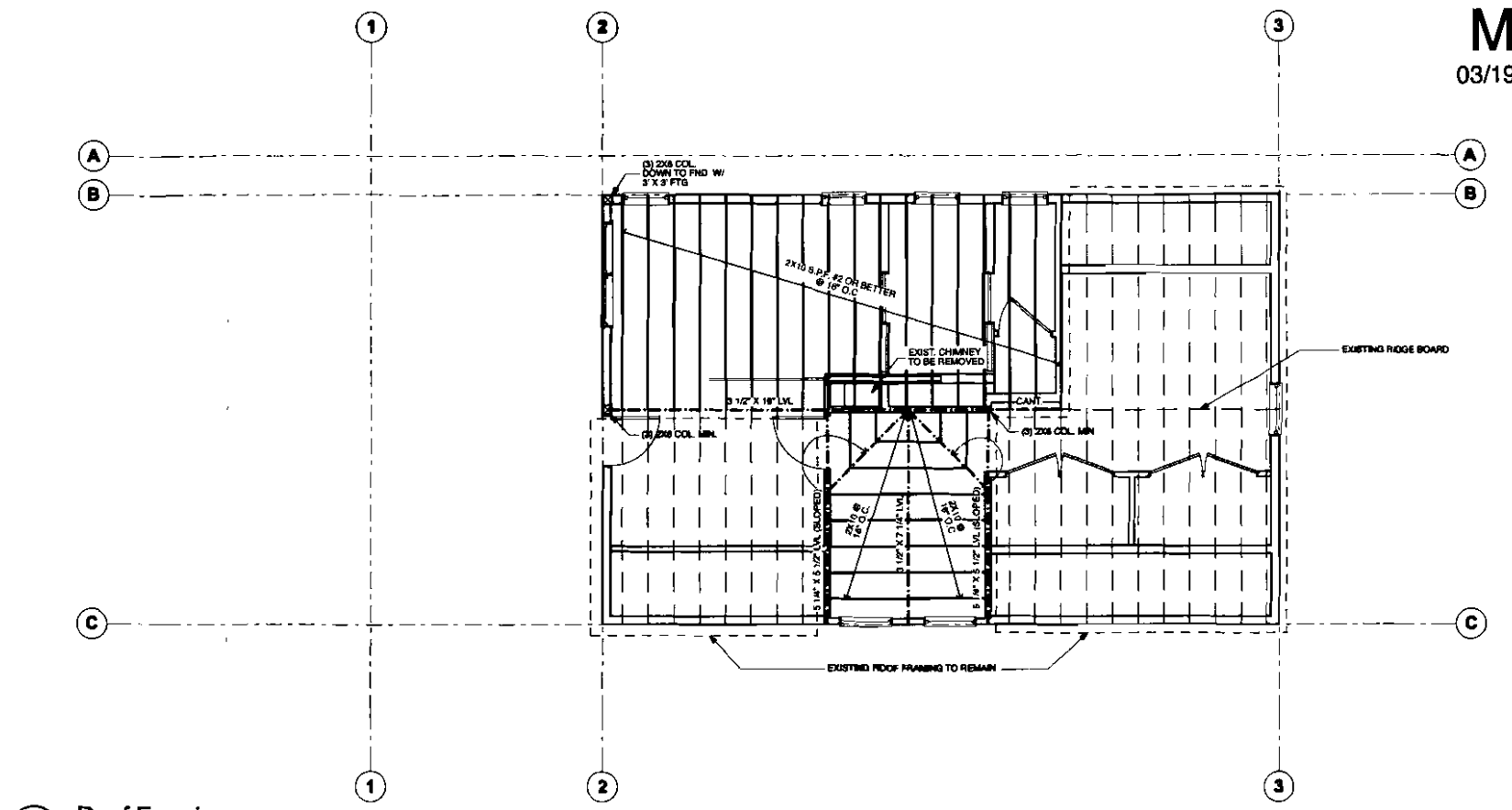


NOTE TO CONTRACTOR: PREFERRED OPTION FOR ABOVE DETAIL IS TO BURY NEW FOOTER BELOW BASEMENT FLOOR LEVEL.

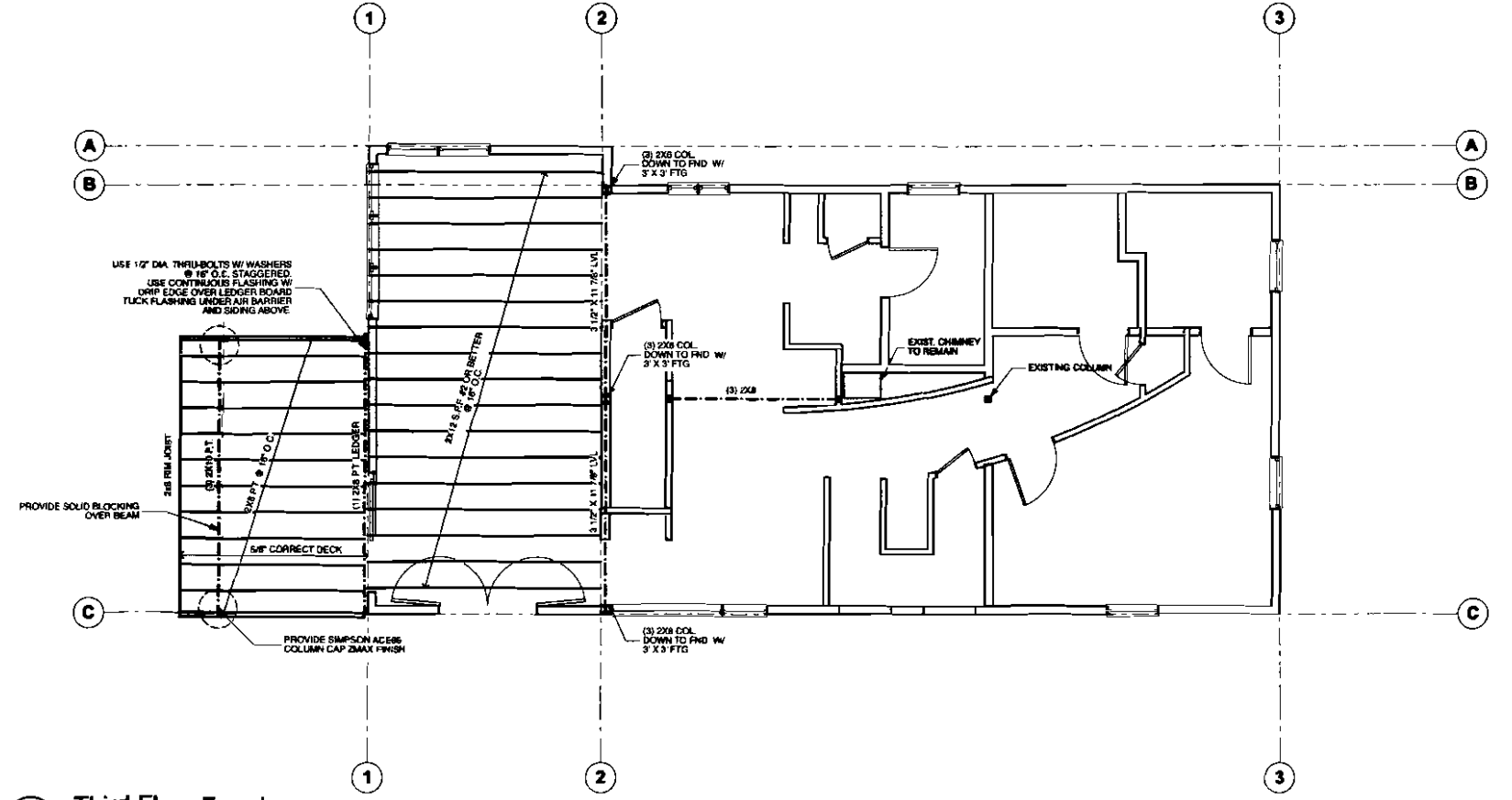
**4** Basement Column Detail  
NOT TO SCALE



**3** Deck Footing  
SCALE: 1/4" = 1'-0"

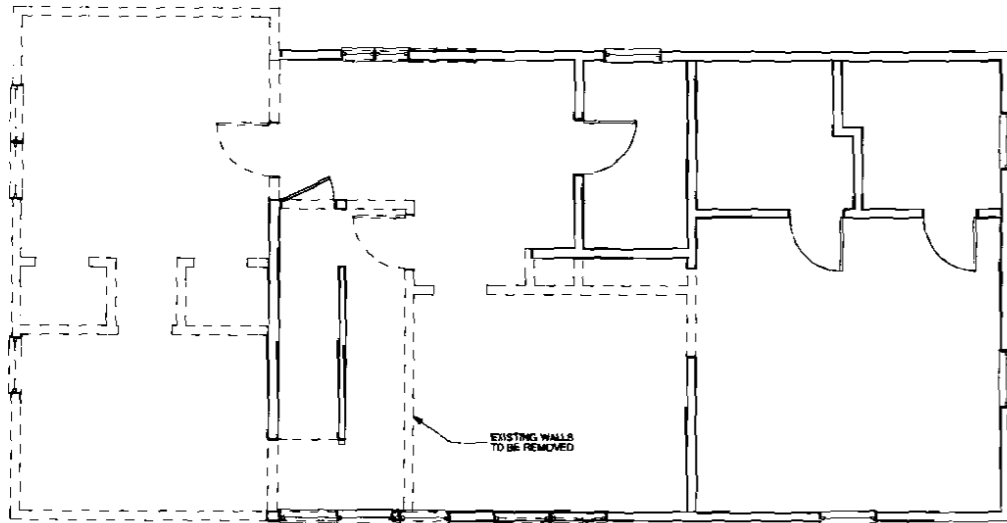


**2** Roof Framing  
SCALE: 1/4" = 1'-0"

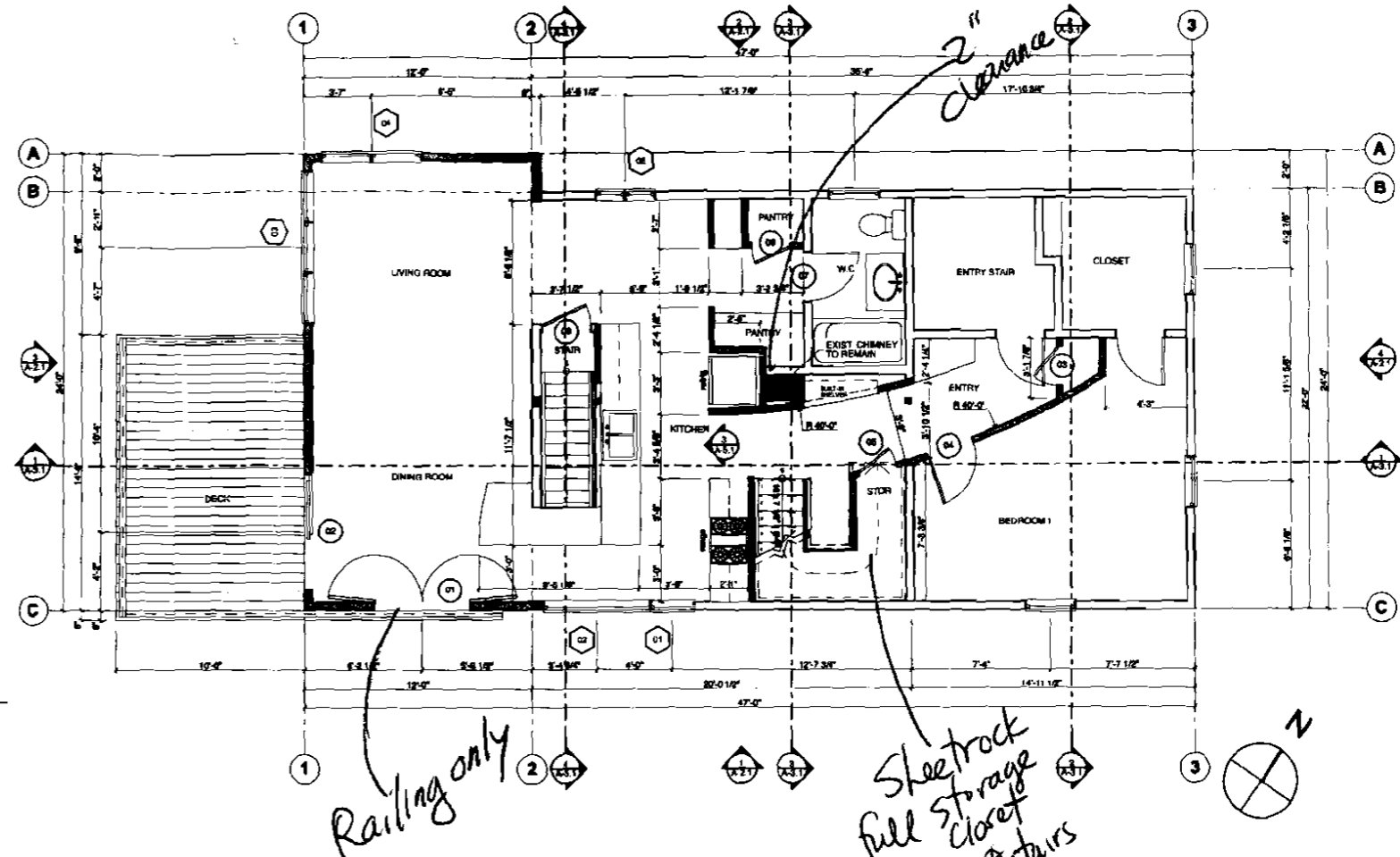


**1** Third Floor Framing  
SCALE: 1/4" = 1'-0"





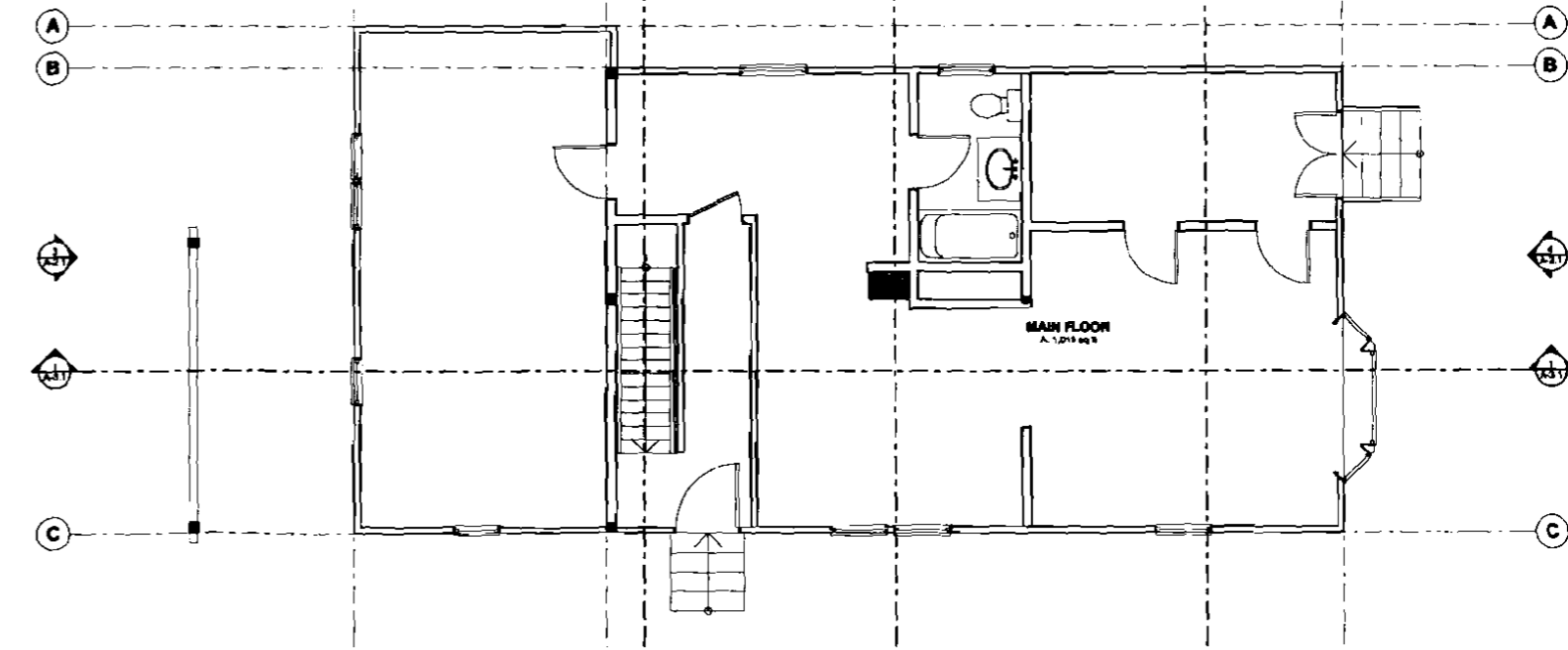
3 Second Floor Existing & Demolition Plan  
SCALE: 1/4" = 1'-0"



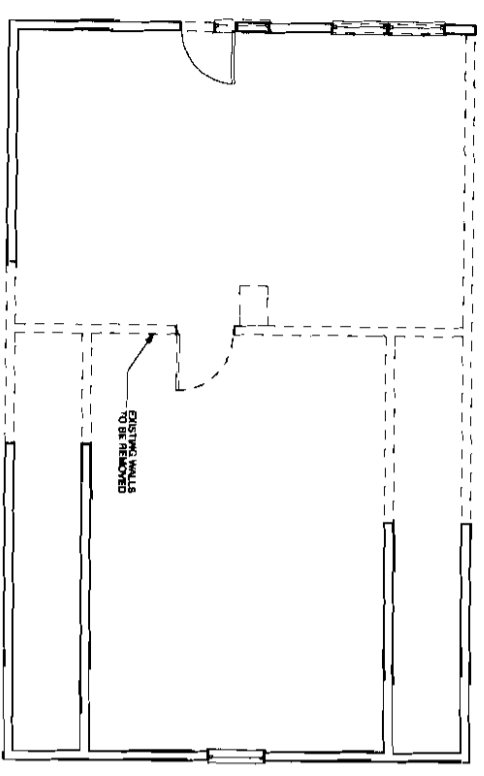
2 Second Floor - Proposed  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE										
MARK	SIZE			Quantity	Model #	Manufacturer	Type	Material	Glazing	NOTES
	W	HT	THK							
01	8'-0"	7'-0"	0'-1 3/8"				BUILDING TERRACE		DBL LOW E	TEMPERED
02	8'-0"	7'-0"	0'-1 3/8"				SWIMMING TERRACE		DBL LOW E	TEMPERED
03	2'-0"	6'-0"	0'-1 3/8"							
04	2'-0"	6'-0"	0'-1 3/8"							
05	2'-0"	6'-0"	0'-1 3/8"							
06	2'-0"	6'-0"	0'-1 3/8"							
07	2'-0"	6'-0"	0'-1 3/8"							
08	2'-0"	6'-0"	0'-1 3/8"							
09	2'-0"	6'-0"	0'-1 3/8"				BUILDING TERRACE		DBL LOW E	TEMPERED
10	2'-0"	6'-0"	0'-1 3/8"							
11	2'-0"	6'-0"	0'-1 3/8"							
12	2'-0"	6'-0"	0'-1 3/8"							
13	2'-0"	6'-0"	0'-1 3/8"							
14	2'-0"	6'-0"	0'-1 3/8"							
15	2'-0"	6'-0"	0'-1 3/8"							
16	2'-0"	6'-0"	0'-1 3/8"							
17	2'-0"	6'-0"	0'-1 3/8"							

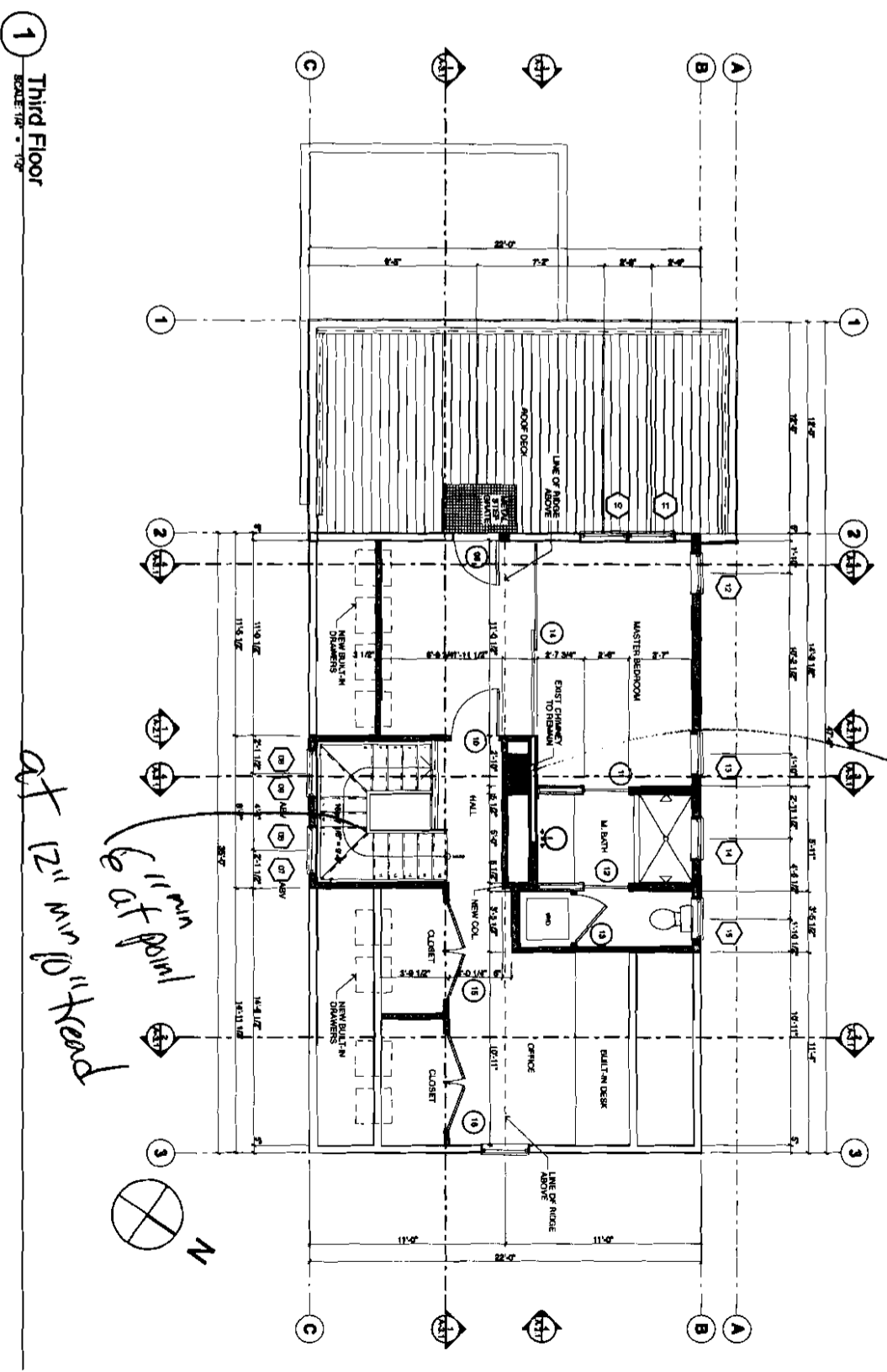
WINDOW SCHEDULE											
ID	R.O. Size		Quantity	Type	Model #	Manufacturer	Material	Glazing	Egress	Tempered	NOTES
	Width	Height									
01	2'-0"	4'-0"		CASEMENT			DBL LOW E				
02	8'-0"	2'-0"		PICTURE			DBL LOW E				
03	8'-0"	8'-0"		PICTURE & S AWNING			DBL LOW E				
04	8'-0"	8'-0"		PICTURE & S AWNING			DBL LOW E				
05	3'-0"	2'-0"		DOUBLE CASEMENT			DBL LOW E				
06	2'-0"	4'-0"		AWNING W/PICTURE			DBL LOW E				
07	2'-0"	2'-0"		PICTURE			DBL LOW E				
08	2'-0"	4'-0"		AWNING W/PICTURE			DBL LOW E				
09	2'-0"	2'-0"		PICTURE			DBL LOW E				
10	2'-0"	8'-0"		PICTURE W/ AWNING			DBL LOW E				
11	2'-0"	8'-0"		PICTURE W/ AWNING			DBL LOW E				
12	2'-0"	8'-0"		CASEMENT			DBL LOW E				
13	2'-0"	8'-0"		CASEMENT			DBL LOW E				
14	2'-0"	1'-0"		AWNING			DBL LOW E				
15	2'-0"	2'-0"		AWNING			DBL LOW E				
501	2'-0"	2'-0"		SKYLIGHT			DBL LOW E				
502	4'-0"	4'-0"		SKYLIGHT			DBL LOW E				



1 Main Floor - Existing  
SCALE: 1/4" = 1'-0"



2 Third Floor Existing & Demolition Plan  
SCALE: 1/4" = 1'-0"



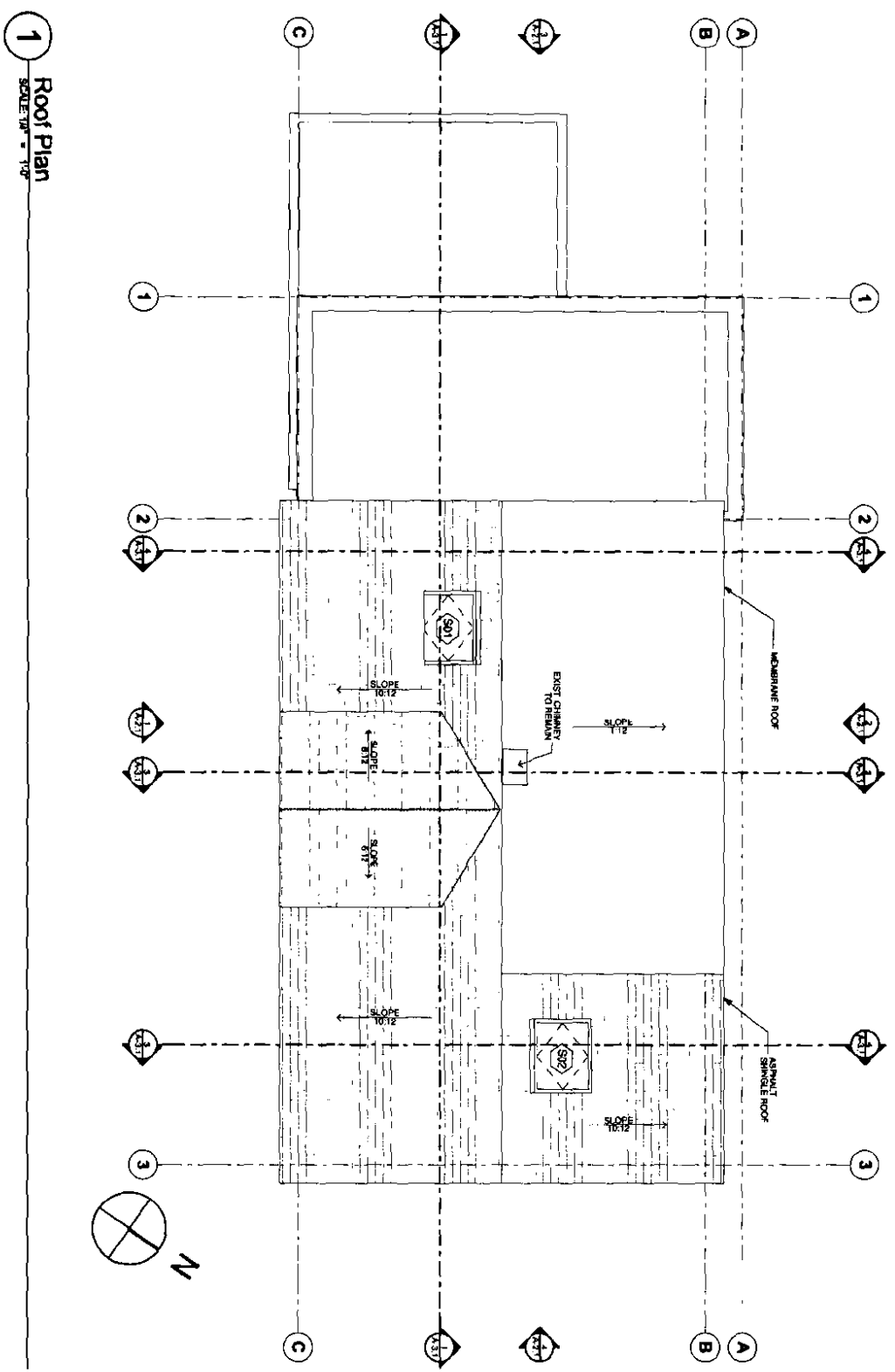
1 Third Floor  
SCALE: 1/4" = 1'-0"

KAPLAN THOMPSON  
ARCHITECTS  
424 FORT ST., PORTLAND, ME 04101  
207-842-2888 FAX 207-842-2828

PROJECT: MILLIKEN/PIERCE RENOVEL  
Diane Milliken & Ryan Pierce  
108 North Street  
Portland, ME

DRAWING: Third Floor  
SCALE: 1/4" = 1'-0"  
DATE: MARCH 19, 2010  
DRAWN BY: JB  
REVISED:

A-1.2

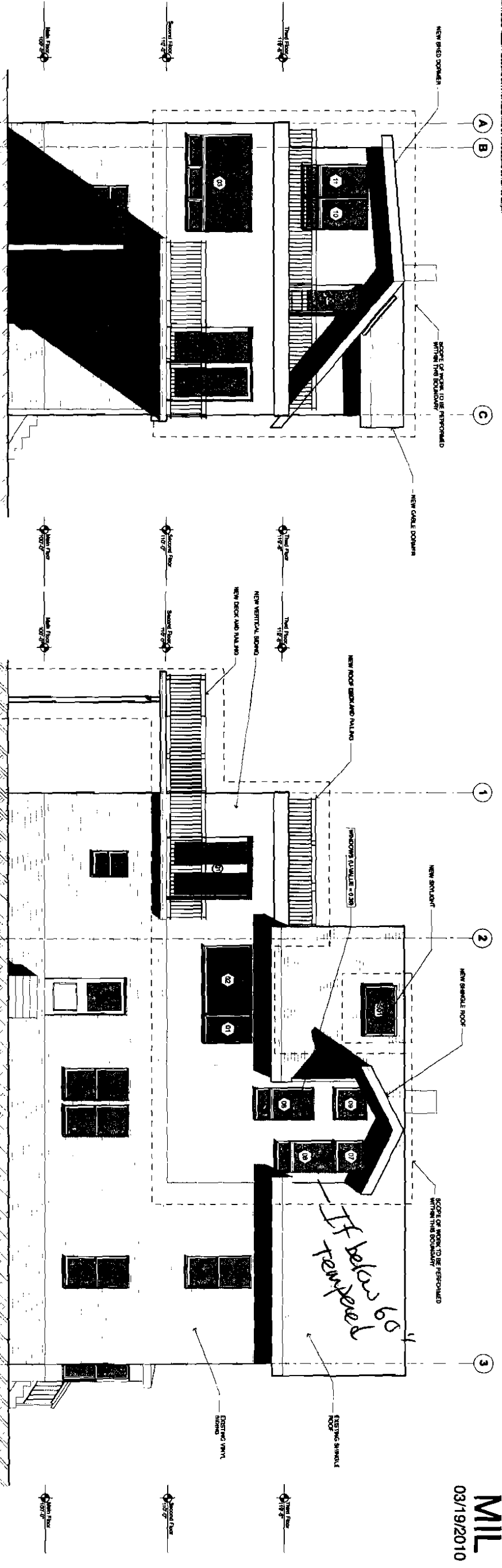


1 Roof Plan  
SCALE: 1/8" = 1'-0"

**J J & B L**  
KAPLAN THOMPSON  
ARCHITECTS  
424 FOND ST., PORTLAND, ME 04101  
207-662-2888 FAX: 207-662-2926

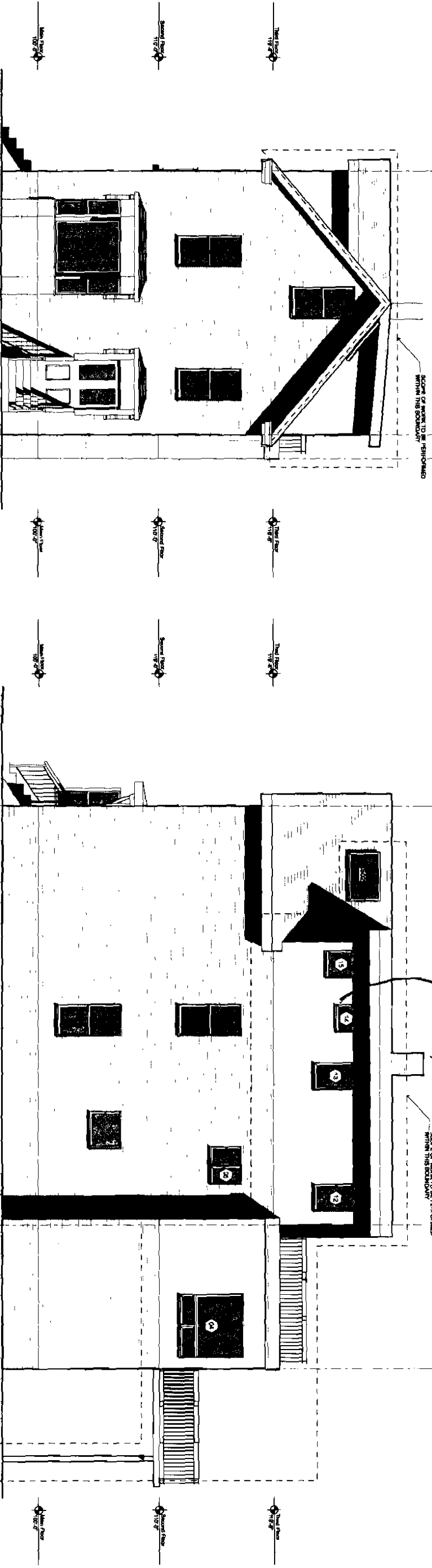
PROJECT: MILLIKEN/PIERCE REMODEL  
DANE MILLIKEN & RYAN PIERCE  
108 NORTH STREET  
PORTLAND, ME

DRAWING: Roof Plan  
SCALE: DRAWN BY: JIB  
DATE: MARCH 19, 2010  
REVISER:



3 West Elevation  
SCALE: 1/4" = 1'-0"

1 South Elevation  
SCALE: 1/4" = 1'-0"



3 West Elevation  
SCALE: 1/4" = 1'-0"

1 South Elevation  
SCALE: 1/4" = 1'-0"

4 East Elevation  
SCALE: 1/4" = 1'-0"

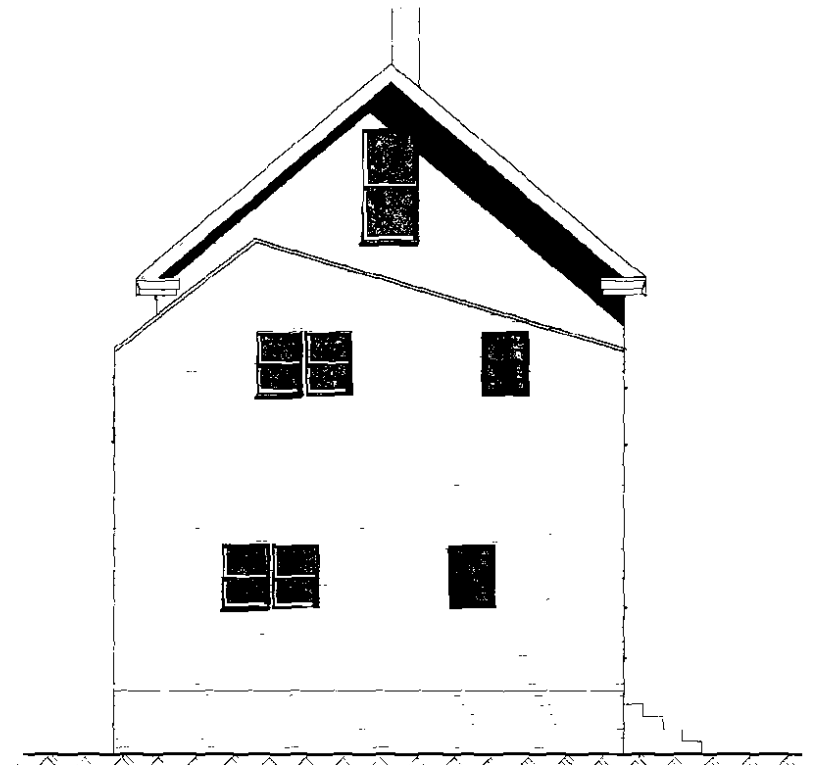
2 North Elevation  
SCALE: 1/4" = 1'-0"

KAPLAN THOMPSON  
ARCHITECTS  
424 FORT ST. PORTLAND, ME 04101  
507.642.2888 FAX 507.642.2828

PROJECT: MILLIKEN/PIERCE RENDELL  
DANIEL MILLIKEN & RYAN PIERCE  
PORTLAND, ME

DRAWING: NEW ELEVATIONS  
SCALE: 1/4" = 1'-0"  
DATE: MARCH 19, 2010

DRAWN BY: JB  
REVIEWED:



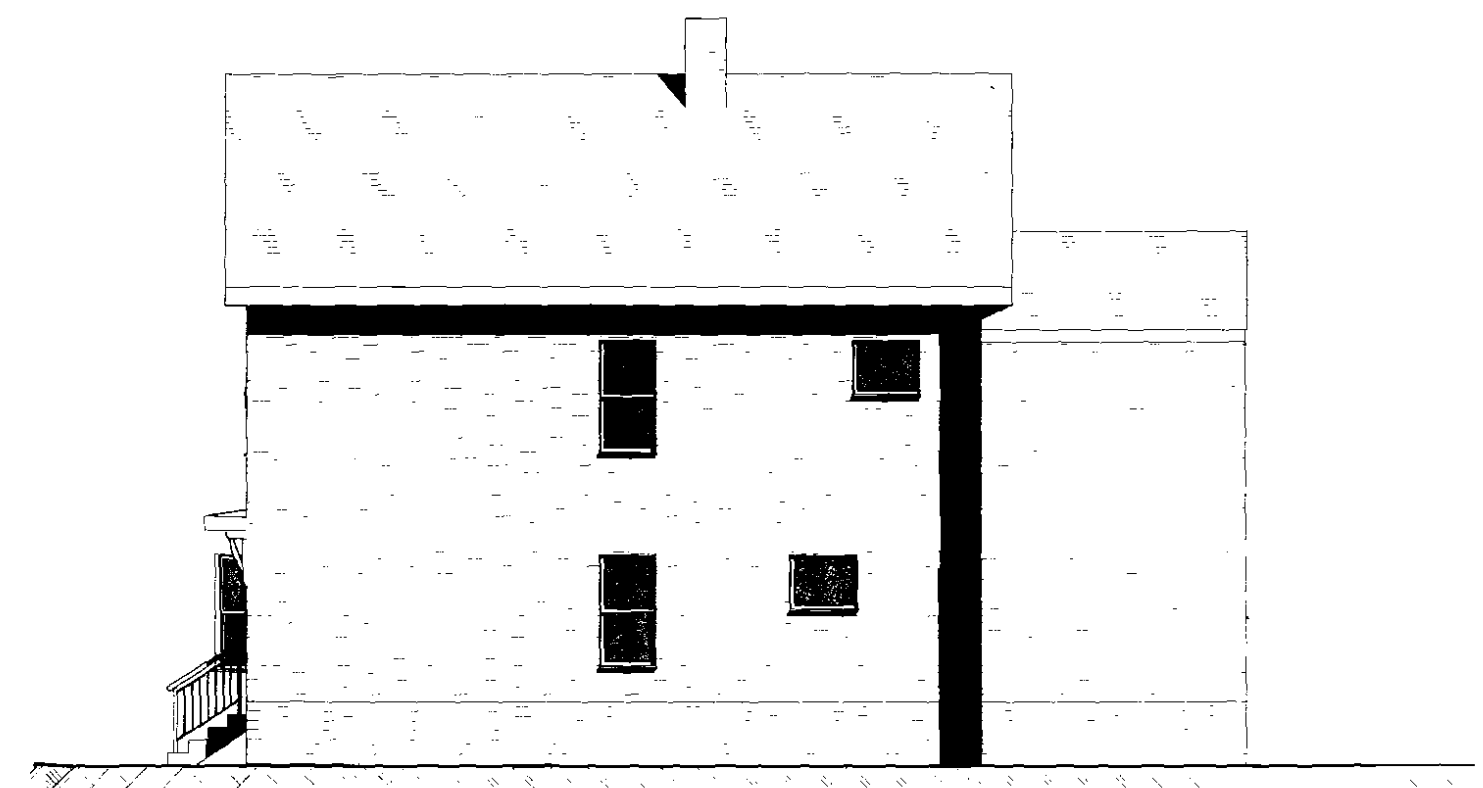
3 West Elevation  
SCALE: 1/4" = 1'-0"



1 South Elevation  
SCALE: 1/4" = 1'-0"



4 East Elevation  
SCALE: 1/4" = 1'-0"



2 North Elevation  
SCALE: 1/4" = 1'-0"

KAPLAN THOMPSON  
ARCHITECTS  
424 FORE ST., PORTLAND, ME 04101  
207-842-2558 FAX: 842-2528

PROJECT:  
MILLIKEN/PIERCE REMODEL  
DIANE MILLIKEN & RYAN PIERCE  
106 NORTH STREET  
PORTLAND, ME

DRAWING: EXISTING ELEVATIONS  
SCALE: 1/4" = 1'-0"  
DATE: MARCH 19, 2010

Drawn by: JB  
REVISED:

A-2.2