

M. Utilities

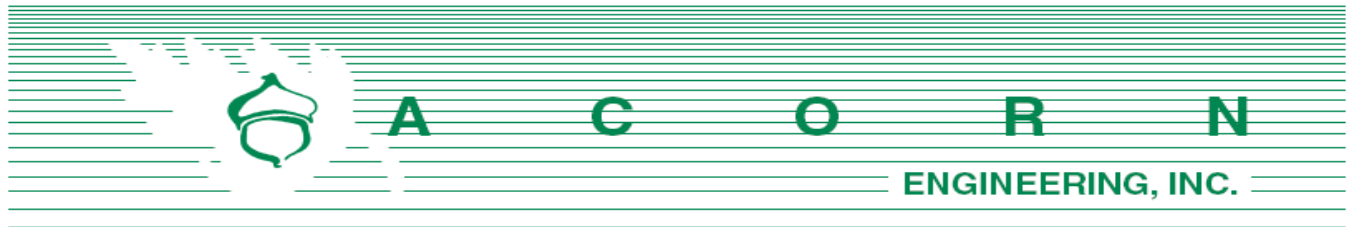
As identified in the Existing Conditions Plan, the site has existing overhead services (2) that connect to the existing building in front of the property; overhead utility is proposed to be rerouted underground to an on-site transformer; the cable/telephone service is to bypass the transformer. The existing overhead services along Sheridan Street and their corresponding utility poles directly abutting the property are to remain and be protected during construction. It is proposed, with coordination with Central Maine Power, that one utility pole along the front of the property be relocated to a point of non-conflict with the new driveway entrance.

There are no existing gas services or sewer service extending from the existing building as confirmed by Unutil Gas and the City of Portland Public Works; new services are proposed with connections into the existing systems in Sheridan Street.

Ability to serve letters, originally sent on June 7th, 2016 for a 34-unit project and since revised for a 19-unit project, have been sent out to the respective utility companies in accordance with the City of Portland Code of Ordinances Chapter 14 Land Use, Section 14-527(g)(7). Please refer to the attached letters and responses received to date.

Ability to serve from the Department of Public Works was also received July 19th, 2017 in response to the Wastewater Application and has been attached as well.





Central Maine Power Company
Attn: Paul DuPerre
162 Canco Road
Portland, Maine 04103

May 11, 2017

Subject: 155 Sheridan Street Redevelopment
Re: Updated Ability to Serve

Paul DuPerre:

On behalf of BD Sheridan, LLC, we are pleased to submit the following request for CMP's ability to serve the proposed development; the site is located at 153-165 Sheridan Street (Map, Book, Lot 12-Q-12 & 12-Q-10), within the R-6 residential zoning district in Portland, Maine. The project was previously submitted to CMP on June 7th, 2016 as a 34-unit redevelopment project but has since evolved to be a four-level, 19-unit building with parking provided internally on the first floor. The existing 1.5-story building and existing overhead services are to be demolished.

It is still proposed that the main overhead lines servicing Sheridan Street remain as is and that the new, three-phase service be rerouted underground from a relocated utility pole to an on-site transformer. One of the existing utility poles needs to be relocated due to the proposed driveway entrance to the parking garage. The attached utility plan shows the preferred location for the relocated utility pole and transformer. The transformer pad has a five-foot side clearance from the building, a front clearance of approximately twelve feet as provided on the north side of the pad, and a rear clearance of five feet as provided on the south side of the pad. Due to site constraints, only three feet of clearance can be provided from the property line.

On behalf of the client, we are requesting the following information:

1. Any easements for overhead services currently crossing the proposed development.
2. Alternative connection and transformer pad locations from the development to the existing system.
3. Confirmation of the proposed location or recommendation or the final location for the relocated utility pole.
4. Confirm that the proposed transformer pad setbacks is acceptable or recommendations on a revised pad layout.
5. CMP's proposed infrastructure improvements within the project vicinity.
6. CMP's ability to serve the project.
7. Access requirements to the CMP meters.

I have attached an existing conditions plan created by Titcomb Associates as well as a revised preliminary utility plan from our office to facilitate your review. Please do not hesitate to contact me or the office for questions or clarifications.

Sincerely,

A handwritten signature in black ink, appearing to read "Olivia Dawson". The signature is fluid and cursive, with the first name being more prominent.

Olivia Dawson, E.I.
Design Engineer
Acorn Engineering, Inc.



**CENTRAL MAINE
POWER**

May 17, 2017

Ms. Olivia Dawson, PI
Engineer
Acorn Engineering, Inc.
PO Box 3372
Portland, Maine 04104

RE: 155 Sheridan Street, Portland, Maine

Dear Ms. Dawson,

This letter is to advise you Central Maine Power has sufficient three phase electrical capacity in the area to serve the subject project.

Once the project is accepted by the City of Portland, the owner will need to call our Customer Service Center at 1-800-565-3181 to sign up for a New Account and a SAP Work Request Order so we may provide an actual cost.

If you have any questions please feel free to call me at 828-2882.

Sincerely,

Paul DuPerre
Energy Service Specialist

162 Canco Road, Portland, ME 04103
Telephone 800.750.4000, Fax 207.791.1026
cmpco.com



**IBERDROLA
USA**

An equal opportunity employer





A C O R N

ENGINEERING, INC.

Fairpoint Communications
Attn: Brian Bouchard
5 Davis Farm Road
Portland, Maine 04103

May 11, 2017

Subject: 155 Sheridan Street Redevelopment
Re: Updated Ability to Serve

Brian Bouchard:

On behalf of BD Sheridan, LLC, we are pleased to submit the following request for the Fairpoint's ability to serve the proposed development; the site is located at 153-165 Sheridan Street (Map, Book, Lot 12-Q-12 & 12-Q-10), within the R-6 residential zoning district in Portland, Maine. The project was previously submitted to Fairpoint on June 7th, 2016 as a 34-unit redevelopment project but has since evolved to be a four-level, 19-unit building with parking provided internally on the first floor. The existing 1.5-story building and existing overhead services are to be demolished.

It is still proposed that the main overhead lines servicing Sheridan Street remain as is and the new service be rerouted underground from a relocated utility pole as noted on the utility plan. The service is also to bypass the proposed transformer.

On behalf of the client, we are requesting an update, if any, for the following information:

1. Any additional information, such as utility mapping within Sheridan Street.
2. Any easements for overhead services currently crossing the proposed development.
3. Alternative connection locations from the development to the existing communication system.
4. Fairpoint's proposed infrastructure improvements within the project vicinity.
5. Confirmation that Fairpoint still has the ability to serve the project

I have attached an existing conditions plan created by Titcomb Associates as well as a revised preliminary utility plan from our office to facilitate your review. Please do not hesitate to contact me or the office for questions or clarifications.

Sincerely,

Olivia Dawson, E.I.
Design Engineer
Acorn Engineering, Inc.





5 Davis Farm Rd
Portland, ME 04103
207- 712-1063 Cell
207- 797-1098 Fax

May 12, 2017

To Whom It May Concern:

This letter is to inform that FairPoint Communications has the capacity and willingness to serve the proposed 19-Unit to be located at 155 Sheridan St in Portland. FairPoint currently has aerial facilities along Sheridan St and on the proposed service pole in which we can provide service from. Please do not hesitate to contact me with any questions.

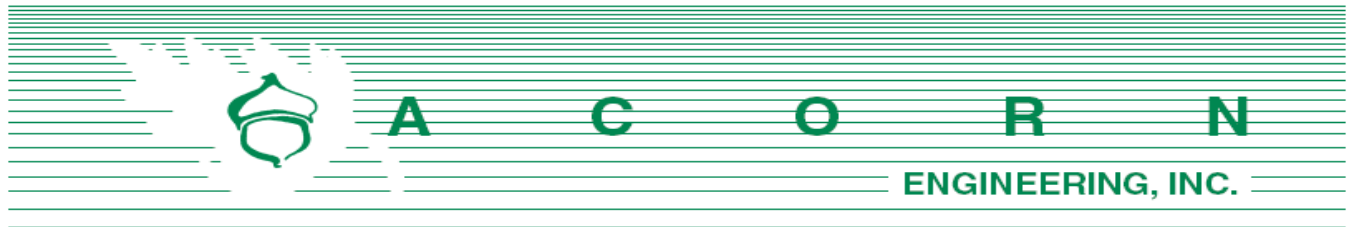
Sincerely,

Brian M. Bouchard

FairPoint Outside Plant Engineer

Email: bbouchard1@fairpoint.com

Phone: 207-712-1063



Portland Water District
 Attn: MEANS Department
 225 Douglas Street
 Portland, Maine 04104

May 11, 2017

Subject: 155 Sheridan Street Redevelopment
 Re: Updated Ability to Serve

To Whom It May Concern:

On behalf of BD Sheridan, LLC, we are pleased to submit the following request for PWD's ability to serve the proposed development; the site is located at 153-165 Sheridan Street (Map, Book, Lot 12-Q-12 & 12-Q-10), within the R-6 residential zoning district in Portland, Maine. The project was previously submitted to PWD on June 7th, 2016 as a 34-unit redevelopment project but has since evolved to be a four-level, 19-unit building with parking provided internally on the first floor. The existing 1.5-story building and existing domestic water service are to be demolished.

Previous conversations with PWD included proposing a main line extension of the existing 8" DI water main within Sheridan Street. Due to the redesign of the building and relocation of the mechanical room, the water service can tap the existing water main and run perpendicular to the street. It is also proposed, to limit the amount of utility pavement cuts, that the building be service via a parent/child connection; an 8" parent is proposed to split into a 6" domestic and 2" fire service within the furnishing zone of the ROW.

Based upon the Section 4 of the Maine Subsurface Water Disposal Rules, the project anticipates the following design flows:

Estimate of Anticipated Design Flows				
Development	Unit Size	Number of Units	Gallons per Day per Unit	Total Gallons per Day
Existing flow to be removed				
Single Family Residential Units	1 Bedroom	0	180	0
	2 Bedroom	1	180	180
				<i>180</i>
Proposed flow				
Attached Single Family Residential Units	1 Bedroom	14	180	2,520
	2 Bedroom	5	180	900
				<i>3,420</i>
Net Change				+ 3,240
*Values based on STATE OF MAINE: SUBSURFACE WASTEWATER DISPOSAL RULES, most recent edition				

The proposed project is anticipated to add a net water usage from the development of approximately 3,240 gallons per day (GPD). It should be noted that these values were developed using conservative estimates from the State of Maine Subsurface Wastewater Disposal Rules and, considering the compact nature of the units, ranging from 834 to 1,438 square feet, the actual flows are anticipated to be lower.

On behalf of the client, we are requesting an update, if any, for the following information:

1. Any additional information, such as utility mapping within Sheridan Street; more specifically the location of the service to the existing building.
2. Alternative connection locations from the development to the existing system.
3. PWD's proposed infrastructure improvements within the project vicinity.
4. New flow data for adjacent hydrants.
5. PWD's ability to serve the project.

I have attached an existing conditions plan completed by Titcomb Associates, a revised preliminary utility plan, and an updated PWD fixture count spreadsheet from our office to facilitate your review. Please do not hesitate to contact me or the office for questions or clarifications.

Sincerely,



Olivia Dawson, E.I.
Design Engineer
Acorn Engineering, Inc.



Portland Water District

FROM SEBAGO LAKE TO CASCO BAY

August 2, 2017

Olivia Dawson
Acorn Engineering, Inc.
PO Box 3372
Portland, ME 04104

Re: 155 Sheridan Street, PO
Ability to Serve with PWD Water

Dear Ms. Dawson :

The Portland Water District has received your request for an Ability to Serve Determination for the noted site submitted on May 11, 2017. Based on the information provided per plans dated 7/18/17, we can confirm that the District will be able to serve the proposed project as further described in this letter. **Please note that this letter constitutes approval of the water system as currently designed. Any changes affecting the approved water system will require further review and approval by PWD.**

Conditions of Service

The following conditions of service apply:

- A new 6-inch parent service line may be installed from the renewed 8" DI water main in Sheridan Street to serve a 6" fire service and 4" domestic service for the site. The service should enter through the properties frontage on Sheridan Street at least 10-feet from any side property lines.
- Tees, valves, and services from the main to the shutoff valve will be installed by the contractor performing the main renewal scope of work. The developer of 155 Sheridan Street will reimburse the district for the cost of the work.
- Our records show that the property is currently served with a ¾-inch domestic water service; please note that the size of this service is below our minimum service size of 1-inch. PWD will retire the existing ¾" service as part of the water main renewal project in Sheridan Street.

Prior to construction, the owner or contractor will need to make an appointment to complete a service application form and pay all necessary fees. The appointment shall be requested through MEANS@pwd.org or by calling 207-774-5961 ext. 3199. Please allow (3) business days to process the service application paperwork. PWD will guide the applicant through the new development process during the appointment.

Existing Site Service

According to District records, the project site does currently have existing water service. A 3/4-inch diameter copper domestic water line provides water service to the site. Please refer to the "Conditions of Service" section of this letter for requirements related to the use of these services.



Water System Characteristics

According to District records, there is an 2.25-inch diameter CI water main in Sheridan Street. PWD will renew the existing main with a new 8" DI water main as part of the City of Portland Sheridan Street reconstruction project. There are two public fire hydrants near the site, one located 350 feet from the site at the intersection of Sheridan and Walnut Street, and the other located 350 feet from the site to the southeast on Sheridan Street. The most recent static pressure reading for the hydrants was 60 psi and 62 psi, respectively.

Public Fire Protection

The installation of new public hydrants to be accepted into the District water system will most likely not be required. It is your responsibility to contact the City of Portland Fire Department to ensure that this project is adequately served by existing and/or proposed hydrants.

Domestic Water Needs

The data noted above indicates there should be adequate pressure and volume of water to serve the domestic water needs of your proposed project.

Private Fire Protection Water Needs

You have indicated that this project will require water service to provide private fire protection to the site. Please note that the District does not guarantee any quantity of water or pressure through a fire protection service. Please share these results with your sprinkler system designer so that they can design the fire protection system to best fit the noted conditions. If the data is out of date or insufficient for their needs, please contact MEANS to request a hydrant flow test and we will work with you to get more complete data.

Should you disagree with this determination, you may request a review by the District's Internal Review Team. Your request for review must be in writing and state the reason for your disagreement with the determination. The request must be sent to MEANS@PWD.org or mailed to 225 Douglass Street, Portland Maine, 04104 c/o MEANS. The Internal Review Team will undertake review as requested within 2 weeks of receipt of a request for review.

If the District can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District



Robert A. Bartels, P.E.
Senior Project Engineer



A C O R N

ENGINEERING, INC.

Spectrum Cable
Attn: Mark Pelletier
118 Johnson Road
Portland, Maine 04102

May 11, 2017

Subject: 155 Sheridan Street Redevelopment
Re: Updated Ability to Serve

Mark Pelletier:

On behalf of BD Sheridan, LLC, we are pleased to submit the following request for the Spectrum's ability to serve the proposed development; the site is located at 153-165 Sheridan Street (Map, Book, Lot 12-Q-12 & 12-Q-10), within the R-6 residential zoning district in Portland, Maine. The project was previously submitted to Spectrum (formally Charter) on June 7th, 2016 as a 34-unit redevelopment project but has since evolved to be a four-level, 19-unit building with parking provided internally on the first floor. The existing 1.5-story building and existing overhead services are to be demolished.

It is still proposed that the main overhead lines servicing Sheridan Street remain as is and the new service be rerouted underground from a relocated utility pole as noted on the utility plan. The service is also to bypass the proposed transformer.

On behalf of the client, we are requesting an update, if any, for the following information:

1. Any additional information, such as utility mapping within Sheridan Street.
2. Any easements for overhead services currently crossing the proposed development.
3. Alternative connection locations from the development to the existing communication system.
4. Spectrum's proposed infrastructure improvements within the project vicinity.
5. Spectrum's ability to serve the project.

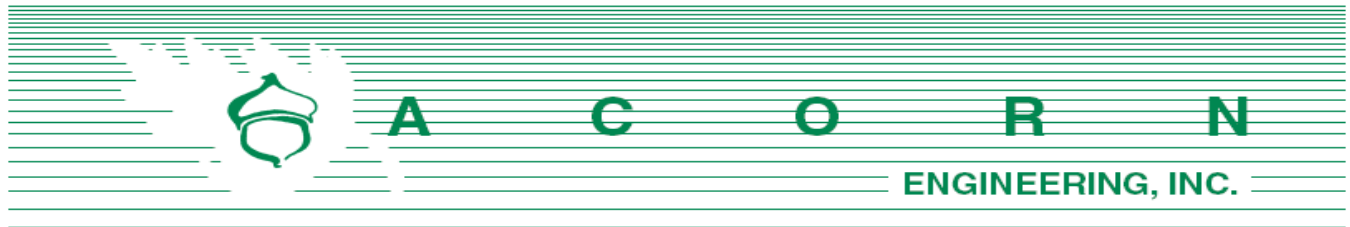
I have attached an existing conditions plan created by Titcomb Associates as well as an updated preliminary utility plan from our office to facilitate your review. Please do not hesitate to contact me or the office for questions or clarifications.

Sincerely,

Olivia Dawson, E.I.
Design Engineer
Acorn Engineering, Inc.



A C O R N Engineering, Inc. • www.acorn-engineering.com
207-775-2655 • PO Box 3372 • Portland • Maine • 04104



Unitil Service Corp.
Attn: Bridget Harmon
376 Riverside Industrial Parkway
Portland, Maine 04103

May 11, 2017

Subject: 155 Sheridan Street Redevelopment
Re: Updated Ability to Serve

Bridget Harmon:

On behalf of BD Sheridan, LLC, we are pleased to submit the following request for Unitil's ability to serve the proposed development; the site is located at 153-165 Sheridan Street (Map, Book, Lot 12-Q-12 & 12-Q-10), within the R-6 residential zoning district in Portland, Maine. The project was previously submitted to Unitil on June 7th, 2016 as a 34-unit redevelopment project but has since evolved to be a four-level, 19-unit building with parking provided internally on the first floor. The existing 1.5-story building is to be demolished.

It has since been confirmed that a gas service will be required for the building. From our previous conversations, an existing gas main was identified within Sheridan Street. It is proposed that the new service connect to the main located within the City sidewalk.

On behalf of the client, we are requesting any updates, if any, for the following information:

1. Any additional utility mapping such as gas lines on Sheridan or North Street.
2. Unitil's proposed infrastructure improvements within the project vicinity.
3. Unitil's ability to serve the project.

I have attached an existing conditions plan created by Titcomb Associates as well as an updated preliminary utility plan from our office to facilitate your review. Please do not hesitate to contact myself or the office for questions or clarifications.

Sincerely,

Olivia Dawson, E.I.
Design Engineer
Acorn Engineering, Inc.



July 21, 2017

Olivia Dawson, E.I.
Acorn Engineering Inc.
Po Box 3372
Portland Maine 04104

Re: 155 Sheridan Street, Portland Maine

Dear Miss. Dawson:

Thank you for your interest in using natural gas for the above referenced project.

This is to confirm that natural gas can be made available from our distribution system to serve your proposed residential redevelopment project.

Any improvements to the existing distribution system necessary to provide this service, as well as the design of the gas system in the project itself will be established as the overall design and scope of your project progresses and natural gas loads and intended location of service becomes available.

All work necessary to provide service will be performed in accordance with the Maine Public Utilities Commission requirements.

If you have any further questions or require additional information, please contact me directly at (207) 541-2536 or at Harmon@unitil.com.

Sincerely,

Bridget L. Harmon

Business Development Representative
Unitil Corporation
(o) 207-541-2536 (f) 207-541-2586



Date: July 19, 2017

Re: Wastewater Capacity Authorization

Address: 155 Sheridan Street, Portland, Maine

Applicant: Bernie Sheridan, LLV

Planner: Matthew Grooms

Anticipated Wastewater Flow:

Estimate of Anticipated Design Flows				
Development	Unit Size	Number of Units	Gallons per Day per Unit	Total Gallons per Day
Existing flow to be removed				
Single Family Dwelling	2 Rooms or Less		180	(180)
Proposed flow				
Multiple Family Dwelling Units	1-Bedroom	14	120	1680
Multiple Family Dwelling Units	2-Bedroom	5	180	900
Net Change				+ 2,400
*Values based on STATE OF MAINE: SUBSURFACE WASTEWATER DISPOSAL RULES, most recent edition				

Comments:

The Department of Public Works, which includes the Water Resource Division, have reviewed and determined that the downstream sewers from the project address have the capacity to convey the estimated dry weather wastewater flows which will be generated from this development.

If the City can be of further assistance, please contact me at all 874-8840 or brad@portlandmaine.gov

Sincerely,
CITY OF PORTLAND

Bradley A. Roland, P.E.
Senior Project Engineer

CC:

Jeffrey Levine, Director, Department of Planning and Urban Development, City of Portland
Stuart O'Brien, Planning Director, Department of Planning and Urban Development, City of Portland
Barbara Barhydt, Development Review Services Mgr., Dep't. of Planning and Urban Development, City of Portland

Kathi Earley, City Engineer/Engineering Manager, Portland Department of Public Works
Keith Gray, Senior Project Engineer, Portland Department of Public Works

Nancy Gallinaro, Water Resources Manager, Portland Department of Public Works
Rachel Smith, Industrial Pretreatment Coordinator, Portland Department of Public Works
John Emerson, Wastewater Coordinator, Portland Department of Public Works

Lauren Swett, Woodard & Curran, DPW Development Review
Scott Firmin, Director of Wastewater, Portland Water District