

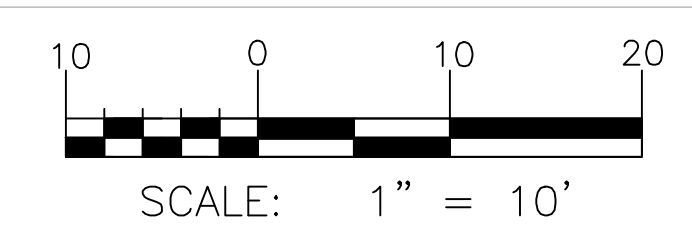
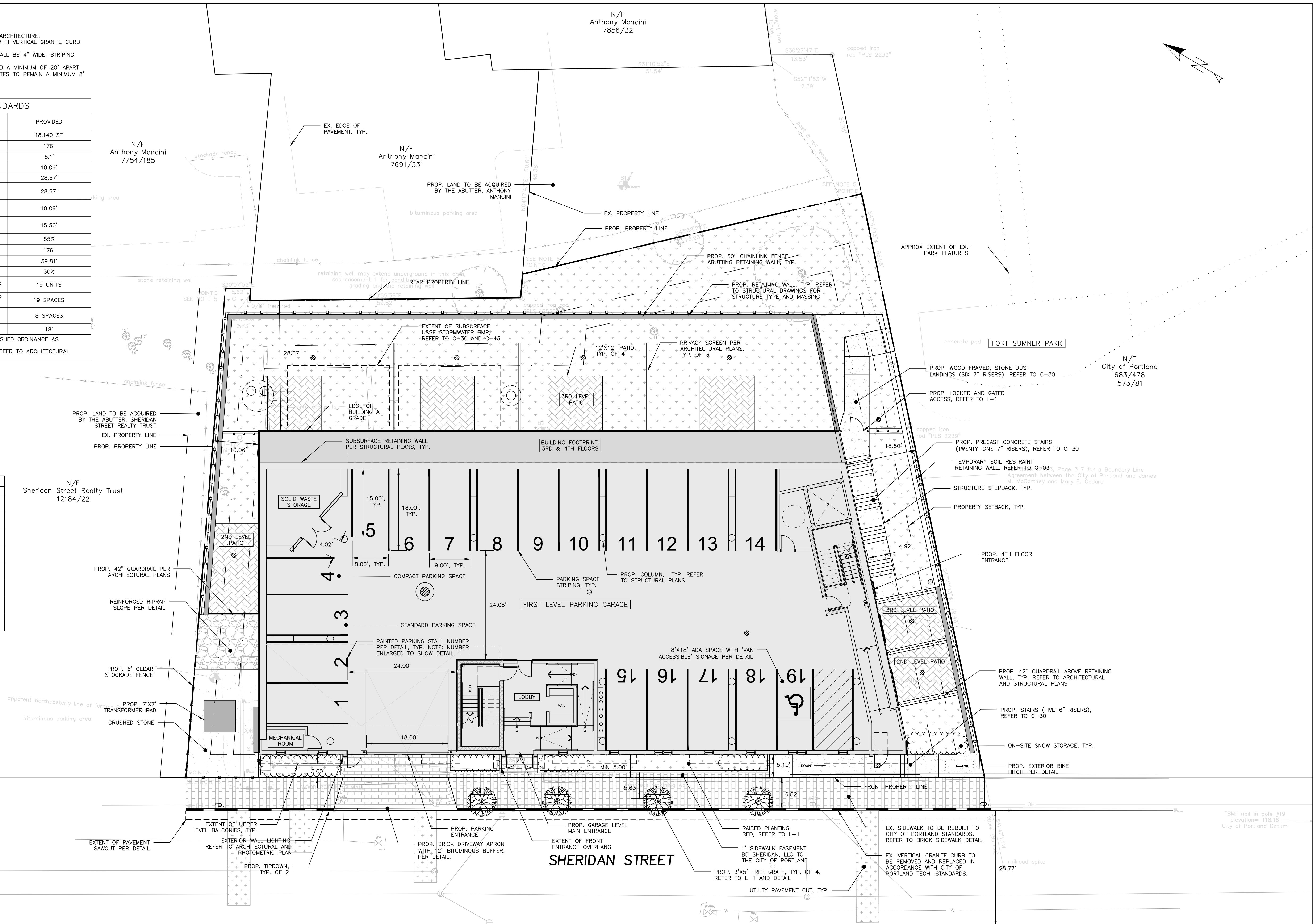
- GENERAL NOTES:
- ZONING ANALYSIS COMPLETED BY RYAN SENATORE ARCHITECTURE.
 - CONTRACTOR TO REPLACE ALL EXISTING CURBING WITH VERTICAL GRANITE CURB PER DETAIL.
 - INTERIOR STRIPING AS INDICATED ON SITE PLAN SHALL BE 4" WIDE. STRIPING SHALL BE WHITE UNLESS OTHERWISE NOTED.
 - TREE GRATES AND STREET TREES SHALL BE PLACED A MINIMUM OF 20' APART MEASURED FROM CENTERLINE OF GRATE. TREE GRATES TO REMAIN A MINIMUM 8' FROM UTILITY POLES.

SPACE AND BULK STANDARDS		
ZONE: R6	REQUIRED	PROVIDED
MINIMUM LOT SIZE	2,000 SF	18,140 SF
MINIMUM STREET FRONTAGE	20'	176'
FRONT YARD (AVG)	5'	5.1'
SIDE YARD	5'	10.06'
REAR YARD	10'	28.67'
STRUCTURE STEPBACKS (REAR YARD ABOVE 35')	15'	28.67'
STRUCTURE STEPBACKS (SIDE YARD ABOVE 35')	10'	10.06'
MIN BUILDING SETBACK FROM FORT SUMNER PARK	15'	15.50'
MAXIMUM LOT COVERAGE	60%	55%
MINIMUM LOT WIDTH	20'	176'
MAXIMUM BUILDING HEIGHT*	45'	39.81'
LANDSCAPED OPEN AREA	20%	30%
MAXIMUM NUMBER OF DWELLING UNITS	725 SF/UNIT = 25 UNITS	19 UNITS
RESIDENTIAL PARKING	1 SPACE PER UNIT AFTER 3 UNITS = 16 SPACES	19 SPACES
MIN. INTERNAL RESIDENT BIKE STORAGE SPACES**	2 SPACES/5 D.U. = 8 SPACES	8 SPACES
MAX. GARAGE OPENING	20'	18'

*FINAL BUILDING HEIGHT TO NOT IMPEDE ON THE VIEW SHED ORDINANCE AS DESCRIBED IN THE FORT SUMNER PARK OVERLAY ZONE
 **INTERNAL BIKE STORAGE PROVIDED ON 2ND LEVEL. REFER TO ARCHITECTURAL PLANS FOR STORAGE SPACE LOCATION

PARKING SUMMARY	
PARKING DIMENSION	# PARKING SPACES
STANDARD (9'X18')	16
COMPACT (8.5'X17.5')	2
ADA (8'X18')	1
TOTAL SPACES	19

LEGEND	
HATCH STYLE	ASSOCIATED AREAS
[Hatch Pattern]	BRICK SIDEWALK
[Hatch Pattern]	RIPRAP SLOPE
[Hatch Pattern]	LANDSCAPED AREAS
[Hatch Pattern]	CONCRETE
[Hatch Pattern]	UTILITY PAVEMENT CUT
[Hatch Pattern]	CRUSHED STONE
[Hatch Pattern]	PATIO
[Hatch Pattern]	DESIGNATED SNOW STORAGE



FINAL
NOT ISSUED FOR
CONSTRUCTION

ISSUED FOR	BY	DATE
PRELIM. APP.	WHS	3/28/17
FINAL APP.	WHS	3/27/17

DRAWING NAME: **SITE PLAN**

PROJECT NAME: **155 SHERIDAN STREET**

CLIENT: **VAZZA REAL ESTATE GROUP**
 BD SHERIDAN, LLC
 1266 FURNACE BROOK PARKWAY SUITE 300 QUINCY, MA 02169

ENGINEERING, INC. **ACORN**

STATE OF MAINE PROFESSIONAL ENGINEER
 158 BANKFOOT ST. PORTLAND, MAINE 04102
 (207) 775-2655

FILE: 1069_CIVIL
 JN: 1069
 SCALE: 1"=10'
 DESIGNED BY: OJD
 DRAWN BY: OJD
 CHECKED BY: WHS

DRAWING NO. **C-10**