

# SITE DEVELOPMENT PLANS FOR SHERIDAN STREET TOWNHOUSES PORTLAND, MAINE OCTOBER, 2013 PRELIMINARY PLAN SUBDIVISION

OWNER / APPLICANT  
NEW DAY FARM, LLC  
c/o JEFFERY ROSENBLATT  
11 McQUILLANS HILL DRIVE  
GORHAM, MAINE 04038

CONSTRUCTION MANAGER  
GREAT FALLS CONSTRUCTION  
20 MECHANIC STREET  
GORHAM, MAINE 04038

TAX MAP-BLOCK-LOT (ADDRESS)  
PART OF 012 P021 001 AND 012 P017 001

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\* - NOT INCLUDED IN THIS SET

## UTILITIES

- WATER:  
PORTLAND WATER DISTRICT  
22 DOUGLAS STREET  
P.O. BOX 3553  
PORTLAND, MAINE 04104
- SEWER:  
CITY OF PORTLAND  
PUBLIC SERVICES DIVISION  
65 PORTLAND STREET  
PORTLAND, MAINE 04102
- ELECTRIC:  
CENTRAL MAINE POWER  
162 CANCO ROAD  
PORTLAND, MAINE 04103  
207.842.2367  
CONTACT: JAMIE COUGH
- TELEPHONE:  
FAIRPOINT COMMUNICATIONS  
5 DAVIS HILL FARM ROAD  
PORTLAND, MAINE 04103  
207.797.1119  
CONTACT: SUE SERRETTE
- NATURAL GAS:  
NORTHERN UTILITIES  
1075 FOREST AVENUE  
PORTLAND, MAINE 04103  
207.797.8002, EXT. 6220  
CONTACT: MIKE SMITH  
OR  
BRAD BUZZELL  
252.0907 (CELL)  
888.344.7233  
CALL BEFORE YOU DIG

## PERMITS / APPROVALS

- LOCAL  
SITE PLAN SUBMISSION APPROVAL:
- BUILDING PERMIT:  
CITY OF PORTLAND CODE ENFORCEMENT OFFICE  
CITY HALL, CONGRESS STREET  
PORTLAND, MAINE 04103  
207.874.8719  
CONTACT: BARBARA BARHYDT
- UTILITY / STREET OPENING PERMITS:  
CITY OF PORTLAND PUBLIC SERVICES DIVISION  
55 PORTLAND STREET  
PORTLAND, ME 04102  
ATTN: CAROL MERRITT  
207.874.8801

## GOVERNING BODY:

PRELIMINARY SUBMISSION 10.23.13

STATUS/DATE ISSUED:

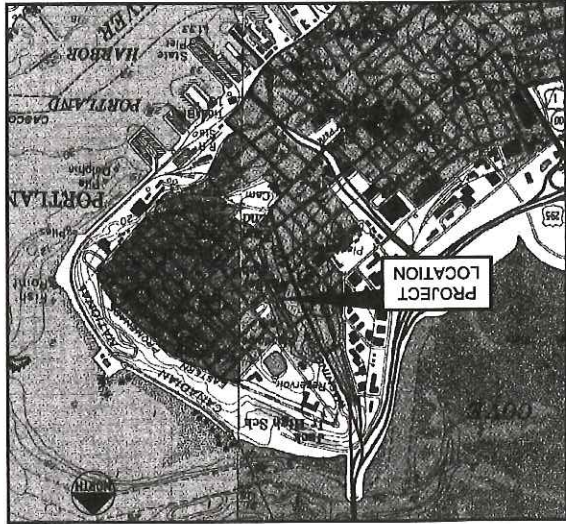
## CONSULTANT LIST

CIVIL ENGINEER:  
**Fay Spofford Thordike, Inc.**  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, MAINE 04106  
207.775.1121  
ATTN: STEPHEN BUSHHEY  
sbushhey@fstinc.com

ARCHITECT:  
**Archetype Architects**  
48 UNION WHARF  
PORTLAND, MAINE 04101  
207.772.6022  
ATTN: DAVID LLOYD  
www.archetype-architects.com

SURVEYOR:  
**Ticomb Associates, Inc.**  
133 GRAY ROAD  
PALMOUTH, ME 04105  
207.797.9199

GEOTECHNICAL ENGINEER:  
**SUMMITT GEOENGINEERING SERVICES**  
P.O. BOX 7216  
LEWISTON, ME 04243  
207.576.3313



LOCATION MAP  
N.T.S.

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.  
10/22/13

**EST**  
ENGINEERS - PLANNERS - SCIENTISTS  
5 BURLINGTON WOODS, BURLINGTON, MA 01803  
**FAY, SPOFFORD & THORDIKE, INC.**

Architect:  
**Archetype Architects**  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056



Date: OCT. 2013  
Scale: N.T.S.

COVER SHEET

C-1.0

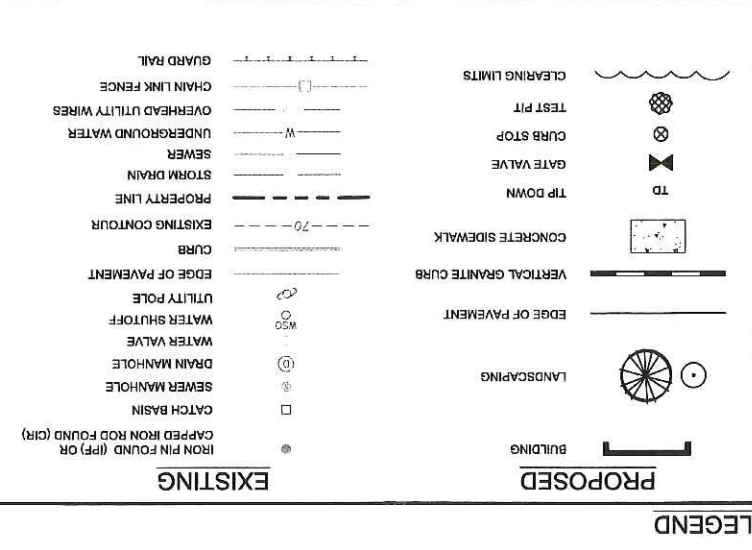
Prepared For:	NEW DAY FARM, LLC	GORHAM, ME 04038
Project:	SHERIDAN STREET TOWNHOUSES	152 SHERIDAN STREET PORTLAND, MAINE
Revisions:		10.23.13 - PRELIMINARY PLAN SUBMISSION TO CITY

**GENERAL NOTES**

1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
2. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
3. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANY COMMENCEMENT OF WORK AND THE FINAL SERVICE CONNECTIONS.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OR THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-888-DIGSAFE). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS, AT AN EXTRA EXPENSE TO THE OWNER.
5. DIMENSIONS OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
6. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO PROJECT CONTRACT SPECIFICATIONS, AND THE CITY OF PORTLAND TECHNICAL STANDARDS, WHICH ARE MORE STRINGENT.
8. TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION WAS PROVIDED BY TITCOMB ASSOCIATES.
9. BENCHMARK - CITY OF PORTLAND DATUM ELEVATION 30 GRANITE MONUMENT AT SOUTH WEST CORNER OF WASHINGTON AVENUE AND MARION STREET.
10. FEMA MAP COMMUNITY PANEL NUMBER 23005100135. THE SITE IS LOCATED IN A C ZONE.
11. SUBGRADE FILL PLACED BENEATH ALL PERMANENT PAVEMENT, SIDEWALK OR CONCRETE SURFACES EXCLUDING ANY BUILDING AREAS, SHALL BE GRANULAR BORROW. EMBANKMENT FILL PLACED BENEATH ALL FLOOR AREAS EXCEPT THOSE ADVANCED FOUNDATION SYSTEMS MAY BE A COMMON BORROW MATERIAL SUITABLE FOR CONSTRUCTION. FREE FROM FROZEN MATERIAL, PERISHABLE RUBBER, PEAT, ORGANICS, ROCKS LARGER THAN 12" IN DIAMETER, VEGETATION AND OTHER MATERIAL UNSUITABLE FOR ROADWAY AND SUBGRADE CONSTRUCTION. EXCAVATED ON-SITE MATERIALS MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE FROM UNSUITABLE MATERIAL. DESCRIBED IN THIS NOTE AND UPON APPROVAL OF THE ENGINEER. EXCAVATED ON-SITE MATERIALS MAY NOT BE USED AS COMPACTED STRUCTURAL FILL BENEATH THE BUILDING AREAS OR AS FOUNDATION BACKFILL. GRANULAR BORROW AND COMMON BORROW SHALL COMPLY WITH THE MDOT SPECIFICATIONS.
12. ALL FILLS SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DENSITY AND COMPACTED BY HEAVY COMPACTOR EQUIPMENT. MINIMUM COMPACTON SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).
13. ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB OR FACE OF BUILDING.
14. ALL FACILITY IS SERVICED BY PUBLIC WATER, SEWER, NATURAL GAS AND UNDERGROUND POWER.
15. THE CONTRACTOR IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC WORKS INSPECTION SERVICES DIVISION (874-900 EXT. 8839) CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COMMISSION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. A CONSTRUCTION MEETING MAY BE REQUIRED TO INCLUDE THE PUBLIC WORKS AUTHORITY ON DEVELOPMENT REVIEW COORDINATION.
16. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
17. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON ADJACENT STREETS AS NECESSARY.
18. CONSTRUCTION DEBRIS SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE TO THE REUSE FACILITY OR AS OTHERWISE DIRECTED. THE RESULTS OF A HAZARDOUS BUILDING MATERIALS SURVEY AS AUTHORIZED AND CONDUCTED BY THE OWNER, ALL SALVAGED MATERIAL WITHIN THE PUBLIC R.O.W. (SIDEWALKS, BRICKS, GRANITE CURB) NOT REUSED SHALL BE DISPOSED OF AS DIRECTED BY THE PORTLAND PUBLIC SERVICES DEPARTMENT AT NO EXTRA COST TO THE OWNER.
19. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
20. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR EXPENSE.
21. THE OWNER SHALL BE RESPONSIBLE TO COORDINATE THE PERFORMANCE OF A HAZARDOUS MATERIALS INSPECTION OF THE EXISTING PROPERTIES.
22. A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE COMPLETED IN CONFORMANCE TO THE CITY'S RULES AND REGULATIONS FOR EXCAVATION ACTIVITIES IN PUBLIC RIGHT OF WAYS.
23. CONTRACTOR MUST MAINTAIN THROUGH TRAFFIC ON ADJACENT STREETS AT ALL TIMES.
24. ALL METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS IDENTIFIED HEREIN SHALL CONFORM TO THE CITY OF PORTLAND CONSTRUCTION AND TECHNICAL STANDARDS AND SPECIFICATIONS AND/OR CURRENT MDOT STANDARDS AND SPECIFICATIONS, WHICH EVER IS MORE STRINGENT.
25. SITE WORK FOR BUILDING SHALL INCLUDE GRADING THE BUILDING FOOTPRINT (PLUS 6'-0" BEYOND THE EXTERIOR WALL) TO A GRADE 18" BELOW THE GROUND FLOOR FINISH ELEVATION. ALL WORK SHALL INCLUDE EXCAVATION INCLUDING ROCK REMOVAL AND EXISTING FOUNDATION AND BACKFILL OF ALL UNDERSLAB UTILITIES AND PLACEMENT OF ALL AGGREGATES BELOW THE FLOOR SLAB AND ADJACENT THE FOUNDATION WALLS IN ACCORDANCE WITH THE CONTRACT PLANS AND SPECIFICATIONS.
26. RECORD DRAWINGS INCLUDING ALL BURIED UTILITIES INCLUDING, BUT NOT LIMITED TO, BENCH, APPURTENANCES, AND OTHER FEATURES TO BE LOCATED BY COORDINATE INFORMATION TO BE RECORDED BY THE CONTRACTOR AND SUPPLIED TO THE OWNER AT THE END OF THE PROJECT.

**EROSION CONTROL NOTES:**

1. LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
2. PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES AND THE STABILIZED CONSTRUCTION ENTRANCES.
3. SILT BARRIERS SHALL BE INSPECTED, REPAIRED AND CLEANED AS NOTED IN THE EROSION CONTROL NOTES SHOWN ON THE EROSION CONTROL DETAIL SHEET.
4. THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCES AS THEY BECOME SATURATED WITH MUD TO ENSURE THAT THEY WORK AS PLANNED DURING CONSTRUCTION AND SHALL KEEP ADJACENT STREETS CLEAR OF DIRT AND MUD.
5. SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
6. CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST THREE (3) BUT NOT MORE THAN (90) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 390-A.
7. IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AS SPECIFIED ON PLANS.
8. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
9. CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REQUIREMENTS, IMPACTION AND MAINTENANCE REQUIREMENTS AND GOOD HOUSEKEEPING PRACTICES IN ACCORDANCE WITH APPENDIX A, BA C OF MAINE DEP CHAPTER 500.



**GRADING AND DRAINAGE NOTES:**

1. ALL STORM DRAIN PIPE SHALL BE SMOOTH BORE INTERIOR PROVIDING A MANNING ROUGHNESS COEFFICIENT OF n = 0.013 OR LESS, UNLESS A SPECIFIC PIPE MATERIAL IS CALLED FOR ON THE CONTRACT DRAWINGS. PVC PIPING SHALL NOT BE USED IN AREAS OF EXPOSED SUNLIGHT.
  2. SLOPE PROTECTION IS TO BE PROVIDED PER THE DESIGN PLANS AND MAY INCLUDE RIPRAP, GOOD OR MUCK.
  3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING EARTHWORK OPERATIONS TO INSURE THAT DISTURBANCE TO ANY STEEP SLOPE AREAS ARE MINIMIZED TO THE EXTENT PRACTICABLE.
  4. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY OTHERS. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
  5. ALL PAVING WITHIN THE PUBLIC R.O.W. SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PORTLAND RULES AND REGULATIONS FOR EXCAVATION ACTIVITIES IN THE PUBLIC R.O.W.
  6. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
  7. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
  8. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES AND PHYSICAL FEATURES THAT ARE OUTSIDE THE SCOPE OF WORK. THE CONTRACTOR SHALL MAINTAIN SITE STABILITY DURING CONSTRUCTION TO AVOID EROSION AND SEDIMENT TRANSPORT. CONTRACTOR SHALL RESTORE ALL AREAS TO A FINAL STABILIZED CONDITION AS DIRECTED BY DESIGN DRAWINGS.
  9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
  10. EXTERIOR GRADES AROUND PROPOSED STRUCTURE SHALL BE COORDINATED WITH FINAL BUILDING PLANS AND PROVIDE FOR ALL ACCESS OPENINGS.
  11. SUBGRADE FILL PLACED BENEATH ALL PERMANENT PAVEMENT, SIDEWALK OR CONCRETE SURFACES EXCLUDING ANY BUILDING AREAS, SHALL BE GRANULAR BORROW. EMBANKMENT FILL PLACED BENEATH ALL FLOOR AREAS EXCEPT THOSE ADVANCED FOUNDATION SYSTEMS MAY BE A COMMON BORROW MATERIAL SUITABLE FOR CONSTRUCTION. FREE FROM FROZEN MATERIAL, PERISHABLE RUBBER, PEAT, ORGANICS, ROCKS LARGER THAN 12" IN DIAMETER, VEGETATION AND OTHER MATERIAL UNSUITABLE FOR ROADWAY AND SUBGRADE CONSTRUCTION. EXCAVATED ON-SITE MATERIALS MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE FROM UNSUITABLE MATERIAL. DESCRIBED IN THIS NOTE AND UPON APPROVAL OF THE ENGINEER. EXCAVATED ON-SITE MATERIALS MAY NOT BE USED AS COMPACTED STRUCTURAL FILL BENEATH THE BUILDING AREAS OR AS FOUNDATION BACKFILL. GRANULAR BORROW AND COMMON BORROW SHALL COMPLY WITH THE MDOT SPECIFICATIONS.
  12. ALL FILLS SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DENSITY AND COMPACTED BY HEAVY COMPACTOR EQUIPMENT. MINIMUM COMPACTON SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).
- UTILITY NOTES:**
1. ALL REQUIRED UTILITIES SERVING THE PROJECT SHALL BE COORDINATED BETWEEN THE SITE WORK CONTRACTOR AND DIVISION 2228 CONTRACTORS. THE SITE WORK CONTRACTOR SHALL BE RESPONSIBLE TO EXTEND ALL PROJECT UTILITIES TO WITHIN FIVE (5) FEET TO THE BUILDING AND INSIDE THE BUILDING OR UNDER SLAB.
  2. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF AND/OR RELOCATION OF OVERHEAD AND UNDERGROUND TELEPHONE WITH FAIRPOINT COMMUNICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUITS, PULL WIRES, TRENCHING AND BACKFILLING NECESSARY TO COMPLETE THE WORK.
  3. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRIC SERVICE WITH CENTRAL MAINE POWER. THE TELECOMMUNICATIONS SERVICE WITH FAIRPOINT COMMUNICATIONS AND CABLE SERVICE WITH TIME WARNER CABLE. ALL WORK SHALL CONFORM TO THE PROJECT SPECIFICATIONS OR UTILITY COMPANY STANDARDS, WHICHEVER IS MORE STRINGENT.
  4. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE AT NO ADDITIONAL EXPENSE TO THE OWNER.
  5. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
  6. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO COMPLETION OF THE PROJECT.
  7. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL, AT NO EXTRA EXPENSE TO THE OWNER.
  8. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER CROSSINGS.
  9. THE CONTRACTOR SHALL PROVIDE CONTINUOUS SERVICE TO THE JOB SITE. TEMPORARY SERVICES WITH UTILITY COMPANY, OWNER AND AFFECTED BUSINESSES.
  10. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL SERVICES IN CONDUIT TO SITE LIGHTING, COMPLYING WITH APPLICABLE CODES, COORDINATE WITH OWNER, SITE ELECTRICAL, ARCHITECTURAL AND CIP PLANS.
  11. ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT. ALL SANITARY SERVICES AND APPURTENANCES TO BE ABANDONED SHALL BE PROPERLY RECORDED WITH PORTLAND PUBLIC WORKS ENGINEERING DEPARTMENT. A DIGITAL VIDEO TAPE SHALL BE MADE OF SANITARY SEWER SYSTEMS TO BE UTILIZED PRIOR TO CONSTRUCTION. UPSTREAM PIPES INTENDED FOR ABANDONMENT SHALL BE INSPECTED TO VERIFY THAT THEY NO LONGER SERVE OTHER FACILITIES.

**FAY, SPOFFORD & THORNDRIKE, INC.**  
ENGINEERS - PLANNERS - SCIENTISTS  
5 BURLINGTON WOODS, BURLINGTON, MA 01003

**ARCHTYPE architects**  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056



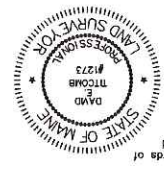
**LEGEND**  
**GENERAL NOTES AND**  
OCT. 2013  
Scale: N.T.S.

**C-1.1**

Prepared For:	NEW DAY FARM, LLC
Project:	SHERIDAN STREET TOWNHOUSES
152 SHERIDAN STREET	PORTLAND, MAINE
10.23.13 - PRELIMINARY PLAN	SUBMISSION TO CITY
Scale:	N.T.S.
Date:	OCT. 2013
Architect:	GORHAM, ME 04038

DIMENSIONAL REQUIREMENTS (Residential Use) REQUIRED	
Minimum Lot Size	None
Minimum Street Frontage	None
Minimum Yard Dimensions:	
a. Front Yard	None
b. Rear Yard	Ten (10) feet, except where the lot abuts a residential zone.
c. Side Yard	Five (5) feet, except where the lot abuts a residential zone, where twenty (20) feet is required.
d. Side Yard or Rear Yard on a Street	None
Maximum Impervious Surface Ratio	90%
Maximum Structure Height	Forty-five (45) feet, except in the case of a building located within sixty-five (65) feet of Franklin Street where sixty-five (65) feet is allowed.

**CITY OF PORTLAND, MAINE - PERFORMANCE STANDARDS B-2 AND B-2b COMMUNITY BUSINESS ZONES**

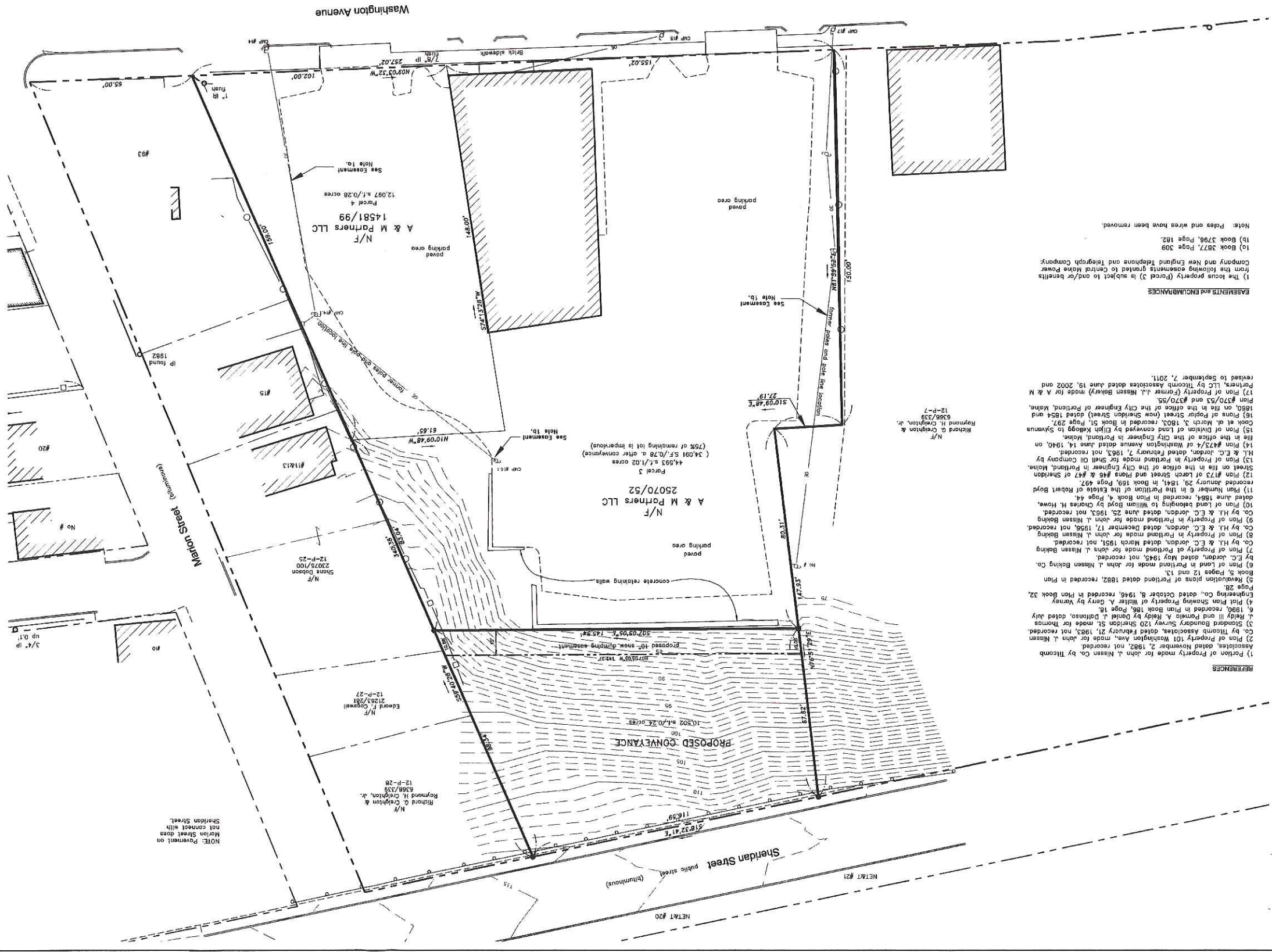
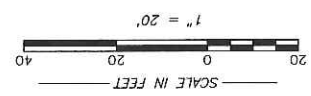


**CERTIFICATION**  
 This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors, except as noted.  
 David E. Tlicomb PLS #1273  
 Seal is for revisions 7, 8 & 9 only.

380 Warren Avenue Portland, Maine 04103	JOB# 202048.1 DATE: July 19, 2002 SCALE: 1" = 20'
<b>A &amp; M Partners LLC</b> MADE FOR	BOOK# 677
Sheridan Street Portland, Maine	FILE# 8500 202048-RB.dwg
<b>Plan of Lot Division</b> (Former J.J. Nissen Bakery)	133 Gray Road Falmouth, Maine 04105 <b>Tlicomb Associates</b>

Rev. 9 08/13/13	Importance notices conditions, including lot area note.
Rev. 8 08/01/13	Importance notices conditions, including lot area note.
Rev. 7 07/10/13	Updated reasons for proposed conveyance, lot division.
Rev. 6 09/07/11	Add details & concrete to #112 Sheridan St.
Rev. 5 09/29/11	Add parcels A & B, remove CLIP easements.
Rev. 4 02/28/11	Add proposed improvements.
Rev. 3 06/23/09	Remove Note B.
Rev. 2 07/07/04	Revise easements A-E.
Rev. 1 08/29/03	Add property to be conveyed, easement details.

OWNERS OF RECORD  
 A & M Partners LLC  
 Book 25070, Page 52



**NOTES**

- 1) Boundaries are based on Magnetic North 2002.
- 2) Book and Page references are to the Cumberland County Registry of Deeds.
- 3) Easements are based on the City of Portland datum. Benchmark granite monument at the southwest corner of Washington Avenue and Marion Street. Elevation: 69.30'
- 4) Utility information shown on this plan is approximate, based on field information, locations marked by others and information contained on plans and drawings. Prior to any excavation or construction, the appropriate utilities should be contacted.
- 5) Parcel numbers shown are derived from plan reference 17.

**EASEMENTS and ENCUMBRANCES**

1) The locus property (Parcel 3) is subject to and/or benefits from the following easements granted to Central Maine Power Company and New England Telephone and Telegraph Company:  
 (a) Book 3877, Page 309  
 (b) Book 3796, Page 182.  
 Note: Poles and wires have been removed.

**REFERENCES**

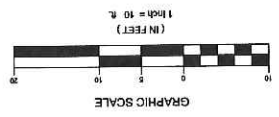
- 1) Portion of Property made for John J. Nissen Co. by Tlicomb Associates, dated November 2, 1882, not recorded.
- 2) Plan of Property 101 Washington Ave., made for John J. Nissen Co. by Tlicomb Associates, dated February 21, 1903, not recorded.
- 3) Standard Boundary Survey 120 Sheridan St. made for Thomas J. Kelly II and Pamela A. Kelly by Daniel A. Duffinso, dated July 6, 1980, recorded in Plan Book 186, Page 18.
- 4) Plat Plan Showing Property of Walter A. Cary by Verney Engineering Co., dated October 8, 1946, recorded in Plan Book 32, Page 25.
- 5) Revaluation plans of Portland dated 1882, recorded in Plan Book 5, Pages 12 and 13.
- 6) Plan of Land in Portland made for John J. Nissen Baking Co. by H.I. & E.C. Jordan, dated May 1945, not recorded.
- 7) Plan of Property of Portland made for John J. Nissen Baking Co. by H.I. & E.C. Jordan, dated March 1951, not recorded.
- 8) Plan of Property in Portland made for John J. Nissen Baking Co. by H.I. & E.C. Jordan, dated December 17, 1956, not recorded.
- 9) Plan of Property in Portland made for John J. Nissen Baking Co. by H.I. & E.C. Jordan, dated June 25, 1963, not recorded.
- 10) Plan of Land belonging to William Boyd by Charles H. Howe, dated June 1884, recorded in Plan Book 4, Page 44.
- 11) From Number 6 in the Partition of the Estate of Robert Boyd recorded January 29, 1841, in Book 159, Page 492.
- 12) Plan #173 of Lorch Street and Plans #46 & #47 of Sheridan Street on file in the office of the City Engineer in Portland, Maine.
- 13) Plan of Property in Portland made for Central Maine Power Co. by H.I. & E.C. Jordan, dated February 7, 1925, not recorded.
- 14) Plan #174 of Washington Avenue dated June 14, 1940, on file in the office of the City Engineer in Portland, Maine.
- 15) Plan of Division of Land conveyed by Elijah Kellogg to Sylvanus Cook et al. March 3, 1803, recorded in Book 51, Page 297.
- 16) Plans of Poplar Street (now Sheridan Street) dated 1854 and 1860, on file in the office of the City Engineer of Portland, Maine.
- 17) Plan of Property (Former J.J. Nissen Bakery) made for A & M Partners, LLC by Tlicomb Associates dated June 15, 2002 and revised to September 7, 2011.

**LEGEND**

Iron pit set	●
Monument found	○
Iron pit found	○
Drill hole	○
Catch basin	○
Sewer manhole	○
Drain manhole	○
Telephone manhole	○
Manhole (unknown type)	○
Water shutoff	○
Fire hydrant	○
Utility pole	○
Gas valve	○
Valve (unknown type)	○
Pik nail found	○
Sign	○
Edge of pavement	—
Edge of curb	—
Edge of gravel	—
Proposed Property Line	—
Property line	—
Wooden fence	—
Chain link fence	—
Underground sewer	—
Underground water	—
Overhead utility wires	—
5' contour	—
1' contour	—
Existing building	—



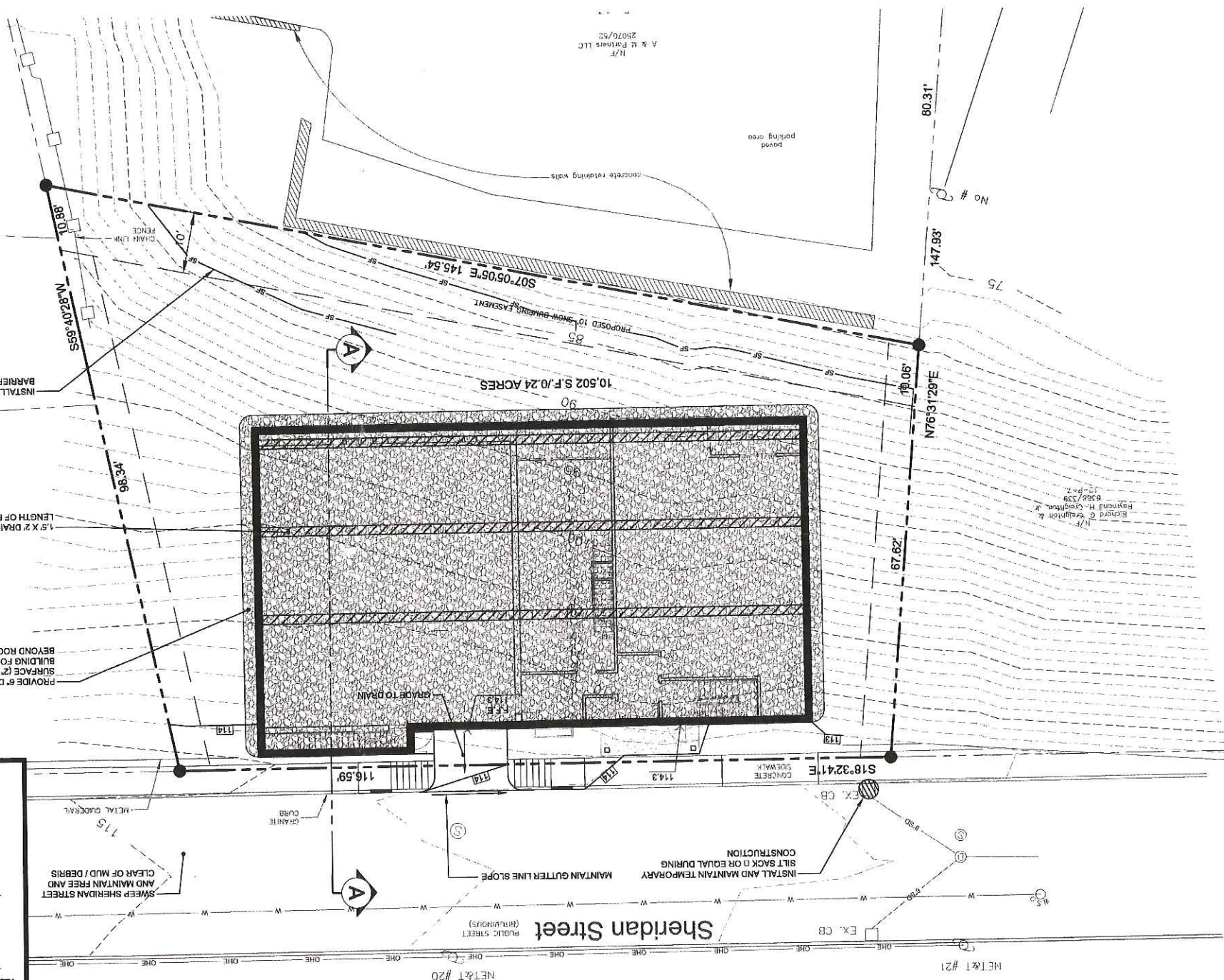
C-4.0	GRADING & DRAINAGE PLAN			Architects <b>ARCHETYPE</b> 48 Union Wharf, Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	<b>FST</b> ENGINEERS ENGINEERS • PLANNERS • SCIENTISTS 5 BURLINGTON WOODS, BURLINGTON, MA 01803
	Scale: 1" = 10'	Date: OCT. 2013		Project: NEW DAY FARM, LLC SHERIDAN STREET TOWNHOUSES 152 SHERIDAN STREET PORTLAND, MAINE 04038	Prepared For: GORHAM, ME 04038
Revisions:		10.23.13 - PRELIMINARY PLAN SUBMISSION TO CITY			



11/17  
 Stone Dahlen  
 2/30/16/1/00  
 12-P-25

11/17  
 Edward F. Cogswell  
 2/26/2/281  
 12-P-27

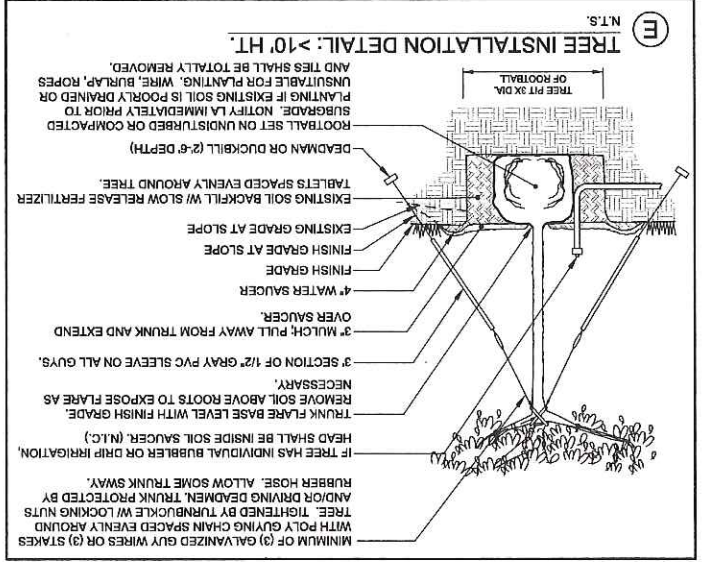
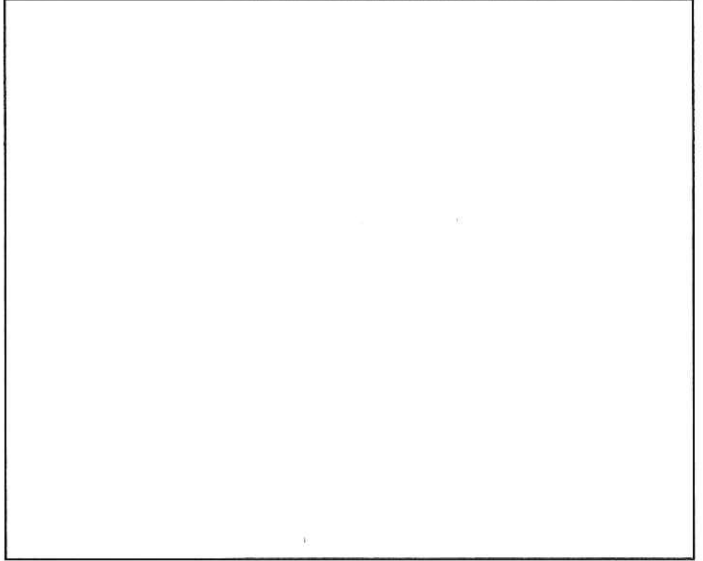
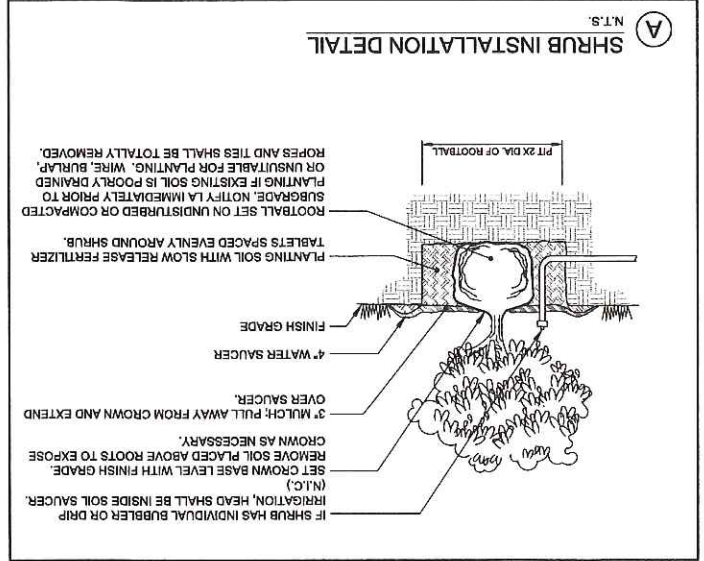
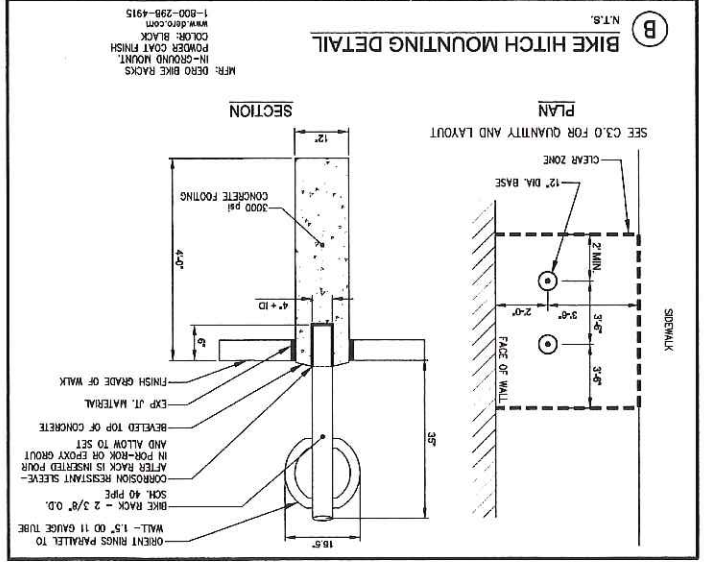
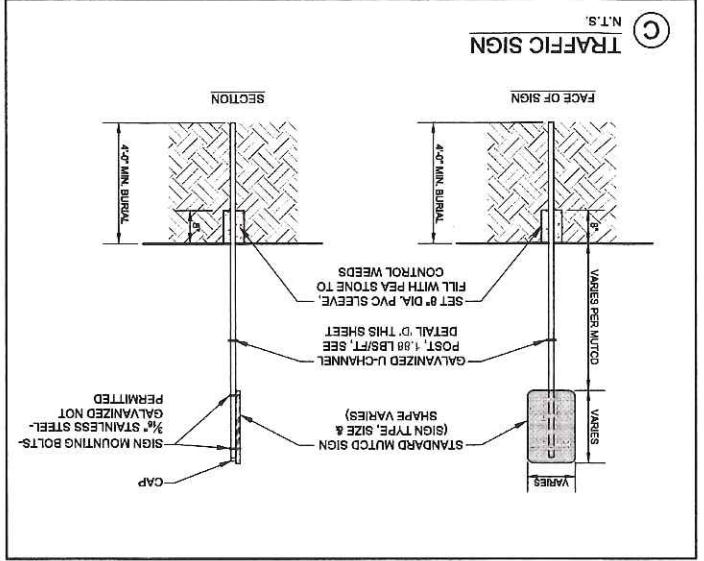
11/17  
 Richard C. Creston, Jr.  
 8/28/134  
 12-P-28



11/17  
 Richard C. Creston, Jr.  
 8/28/134  
 12-P-28







<p>Architect:</p> <p><b>ARCHETYPE architects</b></p> <p>48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056</p>	<p>Project:</p> <p>NEW DAY FARM, LLC</p>	<p>Prepared For:</p> <p>GORHAM, ME 04038</p>
	<p>Project:</p> <p>SHERIDAN STREET TOWNHOUSES</p>	<p>152 SHERIDAN STREET PORTLAND, MAINE</p>
<p>Scale:</p> <p>N.T.S.</p>	<p>10.23.13 - PRELIMINARY PLAN SUBMISSION TO CITY</p>	<p>Revisions:</p>

**FST** ENGINEERS

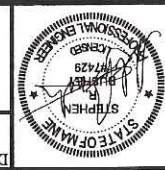
**FAY, SPOFFORD & THORNDIKE, INC.**

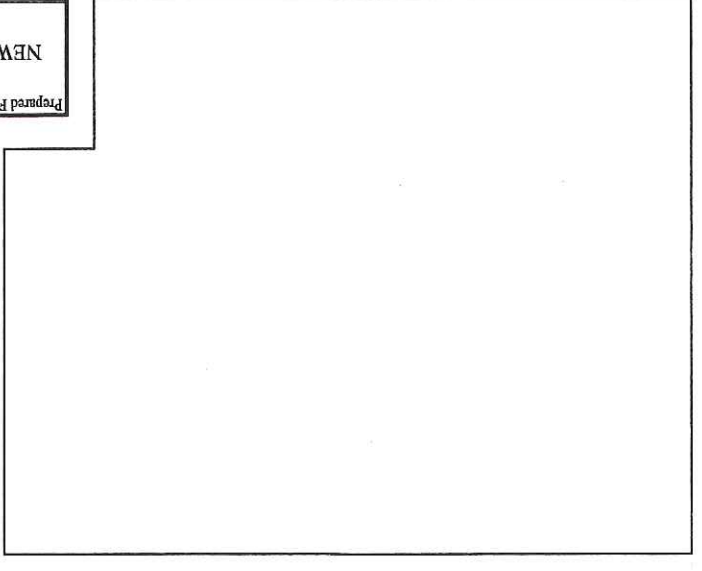
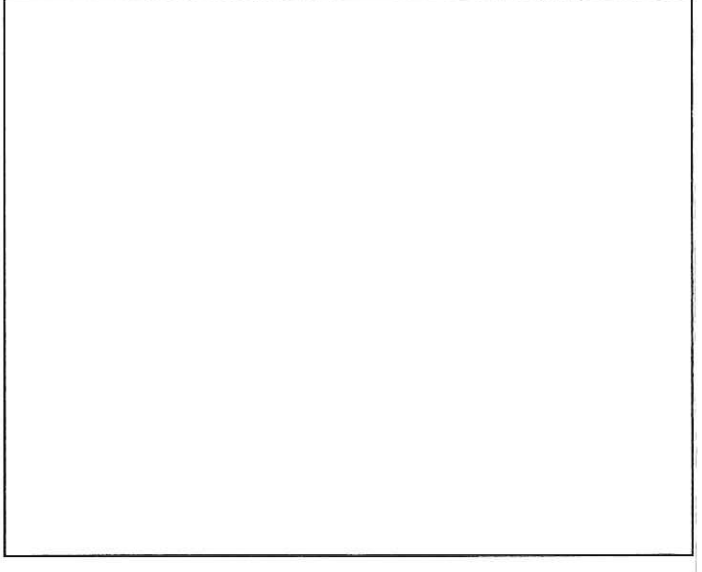
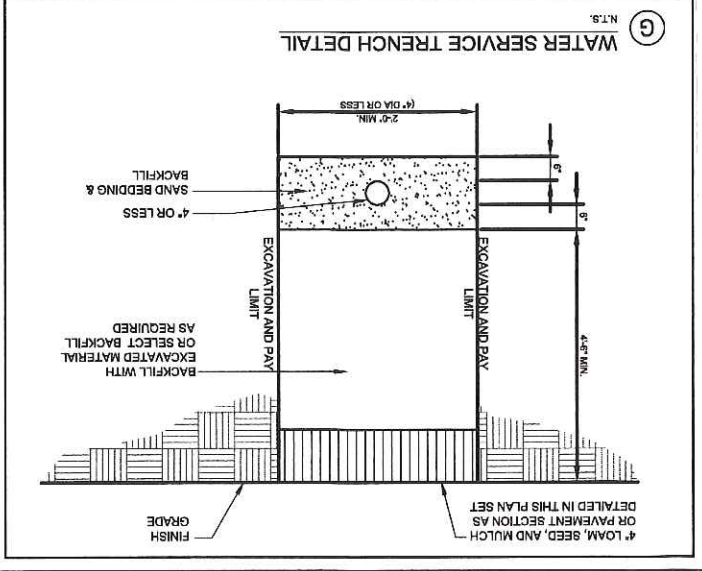
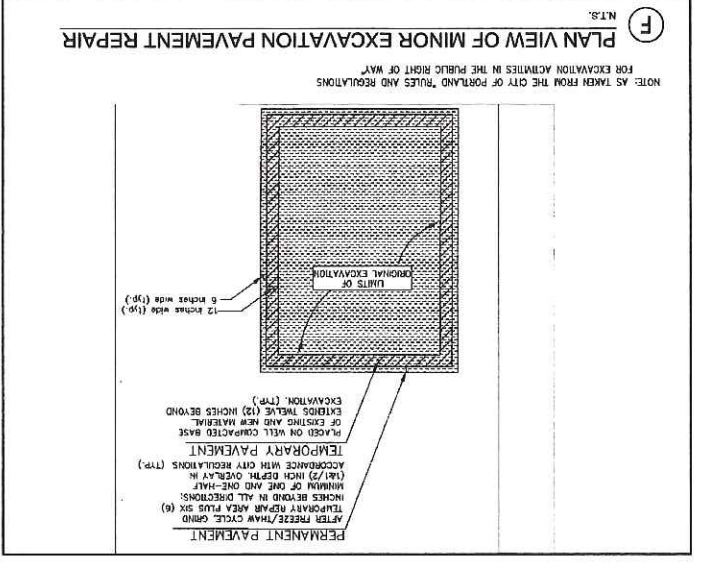
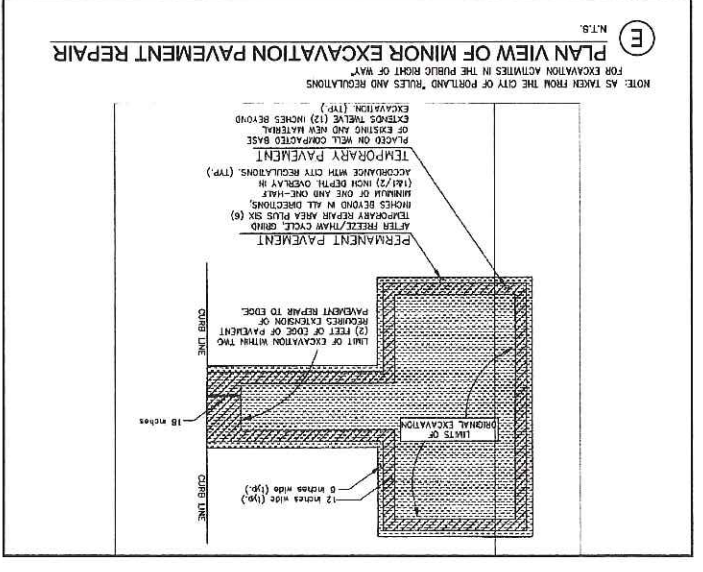
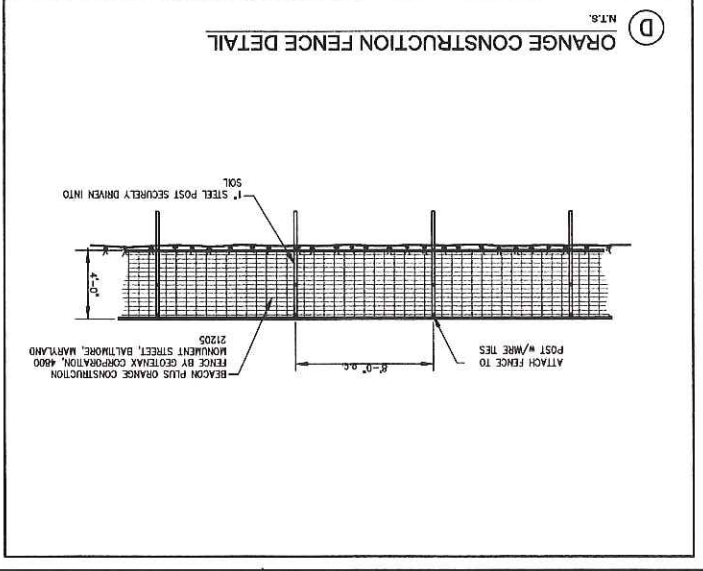
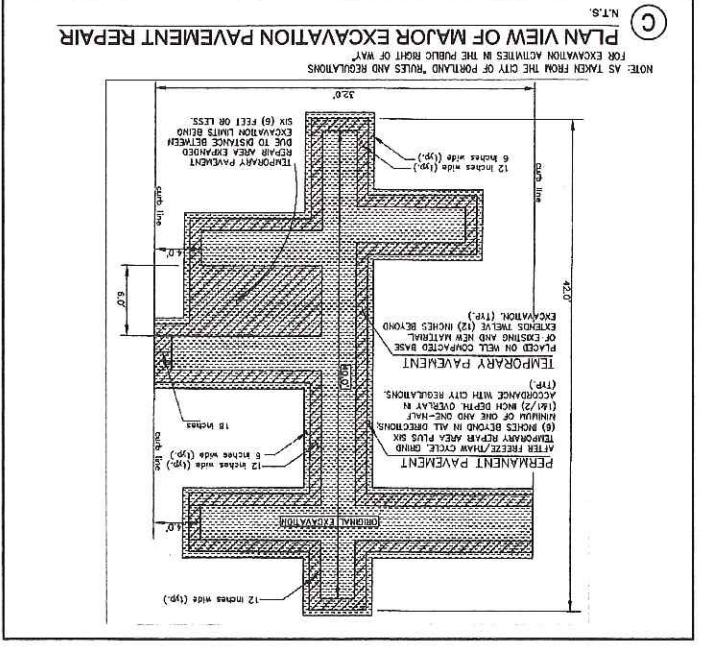
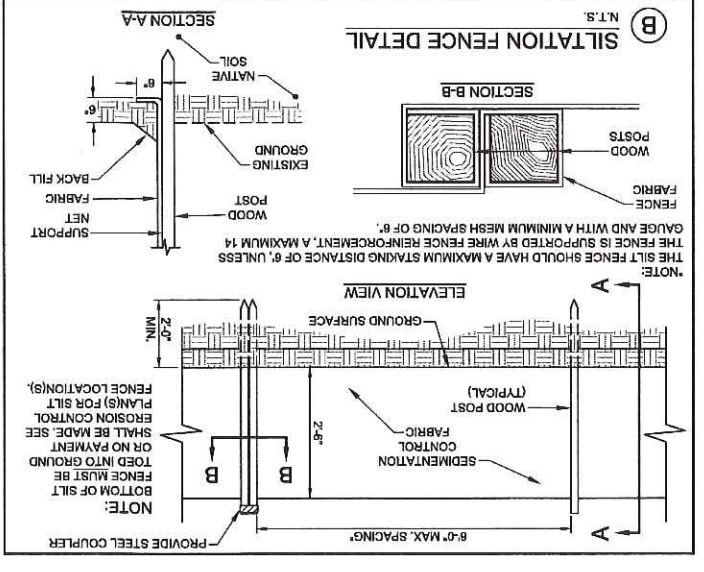
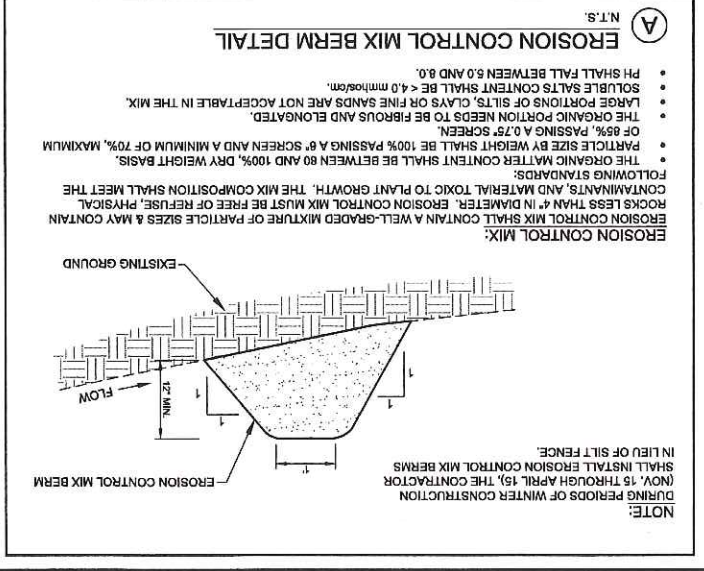
ENGINEERS • PLANNERS • SCIENTISTS

5 BURLINGTON WOODS, BURLINGTON, MA 01803

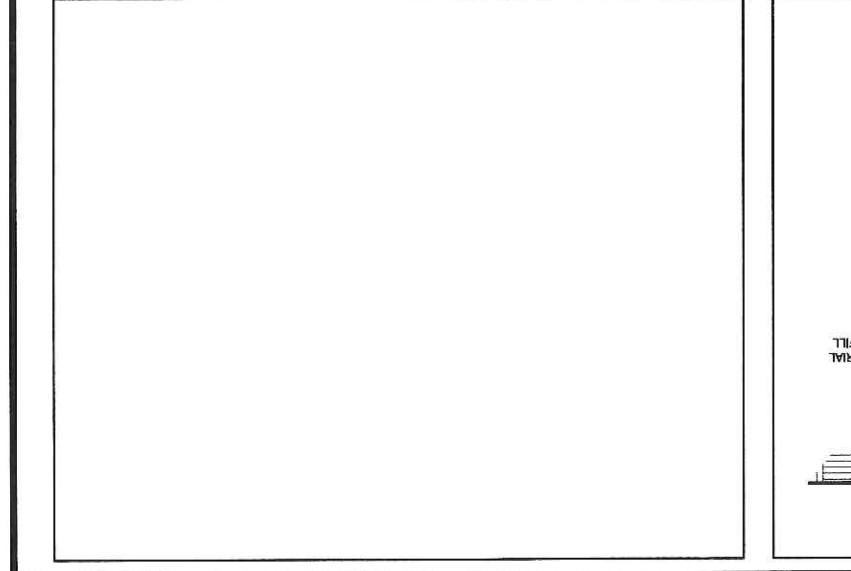
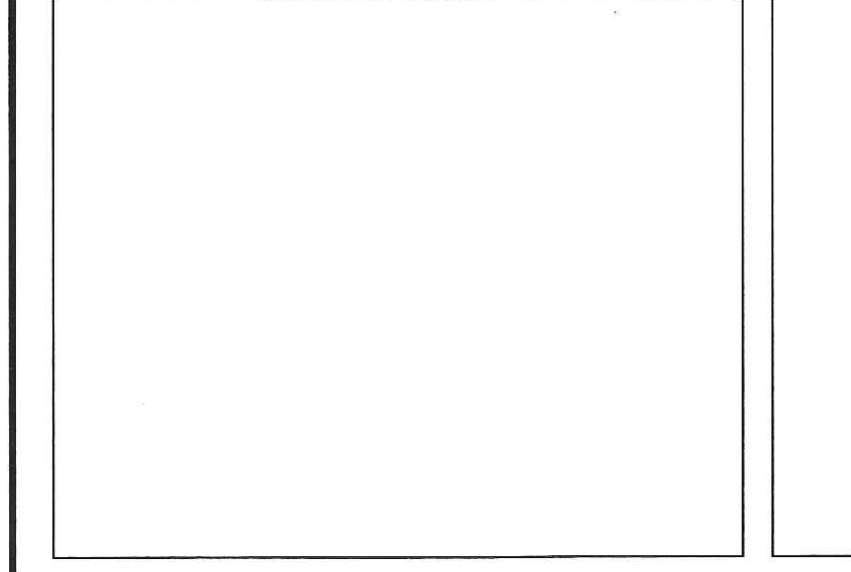
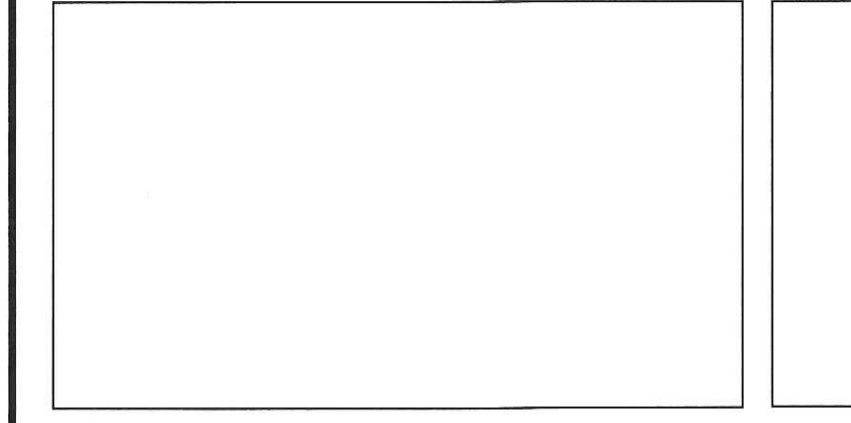
**C-7.1**

**DETAILS**



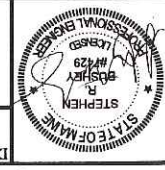


Architect:		Project:	
ARCHETYPE architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		NEW DAY FARM, LLC GORHAM, ME 04038	
Date:	Scale:	Date:	Scale:
OCT. 2013	N.T.S.	OCT. 2013	N.T.S.
Prepared For:		Revisions:	
SHERIDAN STREET TOWNHOUSES 152 SHERIDAN STREET PORTLAND, MAINE		10.23.13 - PRELIMINARY PLAN SUBMISSION TO CITY	



C-7.2

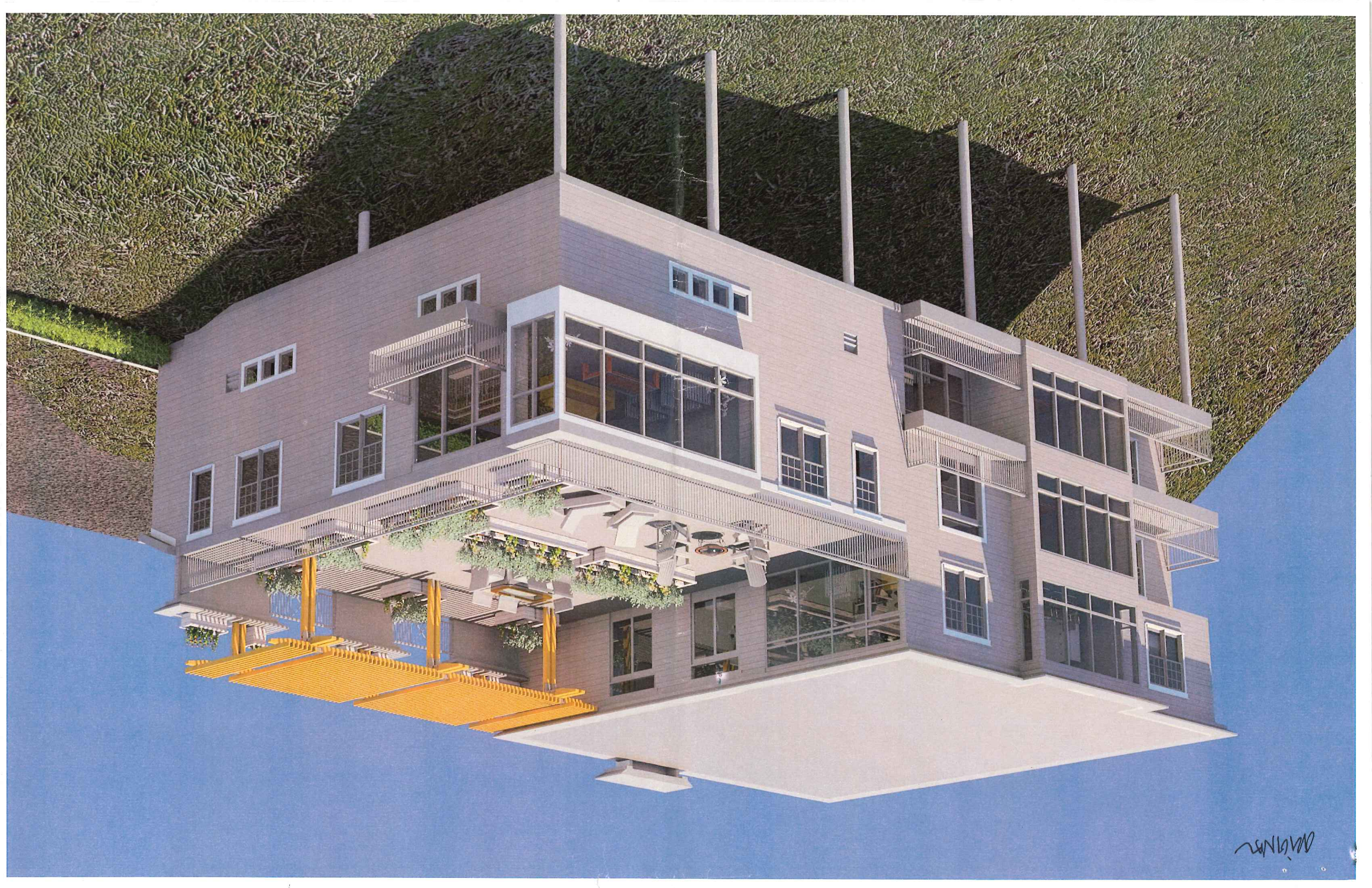
DETAILS



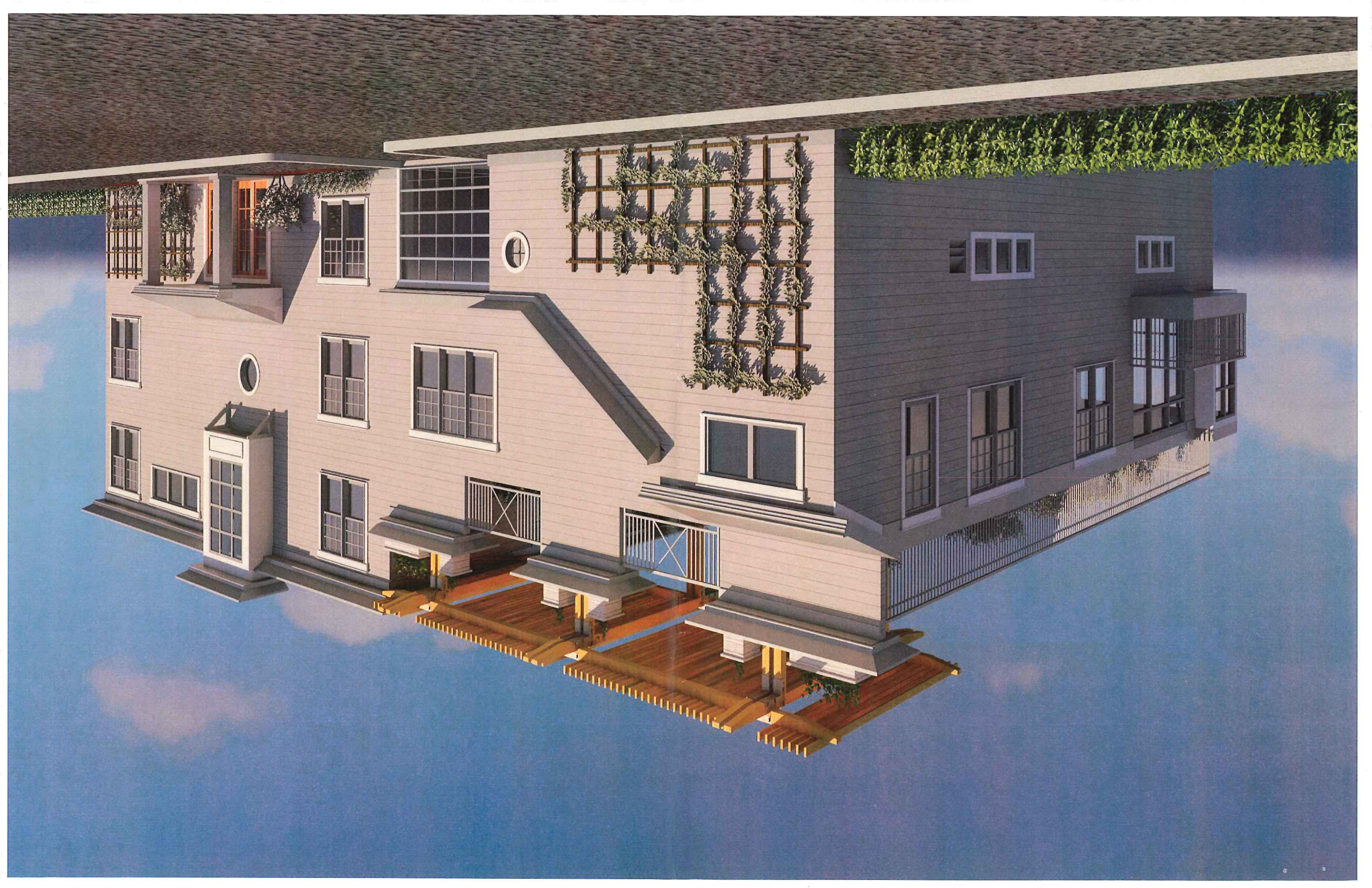
FAY, SPOFFORD & THORNDIKE, INC.  
ENGINEERS - PLANNERS - SCIENTISTS  
5 BURLINGTON WOODS, BURLINGTON, MA 01803







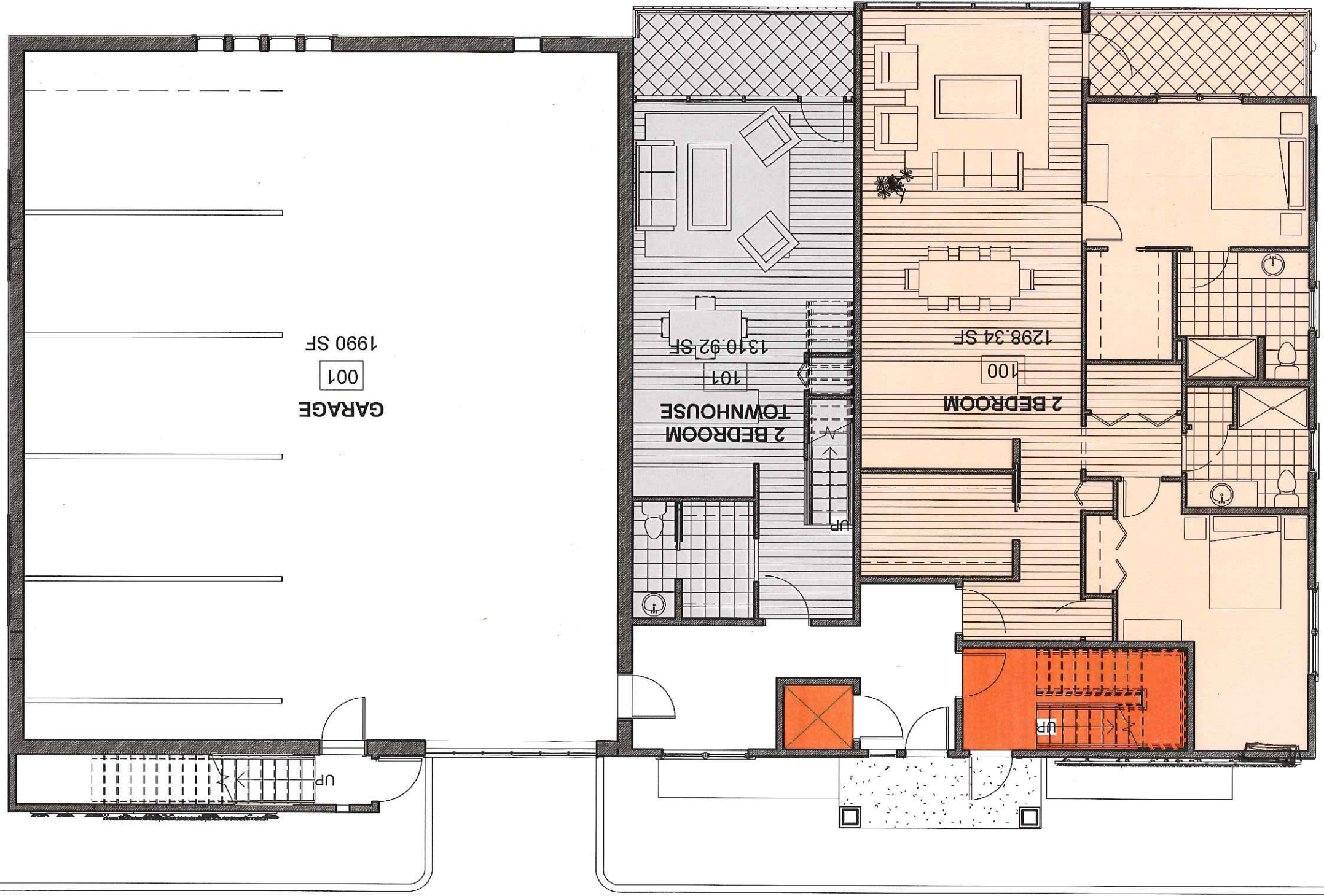
AMIN







1 FIRST FLOOR - 4512  
 1/8" = 1'-0"  
 1 GROSS SQ.FT.



	Project:	SHERIDAN ST	Date:	2013-10-21	Scale:	1/8" = 1'-0"
	Address:	SHERIDAN ST	City, State:		Architect:	ARCHETYPE architects
						48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056

1 4619 GROSS SQ.FT  
 SECOND FLOOR -  
 1/8" = 1'-0"



A2

Project: SHERIDAN ST  
 Address: City, State

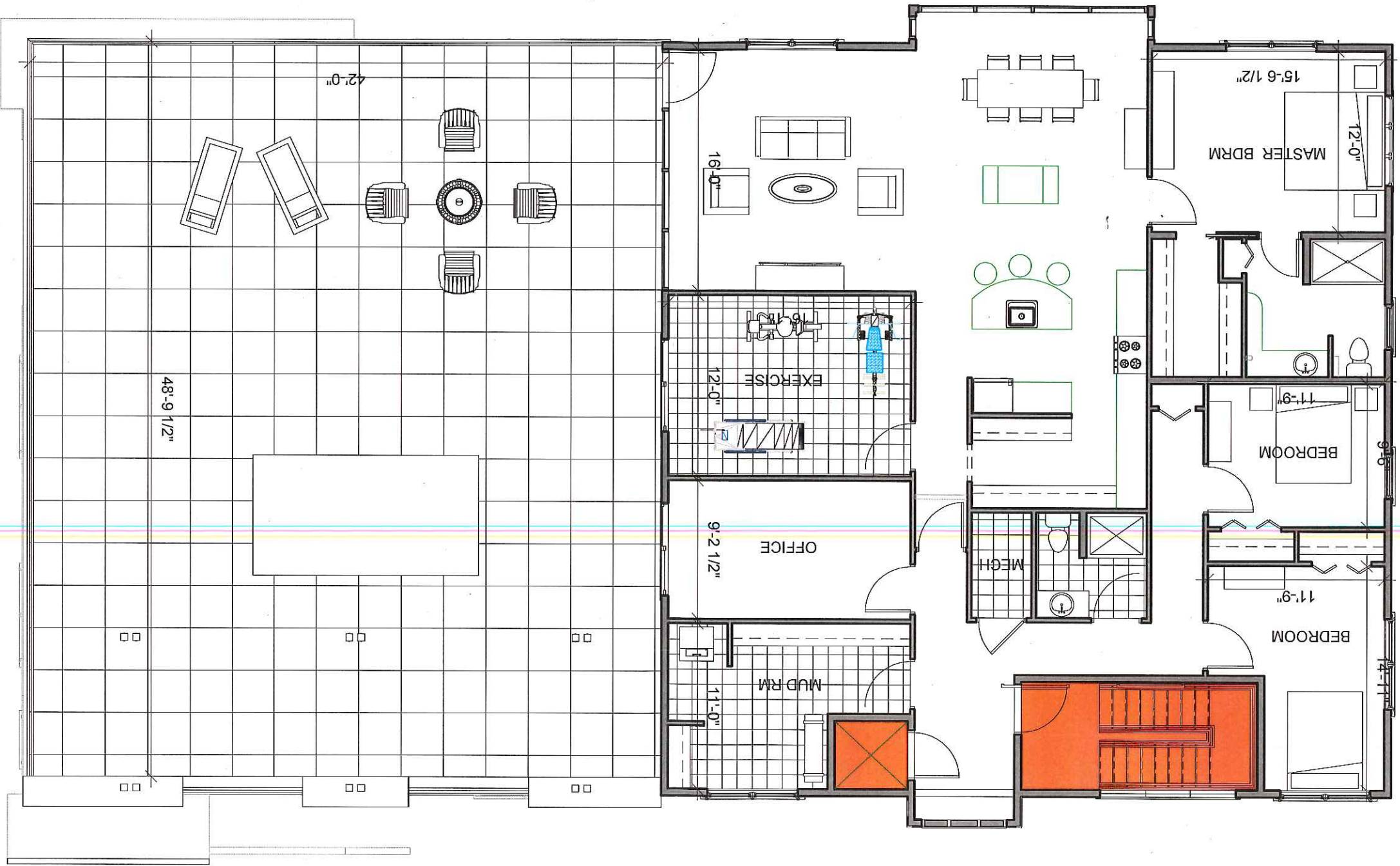
Date: 2013-10-21  
 Scale: 1/8" = 1'-0"  
 SECOND FLOOR PLAN

Architect: ARCHETYPE Architects  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

1/8" = 1'-0"

1 GROSS SQ. FT.

# THIRD FLOOR - 2458



# AB

Project: **SHERIDAN ST**

Address  
City, State

Date: **2013-10-21**

**THIRD FLOOR PLAN**

Scale: **1/8" = 1'-0"**

Architect:

**ARCHETYPE**  
architects

48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

1 East Elevation  
1/8" = 1'-0"



Project:  
**SHERIDAN ST**  
Address  
City, State

Date:  
2013-10-15

Scale:  
1/8" = 1'-0"

**EAST ELEVATION**

Architect:  
**ARCHETYPE**  
Architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056



1 North Elevation  
1/8" = 1'-0"



- ALUMINUM CLAD WINDOWS
- CEDAR SHINGLES
- PVC TRIM

AS

Project: SHERIDAN ST  
Address: City, State

Date: 2013-10-15  
Scale: 1/8" = 1'-0"  
NORTHELEVATION

Architect: ARCHETYPE architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

1 South Elevation  
1/8" = 1'-0"



ALUMINIUM GLAD WINDOWS  
CEDAR SHINGLES  
PVC TRIM

113'-0"  
1ST FLOOR

123'-6"  
2ND FLOOR

134'-0"  
3RD FLOOR

144'-6"  
ROOF

A6

Project:  
SHERIDAN ST

Address  
City, State

Date:  
2013-10-15

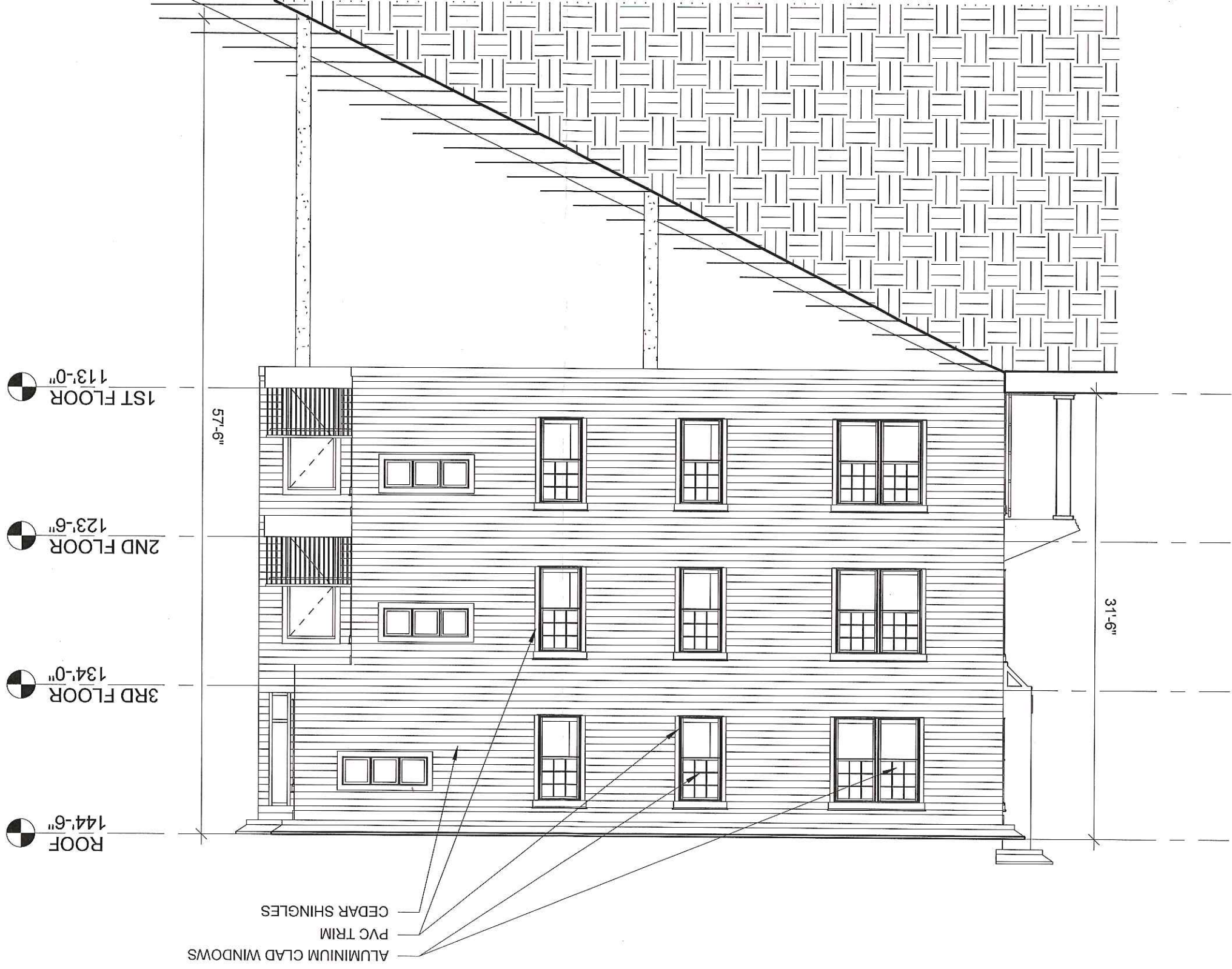
SOUTHELEVATION

Scale:  
1/8" = 1'-0"

Architect

**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

1 West Elevation  
1/8" = 1'-0"



Project  
SHERIDAN ST

Address  
City, State

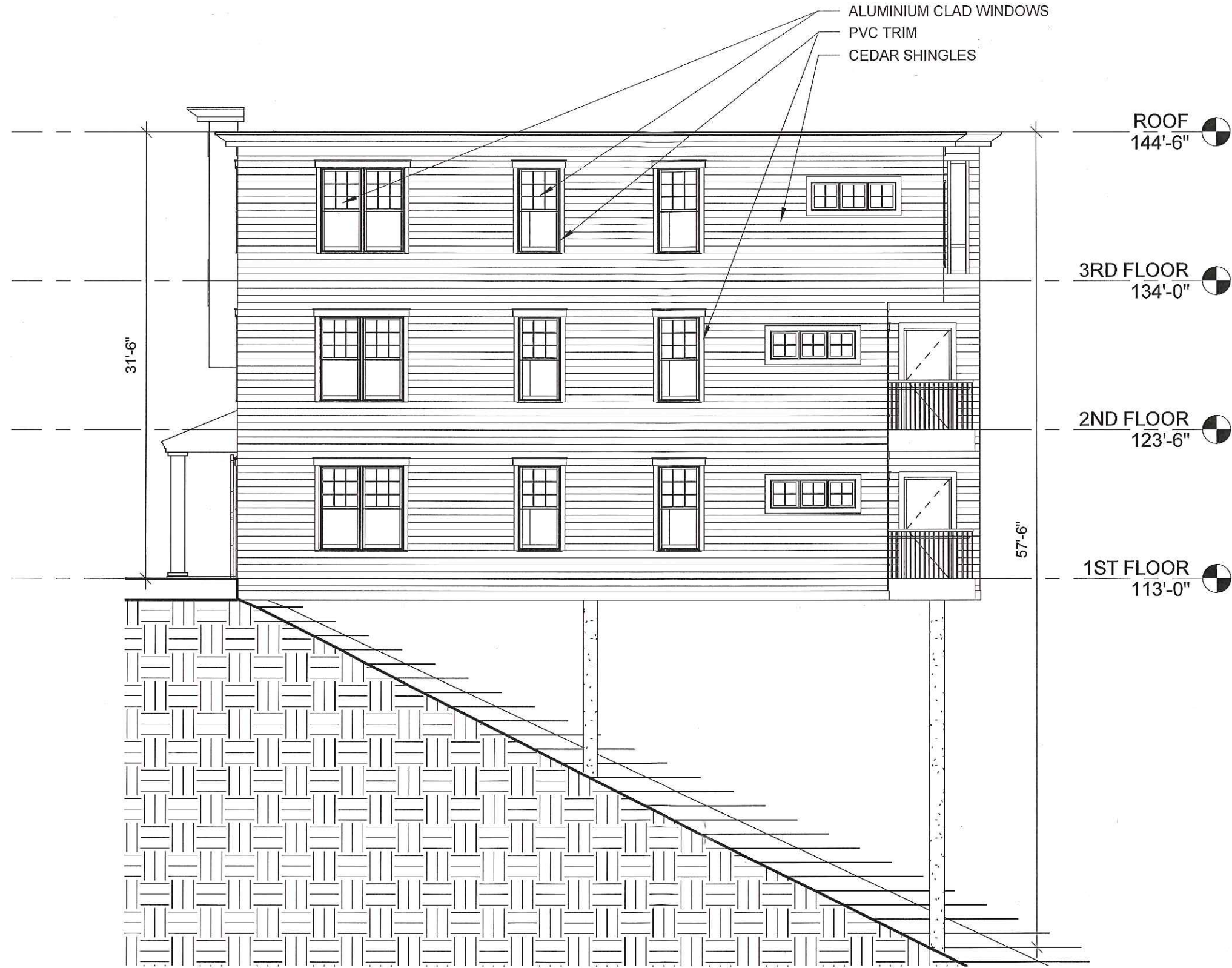
Date: 2013-10-15  
Scale: 1/8" = 1'-0"

WEST ELEVATION

Architect



48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056



**1** | West Elevation  
 1/8" = 1'-0"

Architect: **ARCHETYPE** architects  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

Date: 2013-11-07  
 Scale: 1/8" = 1'-0"

WEST ELEVATION

Project: SHERIDAN ST

Address  
 City, State

**A7**











	Preliminary Review	2nd Review
<b>Transportation</b>	<ul style="list-style-type: none"> <li>a. Impact on Surrounding Street Systems</li> <li>b. Access and Circulation                             <ul style="list-style-type: none"> <li>Backing out onto Sheridan?</li> <li>Turning movements in parking area? Showing 18' car? Check w/ TE</li> <li>Sidewalk repair? Need to do whole thing in brick?</li> </ul> </li> <li>c. Public Transit Access                             <ul style="list-style-type: none"> <li>Not on an arterial - no transit facilities required</li> <li>Standard (14-332): 1/unit on peninsula (5 units = 5 spaces) 5</li> <li>supplied. OK</li> <li>Look at parking design</li> <li>Bike standard: 2/5 car parking required ((5/5)*2=2) 'project includes interior bicycle parking for each unit' + 1 hitch outside</li> <li>On-street parking? JP says okay</li> </ul> </li> <li>e. Transportation Demand Management (TDM)                             <ul style="list-style-type: none"> <li>N/A</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>no parking signs?</li> </ul>
<b>Environmental Quality</b>	<ul style="list-style-type: none"> <li>a. Preservation of Significant Natural Features                             <ul style="list-style-type: none"> <li>N/A</li> </ul> </li> <li>b. Landscaping and Landscape Preservation                             <ul style="list-style-type: none"> <li>Screening - issue with rear (piers) from Washington?</li> <li>Need landscaping plan</li> <li>Landscaping on sides?</li> <li>Undersory plantings standard (14-526(b)2b(i)(b)): 6 shrubs/45 LF of property line (116' in property line/45=2.5*6=15.5) need more detail</li> <li>Parking lot standard (14-526(b)2b(ii)(a)): 2 trees (or 1 tree &amp; 3 shrubs)/5 spaces (5=trees) N/A</li> <li>Street tree standard for multi-family (TM 4.6.1): 1 tree/unit in ROW (5 units = 5 street trees) 0 supplied - need to put them in and contribution for remainder</li> <li>Mitigation? Footprint 4,500 SF. Total impervious? Need stormwater plan</li> <li>Soil conditions and structural integrity? Need geotech report</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>added screening to north/east</li> <li>added climbing vines - impervious at</li> <li>need waiver request + it re anywa</li> </ul>
<b>Public Infrastructure and Community Safety</b>	<ul style="list-style-type: none"> <li>a. Consistency with Master Plans                             <ul style="list-style-type: none"> <li>OK</li> </ul> </li> <li>b. Public Safety and Fire Prevention                             <ul style="list-style-type: none"> <li>Show trash room on floor plan</li> <li>Chris ok w/ parking access? Nearest hydrant? Need signoff from CP</li> <li>CPTED under building</li> <li>Maintenance of area under building</li> <li>Water capacity?</li> </ul> </li> <li>c. Availability and Adequate Capacity of Public Utilities                             <ul style="list-style-type: none"> <li>Availability and Adequate Capacity of Public Utilities</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>CPTED + under building</li> <li>check after analysis</li> <li>no geotech provided, sh. no plan? - not required?</li> </ul>
<b>Site Design</b>	<ul style="list-style-type: none"> <li>a. Massing, Ventilation and Wind Impact                             <ul style="list-style-type: none"> <li>Ventilation?</li> <li>Garage venting?</li> <li>Height?</li> </ul> </li> <li>b. Shadows                             <ul style="list-style-type: none"> <li>N/A</li> </ul> </li> <li>c. Snow and Ice Loading                             <ul style="list-style-type: none"> <li></li> </ul> </li> <li>d. View Corridors                             <ul style="list-style-type: none"> <li>N/A</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li></li> </ul>

PLAT - show stormwater unit breakdown

gate at south end?   
 • what are the requirements?   
 • from to double check driveway templates - are they require repair of stormwater? in brick?   
 • require repair of stormwater? in brick?

State: • check tree waiver request;   
 • stormwater plan (inc. inspection + maint.)   
 • CPTED + under building main   
 ↑   
 condo docs?   
 • mp. more detail   
 • ~~mp. more detail~~   
 • electrical water down

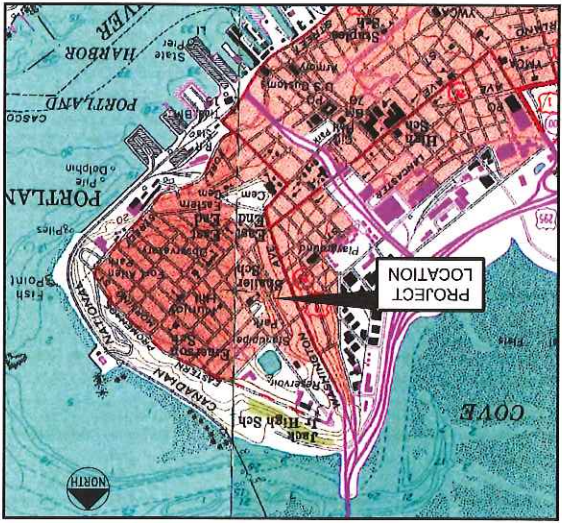
TE: • double check templates + waiver   
 • placement of no parking signs. mp. ok   
 DMF: • sidewalk reconstruction;   
 • C.M.P. lacking - S   
 DS: • roof drain to storm system w/ filter   
 • no plans. of;   
 • no geotech report   
 CP: • MP + - 4   
 JT: • added vines + screening   
 • waiver request - sheet review   
 MS: • Height; M grading + drainage   
 • plant info

LANDSCAPE   
 • what are the requirements?   
 • MP comment   
 • DS comment   
 • MP comment   
 • root can   
 • MP comment   
 • zone   
 • MP comment   
 • MP comment

WARNINGS:   
 • 1.9 - parking space   
 • 11.9 FE Floodway   
 • 2.78 storm drain   
 • that tree   
 • 3

DMF + DS 2

# SITE DEVELOPMENT PLANS FOR SHERIDAN STREET PORTLAND, MAINE JANUARY, 2013 FINAL PLAN SUBDIVISION



LOCATION MAP  
N.T.S.

OWNER / APPLICANT  
NEW DAY FARM, LLC  
c/o JEFFERY ROSENBLATT  
11 MCQUILLANS HILL DRIVE  
GORHAM, MAINE 04038  
CORD BOOK 31016, PAGE 299

CONSTRUCTION MANAGER  
GREAT FALLS CONSTRUCTION  
20 MECHANIC STREET  
GORHAM, MAINE 04038  
ATTN: JON SMITH (jon@greatfallsinc.com)

TAX MAP-BLOCK-LOT (ADDRESS)  
PART OF: 012 P021 001 AND 012 P017 001

## INDEX

- C-1.0 COVER SHEET
- C-1.1 GENERAL NOTES AND LEGEND
- C-2.0 EXISTING CONDITIONS PLAN
- C-3.0 SITE LAYOUT AND UTILITY PLAN
- C-4.0 GRADING AND DRAINAGE PLAN
- C-5.0 DETAILS
- C-5.1 DETAILS
- C-5.2 DETAILS
- L-1.0 LANDSCAPE PLAN

## UTILITIES

- WATER: PORTLAND WATER DISTRICT
- C-2.0 EXISTING CONDITIONS PLAN
- P.O. BOX 3553
- 22 DOUGLAS STREET
- PORTLAND, MAINE 04104
- CONTACT: RICO SPURNARD
- 207.761.8310
- SEWER: CITY OF PORTLAND
- PUBLIC SERVICES DIVISION
- 66 PORTLAND STREET
- PORTLAND, MAINE 04102
- CONTACT: DAVID MARGOLIS-PINEO, DEPUTY CITY ENGINEER
- 207.874.8860
- ELECTRIC: CENTRAL MAINE POWER
- 162 CANCO ROAD
- PORTLAND, MAINE 04103
- CONTACT: JAMIE COUGH
- 207.842.2367
- TELEPHONE: FAIRPOINT COMMUNICATIONS
- 5 DAVIS HILL FARM ROAD
- PORTLAND, MAINE 04103
- CONTACT: SUE SERRETTE
- 207.797.1119
- NATURAL GAS: NORTHERN UTILITIES
- 1076 FOREST AVENUE
- PORTLAND, MAINE 04103
- CONTACT: BRIDGET L. HARMON
- 207.571.2536
- CALL BEFORE YOU DIG
- 888.344.7233
- DIAGRAMS: CALL BEFORE YOU DIG
- 888.344.7233

## PERMITS / APPROVALS

- TYPE: LOCAL
- SITE PLAN SUBMISSION APPROVAL: CITY OF PORTLAND PLANNING AUTHORITY
- PORTLAND, MAINE 04103
- 207.874.8719
- CONTACT: NELL DONALDSON, PLANNER
- CITY OF PORTLAND CODE ENFORCEMENT OFFICE
- CITY HALL CONGRESS STREET
- PORTLAND, MAINE 04103
- 207.874.8900
- BUILDING PERMIT: CITY OF PORTLAND PUBLIC SERVICES DIVISION
- 55 PORTLAND STREET
- PORTLAND, ME 04102
- ATTN: CAROL MERRITT
- 207.874.8801
- UTILITY / STREET OPENING PERMITS: CITY OF PORTLAND PUBLIC SERVICES DIVISION

## GOVERNING BODY:

STATUS/DATE ISSUED:  
PRELIMINARY SUBMISSION 10.23.13  
FINAL PLAN SUBMISSION 1.06.14

## CONSULTANT LIST

- CIVIL ENGINEER:  
**Fay Spofford & Thordike, Inc.**  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, MAINE 04106  
207.775.1121  
ATTN: STEPHEN BUSHEY  
sbushey@ftinc.com
- ARCHITECT:  
**Archetype Architects**  
48 UNION WHARF  
PORTLAND, MAINE 04101  
207.772.6022  
ATTN: DAVID LLOYD  
www.archetype-architects.com
- SURVEYOR:  
**Ticom Associates, Inc.**  
133 GRAY ROAD  
FALMOUTH, ME 04105  
207.797.9199
- GEOTECHNICAL ENGINEER:  
**Summit Geoenignering Services**  
P.O. BOX 7216  
LEWISTON, ME 04243  
207.576.3313  
ATTN: BILL PETERLIEN, P.E.

Prepared For: NEW DAY FARM, LLC  
Project: SHERIDAN STREET TOWNHOUSES

11 MCQUILLANS HILL DRIVE  
GORHAM, ME 04038

Architect: **Archetype Architects**  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Date: OCT. 2013  
Scale: N.T.S.

COVER SHEET

C-1.0

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

**FST**  
ENGINEERS  
FAY, SPOFFORD & THORDIKE, INC.  
ENGINEERS - PLANNERS - SCENARISTS  
5 BURLINGTON WOODS, BURLINGTON, MA 01803



**GENERAL NOTES**

1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
2. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
3. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROXIMATE UTILITY COMPANY AND DIG SAFE (1-888-DIGSAFE). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. AT NO EXTRA EXPENSE TO THE OWNER.
5. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO PROJECT CONTRACT SPECIFICATIONS, AND THE CITY OF PORTLAND TECHNICAL STANDARDS, WHICHEVER IS MORE STRINGENT.
7. ALL MATERIALS AND BOUNDARY SURVEY INFORMATION WAS PROVIDED BY THE ASSOCIATION OF BENCHMARK - CITY OF PORTLAND AND INTUM ELEVATION GRANITE MONUMENT AT SOUTH WEST CORNER OF WASHINGTON AVENUE AND MARION STREET BENCHMARK - CITY OF PORTLAND.
8. FEMA MAP COMMUNITY PANEL NUMBER 23050500198. THE SITE IS LOCATED IN A C ZONE.
9. THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED IN THIS APPROVED PLAN. ALL ELEVATIONS AND FEATURES OF THE PLAN AND ALL THE PROPERTY WHICH APPEARS IN THE RECORDS OF THE PLANNING BOARD PRECEDES AND IS SUPERSEDED BY THE PLANNING BOARD APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
10. ALL SIGNAGE SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION AND REFLECTIVITY SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
11. ALL CURB SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS:  
GRANITE AND BITUMINOUS CONCRETE CURB SHALL MEET THE REQUIREMENTS OF MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS 609.03 AND 609.04 AND CITY OF PORTLAND TECHNICAL STANDARDS.
12. ALL DIMENSIONS UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB OR FACE OF BUILDING.
13. THE FACILITY IS SERVICED BY PUBLIC WATER, SEWER, NATURAL GAS AND UNDERGROUND POWER.
14. PRECONSTRUCTION MEETING MAY BE REQUIRED TO INCLUDE THE PUBLIC WORKS AUTHORITY OR DEVELOPMENT REVIEW COORDINATOR.
15. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
16. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON ADJACENT STREETS AS NECESSARY.
17. CONSTRUCTION DEBRIS SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12. ALL DEMOLITION MATERIAL SHALL BE TAKEN TO THE RIVERSIDE RECYCLING FACILITY OR OTHERWISE DIRECTED BY THE RESULTS OF A HAZARDOUS BUILDING MATERIALS SURVEY AS AUTHORIZED AND COORDINATED BY THE OWNER. ALL SALVAGED MATERIAL WITHIN THE PUBLIC ROAD (SIDEWALKS, BRICKS, GRANITE CURB) NOT REUSED SHALL BE DISPOSED OF AS DIRECTED BY THE PORTLAND PUBLIC SERVICES DEPARTMENT AT NO EXTRA COST TO THE OWNER.
18. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
19. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR EXPENSE.
20. THE OWNER SHALL BE RESPONSIBLE TO COORDINATE THE PERFORMANCE OF A HAZARDOUS MATERIALS INSPECTION OF THE EXISTING PROPERTIES. A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND AND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE COMPLETED IN CONFORMANCE TO THE CITY'S RULES AND REGULATIONS FOR EXCAVATION ACTIVITIES IN PUBLIC RIGHT OF WAY.
21. CONTRACTOR MUST MAINTAIN THROUGH TRAFFIC ON ADJACENT STREETS AT ALL TIMES.
22. ALL METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS IDENTIFIED HEREIN SHALL CONFORM TO THE CITY OF PORTLAND CONSTRUCTION AND TECHNICAL STANDARDS AND/OR CURRENT MDOT STANDARDS AND SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
23. SITE WORK FOR BUILDING SHALL INCLUDE FILING FOUNDATIONS AND GROUND STABILIZATION BENEATH THE BUILDING FOOTPRINT. SITE WORK SHALL ALSO INCLUDE MODIFICATIONS AND RELATION OF SIDEWALKS AND RESTORATION OF EXCAVATION AND RESTORATION IN SHERIDAN STREET. ALL BUILDING STRUCTURAL MEASURES SHALL BE IN ACCORDANCE WITH THE STRUCTURAL DRAWINGS AND SPECIFICATIONS.
24. RECORD DRAWINGS REQUIRE ALL BURIED UTILITIES INCLUDING, BUT NOT LIMITED TO, BENDS, APPURTENANCES, AND OTHER FEATURES TO BE LOCATED BY COORDINATE INFORMATION TO BE RECORDED BY THE CONTRACTOR AND SUPPLIED TO THE OWNER AT THE END OF THE PROJECT.

**EROSION CONTROL NOTES:**

1. LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
2. PRIOR TO BEGINNING ANY CLEARING AND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES AND THE STABILIZED CONSTRUCTION ENTRANCES.
3. SILT BARRIERS SHALL BE INSPECTED, REPAIRED AND CLEANED AS NOTED IN THE EROSION CONTROL NOTES SHOWN ON THE EROSION CONTROL DETAIL SHEET.
4. THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCES AS THEY BECOME SATURATED WITH MUD TO ENSURE THAT THEY WORK AS PLANNED DURING CONSTRUCTION AND SHALL KEEP ADJACENT STREETS CLEAR OF DIRT AND MUD.
5. SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
6. CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST IMMEDIATELY UPON COMPLETION OF CUTS/FILLS. THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AS SPECIFIED ON PLANS.
7. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION PROJECTS PUBLISHED BY THE QUINCY AND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 (OR LATEST EDITION). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
8. CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL REQUIREMENTS AND MAINTENANCE REQUIREMENTS AND GOOD HOUSEKEEPING PRACTICES IN ACCORDANCE WITH APPENDIX A, 8 & C OF MAINE DEP CHAPTER 800.

**GRADING AND DRAINAGE NOTES:**

1. ALL STORM DRAIN PIPE SHALL BE SMOOTH BORE INTERIOR PROVIDING A MANNING'S ROUGHNESS COEFFICIENT OF  $n = 0.013$  OR LESS, UNLESS A SPECIFIC PIPE MATERIAL IS CALLED FOR ON THE CONTRACT DRAWINGS. PVC PIPING SHALL NOT BE USED IN AREAS OF EXPOSED SUNLIGHT.
2. SLOPE PROTECTION IS TO BE PROVIDED PER THE DESIGN PLANS AND MAY INCLUDE RIPRAP, SOD OR MULCH.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING EARTHWORK OPERATIONS TO INSURE THAT DISTURBANCE TO ANY STEEP SLOPE AREAS ARE MINIMIZED TO THE EXTENT PRACTICABLE.
4. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY OTHERS. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
5. ALL PAVING WITHIN THE PUBLIC R.O.W. SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PORTLAND RULES AND REGULATIONS FOR EXCAVATION ACTIVITIES IN THE PUBLIC R.O.W.
6. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
7. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
8. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES AND PHYSICAL FEATURES THAT ARE OUTSIDE THE SCOPE OF WORK. THE CONTRACTOR SHALL MAINTAIN SITE STABILITY DURING CONSTRUCTION TO AVOID EROSION AND SEDIMENT TRANSPORT. CONTRACTOR SHALL RESTORE ALL AREAS TO A FINAL STABILIZED CONDITION AS DIRECTED BY DESIGN DRAWINGS.
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
10. EXTERIOR GRADES AROUND PROPOSED STRUCTURE SHALL BE COORDINATED WITH FINAL BUILDING PLANS AND PROVIDE FOR ALL ACCESS OPENINGS.
11. SUBGRADE FILL PLACED BENEATH ALL PERMANENT PAVEMENT, SIDEWALK OR CONCRETE SURFACES EXCLUDING ANY BUILDING AREAS, SHALL BE GRANULAR BORROW. EMBANKMENT CONSTRUCTION FREE FROM FROZEN MATERIAL, PERISHABLE RUBBER, PEAT, ORGANOIDS, ROCKS LARGER THAN 12" IN DIAMETER, VEGETATION AND OTHER MATERIALS UNDESIRABLE FOR ROADWAY AND SIDEWALK CONSTRUCTION. EXCAVATED ON-SITE MATERIALS MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE FROM UNSUITABLE MATERIALS DESCRIBED IN THIS NOTE AND IS ON APPROVAL OF THE ENGINEER. EXCAVATED ON-SITE MATERIALS MAY NOT BE USED AS FILL BENEATH THE BUILDING AREAS OR AS FOUNDATION BACKFILL. GRANULAR BORROW AND COMMON BORROW SHALL COMPLY WITH THE MDOT SPECIFICATIONS.
12. ALL FILLS SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTION EQUIPMENT. MINIMUM COMPACTION SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).

**UTILITY NOTES:**

1. ALL REQUIRED UTILITIES SERVING THE PROJECT SHALL BE COORDINATED BETWEEN THE SITE WORK CONTRACTOR AND DIVISION 2226 CONTRACTORS. THE SITE WORK CONTRACTOR SHALL BE RESPONSIBLE TO EXTEND ALL PROPOSED UTILITIES TO WITHIN FIVE (5) FEET OF THE BUILDING TO A LOCATION COORDINATED WITH THE MECHANICAL AND ELECTRICAL SUBCONTRACTORS. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES WITHIN FIVE (5) FEET AND INSIDE THE BUILDING OR THE BUILDING.
2. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF OVERHEAD AND UNDERGROUND TELEPHONE WITH FAIRPOINT COMMUNICATIONS.
3. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRIC SERVICE WITH CENTRAL MAINE POWER. THE TELECOMMUNICATIONS SERVICE WITH FAIRPOINT COMMUNICATIONS AND CABLE SERVICE WITH TIME WARNER CABLE. ALL WORK SHALL CONFORM TO THE PROJECT SPECIFICATIONS OR UTILITY COMPANY STANDARDS, WHICHEVER IS MORE STRINGENT.
4. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE AT NO ADDITIONAL EXPENSE TO THE OWNER.
5. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
6. THE CONTRACTOR SHALL OBTAIN PAY FOR AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO COMPLETION OF THE PROJECT.
7. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THE DRAWINGS TO REPAIR INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL. AT NO EXTRA EXPENSE TO THE OWNER.
8. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER CROSSINGS. AN 18 INCH OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSINGS.
9. THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO THE JOB SITE. TEMPORARY SERVICES SHALL COMPLETELY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. COORDINATE ALL TEMPORARY SERVICES WITH UTILITY COMPANY, OWNER AND AFFECTED BUSINESSES.
10. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL SERVICES IN CONDUIT TO SITE LIGHTING, COMPLYING WITH APPLICABLE CODES. COORDINATE WITH OWNER, SITE ELECTRICAL, ARCHITECTURAL AND CAMP PLANS.
11. ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND AND PUBLIC SERVICES DEPARTMENT. ALL SANITARY SERVICES AND APPURTENANCES TO BE ABANDONED SHALL BE PROPERLY RECORDED WITH PORTLAND PUBLIC SERVICES ENGINEERING DEPARTMENT. A DIGITAL WIDEAREA SHALL BE MADE OF SANITARY SEWER SYSTEMS TO BE UTILIZED PRIOR TO CONSTRUCTION. UPSTREAM PIPES INTENDED FOR AMENDMENT SHALL BE INSPECTED TO VERIFY THAT THEY NO LONGER SERVE OTHER FACILITIES.

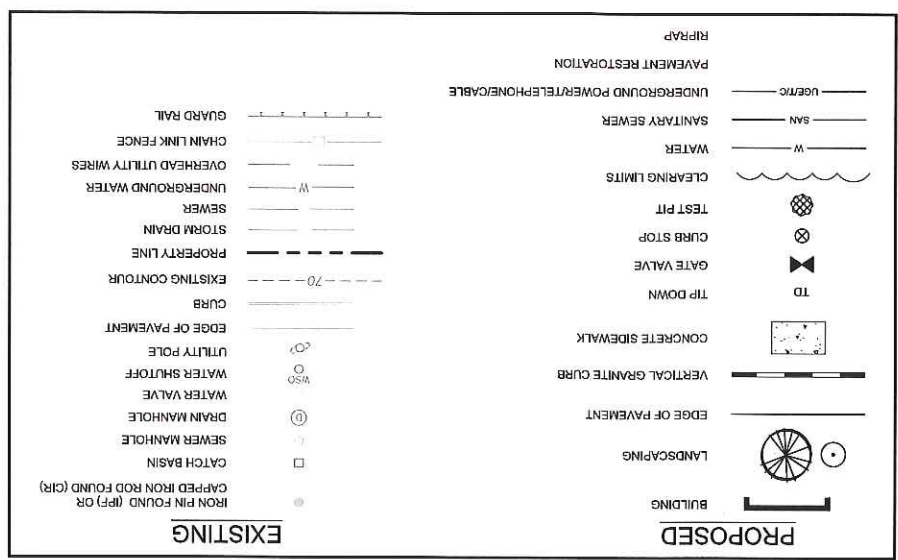
**FST**  
ENGINEERS - PLANNERS - SCIENTISTS  
5 BURLINGTON WOODS, BURLINGTON, MA 01803  
Fax: (207) 772-4056

**ARCHITECTS**  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056



**GENERAL NOTES AND LEGEND**  
Date: OCT. 2013  
Scale: N.T.S.  
C-1.1

Prepared For:	NEW DAY FARM, LLC
Project:	SHERIDAN STREET TOWNHOUSES
11 MCQUILLANS HILL DRIVE GORHAM, ME 04038	152 SHERIDAN STREET PORTLAND, MAINE
10.23.13 - PRELIMINARY PLAN SUBMISSION TO CITY	10.06.14 - FINAL PLAN SUBMISSION
Revisions:	



**CITY OF PORTLAND, MAINE - PERFORMANCE STANDARDS B-2 AND B-2b COMMUNITY BUSINESS ZONES**

DIMENSIONAL REQUIREMENTS (Residential Use)	REQUIRED
Minimum Lot Size	None
Minimum Street Frontage	None
Minimum Yard Dimensions:	
a. Front Yard	None
b. Rear Yard	Ten (10) feet, except where the lot abuts a residential zone, where twenty (20) feet is required
c. Side Yard	Five (5) feet, except where the lot abuts a residential zone, where ten (10) feet is required
d. Side Yard or Rear Yard on a Street	None
Maximum Impervious Surface Ratio	90%
Maximum Structure Height	Forty-five (45) feet, except in the case of a building with a commercial first floor and residential upper floors, where fifty (50) feet is allowed, and except for the portion of a building located within sixty-five (65) feet of Franklin Street where sixty-five (65) feet is allowed.

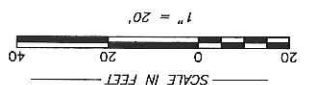


CERTIFICATION  
 This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors, except as noted.  
 David E. Ticombe PLS #1273  
 Said is for revisions 7, 8 & 9 only.

**Plan of Lot Division**  
 MADE FOR  
 A & M Partners LLC  
 380 Warren Avenue  
 Portland, Maine 04103  
 JOB# 202048.1 DATE: July 19, 2002 SCALE: 1" = 20'  
 BOOK# 677  
 202048-RB.dwg  
 FILE# 8500  
 Ticombe Associates  
 133 Gray Road  
 Falmouth, Maine 04105

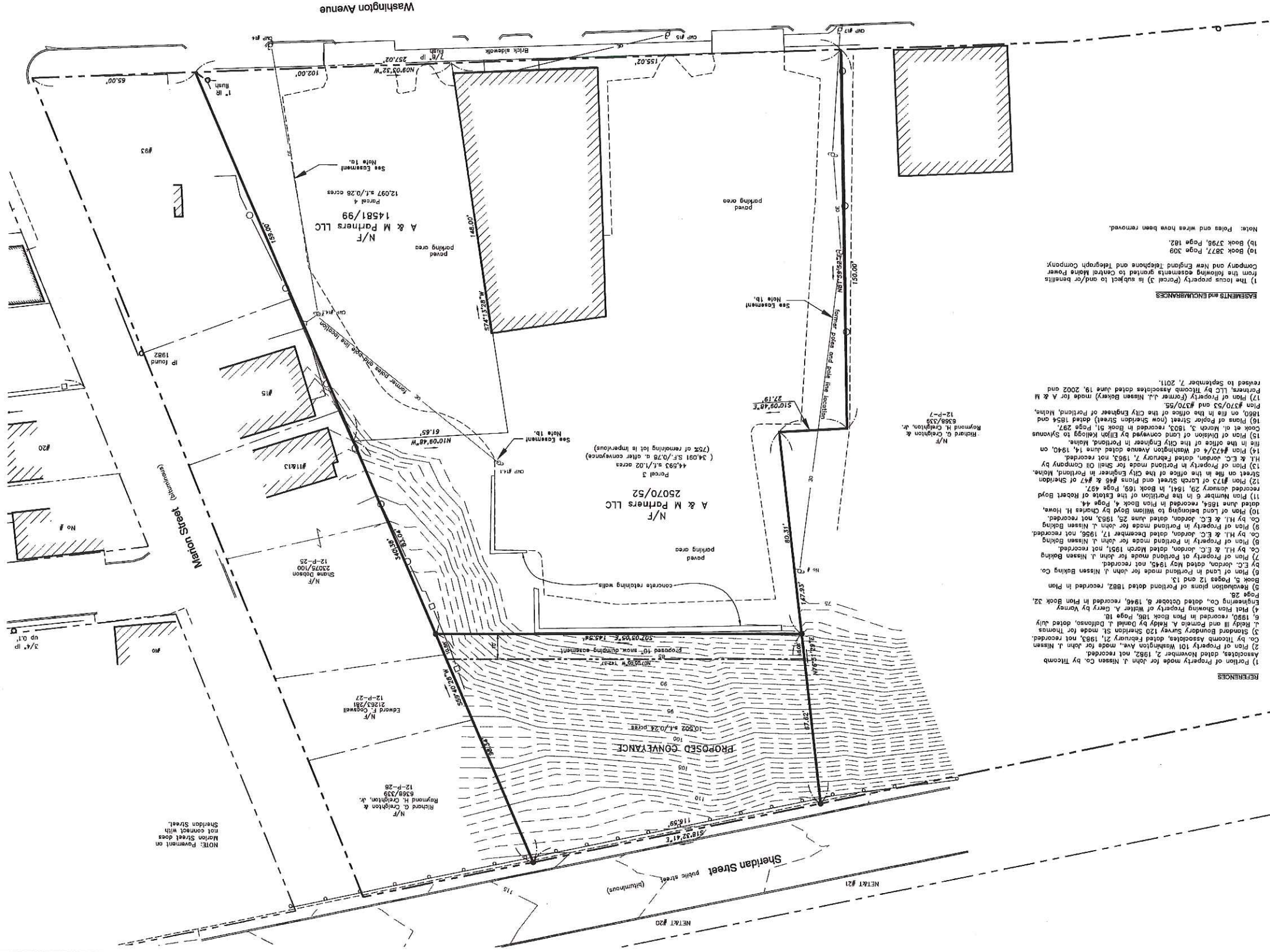
Rev. 9	08/13/13	Improve surface conditions, remaining lot, new water	JNS
Rev. 8	08/07/13	Update records for proposed easements, lot division	JNS
Rev. 5	06/29/11	Add parcels A & B, remove CMP easements	JNS
Rev. 4	02/28/11	Add proposed improvements	JNS
Rev. 3	08/29/09	Remove Note 5	JNS
Rev. 2	07/07/08	Revise outline A-E	JNS
Rev. 1	08/29/03	Add property to be conveyed, easement details	JNS

OWNERS OF RECORD  
 A & M Partners LLC  
 Book 25070, Page 52



- NOTES**
- Bearings are based on Magnetic North 2002.
  - Book and Page references are to the Cumberland County Registry of Deeds.
  - Benmark granite monument at the southwest corner of Washington Avenue and Horse Street. Elevation: 69.20'
  - Utility information shown on this plan is approximate, based on field information, locations marked by others and information contained on plans and drawings. Prior to any excavation or construction, the appropriate utilities should be contacted.
  - Parcel numbers shown are derived from plan reference 17.

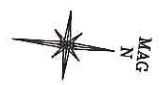
- EASEMENTS AND ENCUMBRANCES**
- The locus property (Parcel 3) is subject to and/or benefits from the following easements granted to Central Maine Power Company and New England Telephone and Telegraph Company:
    - Book 3877, Page 309
    - Book 3796, Page 182.
  - Notes and wires have been removed.



- REFERENCES**
- Parcel of Property made for John J. Nissen Co. by Ticombe Associates, dated November 2, 1982, not recorded.
  - Plan of Property 101 Washington Ave., made for John J. Nissen Co. by Ticombe Associates, dated February 21, 1983, not recorded.
  - Striking Boundary Survey 121 Station St. made for Thomas J. Field III and Pamela A. Field by Daniel J. Dufresne, dated July 6, 1980, recorded in Plan Book 186, Page 18.
  - Plan Showing Property of Walter A. Gery by Verney Engineering Co. dated October 8, 1946, recorded in Plan Book 32, Page 28.
  - Revolutions plans of Parcel 13, recorded in Plan Book 5, Pages 12 and 13.
  - Plan of Land in Portland made for John J. Nissen Baking Co. by H.L. & E.C. Jordan, dated May 1945, not recorded.
  - Plan of Property at Portland made for John J. Nissen Baking Co. by H.L. & E.C. Jordan, dated March 1951, not recorded.
  - Plan of Property in Portland made for John J. Nissen Baking Co. by H.L. & E.C. Jordan, dated June 25, 1953, not recorded.
  - Plan of Property in Portland made for John J. Nissen Baking Co. by H.L. & E.C. Jordan, dated December 17, 1956, not recorded.
  - Plan of Property in Portland made for John J. Nissen Baking Co. by H.L. & E.C. Jordan, dated January 29, 1941, in Book 169, Page 497.
  - Plan #173 of Lorch Street and Plans #46 & #47 of Sheridan Street on the office of the City Engineer in Portland, Maine.
  - Plan of Property in Portland made for Shell Oil Company by H.L. & E.C. Jordan, dated February 7, 1953, not recorded.
  - Plan #433/4 of Washington Avenue dated June 14, 1940, on the office of the City Engineer in Portland, Maine.
  - Plan of Property in Portland made for Syncom Cook et al. March 3, 1953, recorded in Book 51, Page 297.
  - Plan of Division of Land conveyed by Ervin Keating to Syncom Cook et al. March 3, 1953, recorded in Book 51, Page 297.
  - Plan of Property (Formerly Nissen Bakery) made for A & M Partners, LLC by Ticombe Associates dated June 19, 2002 and revised to September 7, 2011.

**LEGEND**

●	Iron pin set
○	Iron pin found
○	Monument found
○	Drill hole
○	Catch basin
○	Sewer manhole
○	Drain manhole
○	Telephone manhole
○	Manhole (unknown type)
○	Water shutoff
○	Fire hydrant
○	Utility pole
○	Gas valve
○	Valve (unknown type)
○	PK nail found
○	Guy
—	Edge of pavement
—	Gravels curb
—	Edge of gravel
—	Edge of traveled way
—	Proposed Property Line
—	Right of way
—	Property line
—	Wooden fence
—	Chain link fence
—	Underground sewer
—	Underground water
—	Overhead utility wires
—	5' contour
—	1' contour
—	Existing building



CITY OF PORTLAND, MAINE - PERFORMANCE STANDARDS B-2 AND B-2B COMMUNITY BUSINESS ZONES	
Minimum Lot Size	None
Minimum Street Frontage	None
Minimum Yard Dimensions:	
a. Front Yard	None
b. Rear Yard	Ten (10) feet, except where the lot abuts a residential zone, where ten (10) feet is required
c. Side Yard	Five (5) feet, except where the lot abuts a residential zone, where ten (10) feet is required
d. Side Yard or Rear Yard on a Street	None
Maximum Impervious Surface Ratio	90%
Maximum Structure Height	Forty-five (45) feet, except in the case of a building with a commercial first floor and residential upper floors, where fifty (50) feet is allowed, and except for the portion of a building located within sixty-five (65) feet of Franklin Street where sixty-five (65) feet is allowed.

**WAIVERS REQUESTED**

1. WAIVER FROM TECHNICAL STANDARD 1.7.2.3 FOR 24' DRIVE AISLE TO SLIGHTLY LESS THAN 24'
2. WAIVER FROM TECHNICAL STANDARD 1.1.4 FOR 9' PARKING SPACE WIDTH TO ALLOW SPACE WIDTH AT 8'-2"
3. WAIVER FROM TECHNICAL STANDARD 1.1.4, RELATED TO FLOOD STANDARDS, AS THE PROJECT WILL DISCHARGE TO THE MUNICIPAL SYSTEM DRAIN LINES CONNECTING TO CATCH BASINS.

**PLAN REFERENCE:**

1. PLAN OF LOT DIVISION MADE FOR AAM PARTNERS, LLC BY TITCOMB ASSOCIATES LAST REVISED 08.13.13 (REV 9)

**PLAN NOTES:**

1. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AS INDICATED ON FRM PANEL 23005100148
2. OWNER OF RECORD: NEW DAY FARM, LLC
3. SEE FULL PLAN SET TITLED "SITE DEVELOPMENT PLANS FOR SHERIDAN STREET TOWNHOUSES" BY FAY, SPOFFORD & THORNDIKE, INC. DATED 01.08.14
4. LOCUS IS SHOWN AS LOTS 17 AND 21 ON TAX MAP 12, BLOCK P - THE SITE IS LOCATED IN THE B2B ZONE PER THE CITY OF PORTLAND ZONING MAP.
5. LOT SIZE 10,502 S.F. / 0.24 AC.
6. FOR THE SANITARY SEWER, THE CONTRACTOR SHALL HOOK ON TO THE TWO FOOT PLUGGED STUB, IF THE STUB IS PLUGGED STUB ENDS WITH AN END CAP. FULL WITH A PUSH ON END PLUG. IF THE TWO FOOT PLUGGED STUB ENDS WITH AN END CAP, FULL THE CONTRACTOR SHALL INSTALL A NIPPLE PIECE AND INSTALL THE TEMPE.
7. SNOW STORAGE EASEMENT BENEFITS THE REMAINING LAND OF AAM PARTNERS, LLC (PARCELS 3 & 4) (SEE PLAN REFERENCE 1)
8. SNOW REMOVAL AND PROPERTY MAINTENANCE SHALL BE BY THE OWNER.
9. IN ACCORDANCE WITH SECTION 12-17 OF THE CITY OF PORTLAND CODE OF ORDINANCES THE PROPERTY IS ELIGIBLE FOR PARTICIPATING PUBLIC SERVICES FOR THE DELIVERY OF SUITABLE CONTAINERS AND AUTHORIZATION FOR SCHEDULED PICK UP.
10. PROGRAMS, PRIOR TO OCCUPANCY THE OWNER SHALL NOTIFY PUBLIC SERVICES FOR THE PROPERTY IS ELIGIBLE FOR PARTICIPATING PUBLIC SERVICES FOR THE DELIVERY OF SUITABLE CONTAINERS AND AUTHORIZATION FOR SCHEDULED PICK UP.

Prepared For: **NEW DAY FARM, LLC**

Project: **SHERIDAN STREET TOWNHOUSES**

11 MCGUILLANS HILL DRIVE GORHAM, ME 04038

152 SHERIDAN STREET PORTLAND, MAINE

Date: **OCT. 2013**

Scale: **1" = 10'**

Architect: **ARCHETYPE architects**

48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

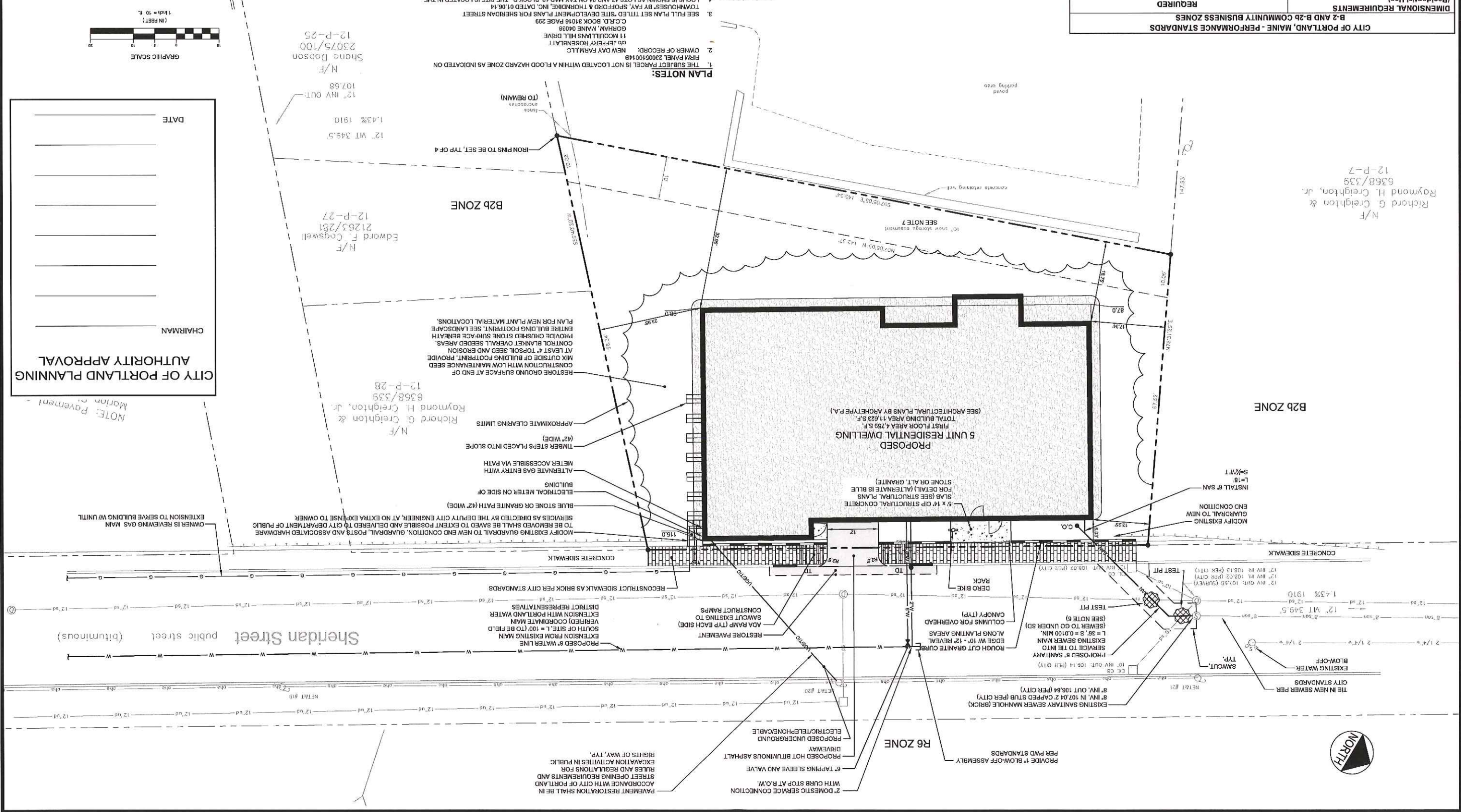
**C-3.0**

**SITE LAYOUT & UTILITY PLAN**  
(RECORDING PLAN)

01.21.14 - REVISED FOR STAFF COMMENTS AND RESUBMITTED

01.10.14 - REVISED FOR FINAL PLAN SUBMISSION

01.06.14 - FINAL PLAN SUBMISSION



**CITY OF PORTLAND PLANNING AUTHORITY APPROVAL**

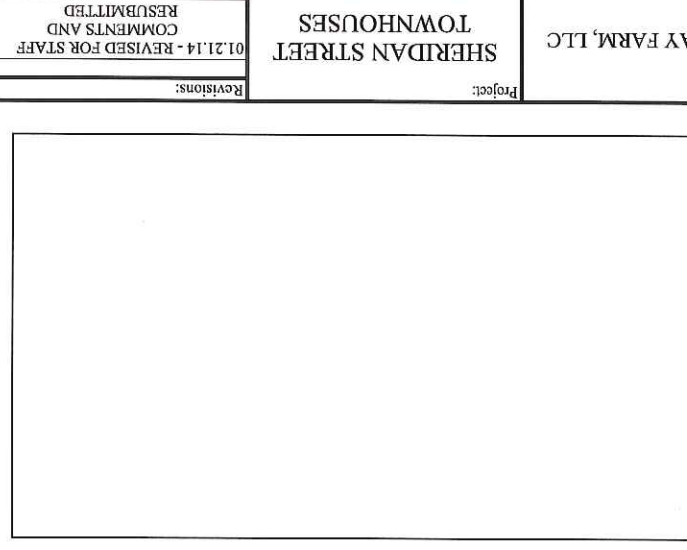
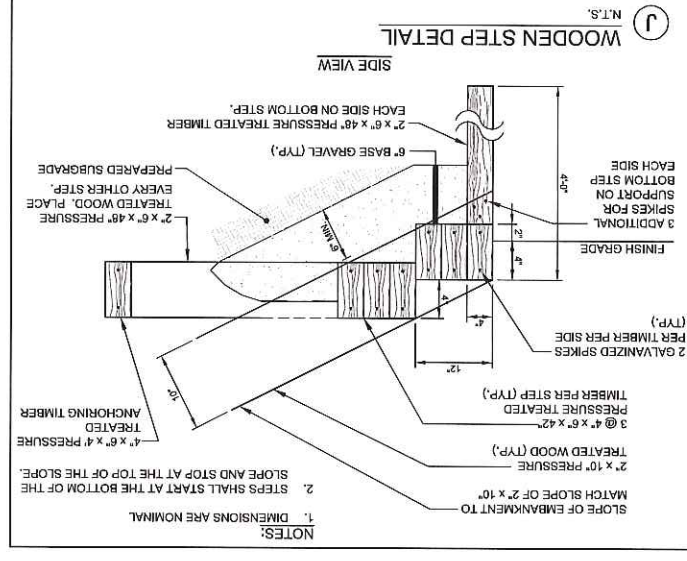
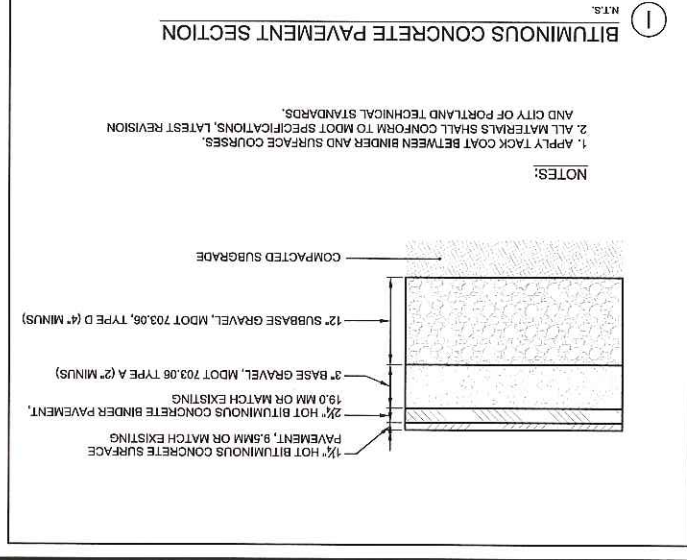
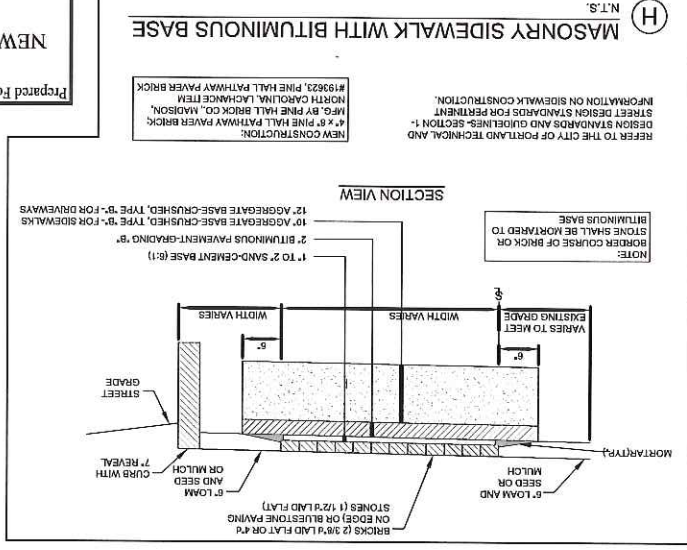
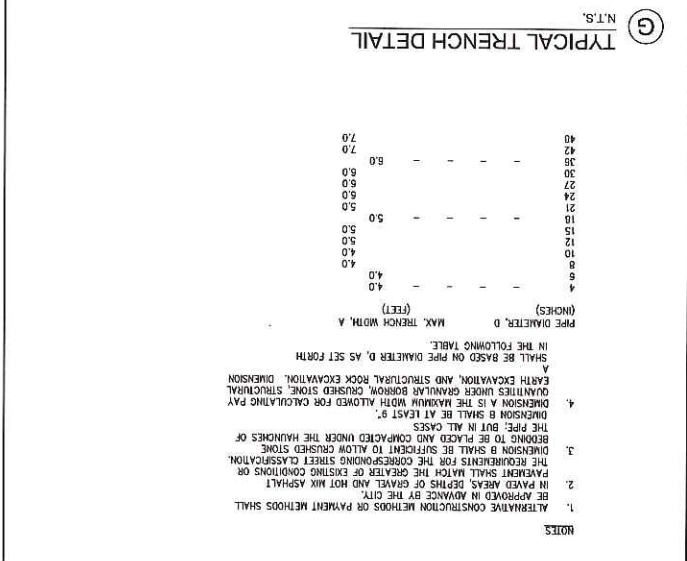
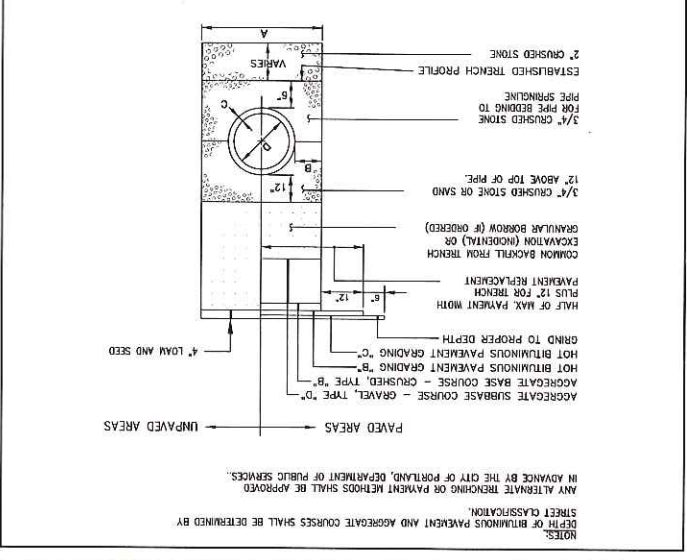
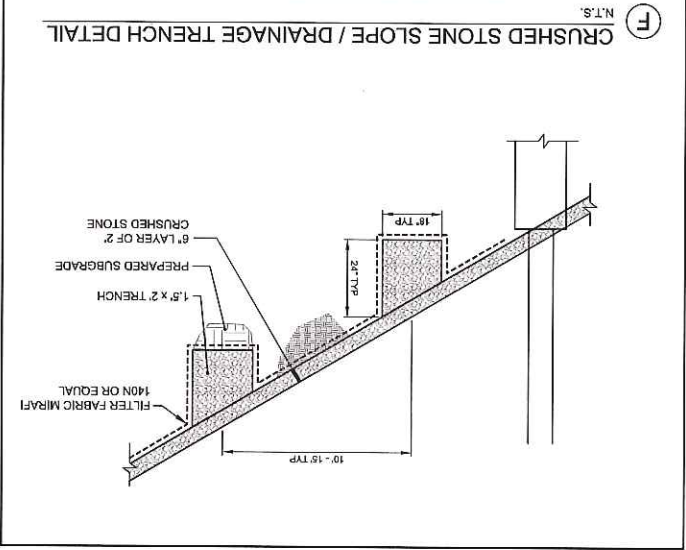
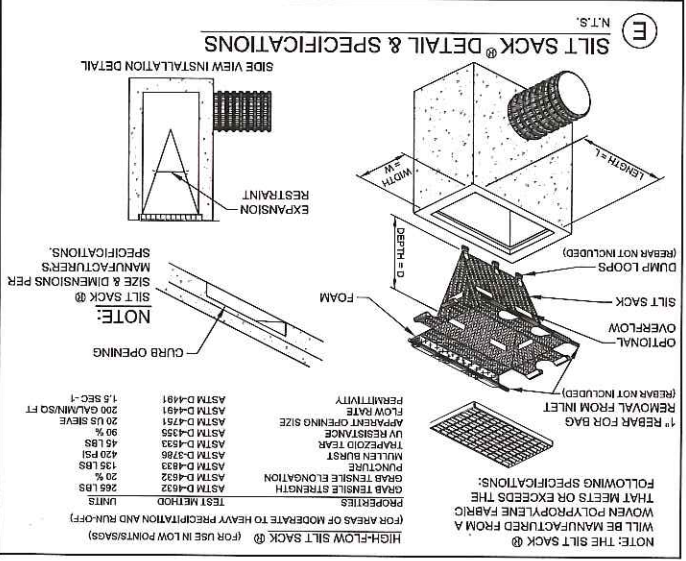
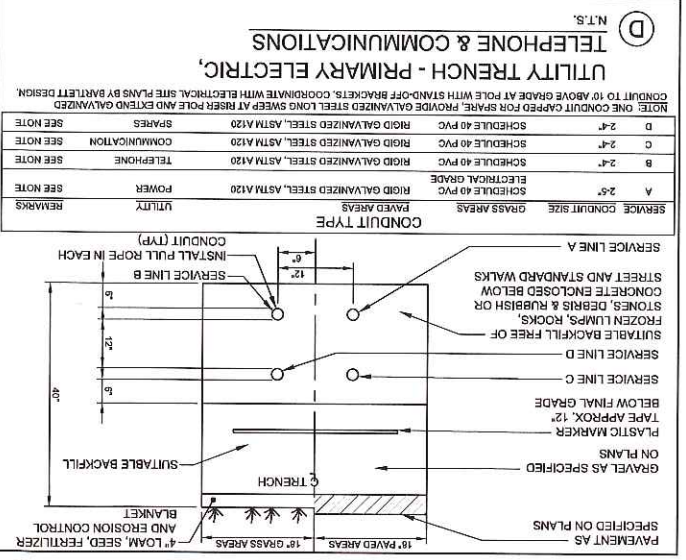
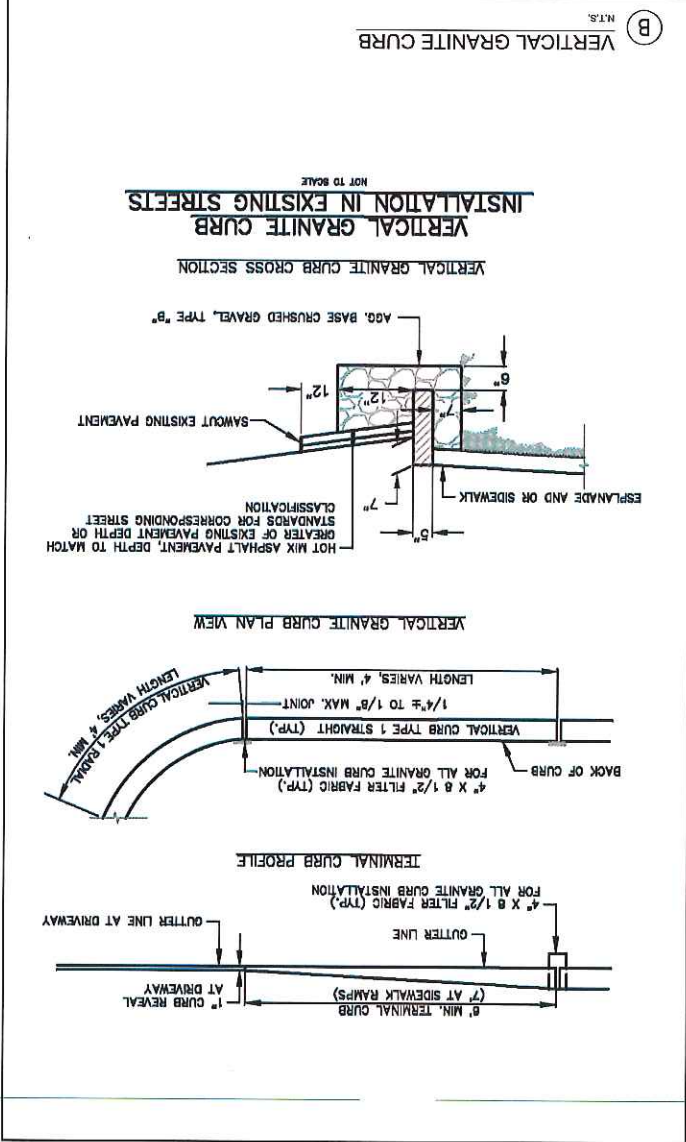
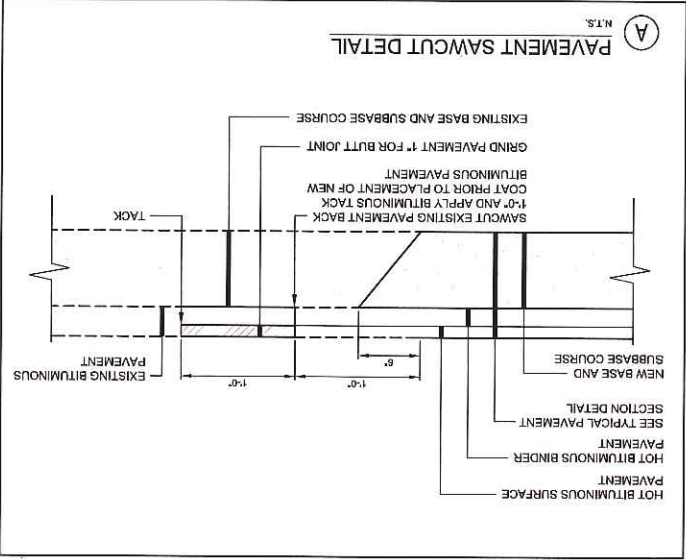
DATE \_\_\_\_\_

CHAIRMAN \_\_\_\_\_

NOTE: Pavement - Marion



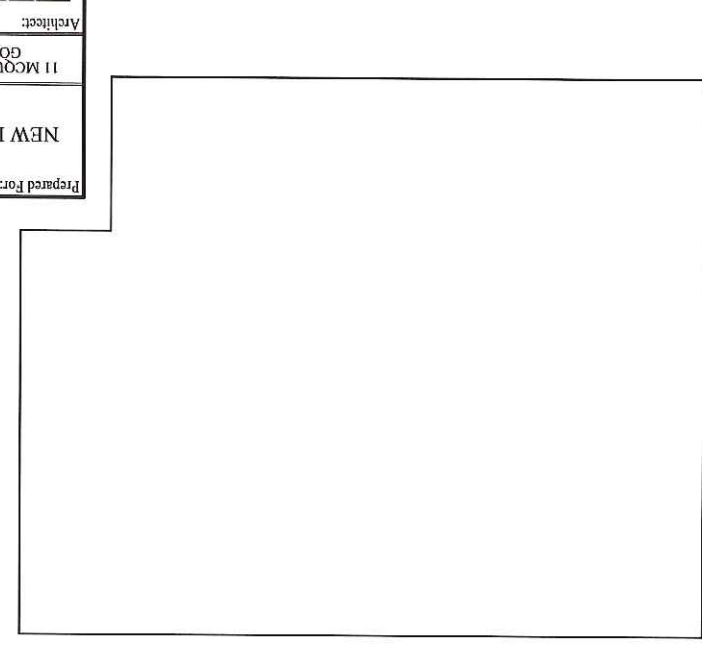
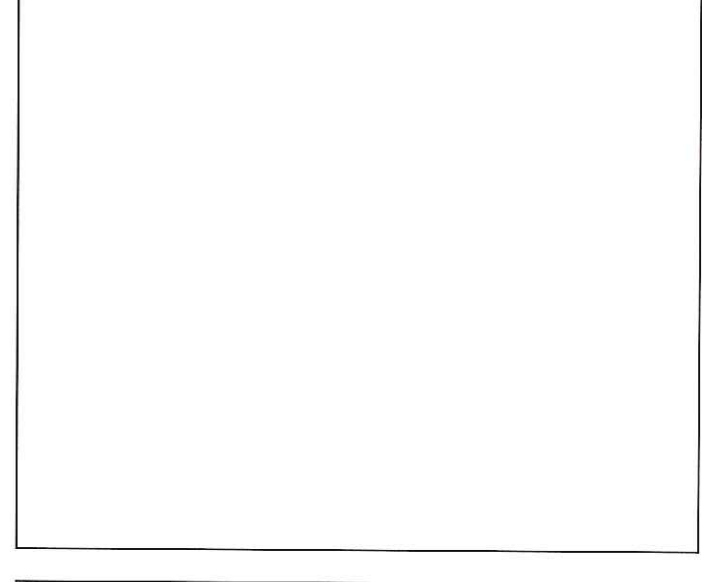
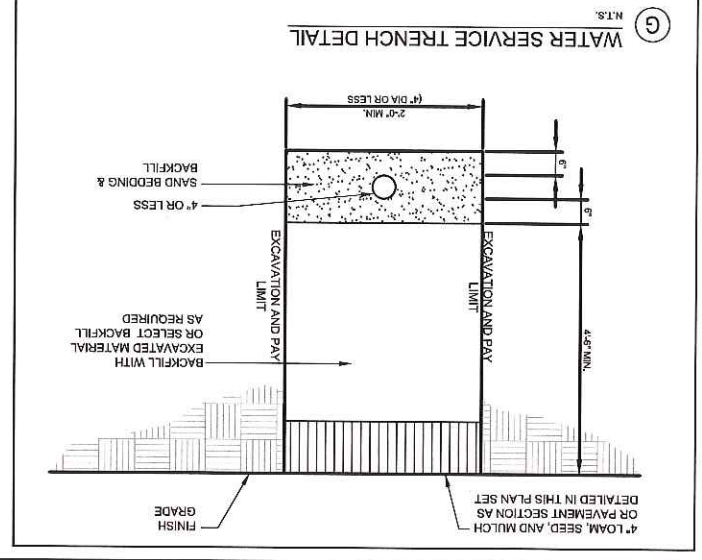
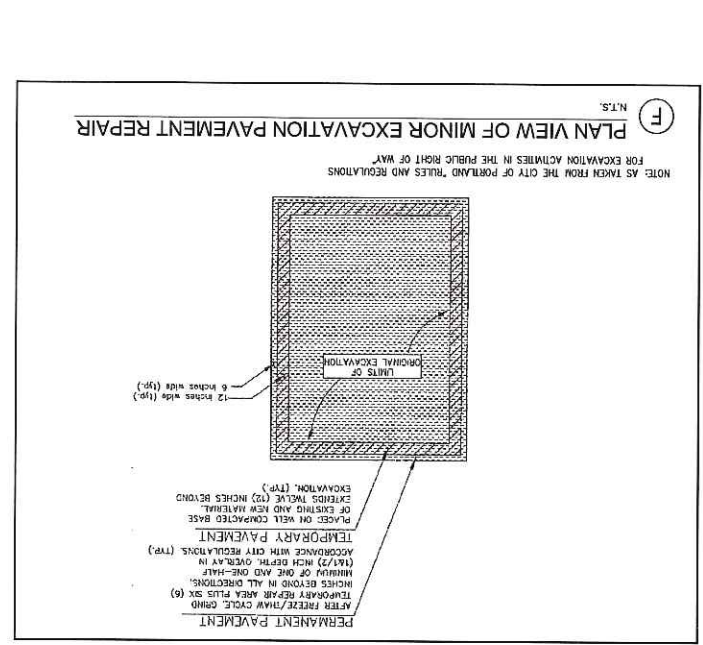
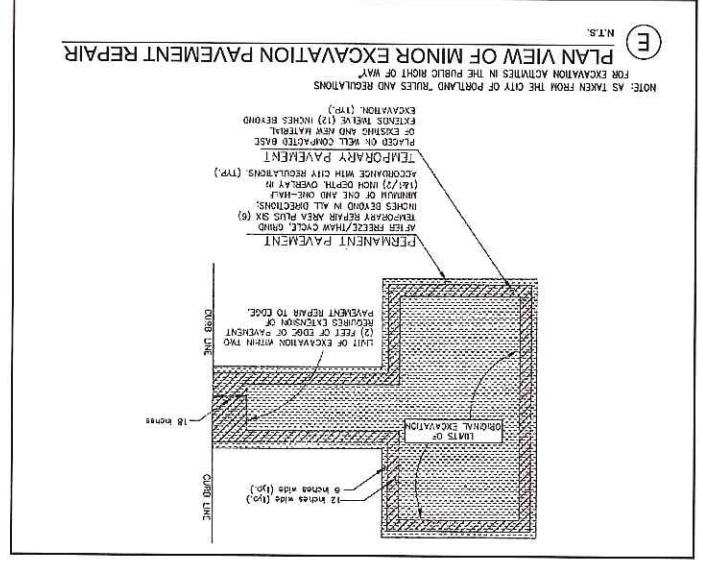
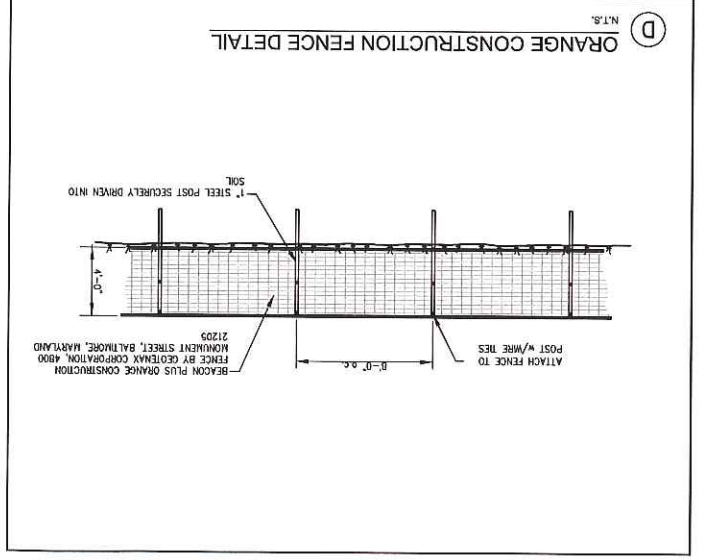
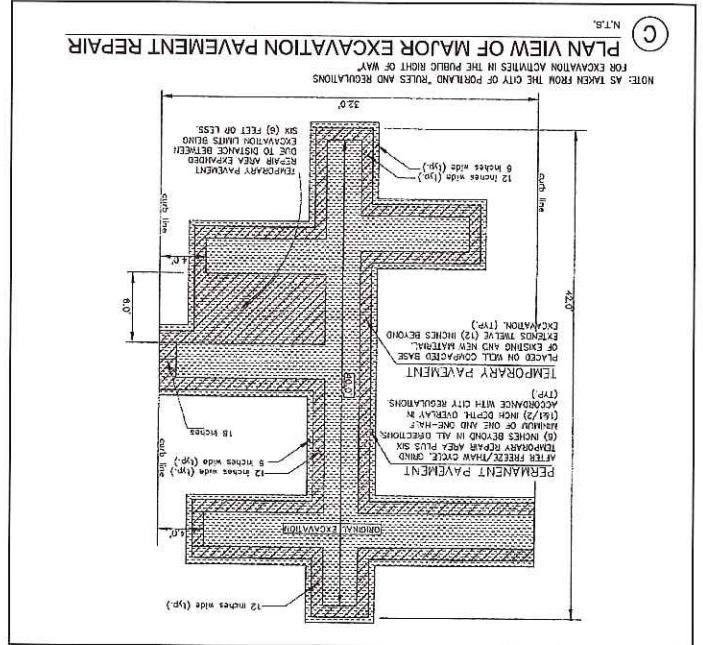
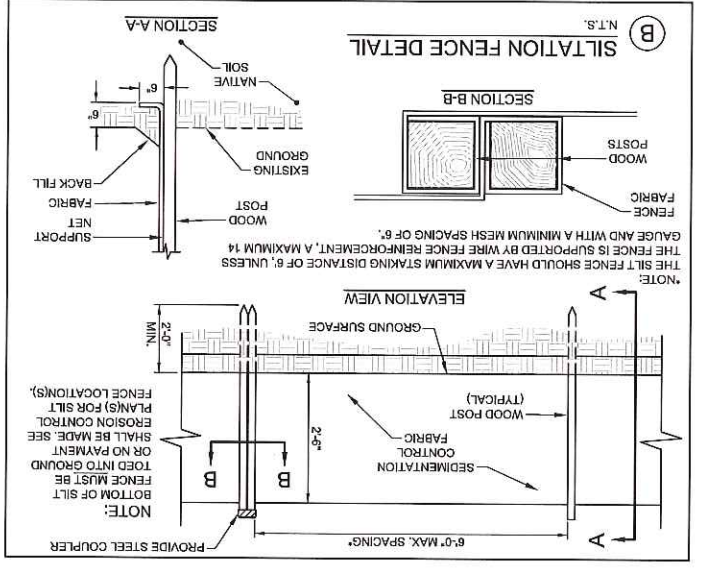
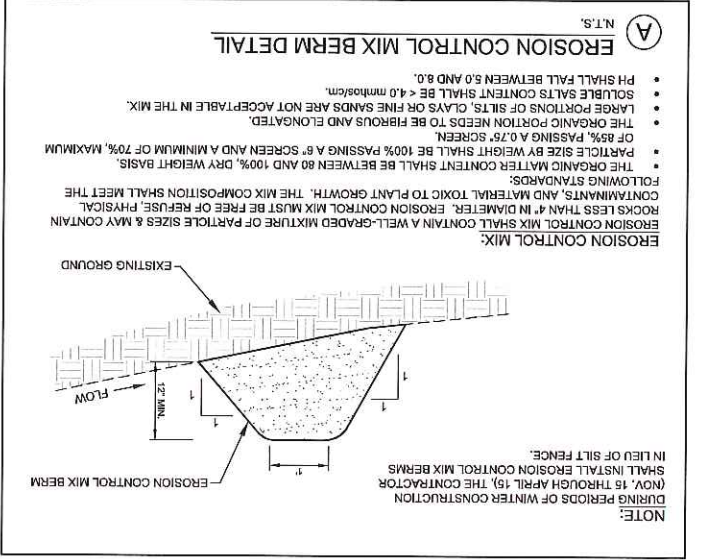




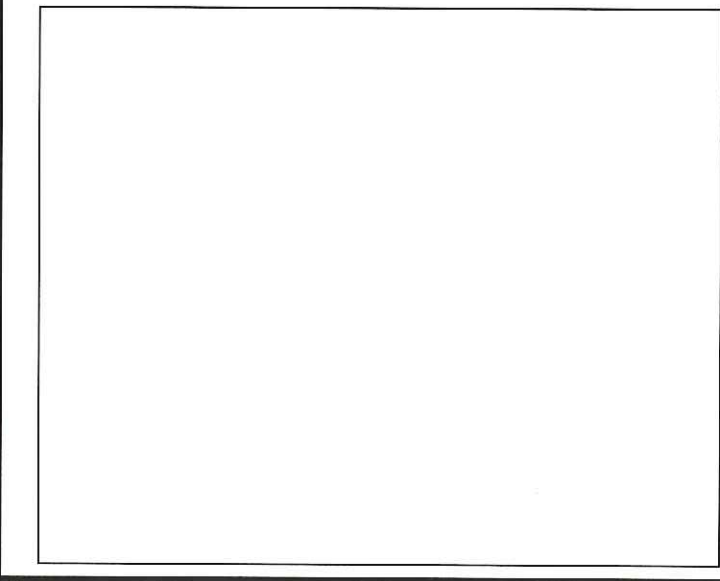
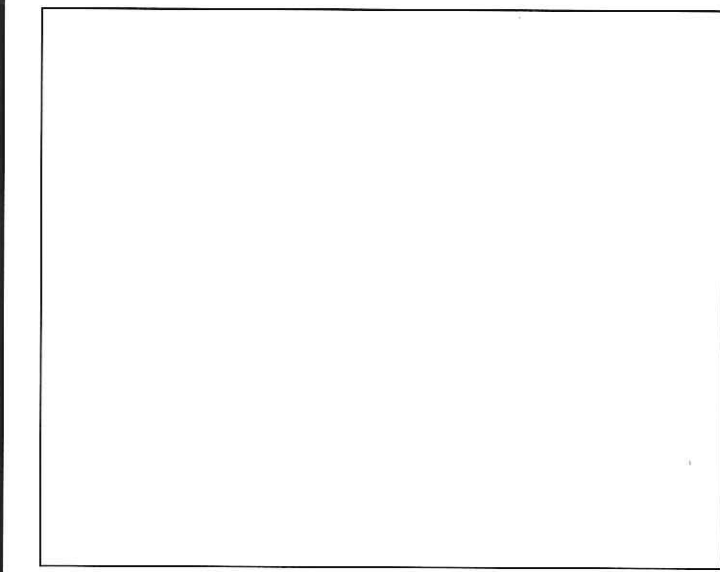
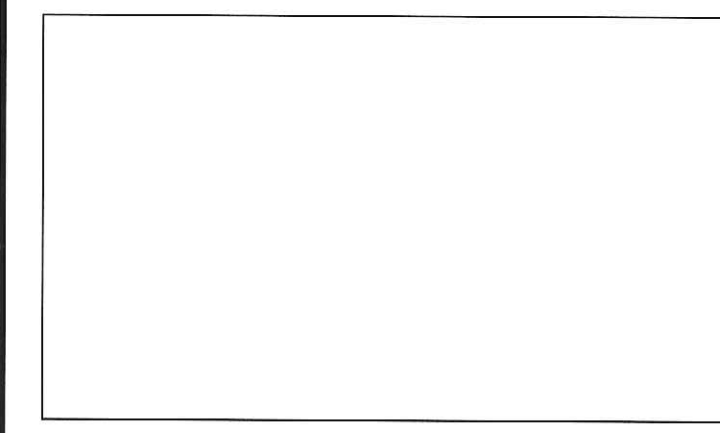
<p><b>C-5.0</b></p> <p>DETAILS</p>	<p>Architect: <b>ARCHETYPE architects</b></p> <p>48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056</p>	<p>Engineers: <b>FAY, SPOFFORD &amp; THORNDIKE, INC.</b></p> <p>5 BURLINGTON WOODS, BURLINGTON, MA 01803</p>
	<p>Project: <b>NEW DAY FARM, LLC</b></p> <p>11 MCQUILLANS HILL DRIVE GORHAM, ME 04038</p>	<p>Project: <b>SHERIDAN STREET TOWNHOUSES</b></p> <p>152 SHERIDAN STREET PORTLAND, MAINE</p>
<p>Revisions:</p> <p>01.21.14 - REVISED FOR STAFF COMMENTS AND RESUBMITTED</p> <p>01.10.14 - REVISED FOR FINAL PLAN SUBMISSION</p> <p>01.06.14 - FINAL PLAN SUBMISSION</p>	<p>Prepared For:</p>	<p>Prepared For:</p>







<b>ARCHITECTS</b> ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		<b>ENGINEERS - PLANNERS - SCIENTISTS</b> <b>FST</b> 5 BURLINGTON WOODS, BURLINGTON, MA 01803	
Project: NEW DAY FARM, LLC	Prepared For: NEW DAY FARM, LLC	Project: SHERIDAN STREET TOWNHOUSES	Prepared For: SHERIDAN STREET TOWNHOUSES
Architect: 11 MCQUILLANS HILL DRIVE GORHAM, ME 04038	Date: OCT. 2013	Date: OCT. 2013	Date: OCT. 2013
Scale: N.T.S.	Scale: N.T.S.	Scale: N.T.S.	Scale: N.T.S.
Revisions: 01.06.14 - FINAL PLAN SUBMISSION	Revisions: 10.23.13 - PRELIMINARY PLAN SUBMISSION TO CITY	Revisions: 10.23.13 - PRELIMINARY PLAN SUBMISSION TO CITY	Revisions: 10.23.13 - PRELIMINARY PLAN SUBMISSION TO CITY



**PLANTING SPECIFICATIONS**

**DESCRIPTION**  
Work under this Section shall include all labor, materials, services, equipment and accessories necessary to furnish and install plant material in complete accordance with these specifications and applicable Drawings.

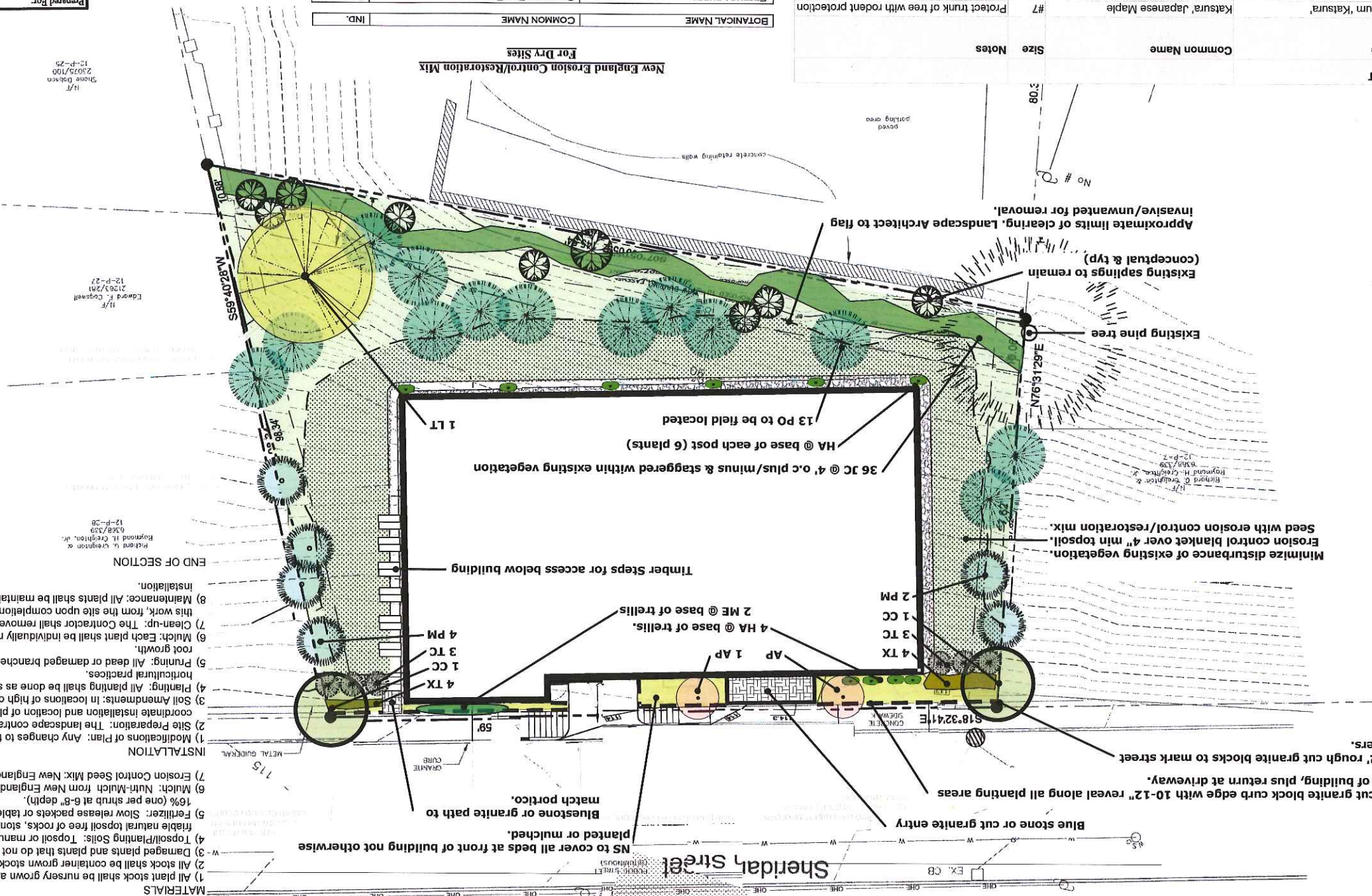
**QUALITY ASSURANCE**  
(1) Installer's Personnel Qualifications: Reputable landscape contractor with a min. 5 years experience in landscape construction and licensed to perform work as described in this section.  
(2) Comply with all applicable federal, state and local regulations governing landscape materials and work.

**WARRANTY**  
(1) All Plants shall be guaranteed by the landscape contractor for one full year from date of acceptance by the Owner's Representative.  
(2) All replacement stock shall be subject to the same warranty requirements as the original stock.

**MATERIALS**  
(1) All plant stock shall be nursery grown and comply with ANSI Z60.1 (American Standard for Nursery Stock).  
(2) All stock shall be container grown unless otherwise indicated.  
(3) Damaged plants and plants that do not meet requirements will be rejected.  
(4) Topsoil/Planting Soil: Topsoil or manufactured topsoil shall consist of 3 parts loam amended with 1 part peat humus. Provide friable natural topsoil free of rocks, stones, brush, clay, lumps, twigs, litter, extraneous material, noxious weeds and seeds.  
(5) Fertilizer: Slow release packets or tablets containing the following composition: Nitrogen 16%, Phosphoric acid 8%, and Potash 16% (one per shrub at 6"-8" depth).  
(6) Mulch: Nutt-Mulch from New England Organics ([www.earthlitter.com](http://www.earthlitter.com)) or approved equal.  
(7) Erosion Control Seed Mix: New England Erosion Control/Restoration mix from New England Wetland Plants, Inc. or approved equal.

**INSTALLATION**  
(1) Modifications of Plan: Any changes to the planting plan or plant list shall be approved by the Landscape Architect.  
(2) Site Preparation: The landscape contractor shall notify the Owner's Representative a minimum of 48 hours prior to installation to coordinate installation and location of plant material.  
(3) Soil Amendments: In locations of high clay content apply gypsum additives to break down the clay.  
(4) Planting: All planting shall be done as shown on drawings and as specified herein and in strict accordance with standard horticultural practices.  
(5) Pruning: All dead or damaged branches shall be removed from plants. Prune an additional 1/4 of remaining branches to encourage root growth.  
(6) Mulch: Each plant shall be individually mulched with 3"-4" or approved material.  
(7) Clean-up: The Contractor shall remove all debris, construction equipment, excess fill, rocks, and other excess material caused by this work, from the site upon completion of work.  
(8) Maintenance: All plants shall be maintained in accordance with standard practices and guaranteed for one year from date of installation.

**END OF SECTION**  
Timber Steps for access below building  
Blue stone or granite path to match portico.  
NS to cover all beds at front of building not otherwise planted or mulched.  
Blue stone or cut granite entry  
Rough-cut granite curb edge with 10-12" reveal along all planting areas  
2' x 2' x 2' rough cut granite blocks to mark street side corners.  
at front of building, plus return at driveway.  
Erosion control blanket over 4" min topsoil.  
Seed with erosion control/restoration mix.  
Minimize disturbance of existing vegetation.  
Existing pine tree  
Existing saplings to remain (conceptual & typ)  
Approximate limits of clearing. Landscape Architect to flag invasive/unwanted for removal.



**PLANT LIST**

Symbol	Latin Name	Common Name	Size	Notes
AP	Acer palmatum 'Katsura'	Katsura Japanese Maple	#7	Protect trunk of tree with rodent protection
CC	Magnolia acuminata 'Ultimate Yellow'	Magnolia Hybrid 'Ultimate Yellow'	1.5"	Protect trunk of tree with rodent protection
HA	Hydrangea anomala petiolaris	Climbing hydrangea	#3	
JC	Juniperus chinensis 'Blue Pfitzer'	Blue Pfitzer Juniper	#3	
LT	Liriodendron tulipifera	Tulip Tree	6-8'	Protect trunk of tree with rodent protection
NS	Native sod to include blueberry, bunchberry, & hay scented fern.			Fred's Wild Sod Inc. or equal.
ME	Malus espalier	Malus espalier		
PM	Pinus Mugo 'Montana'	Montana Mugo Pine	2-2.5'	
PO	Picea omorika	Serbian Spruce	4-5'	
TC	Taxus cuspidata 'Capitata'	Upright Japanese Yew	3-3.5'	
TX	Taxus x media 'Tautoni'	Tauton Yew	15-18"	

BOTANICAL NAME	COMMON NAME
FESTUCA RUBRA	IND.
GREENING RED FESCUE	IND.
CANADA WILD RYE	IND.
ANNUAL RYEGRASS	IND.
PERENNIAL RYEGRASS	IND.
LOLIUM PERENNE	IND.
LOLIUM MULTIFLORUM	IND.
ELIUM CANADENSIS	IND.
FACU+	IND.
ELIUM CANADENSIS	IND.
LOLIUM PERENNE	IND.
PERENNIAL RYEGRASS	IND.
LOLIUM PERENNE	IND.
BOUTELOUA GRACILIS	IND.
SCHIZACHYRIUM SCOPARIUM	IND.
LITTLE BLUESTEM	IND.
INDIAN GRASS	IND.
UPP	IND.
ROUGH BENTGRASS/TICKLEGRASS	IND.
FACU	IND.
AGROSTIS PERENNANS	IND.
UPPLAND BENTGRASS	IND.

**pbla**  
peter burke landscape architecture  
207-632-7372 info@peterburkearchitect.com

**FST**  
ENGINEERS  
FAY, SPORFORD & THORNDIKE, INC.  
ENGINEERS - PLANNERS - SCIENTISTS  
5 BURLINGTON WOODS, BURLINGTON, MA 01803

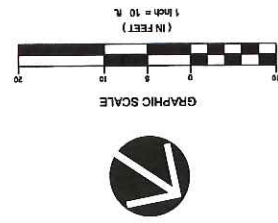
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Architect:  
GORHAM, ME 04038

**NEW DAY FARM, LLC**  
Project:  
SHERIDAN STREET  
TOWNHOUSES  
152 SHERIDAN STREET  
PORTLAND, MAINE

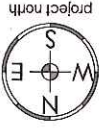
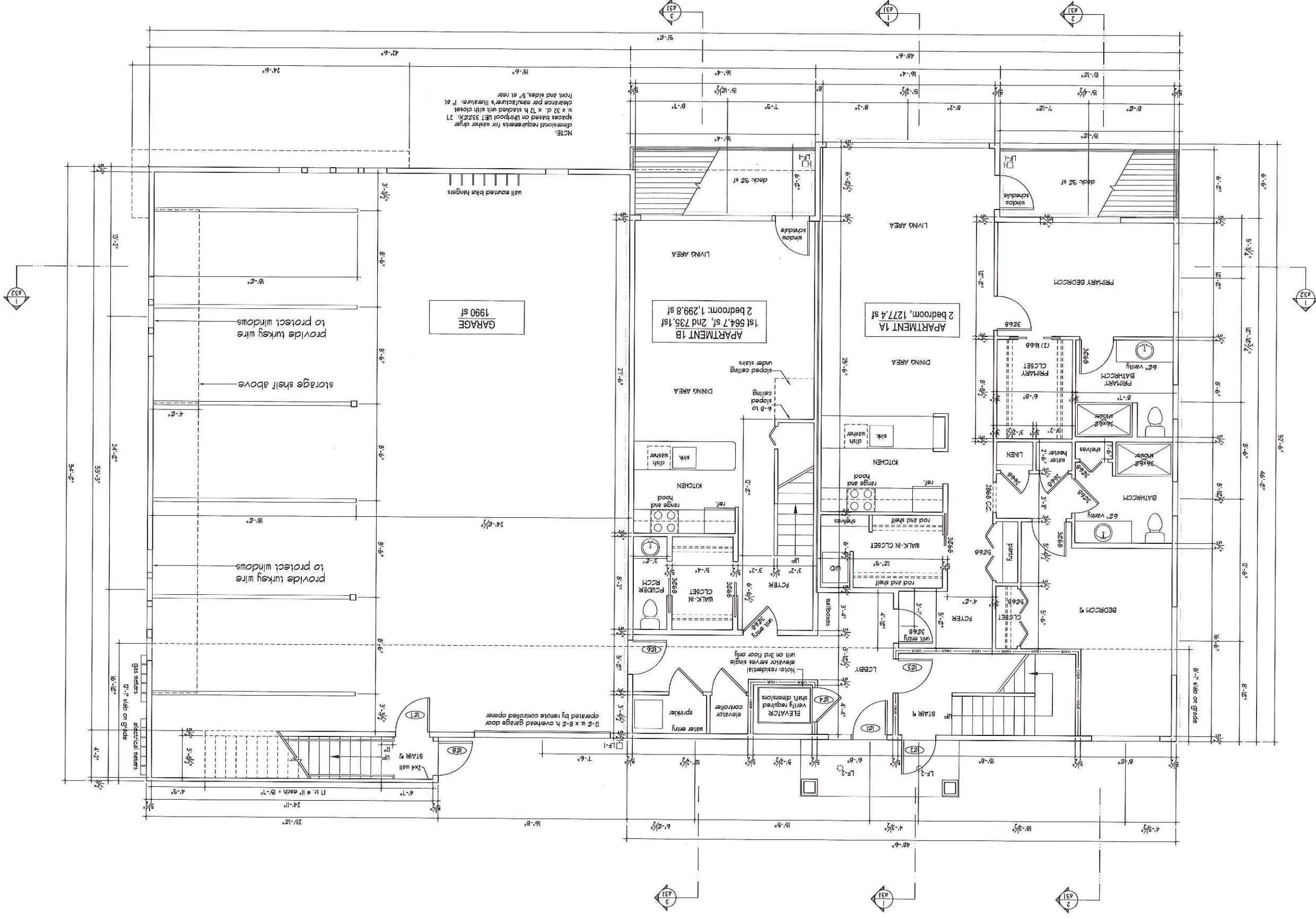
**Landscape Plan**  
Scale: 1" = 10'  
12-10-2013

**L-1**

Revisions:  
Minor changes for planning board 1-16-14



1st Floor Plan (gross floor area: 4759 s.f.)  
 1/4" = 1'-0"



a1.1

Date: January 13, 2014  
 Scale: 1/4" = 1'-0"  
 Project: FIRST FLOOR PLAN

Revisions:

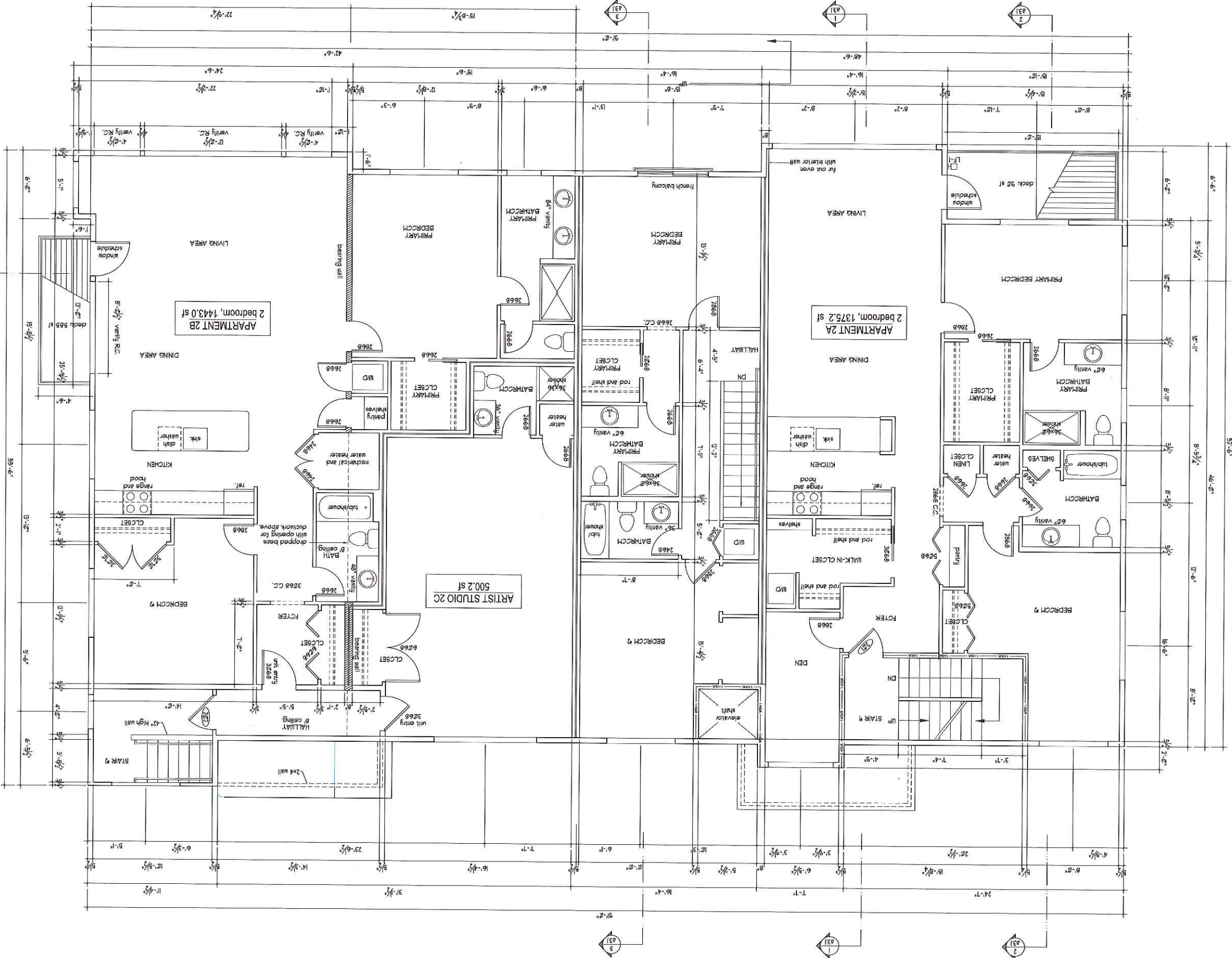
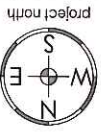
Project: Sheridan Street Townhouses  
 152 Sheridan Street  
 Portland Maine 04101

Architect: RCHETYPE architects  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

Consultant:

Prepared For: New Day Farm LLC  
 Gorham Maine

2nd Floor Plan (gross floor area: 4632 s.f.)  
 1/4" = 1'-0"



a1.2

Date: January 13, 2014  
 Scale: 1/4" = 1'-0"

Revisions:

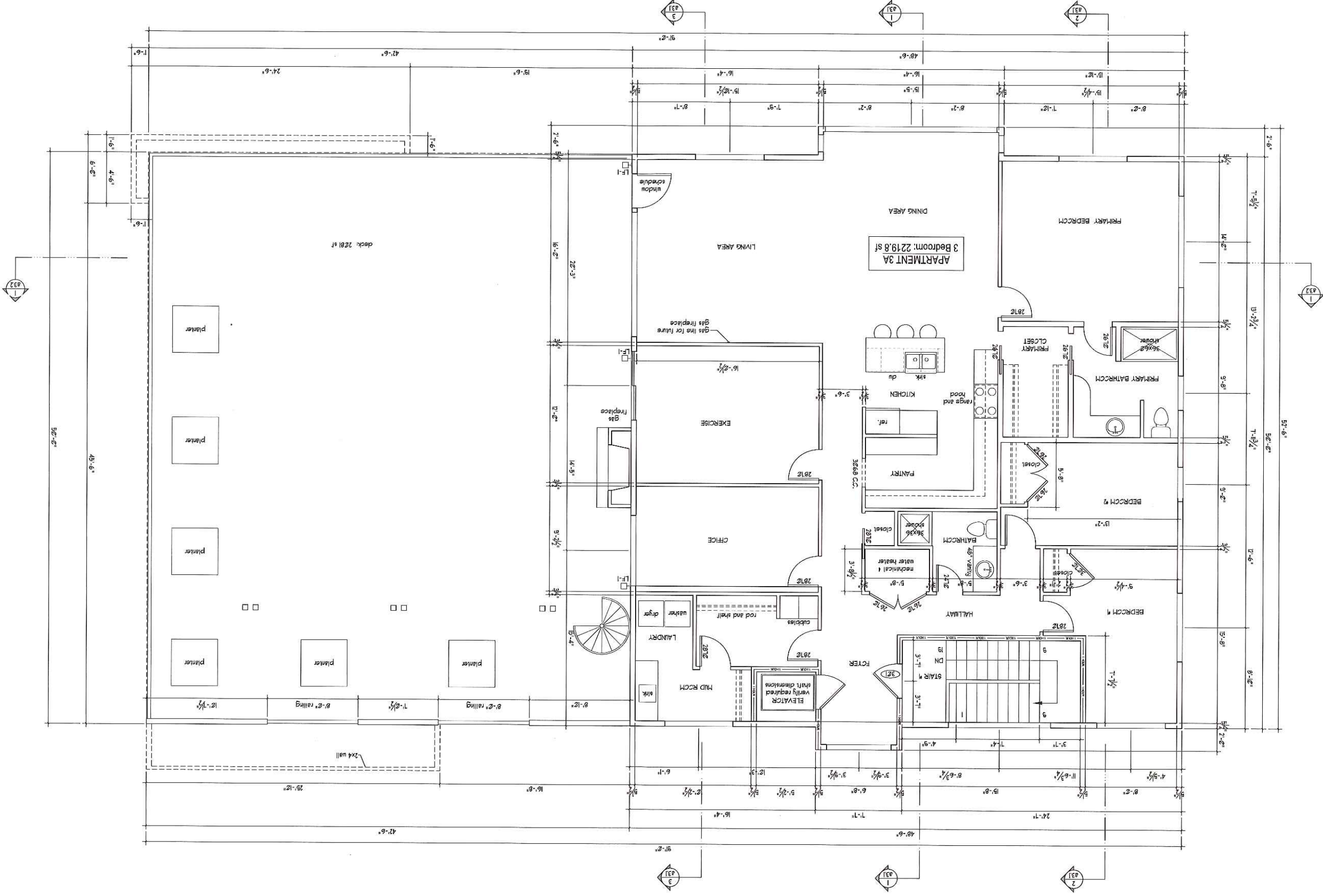
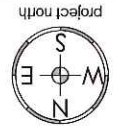
Project: Sheridan Street Townhouses  
 132 Sheridan Street  
 Portland, Maine 04101

Architect: RCHETYPE architects  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-0222 Fax (207) 772-4056

Consultant:

Prepared For: New Day Farm LLC  
 Gorham, Maine

3rd Floor Plan (gross floor area: 2481 s.f.)  
 1/4" = 1'-0"



a1.3

THIRD FLOOR PLAN

Date:	Scale:
January 13, 2014	1/4" = 1'-0"

Project: Sheridan Street Townhouses  
 152 Sheridan Street  
 Portland Maine 04101

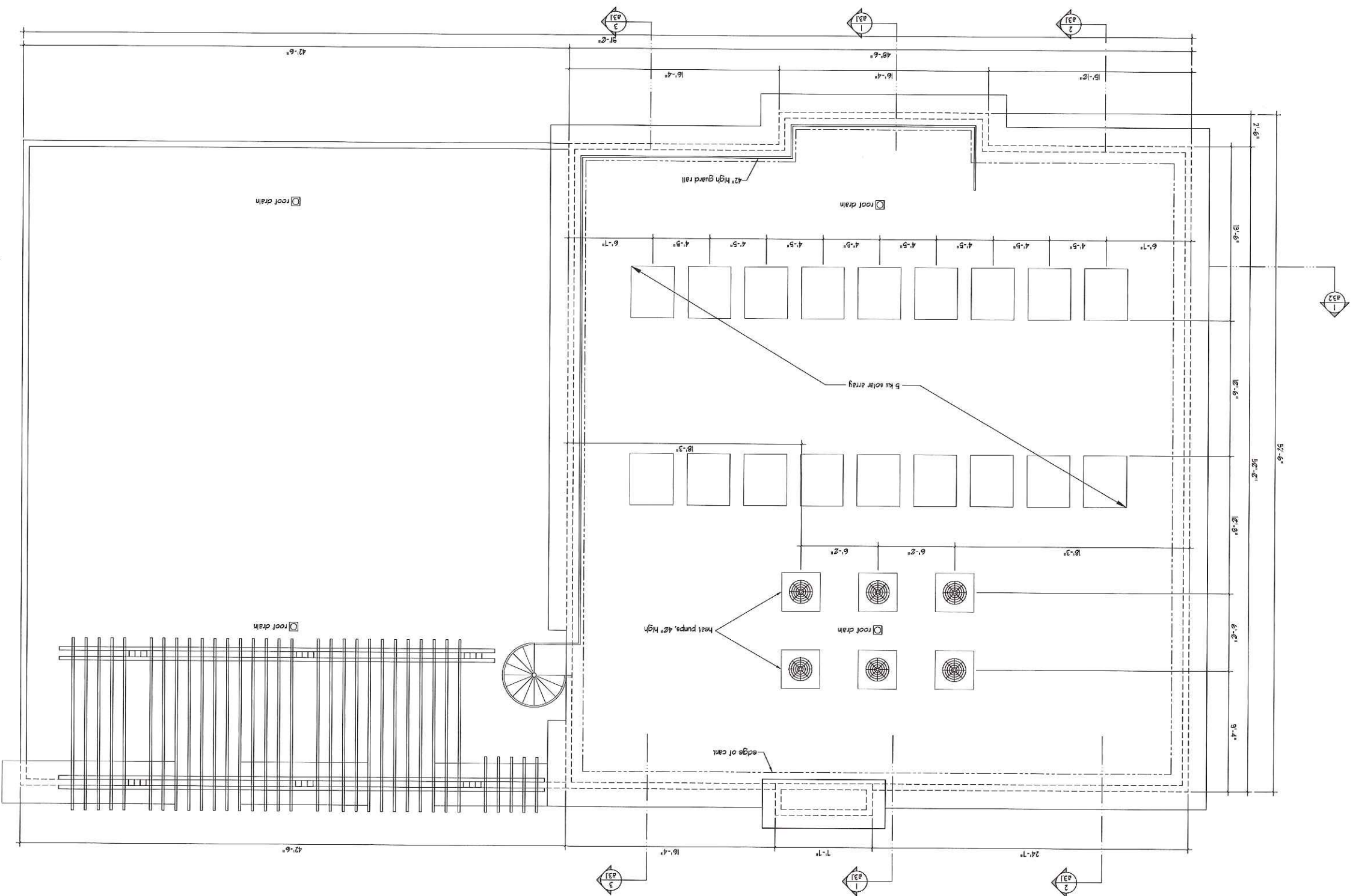
Architect: ARCHETYPE architects  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

Consultant:

Prepared For: New Day Farm LLC  
 Gorham Maine

1/4" = 1'-0"

Roof Plan



project north

a1.4

Date:  
January 13, 2014

Scale:  
1/4" = 1'-0"

ROOF FLOOR PLAN

Revisions:

Project:

Sheridan Street  
Townhouses  
152 Sheridan Street  
Portland Maine 04101

Architect:

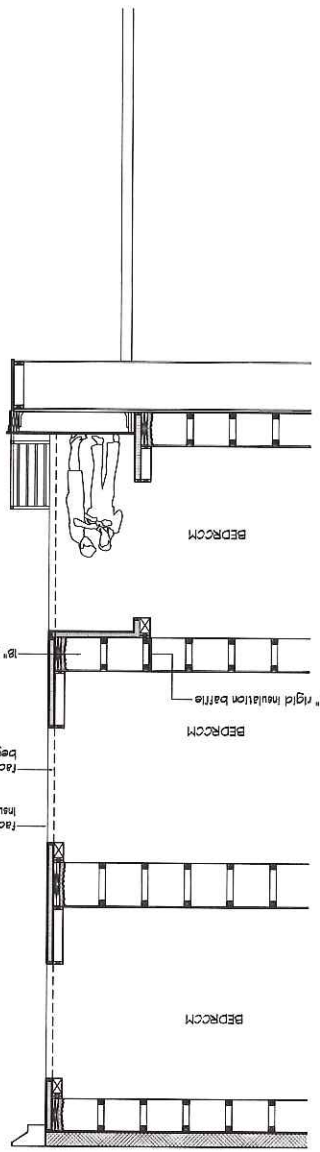
**ARCHETYPE**  
architects  
48 Union Wharf Portland Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Consultant:

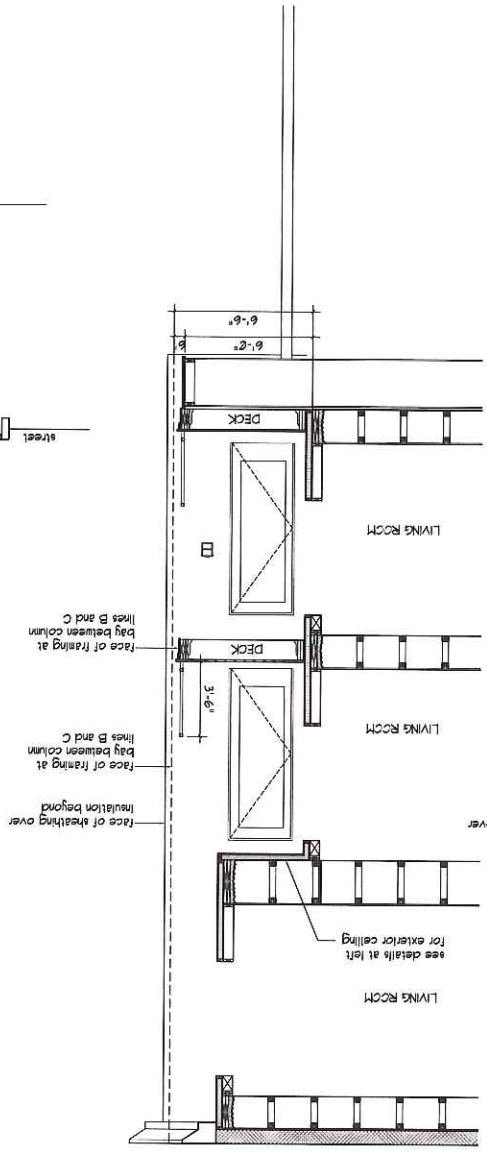
Prepared For:

New Day Farm LLC  
Gorham Maine

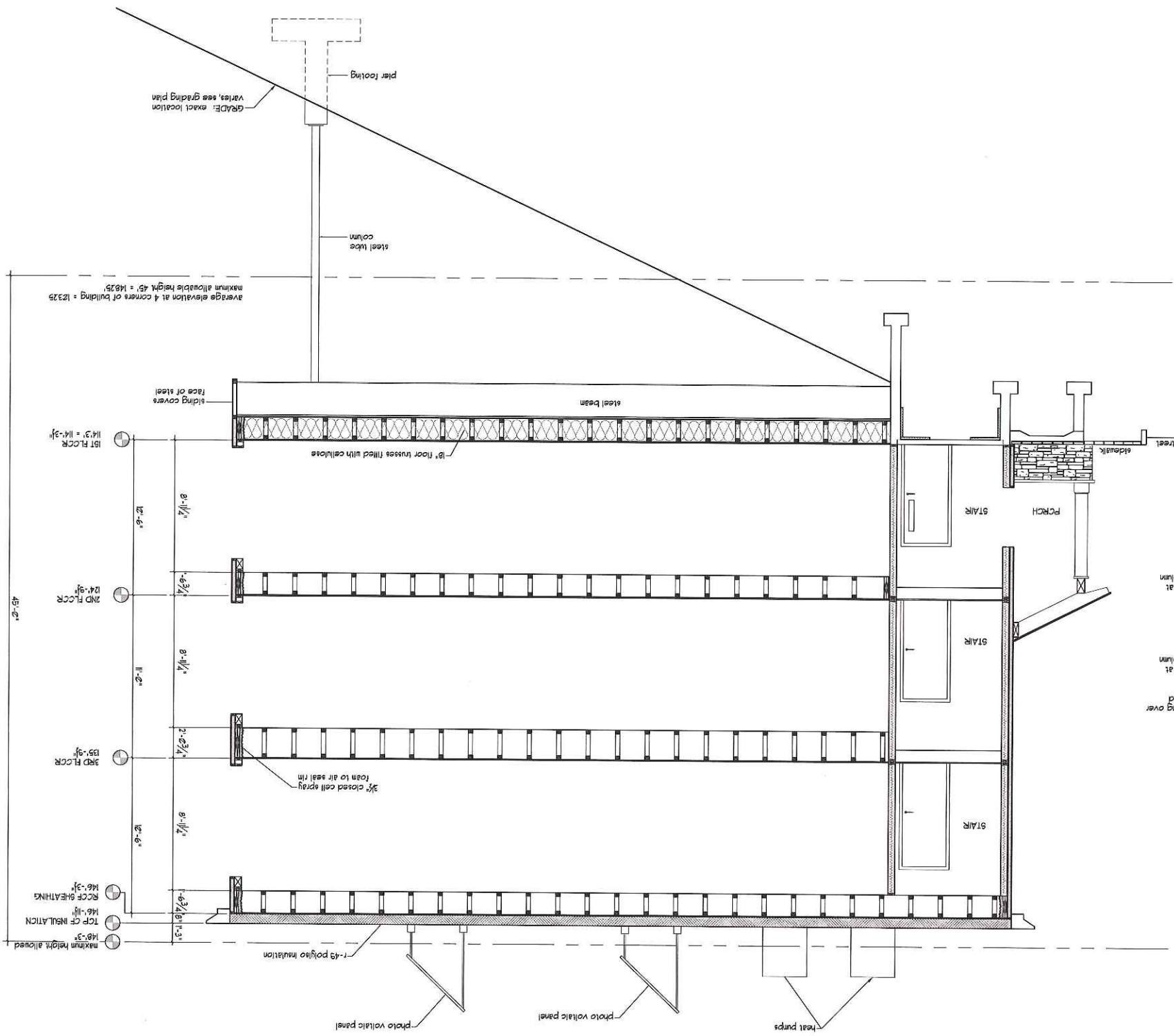
3 Partial Building Cross Section  
1/4" = 1'-0"



2 Partial Building Cross Section  
1/4" = 1'-0"

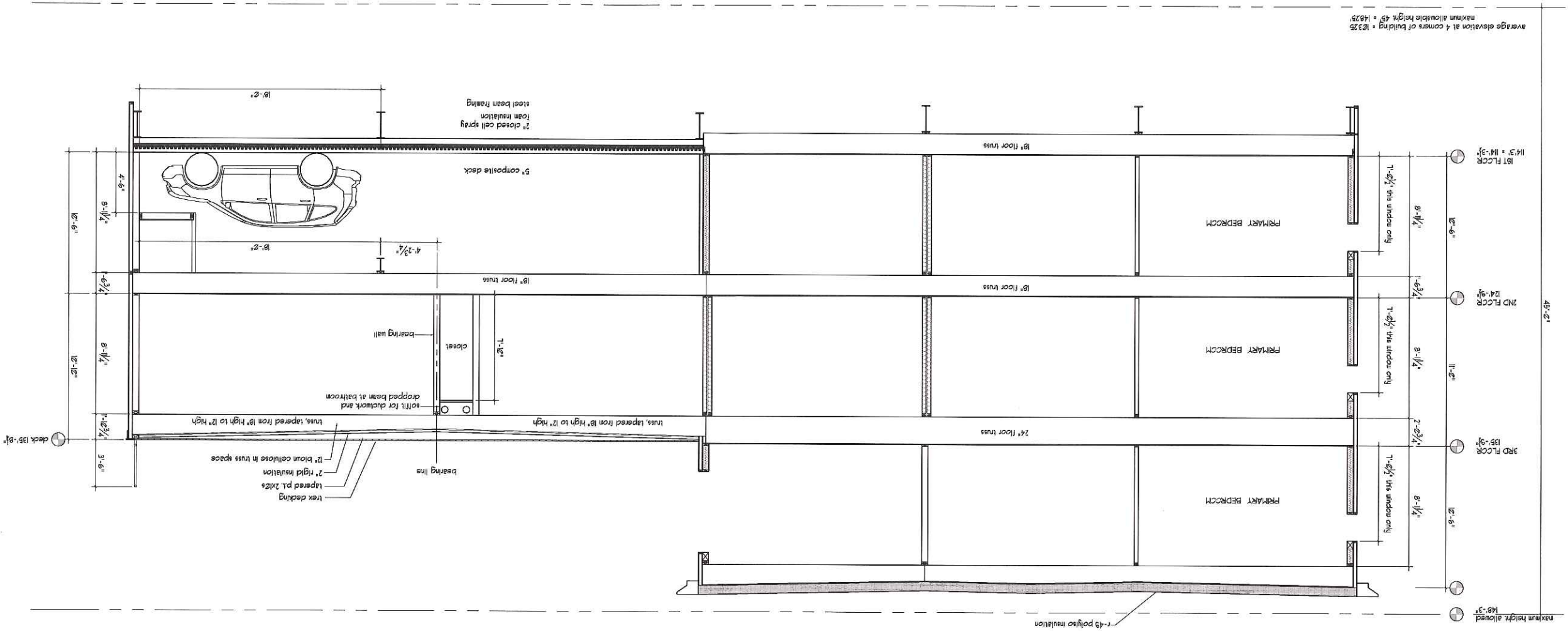


1 Building Cross Section  
1/4" = 1'-0"



A3.1

Date: January 13, 2014  
Scale: 1/4" = 1'-0"  
Revisions:  
Project: Sheridan Street Townhouses  
152 Sheridan Street  
Portland Maine 04101  
Architect: ARCHETYPE architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056  
Consultant:  
Prepared For: New Day Farm LLC  
Cochran Maine

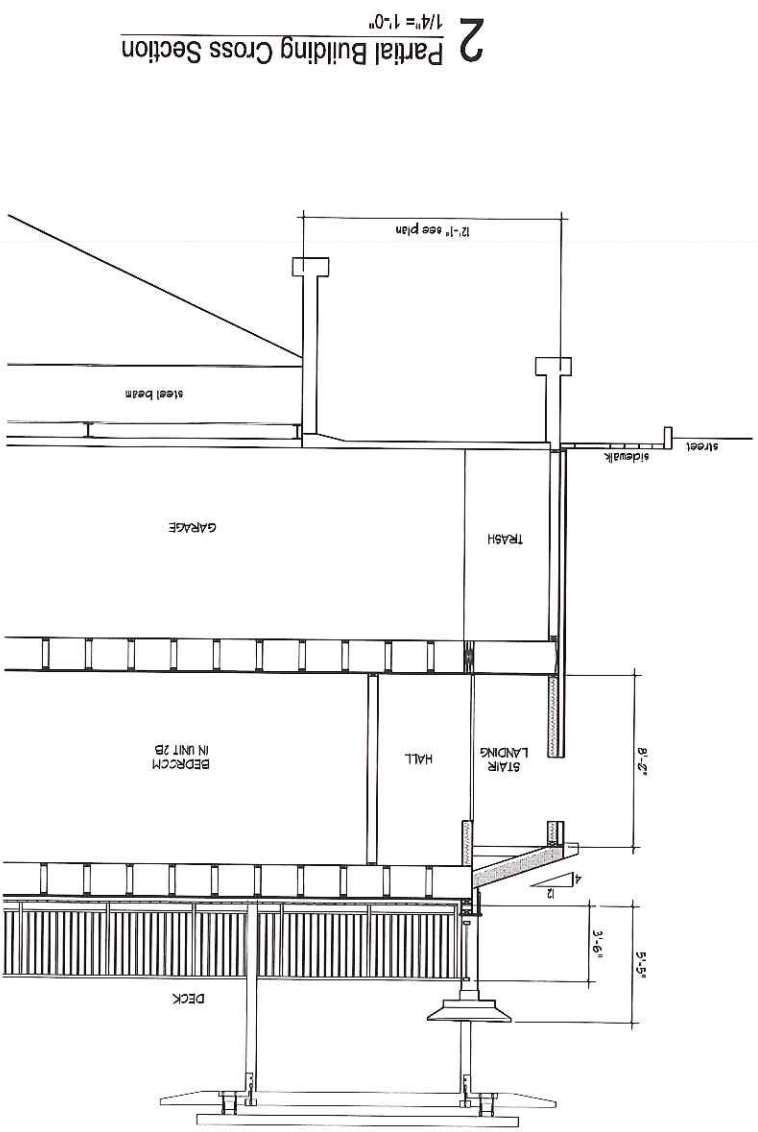


average elevation at 4 corners of building = 123.25  
 maximum allowable height = 148.25

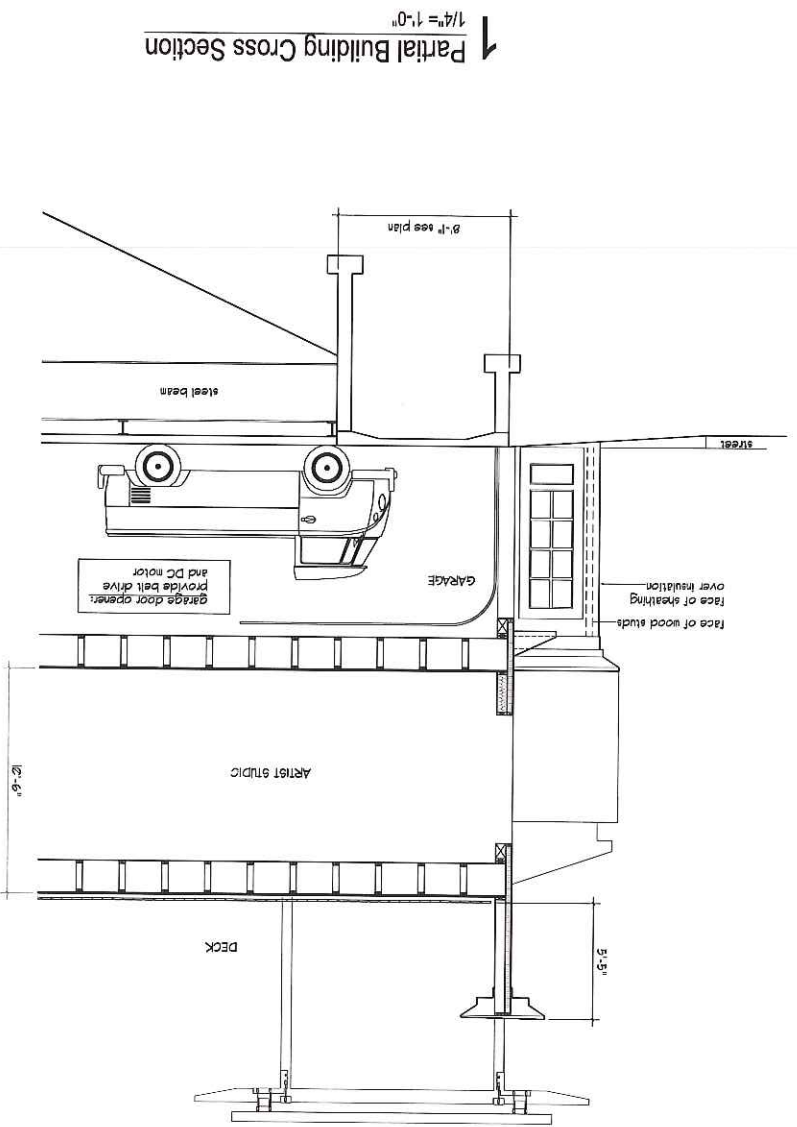
1/4" = 1'-0"  
 Building Cross Section

<b>A3.2</b>	Date: January 13, 2014	Scale: 1/4" = 1'-0"	Revisions:  	Project: <b>Sheridan Street Townhouses</b> 152 Sheridan Street Portland Maine 04101	Architect: <b>ARCHETYPE architects</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Consultant:	Prepared For: <b>New Day Farm LLC</b> Cochran Maine
	<b>BUILDING CROSS SECTION</b>						





2 Partial Building Cross Section  
1/4" = 1'-0"



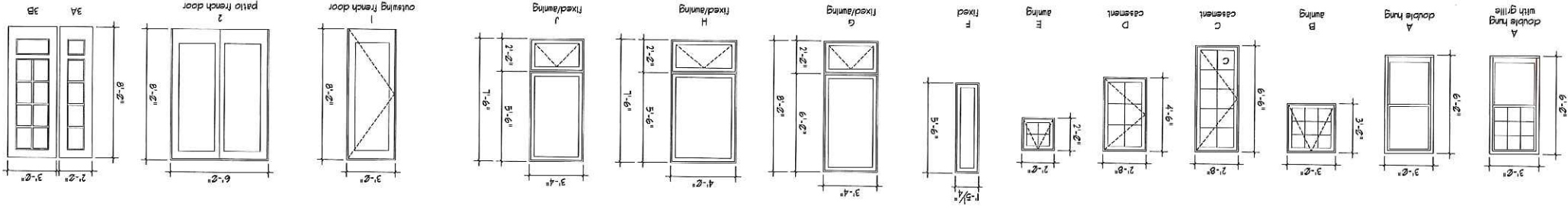
1 Partial Building Cross Section  
1/4" = 1'-0"

A3.3

Date: January 13, 2014		Scale: 1/4" = 1'-0"		Revisions:		Project: Sheridan Street Townhouses 152 Sheridan Street Portland Maine 04101		Architect: <b>RCHPTYPE</b> architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		Consultant:		Prepared For: New Day Farm LLC Gorham Maine	
BUILDING CROSS SECTION													

WINDOW SCHEDULE

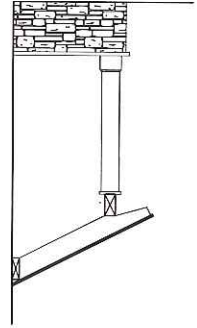
1. All windows are Anderson E Series Eagle
2. Door 1 and 2 are Anderson E Series Eagle
3. Brand aluminum clad windows
4. Windows set up for display returns or jabs
5. Standard exterior finish
6. Standard pine interior finish
7. Standard hardware
8. Standard low e glass
9. 7/8" Colonial modern divided light
10. Standard insect screens
11. Bottom units at F1, F2, are tempered (within 10')
12. Valing



2 Window Schedule  
1/4" = 1'-0"



North Elevation (Sheridan Street)  
1/4" = 1'-0"



a2.1

SOUTH ELEVATION

Date: January 22, 2014  
Scale: 1/4" = 1'-0"

Revisions:

Project:

Sheridan Street  
Townhouses  
152 Sheridan Street  
Portland Maine 04101

Architect:

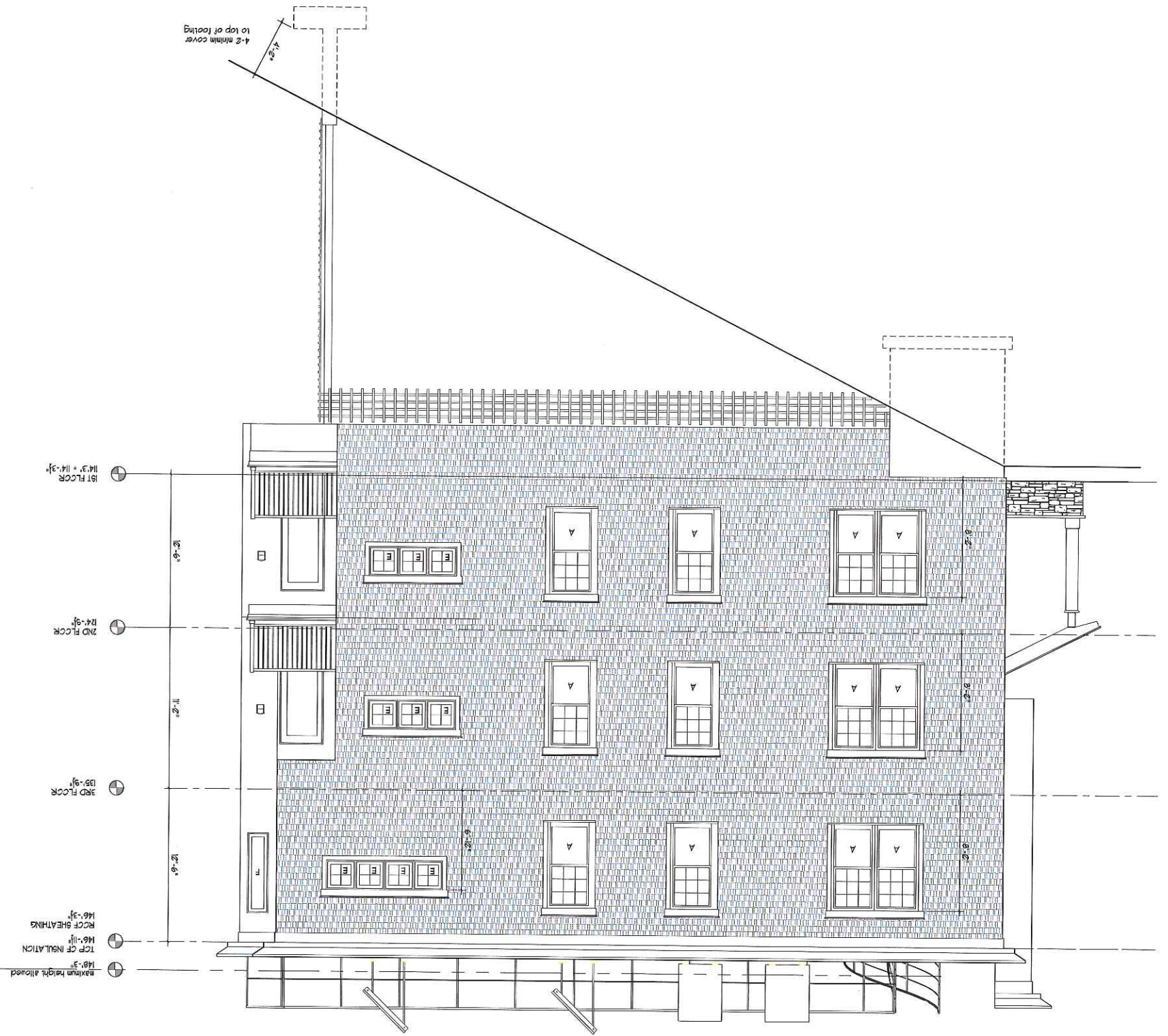
**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Consultant:

Prepared For:

New Day Farm LLC  
Gorham Maine

1/4" = 1'-0"  
West Elevation



a2.3

Date: January 22, 2014  
Scale: 1/4" = 1'-0"

WEST ELEVATION

Revisions:

Project:

Sheridan Street  
Townhouses  
152 Sheridan Street  
Portland Maine 04101

Architect:

**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Consultant:

Prepared For:

New Day Farm LLC  
Gorham Maine

a2.4

1/4" = 1'-0"  
East Elevation

Date:  
January 22, 2014

Scale:  
1/4" = 1'-0"

EAST ELEVATION

Revisions:

Project:

Sheridan Street  
Townhouses  
152 Sheridan Street  
Portland Maine 04101

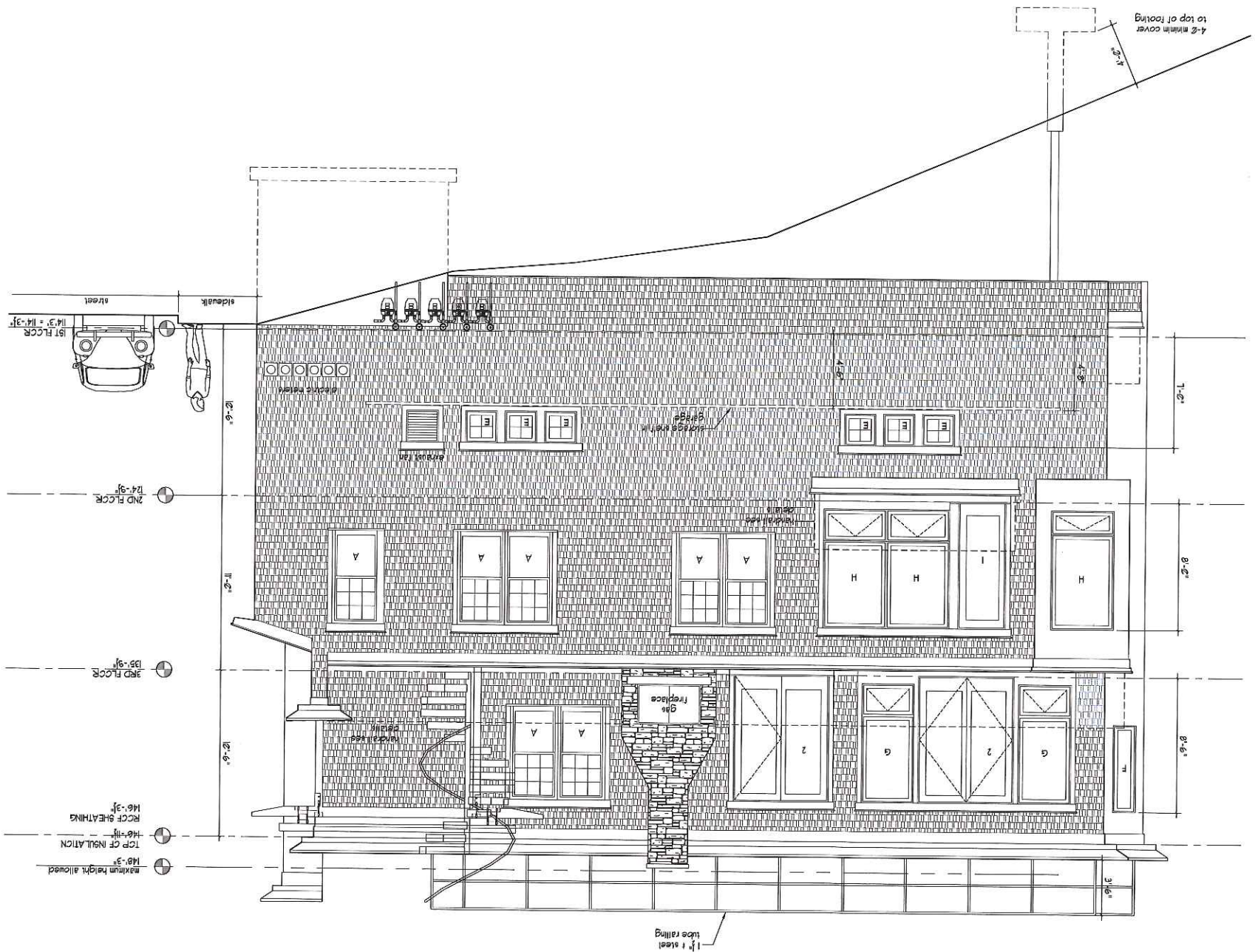
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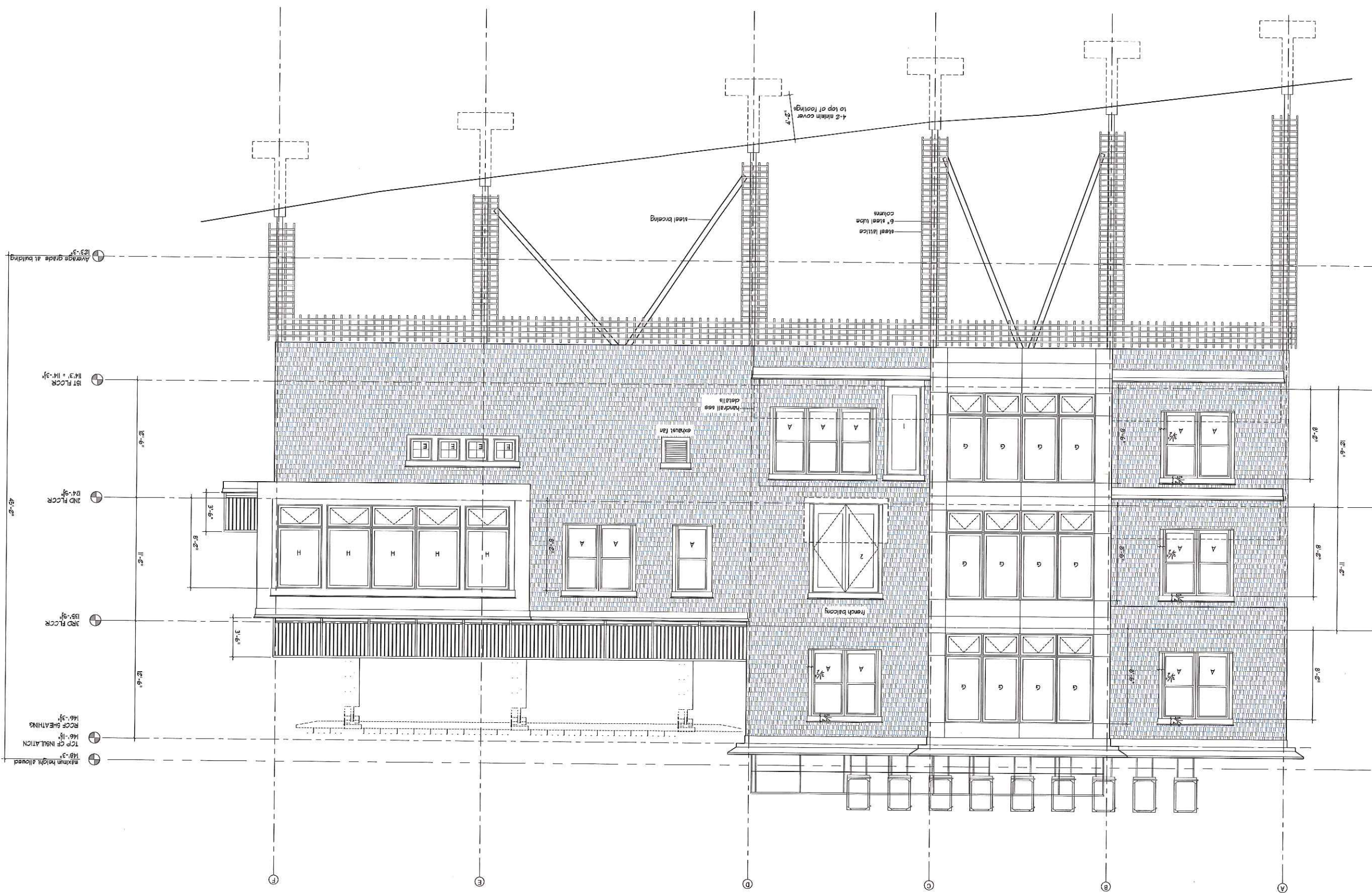
**RCHTYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Consultant:

Prepared For:

New Day Farm LLC  
Cochran Maine





Date: January 22, 2014  
Scale: 1/4" = 1'-0"

Revisions:

Project:

Sheridan Street Townhouses  
152 Sheridan Street  
Portland Maine 04101

Architect:

**RCHFTYPE** architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Consultant:

Prepared For:

New Day Farm LLC  
Gorham Maine



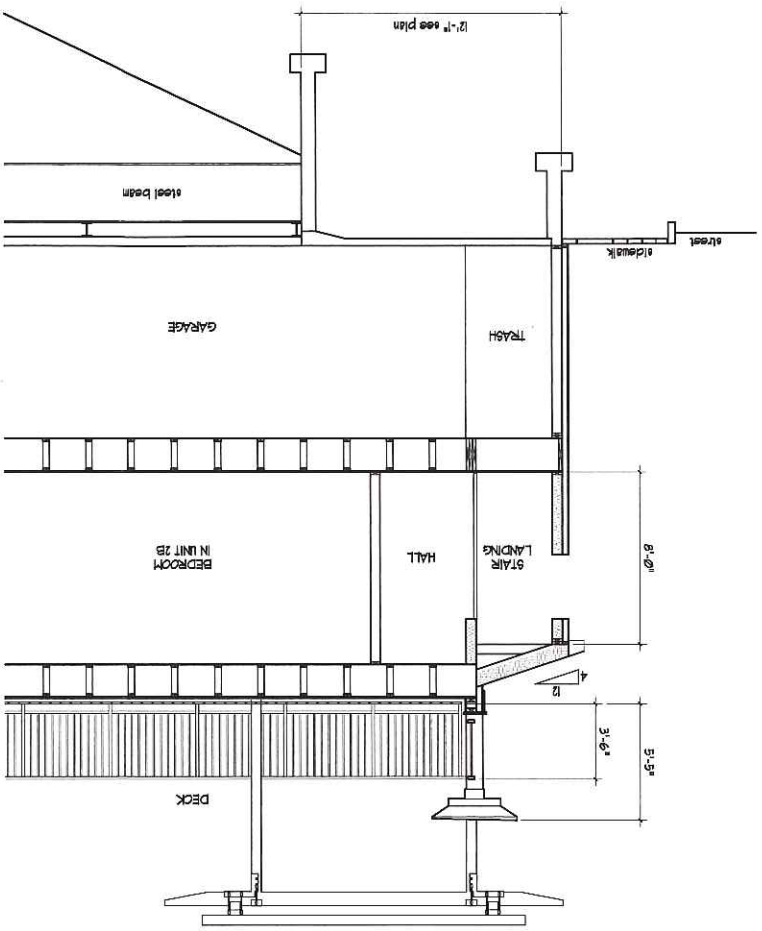




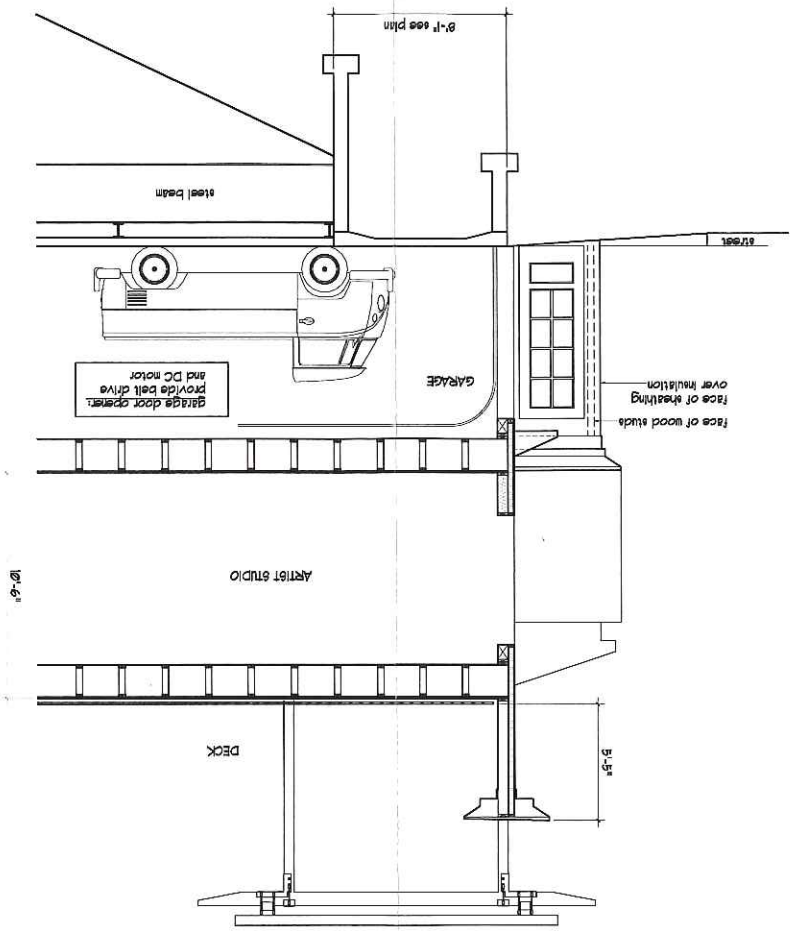




2 Partial Building Cross Section  
1/4" = 1'-0"



1 Partial Building Cross Section  
1/4" = 1'-0"



<b>A3.3</b>	Date: January 13, 2014	Scale: 1/4" = 1'-0"	Revisions:	Project:	Architect:	Consultant:	Prepared For:
	<b>BUILDING CROSS SECTION</b>			Sheridan Street Townhouses 132 Sheridan Street Portland, Maine 04101	<b>ARCHETYPE</b> architects 48 Union Wharf Portland, Maine 04101 (207) 772-8022 Fax (207) 772-4056		New Day Farm LLC Gorham, Maine

**CITY OF PORTLAND, MAINE - PERFORMANCE STANDARDS B-2 AND B-2b COMMUNITY BUSINESS ZONES**

**DIMENSIONAL REQUIREMENTS (Residential Use)**

Minimum Lot Size	None
Minimum Street Frontage	None
Minimum Yard Dimensions:	
a. Front Yard	Ten (10) feet, except where the lot abuts a residential zone,
b. Rear Yard	Ten (10) feet, except where the lot abuts a residential zone,
c. Side Yard	Five (5) feet, except where the lot abuts a residential zone, where ten (10) feet is required.
d. Side Yard or Rear Yard on a Street	None
Maximum Impervious Surface Ratio	90%
Maximum Structure Height	Forty-five (45) feet, except in the case of a building with a commercial first floor and residential upper floors, where fifty (50) feet is allowed, and except for the portion of a building located within sixty-five (65) feet of Franklin Street where sixty-five (65) feet is allowed.

**NOTE**  
SURVEYOR'S SEAL IS FOR THE PERIMETER BOUNDARY ONLY.

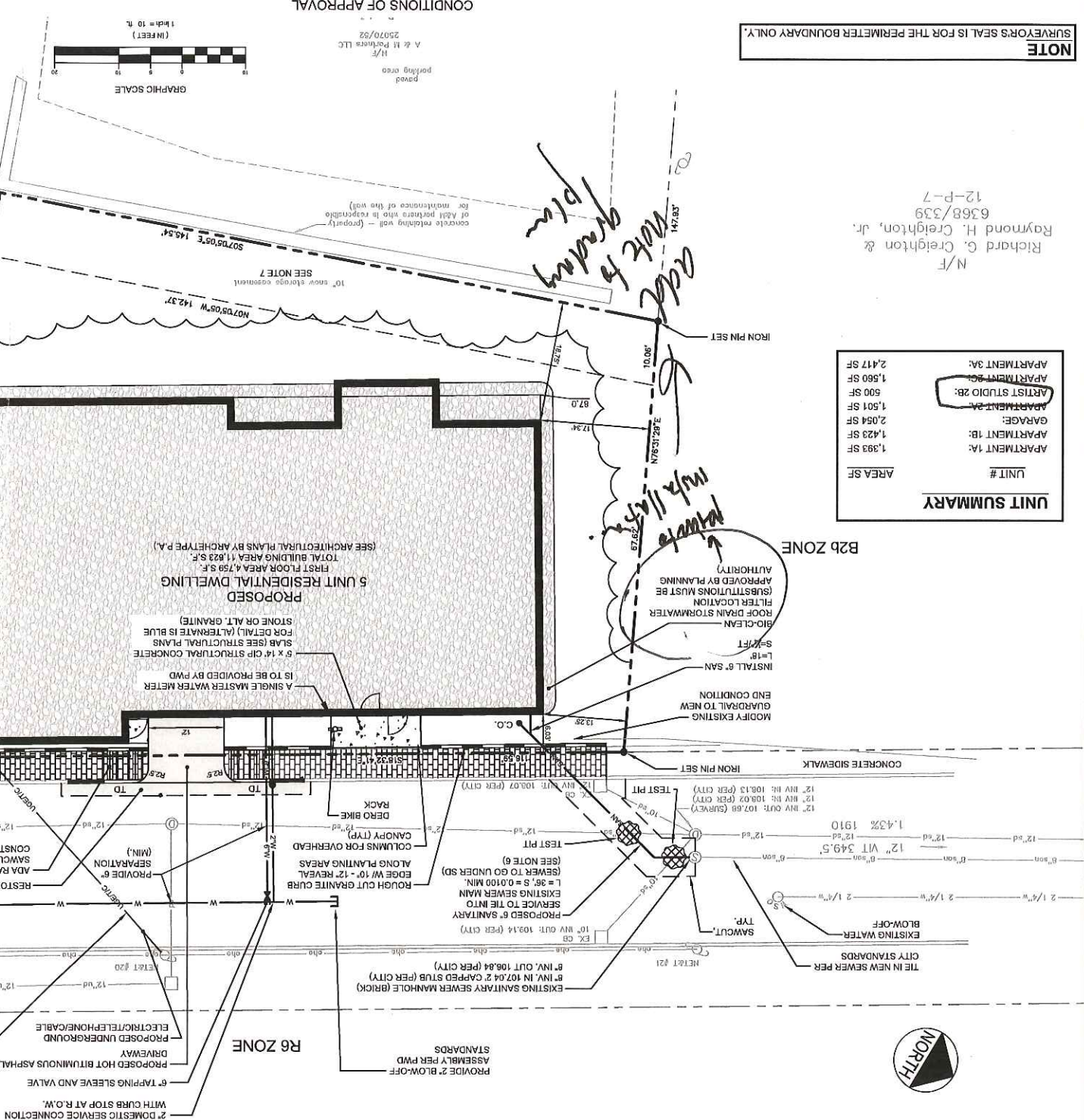
N/F  
Richard G. Creighton &  
Raymond H. Creighton, Jr.  
6368/339  
12-P-7

**UNIT SUMMARY**

UNIT #	AREA SF	APARTMENT 1A:	1,393 SF
		APARTMENT 1B:	1,423 SF
		GARAGE:	2,054 SF
		APARTMENT 2A:	1,501 SF
		ARTIST STUDIO 2B:	500 SF
		APARTMENT 2C:	1,560 SF
		APARTMENT 3A:	2,417 SF

**CONDITIONS OF APPROVAL**

1. THE APPLICANT SHALL REVISE THE SUBDIVISION PLAN TO THE SATISFACTION OF THE PLANNING AUTHORITY, DEPARTMENT OF PUBLIC SERVICES, AND CORPORATION COUNSEL.
2. THE APPLICANT SHALL PROVIDE EVIDENCE OF WATER CAPACITY FROM THE PORTLAND WATER DISTRICT FOR REVIEW AND APPROVAL BY THE CITY'S PLANNING AUTHORITY, AND DISTRICT FOR REVIEW AND APPROVAL BY THE CITY'S PLANNING AUTHORITY, AND DISTRICT FOR REVIEW AND APPROVAL BY THE CITY'S PLANNING AUTHORITY, AND DISTRICT FOR REVIEW AND APPROVAL BY THE CITY'S PLANNING AUTHORITY.
3. THE APPLICANT SHALL PROVIDE DETAILS AND DRAWINGS REGARDING ANY PROPOSED FOUNDATION DRAINAGE PER THE GEOTECHNICAL REPORT PROVIDED BY SUMMIT GEOTECHNICAL SERVICES DATED NOVEMBER 2013, FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC SERVICES.
4. THE APPLICANT SHALL REVISE THE STORMWATER INSPECTION AND MAINTENANCE PLAN TO INCLUDE LANGUAGE REGARDING THE ANNUAL REPORTING REQUIREMENTS OF CHAPTER 32 FOR REVIEW AND APPROVAL BY THE CITY'S DEPARTMENT OF PUBLIC SERVICES.
5. THE APPLICANT SHALL REVISE THE SITE PLAN TO INCLUDE DETAILS REGARDING THE PROPOSED ROOF DRAIN CONNECTION TO THE MUNICIPAL STORM DRAIN SYSTEM FOR REVIEW AND APPROVAL BY THE CITY'S DEPARTMENT OF PUBLIC SERVICES, AND
6. THE APPLICANT SHALL SUBMIT HVAC AND MECHANICAL SYSTEM SPECIFICATIONS, INCLUDING DECIBEL OUTPUT PROJECTIONS ON THE ROOF-MOUNTED HEAT PUMPS, MEETING APPLICABLE STANDARDS FOR THE HVAC/HEATING/COOLING OR MECHANICAL SYSTEM PERMITS.



**PLAN REFERENCE:**

1. PLAN OF LOT DIVISION MADE FOR AAM PARTNERS, LLC BY TTCOM ASSOCIATES LAST REVISED 08.13.13 (REV 9)
2. SEE FULL PLAN SET TITLED "SITE DEVELOPMENT PLANS FOR SHERIDAN STREET TOWNHOUSES" BY FAY, SPOFFORD & THORNDIKE, INC., DATED 01.08.14
3. SEE FULL PLAN SET TITLED "SITE DEVELOPMENT PLANS FOR SHERIDAN STREET TOWNHOUSES" BY FAY, SPOFFORD & THORNDIKE, INC., DATED 01.08.14
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9. SEE FULL PLAN SET TITLED "SITE DEVELOPMENT PLANS FOR SHERIDAN STREET TOWNHOUSES" BY FAY, SPOFFORD & THORNDIKE, INC., DATED 01.08.14

**PLAN NOTES:**

1. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AS INDICATED ON THE FLOOD HAZARD ZONE MAP.
2. OWNER OF RECORD: NEW DAY FARMALIC OF JERRY ROSEBLATT 11 MCDONNELL HILL DRIVE GORHAM, MAINE 04038
3. SEE FULL PLAN SET TITLED "SITE DEVELOPMENT PLANS FOR SHERIDAN STREET TOWNHOUSES" BY FAY, SPOFFORD & THORNDIKE, INC., DATED 01.08.14
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9. SEE FULL PLAN SET TITLED "SITE DEVELOPMENT PLANS FOR SHERIDAN STREET TOWNHOUSES" BY FAY, SPOFFORD & THORNDIKE, INC., DATED 01.08.14
10. THE SECOND FLOOR SPACE IDENTIFIED AS "ARTIST STUDIO" ON THE ARCHITECTURAL PLANS SHALL BE A WAIVER OF THE SITE PLAN STANDARD 11.4.2 RELATED TO FLOOD STANDARDS AS PERMITTED BY THE CITY ENGINEER. THE APPLICANT SHALL CONTRIBUTE \$800 FOR THREE STREET TREES TO PORTLAND TREE FUND, WAIVER FROM TECHNICAL STANDARD SECTION 11.4.2 RELATED TO FLOOD STANDARDS AS PERMITTED BY THE CITY ENGINEER. THE APPLICANT SHALL CONTRIBUTE \$800 FOR THREE STREET TREES TO PORTLAND TREE FUND, WAIVER FROM TECHNICAL STANDARD SECTION 11.4.2 RELATED TO FLOOD STANDARDS AS PERMITTED BY THE CITY ENGINEER.
11. SEPARATE PERMITS ARE REQUIRED FOR THE CONSTRUCTION OF THE STRUCTURE ALONG WITH SEPARATE PERMITS FOR THE ROOF HEAT PUMPS. AT THE TIME OF APPLICATION THE APPLICANT SHALL SUBMIT ALL THE DATA ON THE DECIBEL OUTPUT FROM THE HEAT PUMPS.
12. THE HEAT PUMPS SHALL BE IN ACCORDANCE WITH CHAPTER 32 OF THE CITY CODE OR ORDINANCES.

**ARCHETYPE**

48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

11 MCDONNELL HILL DRIVE GORHAM, ME 04038

152 SHERIDAN STREET PORTLAND, MAINE

OCT. 2013  
Scale: 1" = 10'

C-3.0  
(RECORDING PLAT)  
UTILITY PLAN & SITE LAYOUT

01.06.14 - FINAL PLAN SUBMISSION  
01.10.14 - REVISED FOR FINAL PLAN SUBMISSION  
01.21.14 - REVISED FOR STAFF COMMENTS AND RESUBMITTED  
03.03.14 - RELEASED FOR BIDDING CITY FOR SIGNATURES  
03.14.14 - REVISED PER CITY COMMENTS / ISSUED TO CITY FOR SIGNATURES

**WAIVERS REQUESTED/GRANTED**

DATE \_\_\_\_\_

1. WAIVER FROM TECHNICAL STANDARD SECTION 11.4.2 RELATED TO FLOOD STANDARDS AS PERMITTED BY THE CITY ENGINEER.

2. WAIVER FROM TECHNICAL STANDARD SECTION 11.4.2 RELATED TO FLOOD STANDARDS AS PERMITTED BY THE CITY ENGINEER.

3. WAIVER FROM TECHNICAL STANDARD SECTION 11.4.2 RELATED TO FLOOD STANDARDS AS PERMITTED BY THE CITY ENGINEER.

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11. WAIVER FROM TECHNICAL STANDARD SECTION 11.4.2 RELATED TO FLOOD STANDARDS AS PERMITTED BY THE CITY ENGINEER.

12. WAIVER FROM TECHNICAL STANDARD SECTION 11.4.2 RELATED TO FLOOD STANDARDS AS PERMITTED BY THE CITY ENGINEER.

*Handwritten notes on yellow paper:*

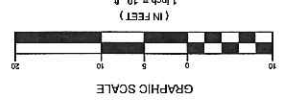
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<b>GRADING &amp; DRAINAGE PLAN</b>	
Scale: 1" = 10'	Date: OCT. 2013
01.06.14 - FINAL PLAN SUBMISSION	01.10.14 - REVISED FOR FINAL PLAN SUBMISSION
01.21.14 - REVISED FOR STAFF COMMENTS AND RESUBMITTED	
<b>Revisions:</b>	

Prepared For:	NEW DAY FARM, LLC
Project:	SHERIDAN STREET TOWNHOUSES
11 MCQUILLANS HILL DRIVE	152 SHERIDAN STREET
PORTLAND, MAINE	PORTLAND, MAINE

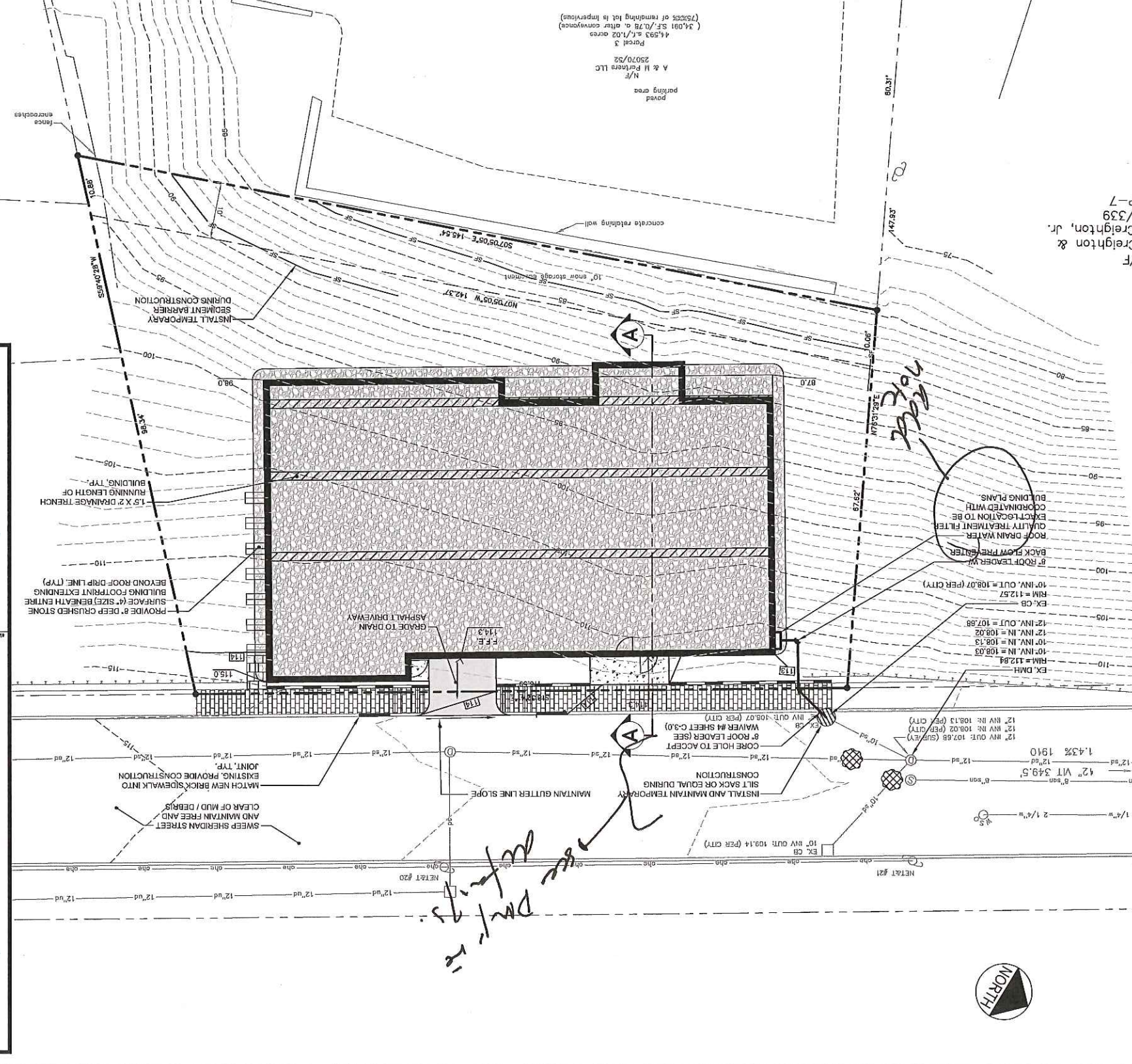
Architect: **ARCHETYPE architects**  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

**ESI ENGINEERS**  
 ENGINEERS · PLANNERS · SCENARISTS  
 5 BURLINGTON WOODS, BURLINGTON, MA 01803



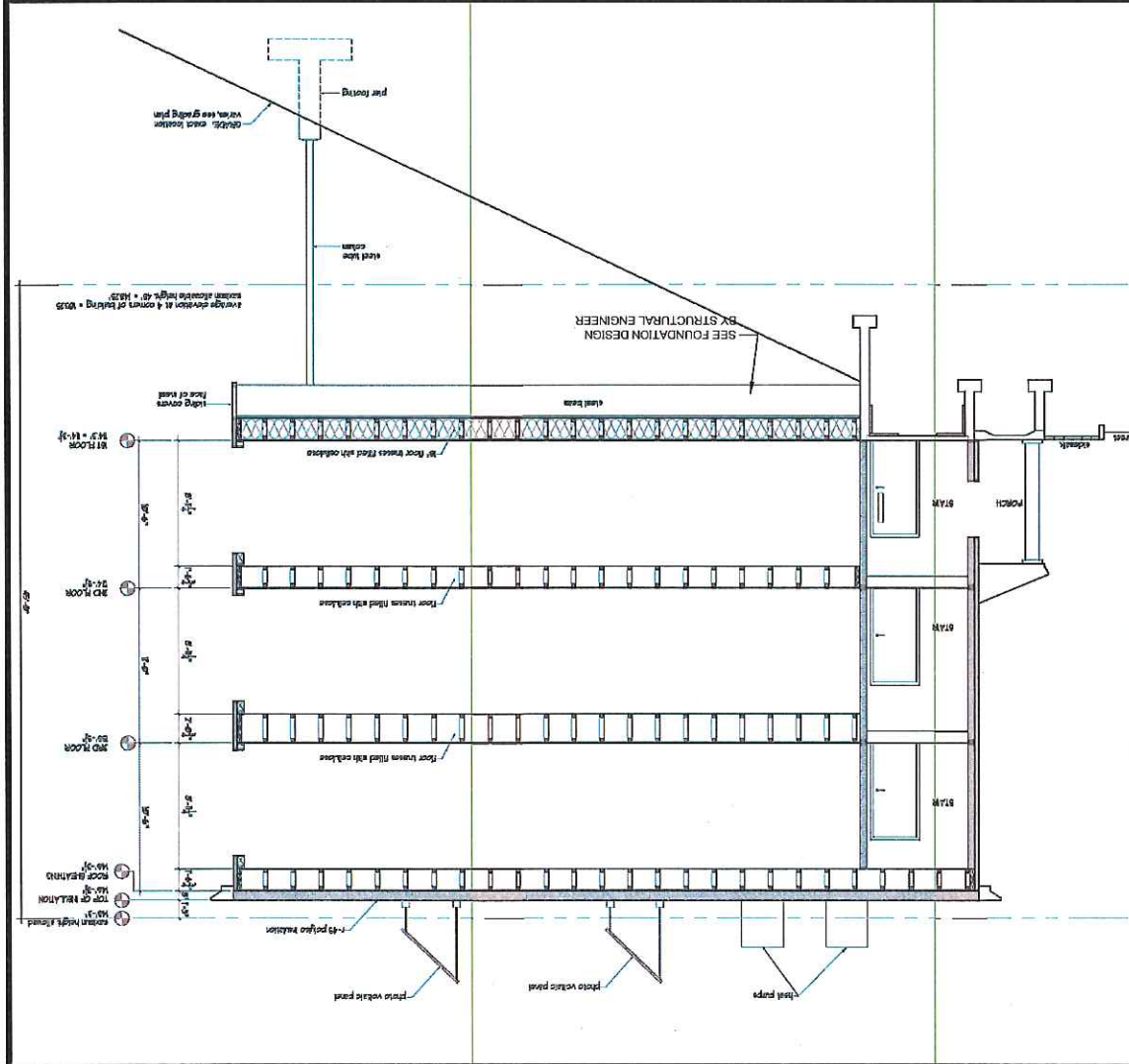
**PLAN NOTES:**

1. THE APPLICANT AND ALL ASSIGNS SHALL COMPLY WITH THE CONDITIONS OF CHAPTER 22 STORMWATER BUILDING ARTICLE III, POST-CONSTRUCTION STORMWATER MANAGEMENT, WHICH SPECIFIES THE ANNUAL INSPECTIONS AND REPORTING REQUIREMENTS. THE DEVELOPER/CONTRACTOR/OWNER/CONTRACTOR MUST COMPLY WITH CONDITIONS OF THE CONSTRUCTION STORMWATER MANAGEMENT PLAN AND SEWAGE TREATMENT AGREEMENT FOR THE STORMWATER DRAINAGE SYSTEM AS APPROVED BY THE CITY OF PORTLAND AND SUBMITTED TO THE DEPARTMENT OF PUBLIC SERVICES. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND MAINTENANCE OF THE DRAINAGE SYSTEM AS WELL AS SIMILAR STANDARDS OUTLINED IN THE MEDEP CHAPTER 500 APPENDIX B & C.
2. ALL ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY OF PORTLAND TECHNICAL CERTIFICATE OF OCCUPANCY WITH A COPY TO THE DEPARTMENT OF PUBLIC SERVICES.
3. THE APPLICANT RESERVES THE RIGHT TO SELECT A ROOF DRAIN FILTER DEVICE DURING CONSTRUCTION. THE DEVICE SHALL PROVIDE TREATMENT FOR THE PROPOSED ROOF AREA PRIOR TO DISCHARGE INTO THE CITY SYSTEM. SYSTEM VENDORS INCLUDE FLO-GARD™, BIO-CLEAN DOWNSPOUT FILTER, OR CLEANWAY™ DOWNSPOUT FILTER. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE AND OPERATIONS OF THE DOWNSPOUT FILTER IN ACCORDANCE WITH CITY REGULATIONS AND MANUFACTURER'S RECOMMENDATIONS.



1/F  
 Creighton &  
 Creighton, Jr.  
 P-7  
 8/339

SECTION A-A  
 N.T.S.



**BUILDING HEIGHT NOTE:**

- THE AVERAGE BUILDING HEIGHT IS COMPUTED AS FOLLOWS:
- AVERAGE ELEVATION AT FOUR CORNERS OF BUILDING IS 103.25'
- THE MAXIMUM HEIGHT IS 105.47' OR ELEVATION 103.25'
- THE TOP OF INSULATION ON THE ROOF DECK IS ELEVATION 103.25'
- 146'-1 1/2" WHICH IS LESS THAN THE ALLOWED MAXIMUM HEIGHT



See DWG 12

ROOF DRAIN WATER QUALITY TREATMENT FILTER EXACT LOCATION TO BE COORDINATED WITH BUILDING PLANS.

**PLANTING SPECIFICATIONS**

**DESCRIPTION**  
Work under this Section shall include all labor, materials, services, equipment and accessories necessary to furnish and install plant material in complete accordance with these specifications and applicable Drawings.

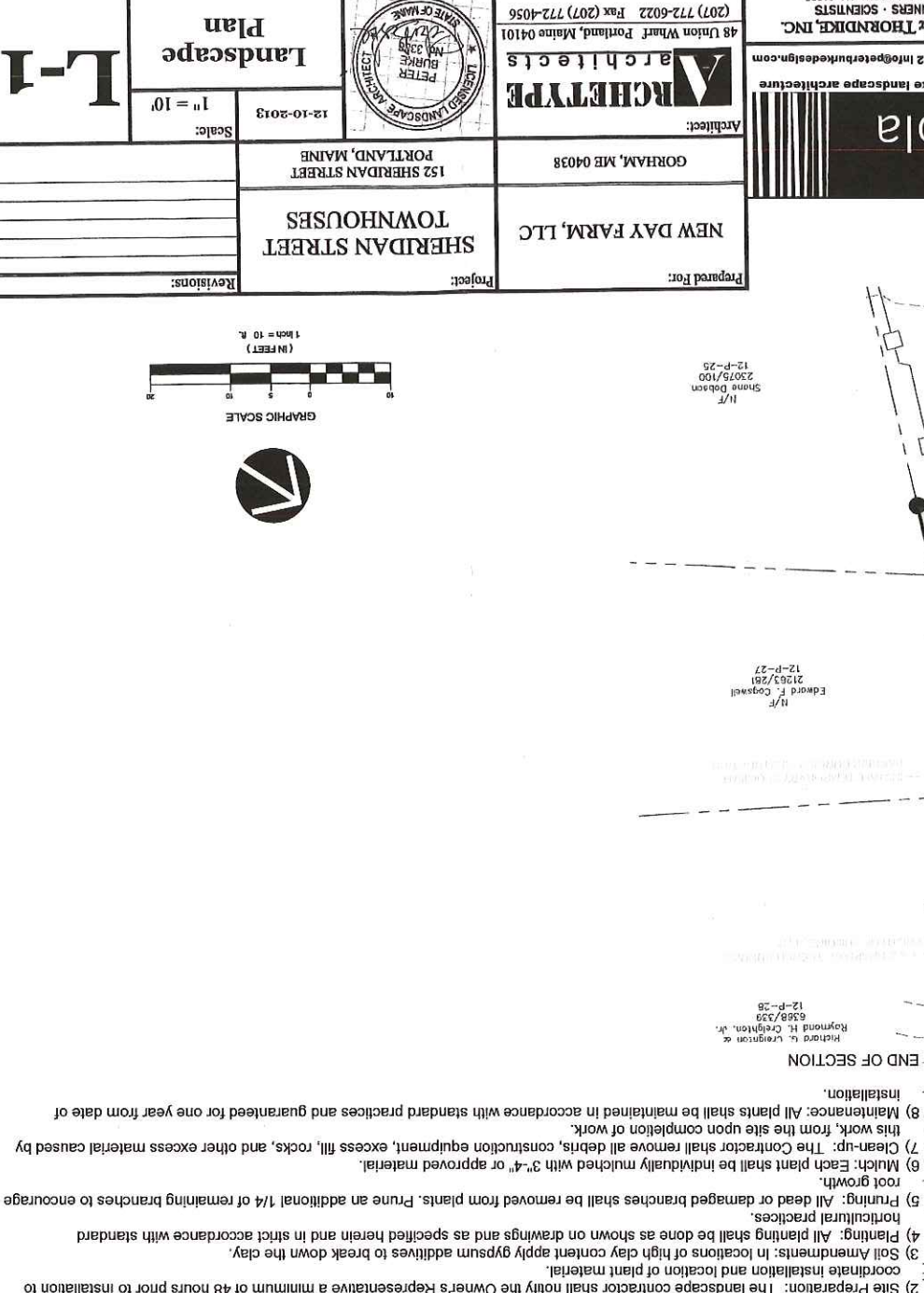
**QUALITY ASSURANCE**  
1) Installer's Personal Qualifications: Reputable landscape contractor with a min. 5 years experience in landscape construction and licensed to perform work as described in this section.  
2) Comply with all applicable federal, state and local regulations governing landscape materials and work.

**WARRANTY**  
1) All Plants shall be guaranteed by the landscape contractor for one full year from date of acceptance by the Owner's Representative.  
2) All replacement stock shall be subject to the same warranty requirements as the original stock.

**MATERIALS**  
1) All plant stock shall be nursery grown and comply with ANSI Z60.1 (American Standard for Nursery Stock).  
2) All stock shall be container grown stock unless otherwise indicated.  
3) Damaged plants and plants that do not meet requirements will be rejected.  
4) Topsoil/Planting Soils: Topsoil or manufactured topsoil shall consist of 3 parts loam amended with 1 part peat humus. Provide friable natural topsoil free of rocks, stones, brush, clay, lumps, twigs, litter, extraneous material, noxious weeds and seeds.  
5) Fertilizer: Slow release packets or tablets containing the following composition: Nitrogen 16%, Phosphoric acid 8%, and Potash 16% (one per shrub at 6-8" depth).  
6) Mulch: Nutt-Mulch from New England Organics (www.eatthelegrows.com) or approved equal.  
7) Erosion Control Seed Mix: New England Erosion Control/Restoration mix from New England Wetland Plants, Inc. or approved equal.

**INSTALLATION**  
1) Modifications of Plan: Any changes to the planting plan or plant list shall be approved by the Landscape Architect.  
2) Site Preparation: The landscape contractor shall notify the Owner's Representative a minimum of 48 hours prior to installation to coordinate installation and location of plant material.  
3) Soil Amendments: In locations of high clay content apply gypsum additives to break down the clay.  
4) Planting: All planting shall be done as shown on drawings and as specified herein and in strict accordance with standard horticultural practices.  
5) Pruning: All dead or damaged branches shall be removed from plants. Prune an additional 1/4 of remaining branches to encourage root growth.  
6) Mulch: Each plant shall be individually mulched with 3"-4" or approved material.  
7) Clean-up: The Contractor shall remove all debris, construction equipment, excess fill, rocks, and other excess material caused by this work, from the site upon completion of work.  
8) Maintenance: All plants shall be maintained in accordance with standard practices and guaranteed for one year from date of installation.

**END OF SECTION**



BOTANICAL NAME	COMMON NAME	IND.
FESTUCA RUBRA		FACU
ELIMUS CANADENSIS	CANADA WILD RYE	FACU+
LOLIUM MULTICOLORUM	ANNUAL RYEGRASS	NI
LOTIUM PERENNE	PERENNIAL RYEGRASS	NI
BOUTELOIA GRACILIS	BLUE GRAMA	NI
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	FACU
AGROSTIS PERENNANS	ROUGH BENTGRASS	FACU
AGROSTIS SCABRA	ROUGH BENTGRASS/TICKLEGRASS	FAC
AGROSTIS PERENNANS	UPLAND BENTGRASS	FACU

Symbol	Latin Name	Common Name	Size	Notes
AP	Acer palmatum 'Katsura'	Katsura' Japanese Maple	#7	Protect trunk of tree with rodent protection
CC	Magnolia acuminata 'Ultimate Yellow'	Magnolia Hybrid 'Ultimate Yellow'	1.5'	Protect trunk of tree with rodent protection
HA	Hydrangea anomala petiolaris	Climbing hydrangea	#3	
JC	Juniperus chinensis 'Blue Pfitzer'	Blue Pfitzer' Juniper	#3	
LT	Liriodendron tulipifera	Tulip Tree	6-8'	Protect trunk of tree with rodent protection
NS	Native sod to include blueberry, bunchberry, & hay scented fern.			
ME	Malus espalier	Espaliered Apple	#15	Gala, 'Honeycrisp' and 'Liberty'
PM	Pinus Mugo 'Montana'	Montana Mugo Pine	2-2.5'	
PO	Picea omorika	Serbian Spruce	4-5'	
TC	Taxus cuspidata 'Capitata'	Upright Japanese Yew	3-3.5'	
TX	Taxus x media 'Tauntonii'	Taunton Yew	15-18"	

**PLANTING SPECIFICATIONS**

1) All Plants shall be guaranteed by the landscape contractor for one full year from date of acceptance by the Owner's Representative.  
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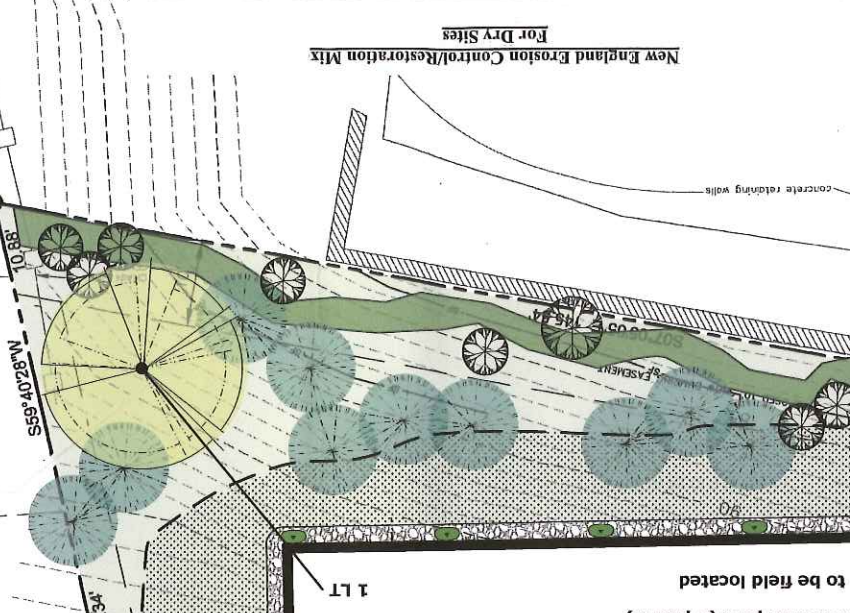
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5) Fertilizer: Slow release packets or tablets containing the following composition: Nitrogen 16%, Phosphoric acid 8%, and Potash 16% (one per shrub at 6-8" depth).  
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**END OF SECTION**



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SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	FACU
AGROSTIS PERENNANS	ROUGH BENTGRASS	FACU
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Symbol	Latin Name	Common Name	Size	Notes
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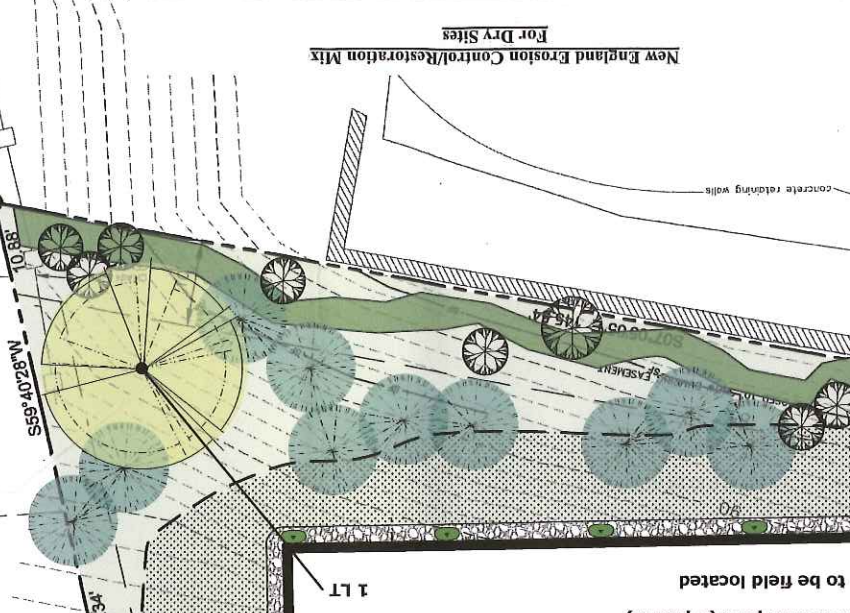
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BOUTELOIA GRACILIS	BLUE GRAMA	NI
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	FACU
AGROSTIS PERENNANS	ROUGH BENTGRASS	FACU
AGROSTIS SCABRA	ROUGH BENTGRASS/TICKLEGRASS	FAC
AGROSTIS PERENNANS	UPLAND BENTGRASS	FACU

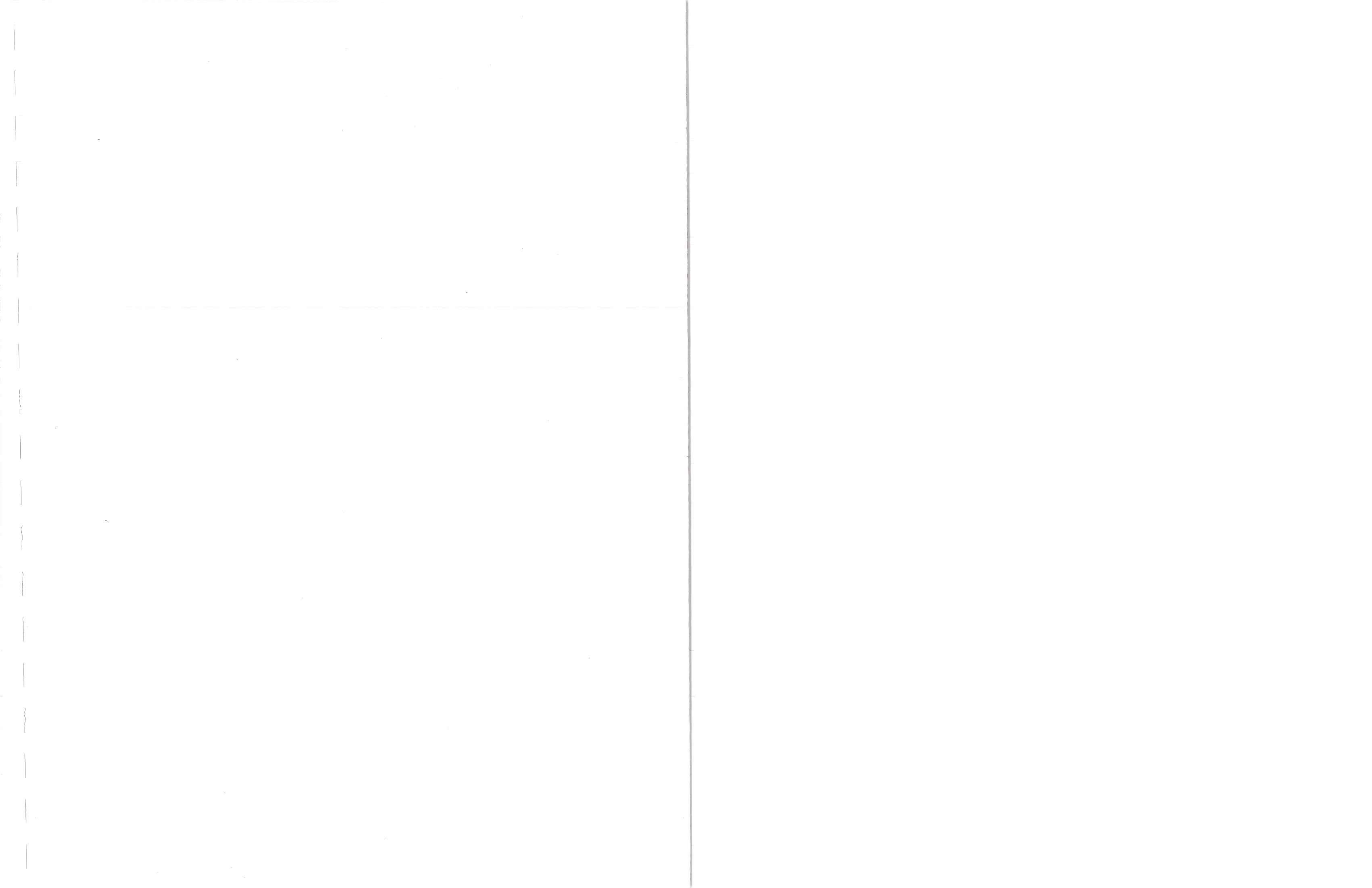
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CC	Magnolia acuminata 'Ultimate Yellow'	Magnolia Hybrid 'Ultimate Yellow'	1.5'	Protect trunk of tree with rodent protection
HA	Hydrangea anomala petiolaris	Climbing hydrangea	#3	
JC	Juniperus chinensis 'Blue Pfitzer'	Blue Pfitzer' Juniper	#3	
LT	Liriodendron tulipifera	Tulip Tree	6-8'	Protect trunk of tree with rodent protection
NS	Native sod to include blueberry, bunchberry, & hay scented fern.			
ME	Malus espalier	Espaliered Apple	#15	Gala, 'Honeycrisp' and 'Liberty'
PM	Pinus Mugo 'Montana'	Montana Mugo Pine	2-2.5'	
PO	Picea omorika	Serbian Spruce	4-5'	
TC	Taxus cuspidata 'Capitata'	Upright Japanese Yew	3-3.5'	
TX	Taxus x media 'Tauntonii'	Taunton Yew	15-18"	

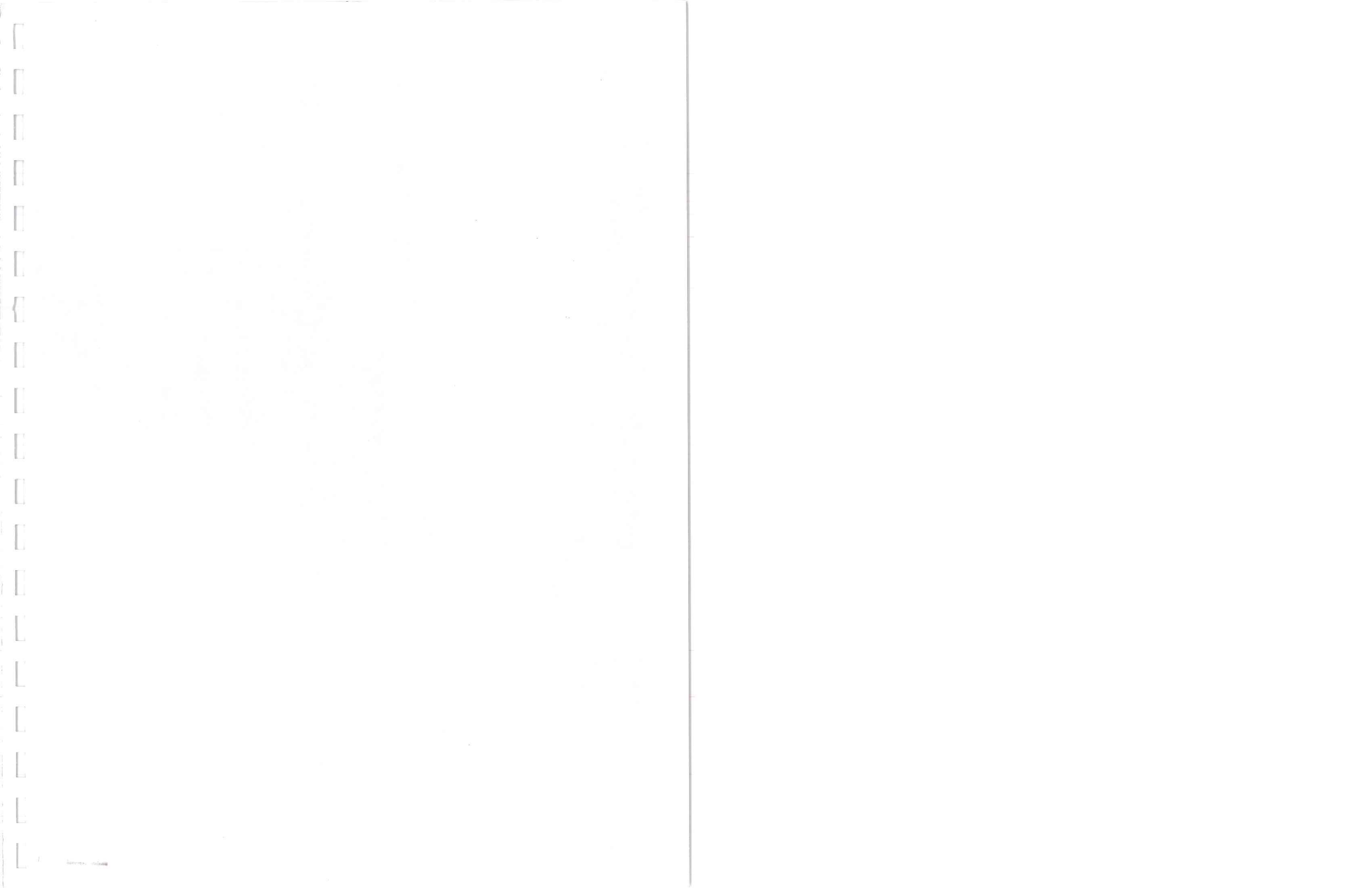




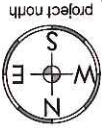
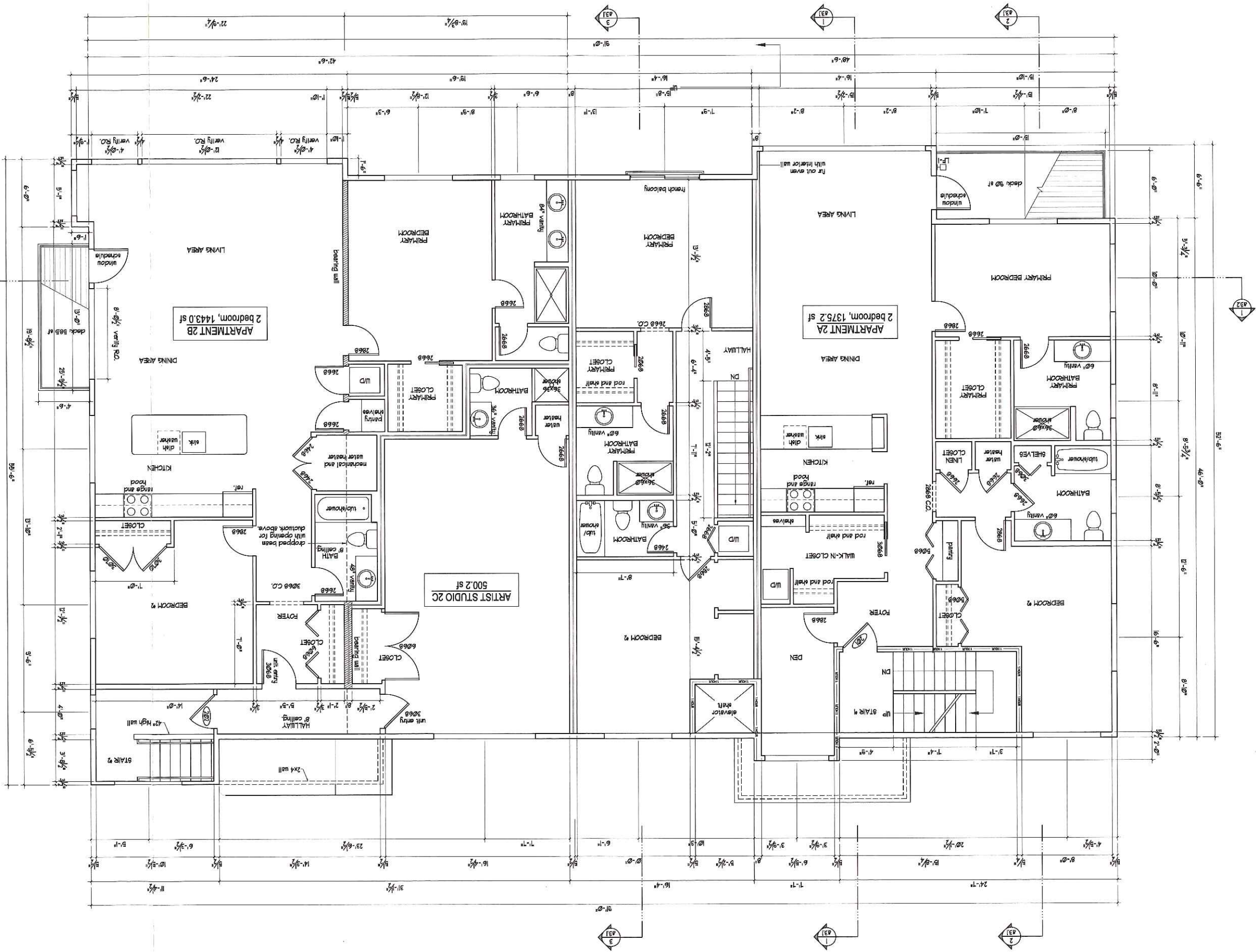








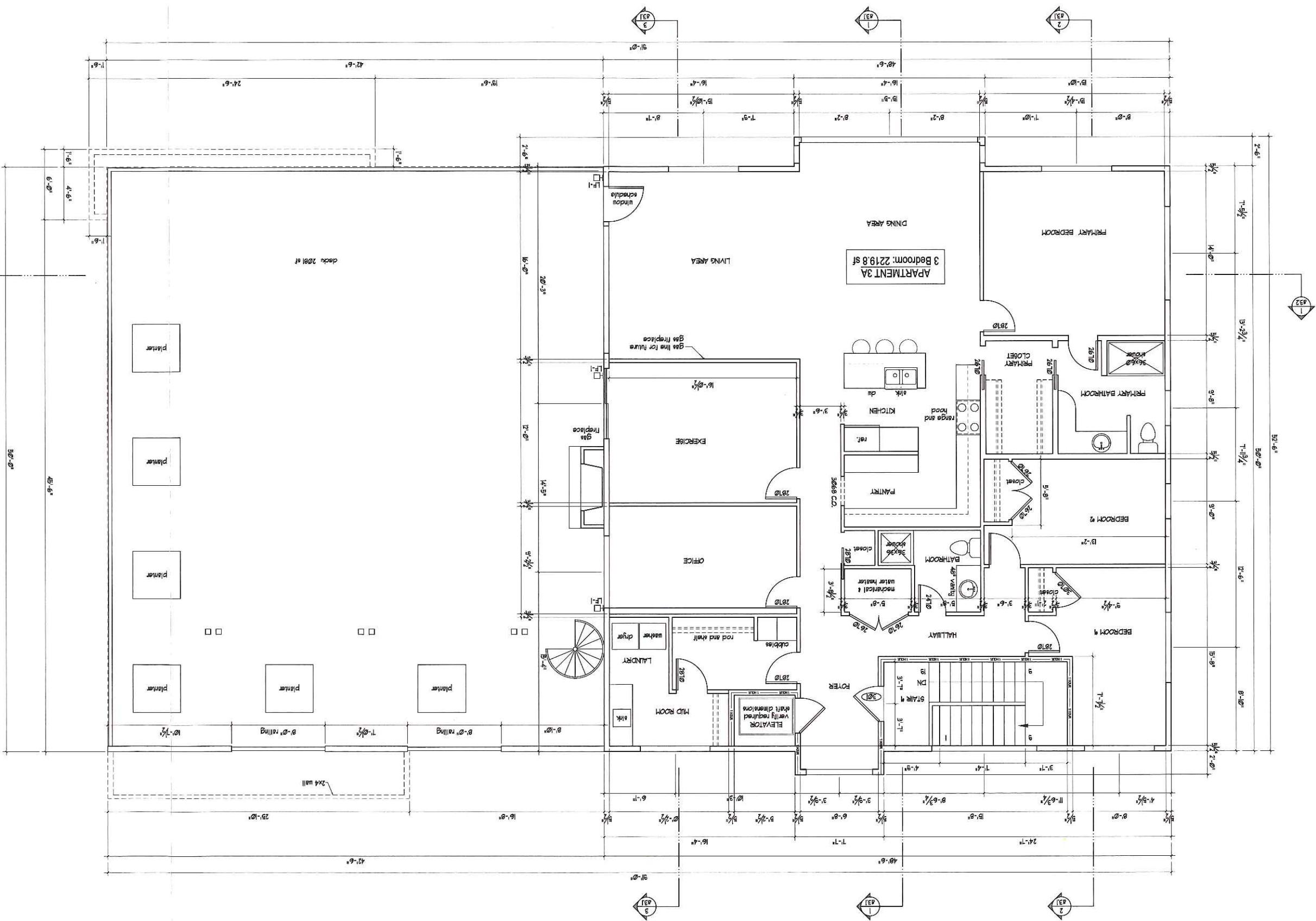
2nd Floor Plan (gross floor area: 4632 s.f.)  
 1/4" = 1'-0"



project north

<p><b>a1.2</b></p>	<p>Date: January 13, 2014</p>	<p>Revisions:</p>	<p>Project: <b>Sheridan Street Townhouses</b>                  152 Sheridan Street                  Portland Maine 04101</p>	<p>Architect: <b>RCHETYPE architects</b>                  48 Union Wharf Portland, Maine 04101                  (207) 772-5022 Fax (207) 772-4056</p>	<p>Consultant:</p>
	<p>Scale: 1/4" = 1'-0"</p>				
<p><b>SECOND FLOOR PLAN</b></p>					

3rd Floor Plan (gross floor area: 2481 s.f.)  
 1/4" = 1'-0"



a1.3

Date: January 13, 2014  
 Scale: 1/4" = 1'-0"

THIRD FLOOR PLAN

Revisions:

Project:

Sheridan Street  
 Townhouses  
 132 Sheridan Street  
 Portland, Maine 04101

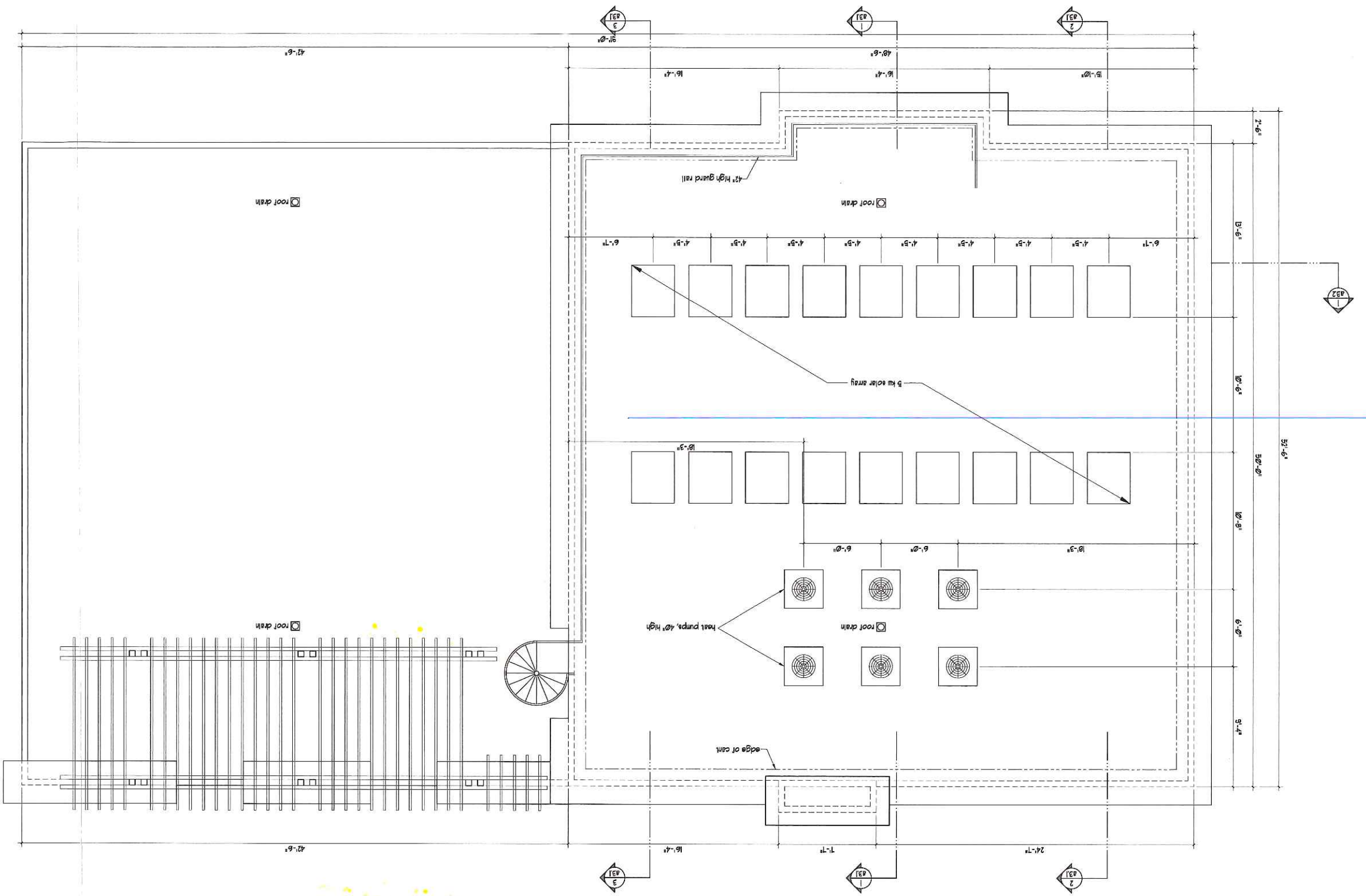
Architect:

**RCHE TYPE**  
 architects  
 48 Union Wharf, Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

Consultant:

Prepared For:

New Day Farm LLC  
 Gorham, Maine



project north

a1.4

Date: January 13, 2014  
Scale: 1/4" = 1'-0"

ROOF FLOOR PLAN

Revisions:


Project:

Sheridan Street Townhouses  
152 Sheridan Street  
Portland, Maine 04101

Architect:

**ARCHETYPE** architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-5022 Fax (207) 772-4056

Consultant:

Prepared For:

New Day Farm LLC  
Gorham, Maine

South Elevation (Rear) 1/4" = 1'-0"



148'-3"  
 TOP OF INSULATION  
 146'-3"  
 ROOF SHEATHING  
 146'-3"  
 3RD FLOOR  
 135'-9"  
 2ND FLOOR  
 124'-9"  
 1ST FLOOR  
 114'-3" = 14'-3"  
 Average grade at building  
 103'-3"  
 45'-0"

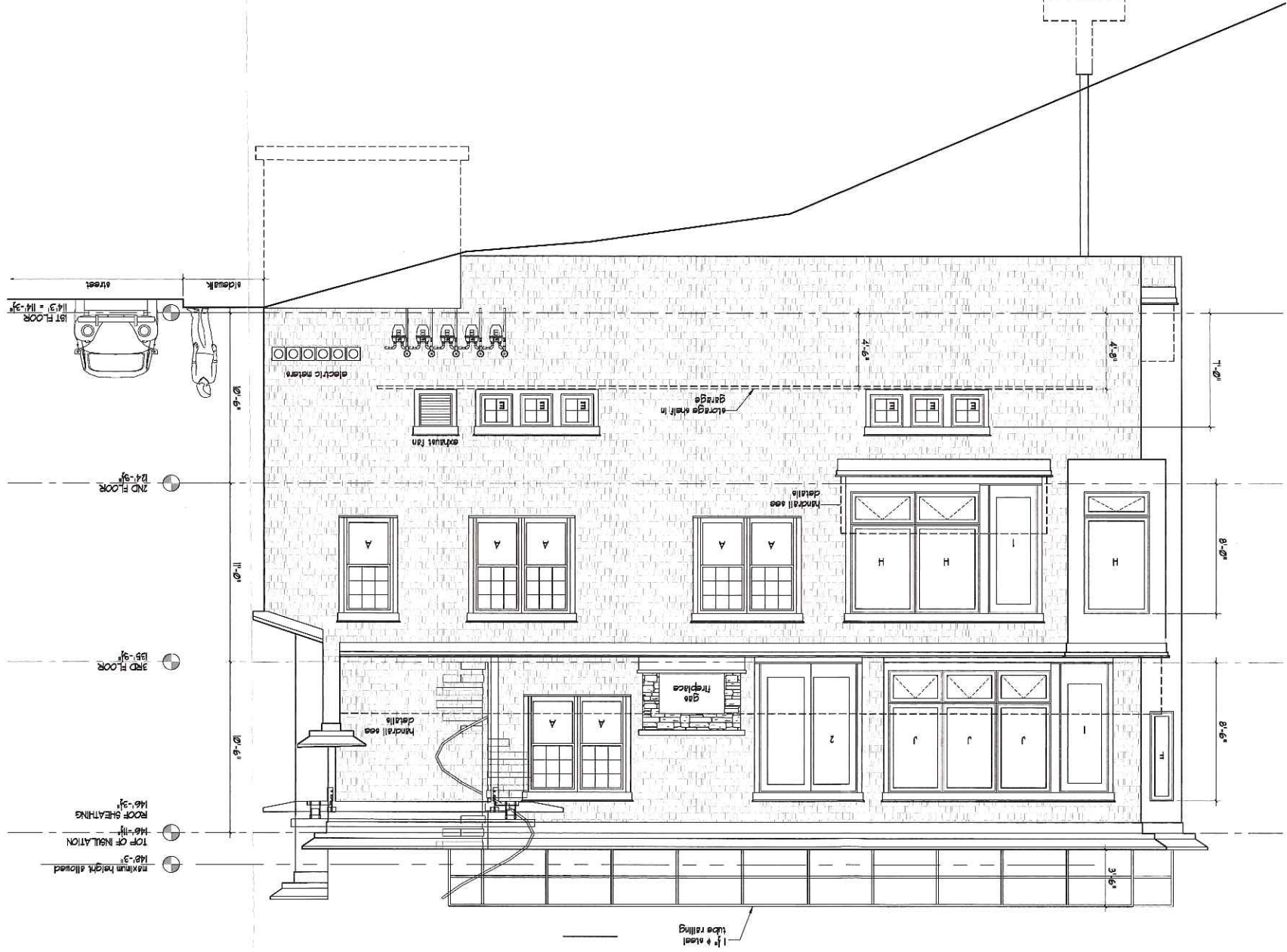
Date: January 13, 2014	Scale: 1/4" = 1'-0"	Revisions:	Project: Sheridan Street Townhouses 132 Sheridan Street Portland Maine 04101	Architect: <b>ARCHETYPE</b> architects 48 Union Wharf Portland, Maine 04101 (207) 772-5022 Fax (207) 772-4056	Consultant:	Prepared For: New Day Farm LLC Gorham Maine

1/4" = 1'-0"  
 West Elevation



Date: January 13, 2014	Scale: 1/4" = 1'-0"	Revisions:	Project: Sheridan Street Townhouses 132 Sheridan Street Portland Maine 04101	Architect: <b>ARCHETYPE</b> architects 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Consultant:	Prepared for: New Day Farm LLC Gotham Maine	a2.3

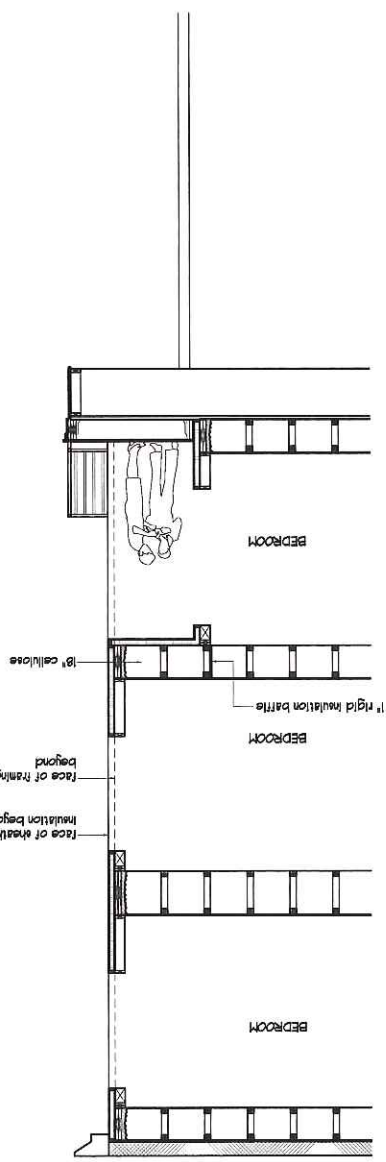
1/4" = 1'-0"  
 ↓ East Elevation



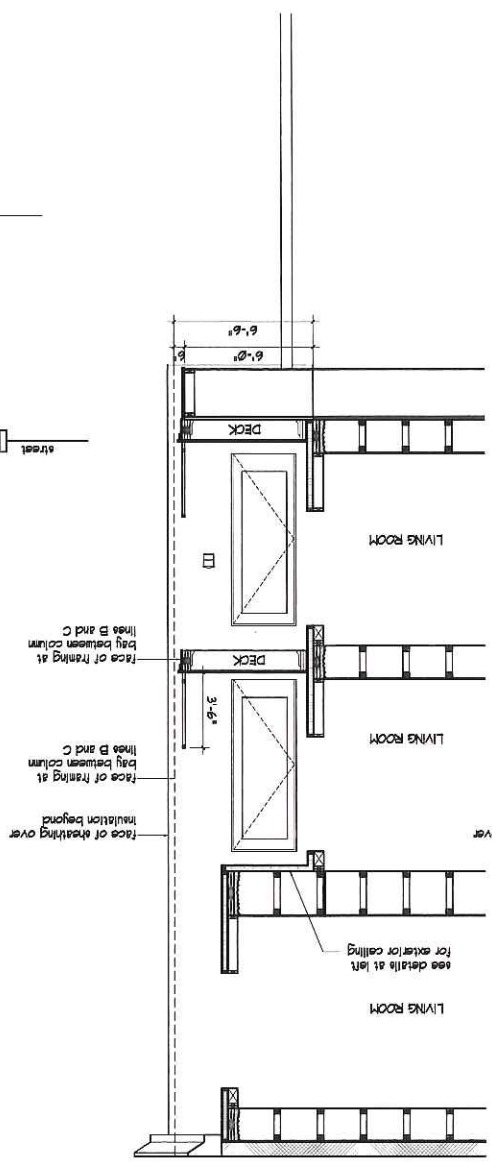
<b>a2.4</b>	Date: January 13, 2014	Scale: 1/4" = 1'-0"	Revisions:	Project: <b>Sheridan Street Townhouses</b> 152 Sheridan Street Portland Maine 04101	Architect: <b>ARCHETYPE architects</b> 49 Union Street Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Consultant:	Prepared For: <b>New Day Farm LLC</b> Gorham Maine
	EAST ELEVATION						



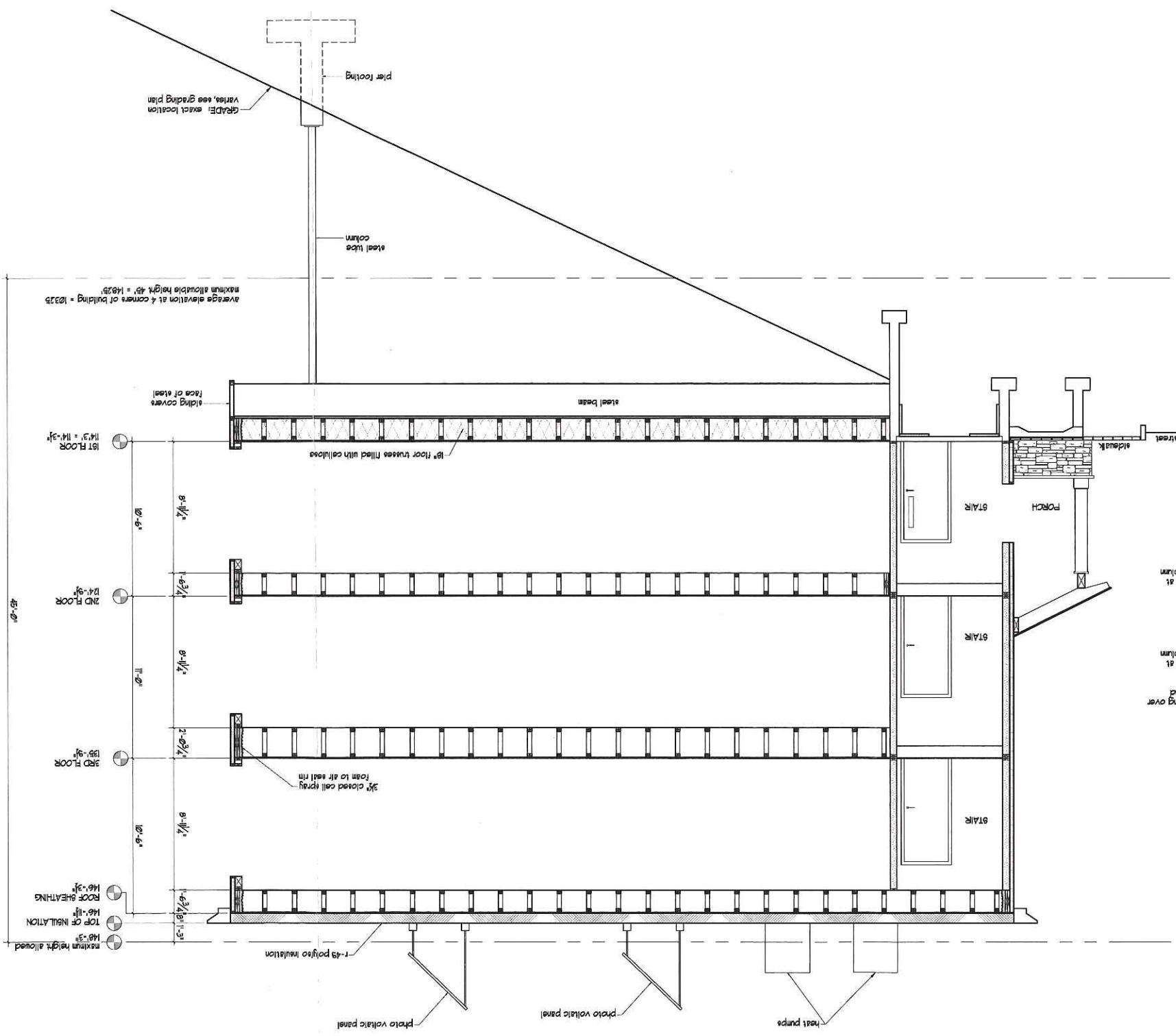
3 Partial Building Cross Section  
1/4" = 1'-0"



2 Partial Building Cross Section  
1/4" = 1'-0"

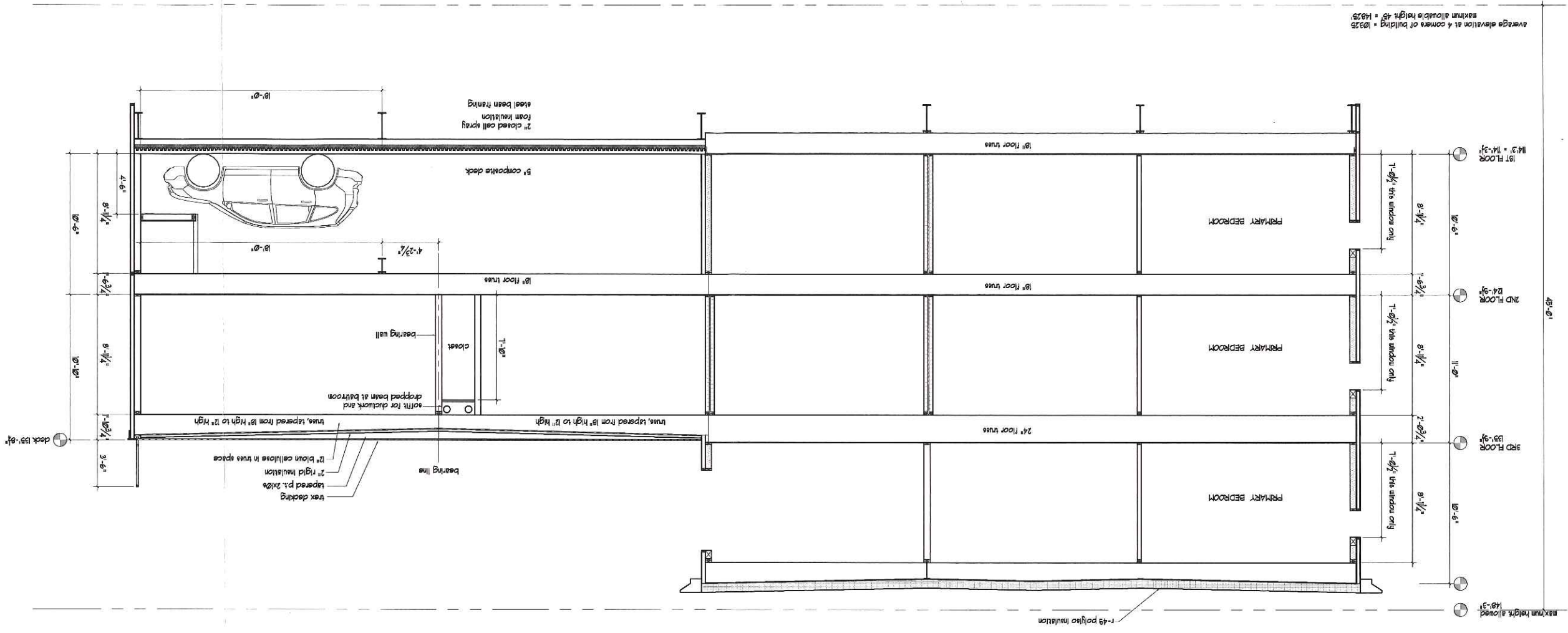


1 Building Cross Section  
1/4" = 1'-0"



A3.1	Date:	January 13, 2014
	Scale:	1/4" = 1'-0"
BUILDING CROSS SECTION	Revisions:	
	Project:	Sheridan Street Townhouses 132 Sheridan Street Portland Maine 04101
Architect:	RCHETYPE architects	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
		Consultant:
Prepared For:	New Day Farm LLC	Gorham Maine

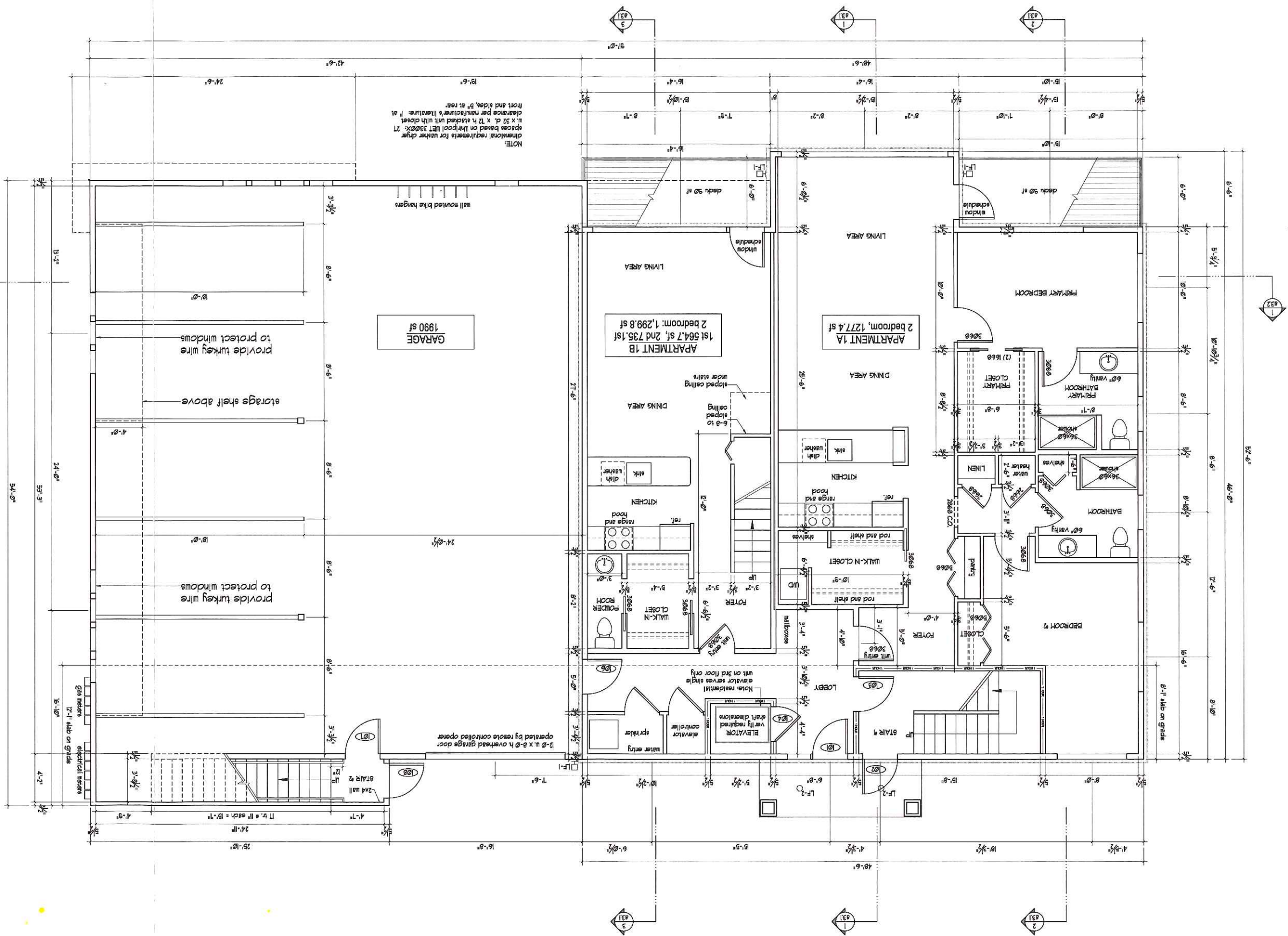
1/4" = 1'-0"  
 ↓ Building Cross Section



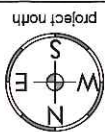
average elevation at 4 corners of building = 103.25  
 maximum allowed height = 103.25

Date: January 13, 2014	Scale: 1/4" = 1'-0"	Revisions:	Project: <b>Sheridan Street Townhouses</b> 152 Sheridan Street Portland Maine 04101	Architect: <b>RCHEFFTYPE architects</b> 48 Union Wharf Portland, Maine 04101 (207) 772-0022 Fax (207) 772-4056	Consultant:	Prepared For: <b>New Day Farm LLC</b> Gorham Maine	A3.2

1st Floor Plan (gross floor area: 4759 s.f.)  
1/4" = 1'-0"



NOTE:  
dimensional requirements for washer/dryer  
spaces based on Ultra Quiet LEET 3300X 21  
series based on manufacturer's literature. 1" at  
front and sides, 3" at rear.



a1.1

Date: January 13, 2014  
Scale: 1/4" = 1'-0"

FIRST FLOOR PLAN

Revisions:

Project:

Sheridan Street  
Townhouses  
152 Sheridan Street  
Portland Maine 04101

Architect:

**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Consultant:

Prepared For:

New Day Farm LLC  
Gorham Maine

DIMENSIONAL REQUIREMENTS (Residential Use)	
Minimum Lot Size	None
Minimum Street Frontage	None
Minimum Yard Dimensions:	
a. Front Yard	None
b. Rear Yard	Ten (10) feet, except where the lot abuts a residential zone, where ten (10) feet is required.
c. Side Yard	Five (5) feet, except where the lot abuts a residential zone, where ten (10) feet is required.
d. Side Yard or Rear Yard on a Street	None
Maximum Impervious Surface Ratio	90%
Maximum Structure Height	Forty-five (45) feet, except in the case of a building with a commercial first floor and residential upper floors, where fifty (50) feet is allowed, and except for the portion of building located within sixty-five (65) feet of Franklin Street where sixty-five (65) feet is allowed.

CITY OF PORTLAND, MAINE - PERFORMANCE STANDARDS  
 B-2 AND B-2b COMMUNITY BUSINESS ZONES  
 REQUIRED

**PLAN REFERENCE:**  
 PLAN OF LOT DIVISION MADE FOR AAM PARTNERS, LLC BY TTCOMB ASSOCIATES  
 LAST REVISED 08.13.13 (REV 9)

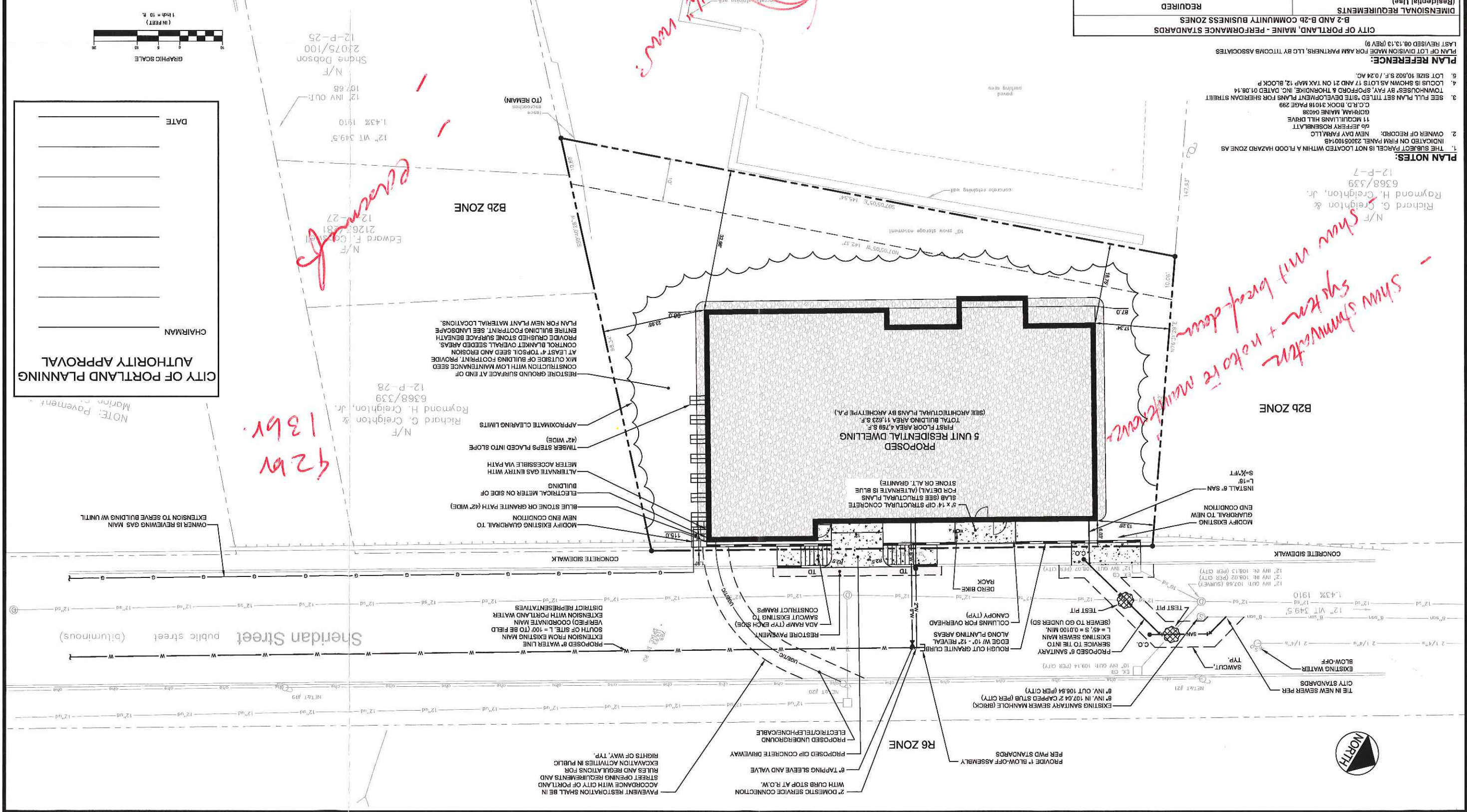
1. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AS INDICATED ON FEMA PANEL 230510415
2. OWNER OF RECORD: NEW DAY FARM, LLC  
 60 JEFFERY ROSELINATT  
 11 MCQUILLANS HILL DRIVE  
 GORHAM, MAINE 04038  
 C.R.D. BOOK 31018 PAGE 299
3. SEE FULL PLAN SET TITLED "SITE DEVELOPMENT PLAN FOR SHERIDAN STREET TOWNHOUSES BY FAY, SPOFFORD & THORNDIKE, INC. DATED 01.08.14  
 LOCUS IS SHOWN AS LOT 17 AND 21 ON TAX MAP 12, BLOCK P
4. TOWNHOUSES BY FAY, SPOFFORD & THORNDIKE, INC. DATED 01.08.14
5. LOT SIZE 10,502 S.F. / 0.24 AC.
6. LOT SIZE 10,502 S.F. / 0.24 AC.

**PLAN NOTES:**  
 Richard G. Creighton, Jr.  
 Raymond H. Creighton &  
 N/F  
 6368/339  
 12-P-7

**WAIVERS REQUESTED**

1. WAIVER FROM TECHNICAL STANDARD 17.2.3 FOR 24' DRIVE AISLE TO SLIGHTLY LESS THAN 24'
2. WAIVER FROM TECHNICAL STANDARD 1.14 FOR 9' PARKING SPACE WIDTH TO ALLOW SPACE WIDTH AT 8'-2"
3. WAIVER FROM TECHNICAL STANDARD 11.4.E RELATED TO FLOOD STANDARDS, AS THE PROJECT WILL DISCHARGE TO THE MUNICIPAL SYSTEM

	<b>ARCHITECT</b> <b>architects</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	<b>ENGINEERS</b> <b>FAY, SPOFFORD &amp; THORNDIKE, INC.</b> ENGINEERS • PLANNERS • SCIENTISTS 5 BURLINGTON WOODS, BURLINGTON, MA 01803
	Project: <b>NEW DAY FARM, LLC</b> 11 MCQUILLANS HILL DRIVE GORHAM, ME 04038	Prepared For: <b>NEW DAY FARM, LLC</b> 152 SHERIDAN STREET PORTLAND, MAINE
<b>SHERIDAN STREET TOWNHOUSES</b> 01.10.14 - REVISED FOR FINAL PLAN SUBMISSION 10.23.13 - PRELIMINARY PLAN SUBMISSION TO CITY		
<b>SITE LAYOUT &amp; UTILITY PLAN (RECORDING PLAT)</b> <b>C-3.0</b>		

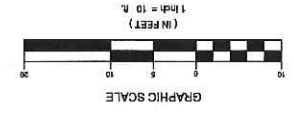


**CITY OF PORTLAND PLANNING AUTHORITY APPROVAL**

CHAIRMAN \_\_\_\_\_

DATE \_\_\_\_\_

NOTE: Payment \_\_\_\_\_



42' W  
 136' W

*Show stormwater + make it maintainable*  
*Show system + make it maintainable*  
*Show system with break down*

*Stamp*

*N/A - show 24' W*

**ESI ENGINEERS**  
 ENGINEERS · PLANNERS · SCIENTISTS  
 5 BURLINGTON WOODS, BURLINGTON, MA 01803  
 FAX (207) 772-6022  
 48 Union Wharf Portland, Maine 04101

**FAY, SPOFFORD & THORNDIKE, INC.**  
 ARCHITECTS  
 11 MCGUILLANS HILL DRIVE  
 GORHAM, ME 04038

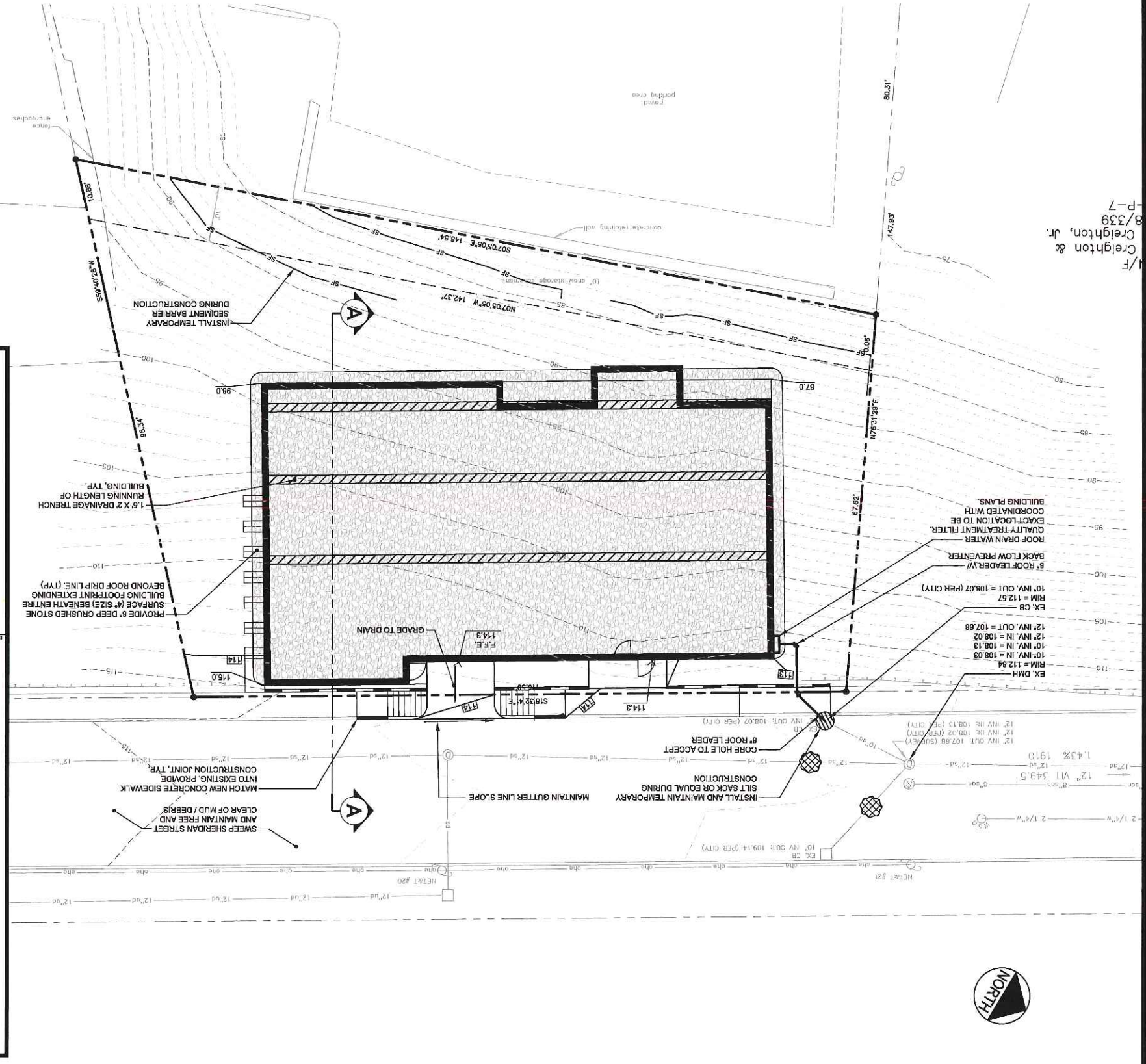
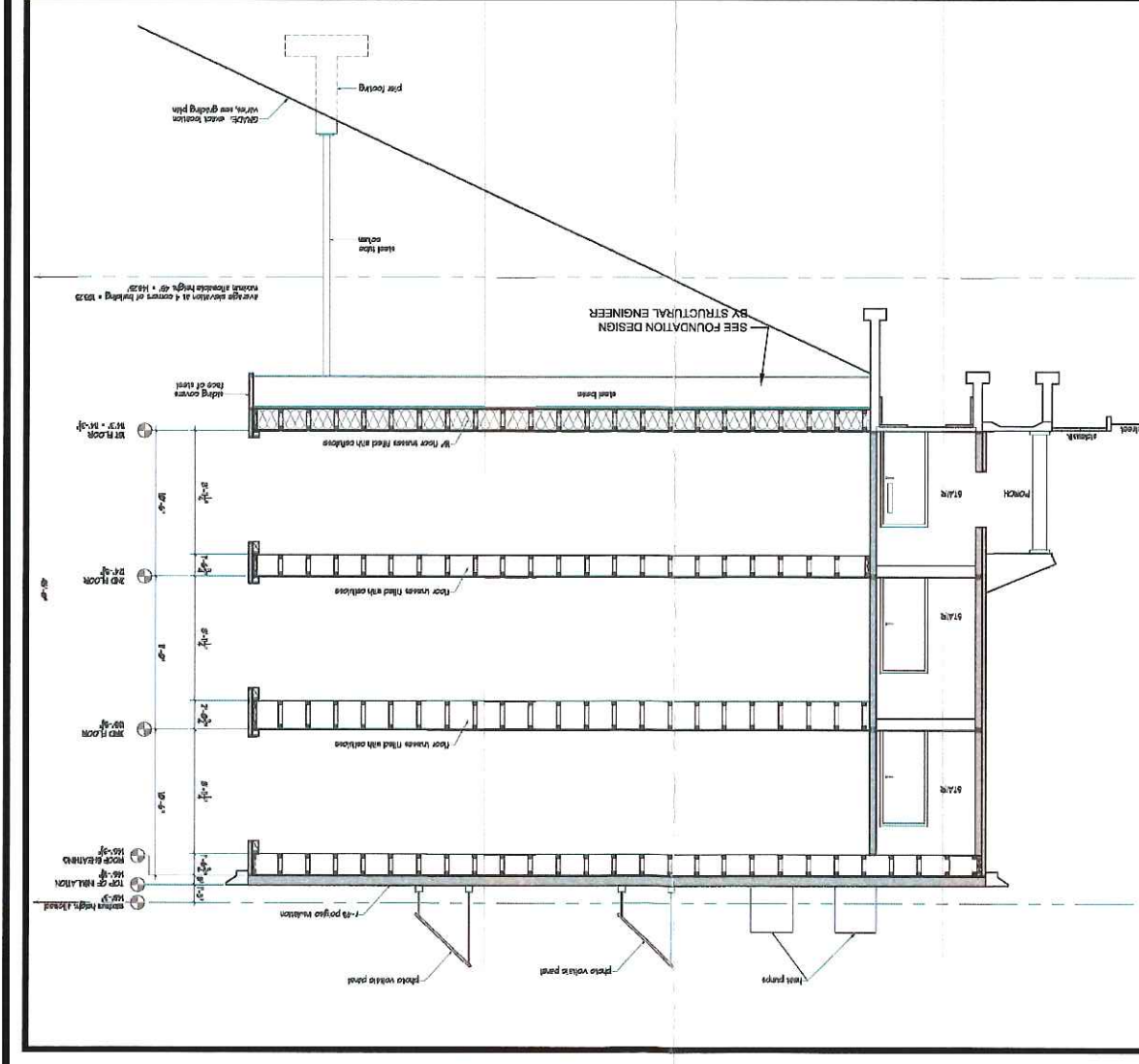
GRAPHIC SCALE  
 1 inch = 10 feet

Project:	NEW DAY FARM, LLC	Prepared For:	11 MCGUILLANS HILL DRIVE GORHAM, ME 04038
Revisions:	SHERIDAN STREET TOWNHOUSES	Date:	OCT. 2013
Scale:	1" = 10'	PLAN	GRADING & DRAINAGE
10.23.13 - PRELIMINARY PLAN SUBMISSION TO CITY	PORTLAND, MAINE	Architect:	ESI ENGINEERS
01.06.14 - FINAL PLAN SUBMISSION			
01.10.14 - REVISED FOR FINAL PLAN SUBMISSION			

**PLAN NOTES:**

1. THE APPLICANT AND ALL ASSIGNS SHALL COMPLY WITH THE CONDITIONS OF CHAPTER 32 STORMWATER INCLUDING ARTICLE III, POST-CONSTRUCTION STORM WATER MANAGEMENT, WHICH SPECIFIES THE ANNUAL INSPECTIONS AND REPORTING REQUIREMENTS. THE DEVELOPER/CONTRACTOR/SUBCONTRACTOR MUST COMPLY WITH CONDITIONS OF THE CONSTRUCTION STORMWATER MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN BASED ON CITY STANDARDS AND STATE GUIDELINES. A MAINTENANCE AGREEMENT FOR THE STORMWATER DRAINAGE SYSTEM SHALL BE APPROVED BY CORPORATION COUNSEL AND DEPARTMENT OF PUBLIC SERVICES, AND SUBMITTED AND SIGNED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY WITH A COPY TO THE DEPARTMENT OF PUBLIC SERVICES.
2. ALL ACTIVITIES SHALL BE CONDUCTED IN COMPLIANCE WITH THE CITY OF PORTLAND TECHNICAL MANUAL, SECTION 5, EROSION AND SEDIMENT CONTROL; APPENDIX B - INSPECTION AND MAINTENANCE; AND APPENDIX C - HOUSEKEEPING.
3. THE APPLICANT RESERVES THE RIGHT TO SELECT A ROOF DRAIN FILTER DEVICE DURING CONSTRUCTION. THE DEVICE SHALL PROVIDE TREATMENT FOR THE PROPOSED ROOF AREA PRIOR TO DISCHARGE INTO THE CITY SYSTEM. SYSTEM VENDORS INCLUDE FLO-GARD™, BIO-CLEAN™ DOWNSPOUT FILTER, OR CLEANWAY™ DOWNSPOUT FILTER. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE AND OPERATIONS OF THE DOWNSPOUT FILTER IN ACCORDANCE WITH CITY REGULATIONS AND MANUFACTURERS RECOMMENDATIONS.

**BUILDING HEIGHT NOTE:**  
 THE AVERAGE BUILDING HEIGHT IS COMPUTED AS FOLLOWS:  
 • AVERAGE ELEVATION AT FOUR CORNERS OF BUILDING IS 103.25'  
 • THE MAXIMUM HEIGHT ALLOWED IS 45'-0" OR ELEVATION 148.25'  
 • THE TOP OF INSULATION ON THE ROOF DECK IS ELEVATION 148.25'  
 • 148'-1 1/2" WHICH IS LESS THAN THE ALLOWED MAXIMUM HEIGHT



1/F  
 Creighton, Jr.  
 8/339  
 P-7

