



2. TECHNICAL AND FINANCIAL CAPACITY

2.0 TITLE, RIGHT AND INTEREST

The applicant currently owns the site as evidenced by the accompanying deed contained in Attachment A to this section.

2.1 TECHNICAL CAPACITY

The applicant has assembled a highly qualified team of professionals to plan, permit, and develop construction documents for the project.

The Team services will be provided by the following companies and their respective team leaders:

2.2 CONSULTANT TEAM

<p><i>Civil Engineer</i></p> <p>Stephen R. Bushey, P.E. Fay, Spofford & Thordike 778 Main Street, Suite 8 South Portland, ME 04106 (207) 775-1121 – Work (207) 756-9359 – Cell sbushey@fstinc.com</p>	<p><i>Surveyor</i></p> <p>David Titcomb Titcomb Associates 133 Gray Road Falmouth, ME 04105 (207) 797-9199 – Work johann.buisman@northeastcivilsolutions.com</p>
<p><i>Architect</i></p> <p>David Lloyd ArcheType, PA 48 Wharf Street Portland, ME 04101 (207) 772-6022 – Work 207-671-9194 – Cell lloyd@archetypepa.com</p>	<p><i>Attorney</i></p> <p>Richard Bryant, Esq. Van Meer & Belanger, PA 20 York Street Portland, ME 04101 (207) 871-7500 – Work rbryant@vblawfirm.com</p>

Attachment D – Deed
 Attachment E – Financial Capacity Letter

2.6 ATTACHMENTS

These values are considered preliminary and approximate and are subject to change as building design and project layout is refined.

- Site work \$100,000-\$250,000
- Structures \$1.0-\$1.2 million

A breakdown of the preliminary project cost includes the following:

2.5 CONSTRUCTION COST ESTIMATE

The applicant has the means at its disposal for financing the proposed Sheridan Street Apartments project, as evidenced by the letter from Gorham Savings Bank accompanying this section in Attachment B.

2.4 FINANCIAL CAPACITY

The team of consultants retained by developer has expertise and experience in the design of similar residential housing projects. Resumes of key personnel for development team can be provided upon request.

2.3 EXPERIENCE OF PROJECT TEAM

<p><i>Geotechnical</i></p>	<p>Summit Geoen지니어ing Services 640 Main Street Lewiston, Maine 04240 (207) 576-3313</p>
<p><i>Construction Manager</i></p>	<p>Great Falls Construction 20 Mechanic Street Gorham, ME 04038 (207) 839-2744 – Work</p>

ATTACHMENT D
Deed

WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS, that A & M PARTNERS, LLC, a

Maine limited liability company with a place of business in Portland, Maine (the "Grantor"), in consideration of One Dollar (\$1.00) and other valuable consideration HEREBY GRANTS to NEW DAY FARM, LLC, a Maine limited liability company with a mailing address of c/o Jeffrey Rosenblatt, 11 McQuillian's Hill Drive, Gorham, ME 04038, with WARRANTY COVENANTS, the premises situated in the City of Portland, County of Cumberland and State of Maine, described as follows:

A certain parcel of land located on the westerly side of Sheridan Street and being located northerly of Marion Street in the City of Portland, Maine, being a portion of Parcel 3 as shown on a plan entitled as depicted on a "Plan of Property (former J. J. Nissen Bakery) Washington Avenue, Romasco Lane, Sheridan Street & Marion Street, Portland, Maine" made for A & M Partners, LLC, dated July 19, 2002 by Ticombe Associates and recorded in the Cumberland County Registry of Deeds in Plan Book 209, Page 190 (the "Plan"), being more particularly bounded and described as follows:

Beginning at an iron pin set on the westerly sideline of Sheridan Street at the northeasterly corner of land now or formerly of Richard G. Creighton and Raymond H. Creighton, Jr. as described in a deed recorded in said Registry of Deeds in Book 6368, Page 339;

Thence running S 59° 40' 28" W by said Creighton land and by land now or formerly of Edward F. Cogswell and Elizabeth I. Cogswell as described in a deed recorded in said Registry in Book 2310, Page 307, and by land now or formerly of Loreta Dobson as described in a deed recorded in said Registry of Deeds in Book 13224, Page 335, a distance of Ninety-Eight and 34/100 (98.34) feet to an iron pin set and retained land A & M Partners, LLC;

Thence running N 07° 05' 05" W by said retained A&M Partners, LLC land a distance of One Hundred Forty-Five and 54/100 (145.54) feet to an iron pin set and other land of now or formerly of Richard G. Creighton and Raymond H. Creighton, Jr. as described in said deed recorded in said Registry of Deeds in Book 6368, Page 339;

Thence running N 76° 31' 29" E by said other land of Creighton a distance of Sixty-Seven and 62/100 (67.62) feet to an iron pin set at the southeasterly corner of said land of Creighton and the westerly sideline of said Sheridan Street.

Thence running S 18° 32' 41" E by the westerly sideline of said Sheridan Street a distance of One Hundred Sixteen and 59/100 (116.59) feet to point of beginning.

Being a portion of the premises conveyed by warranty deed from A.G. Car Co., Inc. to A & M Partners, LLC dated May 2, 2007 and recorded in said Registry of Deeds in Book 25070,

Page 52. Subject to the matters as shown on the Plan referenced above and to an updated depiction of the property herein conveyed prepared by Tricomb Associates updated through August 13, 2013, job #202048.1, file #8500, an excerpt of which is attached hereto as Exhibit A. The above described parcel contains 10,502 square feet. Bearings are based on Magnetic North 2002.

Reserved Snow Storage Easement. Excepting and reserving to A & M Partners, LLC, its successors and assigns, the remaining portion of said Parcel 3 and also excepting and reserving a perpetual easement ten feet (10') in width running along the westerly sideline of property herein conveyed abutting said A & M Partners, LLC's retained property for the deposit of snow and ice removed from said A & M Partners, LLC's retained property and for the entry on said easement area on foot and with vehicles and machines for purposes of depositing of snow and ice as aforesaid, for removal of debris inadvertently deposited within the easement area along with snow and ice, and for maintenance and repair of the existing wall adjacent to the westerly sideline of property herein conveyed, which easement area is bounded and described as follows:

Beginning at an iron pin set at the northwesterly corner of the property herein conveyed and a corner of the retained land of A & M Partners, LLC:

Thence running N 76° 31' 29" E by the northerly sideline of the property herein conveyed a distance of 10.06 feet to a point;

Thence running S 07° 05' 05" E a distance of 142.37 feet to the southerly sideline of the property herein conveyed;

Thence running S 59° 40' 28" W by the southerly sideline of the property herein conveyed a distance of 10.88 feet to a point;

Thence running N 07° 05' 05" W by land of A & M Partners, LLC a distance of 145.54 feet to the point of beginning.

A & M Partners, LLC, its successors and assigns, as holders of the benefited premises under the easement rights granted herein, shall be responsible each spring following snowmelt for the prompt removal from the easement area of any trash or debris (exclusive of sand and grit) inadvertently deposited in the easement area along with snow and ice, and for maintaining in good condition and repair the existing wall immediately adjacent to the westerly sideline of the property herein conveyed.

Support. The retained land of the A&M Partners LLC shall have no obligation to support the premises herein conveyed.

Surface Water Run-Off. New Day Farms, LLC, its successors and assigns, hereby covenant and agree as follows:

(i) to take commercially reasonable efforts not to increase the volume and peak levels of surface water run-off flowing from the property herein conveyed onto the retained land of A & M Partners, LLC above the volume and peak levels that currently exist, and

LTC AUTHORITY - SELLER

- 4. Articles of Association LRC
- 6. Certificate(s) of Incumbency LRC
- 7. Certificates of Good Standing LRC
- 8. Members Resolution LRC

LTC AUTHORITY - BUYER

- 9. Articles of Association RB
- 10. Certificate(s) of Incumbency RB
- 11. Certificates of Good Standing RB
- 12. Members Resolution RB

TITLE INSURANCE DOCUMENTS

- 13. Title Insurance Commitment GWT
- (Loan Policy \$236,250.00 to GSB, Owner's Policy \$315,000.0 New Day Farm, LLC)
- 12. Commercial Parties-in-Possession and Mechanic's Lien Waiver GWT
- 13. Commercial Mortgage Inspection Sketch or As-Built Survey GWT
- 14. Invoice GWT

TRANSFER DOCUMENTS

- 15. Warranty Deed LRC
- 16. RETTR LRC
- 17. RW-2 LRC
- 18. UST Notification LRC
- 19. FIRPTA Affidavit LRC

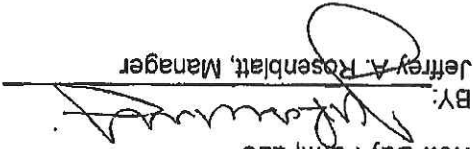
LOAN DOCUMENTS

- 20. Promissory Note (\$236,250.00) GSB
- 21. Mortgage and Security Agreement GSB
- 22. Guaranties of Jeffrey A. Rosenblatt and Debra E. Byers GSB
- 23. Affidavit of Undertaking/Compliance Agreement GWT
- 24. Statement of No Pending Litigation GWT
- 25. IRS Form W-9 for all Borrowers and Guarantors. GWT

ACKNOWLEDGMENT OF RECEIPT OF SETTLEMENT STATEMENT

Borrower: New Day Farm, LLC
Seller: A & M Partners, LLC
Lender: Gotham Savings Bank
Settlement Agent: Gateway Title of Maine, Inc.
(207)553-2310
Place of Settlement: 25 Spring Street, Ste. A
Scarborough, Maine 04074
Settlement Date: September 12, 2013
Property Location: 152 & 156 Sheridan Street
Portland, ME 04101
Cumberland County, Maine

I have carefully reviewed the HUD-1 Settlement Statement and to the best of my knowledge and belief, it is a true and accurate statement of all receipts and disbursements made on my account or by me in this transaction. I further certify that I have received a copy of the HUD-1 Settlement Statement.

New Day Farm, LLC
BY: 
Jeffrey A. Rosenblatt, Manager

A & M Partners, LLC
BY: 
Andrew P. Girard, Manager


WARNING: It is a crime to knowingly make false statements to the United States on this or any similar form. Penalties upon conviction can include a fine and imprisonment. For details see: Title 18 U.S. Code Section 1001 and Section 1010.

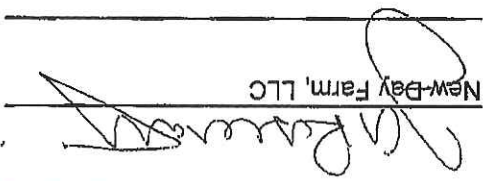
MAINE PURCHASER'S AFFIDAVIT
(Real Estate Licensee's Mechanic's Lien)

Name(s) of Purchaser(s): New Day Farm, LLC
Property Address: 152 & 156 Sheridan Street, Portland, ME

The above-named Purchaser(s) understands that Chicago Title Insurance Company (the Company) has been asked to issue title insurance, for the property referenced above, without exception for mechanics' liens.

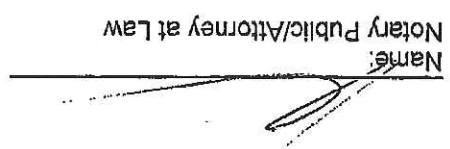
In order to allow the Company to provide such coverage, the Purchaser(s) hereby certifies (with indemnification to the Company) that he/she (they) has (have) not received notice of any lien or potential lien filed or to be filed by a real estate licensee who provided professional services to facilitate the sale of the property described above.

Dated: 9.12.13
Witness: 


New Day Farm, LLC

STATE: MAINE
COUNTY: Cumberland

Personally appeared the above-named Purchaser(s) and subscribed and made oath to the certifications contained herein on this 12th day of Sept, 2013.


Name: _____
Notary Public/Attorney at Law

CHICAGO TITLE INSURANCE COMPANY
MAINE
COMMERCIAL
MECHANICS' LIENS AND PERSONS IN POSSESSION AFFIDAVIT

PROPERTY IS LOCATED AT: 152 & 156 Sheridan Street, Portland, ME 04101

Chicago Title Insurance Company (hereinafter the Company) has been asked to issue a Owner's Policy of Title Insurance which will not take exception to: (a) unrecorded matters which could be ascertained by an inspection of said property or by making inquiry of persons in possession thereof; and (b) mechanics' liens. In consideration of such insurance, and in order to induce the Company to provide such insurance, the undersigned (hereinafter the Indemnitee) agrees to and undertakes the following obligations:

1. Indemnitee agrees to indemnify the Company for any loss, cost or damage, including attorneys' fees, resulting from any mechanics' liens encumbering the property, or from any rights of tenants or parties in possession.

2. Indemnitee represents that he/she/it has no knowledge of any real estate licensee who may assert a lien against the property based on non-payment of professional services rendered by the licensee to facilitate the sale of the property.

3. In the event any lien, claim or action arises as indemnified against herein, is filed, recorded, made or commenced with respect to the property, Indemnitee shall upon written demand cause such lien, claim or action to be removed, terminated, satisfied, released or otherwise disposed of in a form and manner satisfactory to the Company.

4. If within ten (10) days after written demand, Indemnitee has unreasonably failed to cause any lien, claim or action to be removed, satisfied, released or discharged, Indemnitee agrees to reimburse and repay in full any reasonable costs and expenses incurred by the Company as a result of any reasonable action taken by the Company to extinguish such lien, claim or action.

5. Indemnitee further represents that there are no tenants or persons in possession other than the

Dated: Sept. 12, 2013

By: X. Anna Thorne

Witness: _____

STATE OF MAINE
COUNTY OF Lumberland

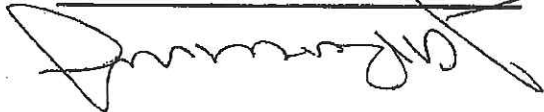
Subscribed and sworn to before me on this 12th day of Sept., 2013.

Name: _____
Notary Public/Attorney at Law

SURVEY DISCLOSURE

I/We, the undersigned, acknowledge that prior to closing, I/We have had the opportunity to have a survey performed on property I/we are purchasing from A & M Partners, LLC situate at 152 & 156 Sheridan Street, Portland, Maine. I/We choose not to have the property surveyed at this time and wish to proceed with the closing without a survey. I/We agree to hold GATEWAY TITLE and Chicago Title Insurance Company harmless from any costs or damages we may suffer resulting from survey issues or issues that may result from an accurate survey of the premises.

DATE: 9/12/13



New Day Farm, LLC

CHICAGO TITLE INSURANCE COMPANY

File#13-06208P

Subject property is located on 152 & 156 Sheridan Street, Portland, Maine, Cumberland County owned by A & M Partners LLC

Now, therefore, the Seller(s)/Owner(s), for the purpose of inducing Chicago Title Insurance Company to issue a loan and/or owner title insurance policy in the transaction, on oath depose(s) and say(s) as follows:

I/We have owned the property now being sold or mortgaged by me/us continuously for 10 years last past, and my/our enjoyment thereof has been peaceable and undisturbed and the title to said property has never been disputed or questioned to my/our knowledge, nor do I/we know of any facts by reason of which any claim to any of said property might be asserted adversely to me/us, and more particularly:

1. No party other than the Seller(s)/Owner(s) is/are in possession of all or any portion of the premises above described under any unrecorded leases, tenancy at will, except _____

2. The Seller(s)/Owner(s) during the time of ownership of the premises above described has/have conveyed no portion of the premises nor done any act or allowed any act to be done which has changed or could change the boundaries of the premises.

3. The Seller(s)/Owner(s) have/have allowed no encroachments on the premises above described by any adjoining land owners nor has/have the undersigned encroached upon any property or adjoining land owners.

4. The Seller(s)/Owner(s) has/have allowed no easements, rights of way, continuous driveway usage, drain, sewer, water, gas or oil pipeline or other rights or passage to others over the premises above described and has/have no knowledge of such adverse rights.

5. The Seller(s)/Owner(s) at present, and for a period of 180 days past, has/have caused no construction, erection, alteration or repairs of any structures or improvements on the premises above cited to be done, nor has/have contracted for any materials to be delivered to the premises for which charges remain unpaid.

6. The Seller(s)/Owner(s) has/have no knowledge of any highways, abandoned roads, lanes, cemetery or family burial grounds, springs streams, rivers, ponds, or lakes bordering or running through the premises.

7. The Undersigned has/have no knowledge of any taxes or special assessments which are not shown as existing liens by the public records other than as shown in the title insurance binder and/or attorney's title opinion.
8. The Undersigned has/have not allowed and know(s) of no violation of any covenants, restrictions, agreements, conditions or zoning ordinances affecting the premises.

Shawn Ford
(Owner/Seller)

(Owner/Seller)

Subscribed and sworn to before me this 12th day of Sept., 2013

Notary Public

Note: If this transaction includes a transfer of title, then Buyer(s) must sign below.

In order to induce Chicago Title Insurance Company to issue a loan and/or owner title insurance policy, the undersigned Buyer(s) of subject property on oath depose and say(s) that I/we have read the contents of the above, have viewed the property, and know of no facts which would contradict the contents of said Affidavit.

Mr. [Signature]
(Buyer)

(Buyer)

Subscribed and sworn to before me this 12th day of Sept., 2013.

Notary Public

FIRPTA AFFIDAVIT

CERTIFICATION WITH RESPECT TO SECTION 1445 OF THE INTERNAL REVENUE CODE

Section 1445 of the Internal Revenue Code provides that a transferee of a United States real property interest must withhold tax if the transferor is a foreign person.

In order to inform the Transferee, NEW DAY FARM, LLC, of the United States real property interests described as 152-158 Sheridan Street, Portland, ME that withholding of tax is not required upon the disposition of United States real property interest by the Transferor, A & M PARTNERS, LLC, the undersigned, hereby certifies the following:

1. Transferor is not a nonresident alien for purposes of U.S. income taxation, foreign partnership, foreign trust, foreign estate or foreign person (as such terms are defined in the Internal Revenue Code and Income Tax Regulations).

2. The Transferor's Federal Tax Identification Number is 27-0337429.

3. The Transferor's address is 380 Warren Avenue, Portland, ME 04103.

4. Transferor understands that this certification may be disclosed to the Internal Revenue Service by Transferee and that any false statement contained herein may be punished by fine, imprisonment, or both.

Under penalty of perjury, I declare that I have examined this certification and, to the best of my knowledge and belief, it is true, correct and complete.

Date: September 12, 2013

A & M PARTNERS, LLC

By: Andrew Linnell
Name: Andrew Linnell
Title: Manager

NOTICE PURSUANT TO 38 M.R.S.A. § 563 (6)

A & M PARTNERS, LLC as seller of the real property located at 152-158 Sheridan St, Portland, Maine (the "Premises"), hereby files this written notice with NEW DAY FARM, LLC as buyer of the Premises, in accordance with 38 M.R.S.A. § 563 (6). (Check A or B, as appropriate, and if B is checked, complete the information in)

A. To the best of my knowledge, no underground storage facility for the storage of oil or petroleum products exists on the Premises.

B. An underground oil storage facility exists on the Premises.

B1. The State of Maine Registration numbers for all oil storage facilities on the Premises are as follows:

No. _____
No. _____

(use additional space at bottom of this page if necessary)

B2. (check one) The oil storage facilities have have not been abandoned in place (taken out of service for more than 12 months), pursuant to 38 M.R.S.A. Section 566-A.

B3. The facility is subject to regulation, including registration requirements, by the Maine Department of Environmental Protection under 38 M.R.S.A. §§ 561 et seq.

C. To the best of my knowledge, underground piping exists for any above ground oil or petroleum storage facility exists on the Premises.

If such underground piping exists on the Premises, the Maine DEP required registration numbers are as follows: use additional sheets as required:

No. _____
No. _____

Date: September 12 2013

Seller
A & M PARTNERS, LLC

By: _____
Its Manager

Acknowledgment of Receipt

NEW DAY FARM, LLC

By: [Signature]
Its _____

IMPORTANT NOTICE ABOUT PROPERTY TAXES FOR BUYERS AND

SELLERS

13-06208P ROSENBLATT

1. UNDER MAINE LAW PAYMENT OF PROPERTY TAXES IS THE RESPONSIBILITY OF THE PERSON WHO OWNS THE PROPERTY ON APRIL 1ST.
2. THE BUYER AND SELLER MAY AGREE TO DIVIDE THE TAXES BETWEEN THEM, BUT IF ANY PART OF THE TAXES IS NOT PAID, A LIEN WILL BE FILED IN THE NAME OF THE PERSON WHO OWNED THE PROPERTY ON APRIL 1ST.

PLEASE BE AWARE

IF YOU ARE THE SELLER - EVEN IF YOU NO LONGER OWN THE PROPERTY, A LIEN MAY HAVE A NEGATIVE EFFECT ON YOUR CREDIT RATING.

IF YOU ARE THE BUYER - IF A LIEN IS FILED IN THE SELLER'S NAME, THE MUNICIPALITY MAY FORCLOSE ON YOUR PROPERTY UNLESS THE TAXES ARE PAID.

3. MUNICIPALITIES HAVE DIFFERENT FISCAL YEARS AND TAX DUE DATES.

4. MAKE SURE YOU UNDERSTAND THE BUYER'S AND SELLER'S OBLIGATIONS WITH REGARD TO PROPERTY TAXES AND WHAT MAY HAPPEN IF TAXES ARE NOT PAID AS AGREED.

5. IF YOU FEEL A LIEN HAS BEEN FILED INCORRECTLY IN YOUR NAME;

- A. OBTAIN A COPY OF THE LIEN FROM THE REGISTRY OF DEEDS; AND
- B. DISCUSS THE MATTER WITH YOUR MUNICIPALITY.

IF YOUR CREDIT REPORT IS INCORRECT, CONTACT THE BUREAU OF CONSUMER CREDIT PROTECTION AT 1-800-DEBT-LAW TO DETERMINE WHAT REMEDIES ARE AVAILABLE TO YOU TO CORRECT YOUR CREDIT REPORT.

THESE POTENTIAL TAX LIEN PROBLEMS CAN BE AVOIDED BY PROVIDING THAT FUNDS ARE SET ASIDE IN ESCROW AT THE TIME OF CLOSING TO ENSURE THAT PROPERTY TAXES WILL BE PAID.

DATE: 9-12-13

SELLER: *[Signature]*
A & M Partners, LLC

BUYER: *[Signature]*
New Day Farm, LLC

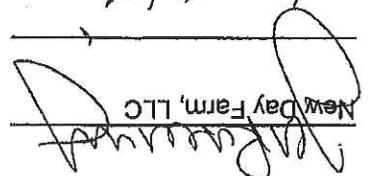
SELLER: _____
BUYER: _____

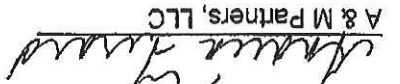
HOLD HARMLESS

RE: TAX BILL & FINAL WATER/SEWER

The undersigned, acknowledge that the property taxes for the property located at 152 & 156 Sheridan Street, Portland Maine 04101, MAP 12 BL P LOT 21 & 17 will be due . It is the responsibility of the Buyer(s) to pay the Tax Bill. We acknowledge that if the Tax Bill is not paid, a Lien will be filed against the property in the name of the seller. We will hold Gateway Title and Chicago Title Insurance Company harmless of any claim thereto.

Dated: 09/12/13


New Day Farm, LLC


A & M Partners, LLC

TAX ADJUSTMENT

The following is an explanation of the adjustment of the 2013-2014 real estate taxes at the time of closing:

Annual Taxes	Acreage
\$837.36	0.22
\$925.86	0.27
\$1,763.22	0.49

Map 12, Lots
P17
Map 12 Lot P21

Buyer's Acreage	Seller's Acreage
48.98%	51.02%
0.24	0.25

Seller's Retained land
Prorate land sold

Seller
\$899.60
\$175.09

Buyer
\$688.53
\$688.53

If it cannot be determined at this time what the upcoming taxes will be, we have made the above adjustment based on figures available to us at closing.

If there is an increase or decrease in the upcoming tax bill, the undersigned parties agree that they will re-adjust the taxes, based upon the actual amount due, and the adjustment will be made directly between themselves and they will not look to Gateway Title to make the same. The tax bill will be issued to the record titleholder as of 04/01/13, and if the buyer is not the owner as of 04/01/13 the buyer may wish to obtain a duplicate tax bill to avoid delay in paying taxes. THE BUYER SHALL BE RESPONSIBLE FOR MAKING THE NEXT TAX PAYMENT. Furthermore, it is understood by the undersigned that it is the responsibility of the buyers and sellers to prorate any water and sewer charges and any utility bills such as electricity and/or heating fuel bills. The undersigned specifically exonerate and hold harmless the Lender or Gateway Title from any responsibility in making any such proration or in payment of any such bills.

We have read and understand the above and acknowledge receipt of the same.

WITNESS

SELLER

SELLER

SELLER

SELLER

BUYER

BUYER

BUYER

WITNESS

BUYER

**NOTICE OF AVAILABILITY
OF OWNER'S TITLE INSURANCE**

TO: New Day Farm, LLC

Buying property identified as 152 & 156 Sheridan Street, Portland, ME

A Mortgagee's Policy of title insurance insuring the title to the property you are buying is being issued to your mortgage lender, but that policy does not provide title insurance coverage to you.

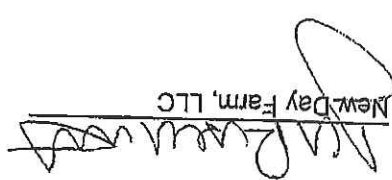
You may obtain an Owner's Policy of title insurance, which provides title insurance to you. If you request it at this time the total premium for both policies will be \$995.00. This is an additional \$661.50 above the cost of the Lender's Policy.

If you are uncertain as to whether you should obtain an Owner's Policy of title insurance, you are urged to seek independent advice.

I/We do request an Owner's Policy of title insurance.

I/We do not request an Owner's Policy of title insurance.

Dated: 9-12-13



New Day Farm, LLC

Financial Capacity Letter

ATTACHMENT E



October 18, 2013

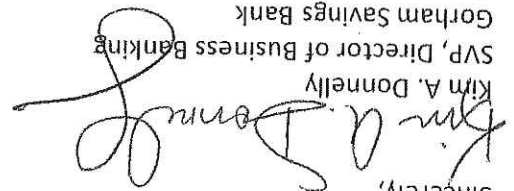
RE: New Day Farm, LLC/Jeffrey Rosenblatt

To Whom It May Concern,

Jeffrey Rosenblatt d/b/a New Day Farm, LLC has an established Banking relationship with Gorham Savings Bank. Based on the information provided to the Bank, he has the financial capacity to fund the proposed project at **152-156 Sheridan Street, Portland ME**. Final approval of any Bank financing is subject to complete underwriting of the project budget and receipt of City permits and approvals.

If you have any further questions, I can be reached at 207-222-1499 or kdonnelly@gorhamsavingsbank.com.

Sincerely,


Kim A. Donnelly
SVP, Director of Business Banking
Gorham Savings Bank

3. UTILITIES

3.1 OVERVIEW

The site is not currently served by existing utilities; however, utilities including water, sewer, power, and communications are nearby and will be extended to the site. The Development Team continues to work closely with utility representatives and City officials to design adequate utility systems to serve the project. Capacity availability letters have been requested from each utility and will be provided to the Planning Authority as they are received. The goal is to supply "Ability to Provide Service" letters from each utility provider prior to the project's public hearing before the Planning Board. The following sections outline conditions and system improvements that are contemplated for each utility.

3.2 WATER SUPPLY

The proposed project will receive its water supply from the Portland Water District's public water supply system. FST sent a letter to the Portland Water District requesting that the Water District confirm their ability to provide water supply to the proposed development. In addition, we are currently exchanging information with the District prior to the release of a capacity availability letter. To date, the District has verbally expressed a positive finding for the ability to provide water service to the site.

The site will be served by a 6" fire service main from Sheridan Street. A 2" domestic service line will serve the building. We note that there are existing fire hydrants along Sheridan Street, thus providing ample coverage in this regard.

3.2.1 TOTAL PROJECT WATER USAGE

The total average daily water demand for the proposed project was estimated using commonly accepted flow per unit rates. These values are as follows:

4 Units at 180 gpd/unit =	720 gpd
1 Unit at 270 gpd/unit =	270 gpd
5 Parking Spaces at 1 gpd/space =	5 gpd
Total	995 gpd

3.3 WASTEWATER DISPOSAL

The proposed project will be connected to the Portland Water District's and City of Portland's wastewater collection and conveyance systems. The City of Portland Wastewater Capacity Application has been completed and forwarded to Mr. Frank Brancheley.

The overall project is anticipated to generate an average daily flow of approximately 995 gpd. Based on the existing sewer systems in the area, there appears to be adequate capacity to handle these projected flow amounts.

Attachment F – Correspondence with Portland Water District
Attachment G – Correspondence with Central Maine Power and Utiliti

3.6 ATTACHMENTS

FST has contacted Central Maine Power (CMP) regarding their ability to provide service to the development site. CMP currently maintains overhead utilities in the area and they expect to continue service to the site through new underground primary service from the existing utility pole opposite the site. The current proposal is to extend a new underground secondary service to a meter panel. The applicant will continue to work with CMP for the delivery of primary power into the project.

3.5 ELECTRICITY SUPPLY

FST has contacted Northern Utilities regarding their ability to provide service to the project site. Currently, they maintain a distribution main in Sheridan Street east of the site. Our preliminary discussions have included the proposal to extend the gas supply main into the site. The development team continues to coordinate with the gas supplier as expected gas loads are refined. A response letter from Utiliti is contained in Attachment G.

3.4 NATURAL GAS SUPPLY



FAY, SPOFFORD & THORNDIKE
 778 Main Street, Suite 8
 South Portland, ME 04106
 Toll Free: 800.835.8666
 Main: 207.775.1121
 Fax: 207.879.0896
 www.fstinc.com

January 2, 2014

Mr. Rico Spugnardi
 Portland Water District
 225 Douglass Street
 PO Box 3553
 Portland, ME 04104-3553

**Subject: Proposed Housing Development
 156 Sheridan Street, Portland, Maine
 Request for Ability to Serve Letter**

Dear Mr. Spugnardi:

Our office has been retained by New Day Farm LLC to assist with permitting a 5 unit housing project on Sheridan Street in Portland. The project involves new construction of a multi-unit building on undeveloped land. The Architects/Mechanical Designers are assessing the project's water supply needs including sprinkler design. Per our email exchanges of 10/24/13 and 11/01/13, we understand the District is amenable to an 8" water main extension along Sheridan Street to serve the site. A new water service will need to be installed for the proposed building. We would appreciate any fire flow you can provide for the area.

The following wastewater flow projections are based on the proposed unit sizes and the Maine Subsurface Wastewater Disposal Rules:

Unit Type	Number of Units	Wastewater Flow	Total Flow
Two Bedroom	4	90 gals/day/bedroom	720 gpd
Three Bedroom	1	90 gals/day/bedroom	270 gpd
Parking Spaces	5	1 gals/day/space	5 gpd
Total	5		995 gpd

Based on this modest amount of flow, we trust that the existing water supply system has adequate capacity to serve this project. We are seeking to confirm capacity availability to serve the project as well as any information on connection fees, impact fees, etc. that may be involved with our proposed improvements and connection(s). We are in the process of submitting our Final Site Plan Application to the City Planning Department and would appreciate your attention to this request in a timely manner.

Correspondence with Central Maine Power and Utili

ATTACHMENT G



January 2, 2014

Mr. Jamie Cough
Central Maine Power
162 Canco Road
Portland, ME 04103

**Subject: Sheridan Street Apartments – Portland, Maine
Request for Ability to Serve Letter**

Dear Mr. Cough:

Our office is working as a consultant to New Day Farm LLC in the development of a 5 unit apartment building at 152-156 Sheridan Street in Portland. The project site is located on an undeveloped parcel located opposite Pole #20 on Sheridan Street. On behalf of the developer, we are requesting a letter affirming that the proposed project can be served by the CMP supply system.

The project will consist of the development of the site for a multi-unit residential living facility including up to 5 living units. The intent is to extend an underground service from a pole mounted transformer under Sheridan Street to a central electrical panel for the building. Communications and cable will also be extended within this service run within separate conduits.

We trust that the existing power supply system has adequate capacity to serve this project. We are in the process of completing the Final Site Plan Application for a submission to the City Planning Staff and we would appreciate your confirmation of site conditions.

We look forward to your review of this request and a summary of your findings and any updated cost projections for the project you may be able to provide. Please include in your assessment for any costs that could be associated with the following:

- Upgrades to nearby CMP infrastructure
- All onsite overhead and underground improvements
- Impact fees or connection fees
- CMP engineering costs

Mr. Jamie Cough
January 2, 2014
Page 2

If you have any questions regarding this letter, please contact our office.

Sincerely,

FAY, SPOFFORD & THORNDIKE



Stephen R. Bushey, P.E.
Senior Engineer

SRB/smk

c: David Lloyd, Archetype, P.A.

Attachment

R:\3041-sheridan Street\Admin\Correspondence Out\Utilities\2014.01.02-Cough-CMP ABS.doc



December 3, 2013

Mr. Todd Chase
Viridis Engineering
20 Mechanic Street
Westbrook Maine 04038

Re: 152 Sheridan Street, Portland Maine

Dear Mr. Chase:

Thank you for your interest in using natural gas for the above referenced project. Unitil has natural gas in the vicinity of this project to provide service. To service this property will require a main extension of roughly 200 feet. The evaluation to complete the design, costs and determining if any customer contribution will be needed is in process and will be completed shortly. Unitil welcomes the opportunity for further discussions regarding this project.

If you have any further questions or require additional information, please contact me directly at (207) 541-2536 or at Mathers@unitil.com.

Sincerely,

Bridget L. Harmon (Mathers)
Business Development Representative
Unitil Corporation
(o) 207-541-2536 (f) 207-541-2586

4. FIRE SAFETY

4.1 OVERVIEW

FST has completed the Fire Department checklist and performed ongoing coordination with Fire Department representatives and City Planning officials. The accompanying memorandum outlines our findings with respect to compliance with the City's Public Safety standards as set forth in the City's Technical Manual Section 3 – Public Safety Standards.

Generally, the site access conditions will include three sided building access from Sheridan Street. A fire hydrant is located on Sheridan Street near the site thus offering ample fire protection support. The proposed building will be fully sprinkled and code compliant to current standards.

Additional fire safety review and building related fire code evaluation and compliance evidence will be provided as part of the building permit process.

4.2 ATTACHMENTS

Attachment H – NFPA 1 Review to Access and Other Fire Department Issues Memo

NFPA 1 Review to Access and Other Fire Department Issues Memo

ATTACHMENT H



FAY, SPOFFORD & THORNDIKE
 778 Main Street, Suite 8
 South Portland, ME 04106
 Toll Free: 800.835.8666
 Main: 207.775.1121
 Fax: 207.879.0896
 www.fstinc.com

January 3, 2014

Captain Chris Pirone
 City of Portland Fire Department
 380 Congress Street
 Portland, ME 04101

Subject: Sheridan Street Apartments
 Fire Department Site Review Checklist

Dear Captain Pirone:

In accordance with instructions in the City's Site Plan Review packet, please find enclosed the drawing necessary for your review of the proposed Sheridan Street apartment project. We have listed each item in your checklist below, followed by our response.

1. Name, address, telephone number of applicant.
 New Day Farm, LLC
 11 McQuillians Hill Drive
 Gorham, ME 04038
 Attn: Jeffrey Rosenblatt
2. Name, address, telephone number of architect.
 Project Architect:
 Archetype, PA
 48 Union Wharf
 Portland, ME 04101
 Attn: David Lloyd, P.E.
 207-772-6022

Building	IBC Code	NFPA Code
New Construction	R-2 – Type 5B	Fully sprinkled per NFPA 13R

3. Proposed uses of any structures (NFPA and IBC classification).*

* to be confirmed by Archetype Architects

4. Square footage of all structures (total and per story).
 - First Floor – Residential/garage
 - Second Floor – Residential
 - Third Floor – Residential

TOTAL
 4,464 SF
 4,678 SF
 2,481 SF
11,623 SF

Per NFPA 1 – Chapter 18.2.3.3.1, there will be public street access within 50 ft. of at least one exterior door. Per NFPA 1 – Chapter 18.2.3.2.2.1, all first story floors shall be located not more than 450 ft. from a Fire Department access road.

The project site is located in a downtown urban condition and is fronted by Sheridan Street. The following street widths are currently available:

<u>Street</u>	<u>Width</u>
Sheridan Street	26 ft.

18.2 Fire Department Access:

NFPA 1 – Chapter 18 Fire Department Access and Water Supply

10. *A code summary shall be included referencing NFPA 1 and all fire department technical standards.*
9. *Access to all structures (min. 2 sides).*
The accompanying site plan depicts the site access conditions from Sheridan Street.
8. *Water main(s) size and location.*
The site will be served by a 6" sprinkler service of Sheridan Street. The building is expected to have internal sprinkler risers and a Siamese fire pump connection on the street side of the building.
7. *Hydrant locations.*
Hydrants are currently located on Sheridan Street just southeast of the site and also on the corner of Walnut and Sheridan Street.
6. *Proposed fire protection of all structures.*
The building will have a sprinkler system with additional protection per code. Fire flows and requirements for system storage or booster pumping are subject to the fire system design which will be performed prior to the request for a building permit.
5. *Elevation of all structures.*
The proposed building height is approximately 33 feet above street grade.

City of Portland Technical Manual – Section 3 Public Safety

3.4.1 Every dead-end roadway more than one hundred fifty (150') feet in length shall provide a turnaround at the closed end. Turnarounds shall be designed to facilitate future street connectivity and shall always be designed to the right (refer to Figure I-5).

Supporting Evidence: Not applicable

3.4.2 Where possible, developments shall provide access for Fire Department vehicles to at least two sides of all structures. Access may be from streets, access roads, emergency access lanes, or parking areas.

Supporting Evidence: As depicted on the site plan, the proposed building layout provides for minimum two sided access to the structure.

3.4.3 Building setbacks, where required by zoning, shall be adequate to allow for emergency vehicle access and related emergency response activities and shall be evaluated based on the following factors:

- Building Height.
- Building Occupancy.
- Construction Type.
- Impediments to the Structures.
- Safety Features Provided.

Supporting Evidence: The proposed development layout has contemplated emergency access conditions and provides for safe and efficient access along the public street for emergency vehicles.

3.4.4 Fire Dept. access roads shall extend to within 50' of an exterior door providing access to the interior of the structure.

Supporting Evidence: The building will be provided with an exterior door that will be within 50' of a Fire Department access route, namely Sheridan Street.

3.4.5. Site access shall provide a minimum of nine (9) feet clearance height to accommodate ambulance access.

Supporting Evidence: A minimum of 9 ft. vertical clearance will be provided below any overhead signage or utilities entering the site.

3.4.6. Elevators shall be sized to accommodate an 80 x 24 inch stretcher.

Supporting Evidence: Elevator design has not yet commenced but it is understood that this requirement must be met.

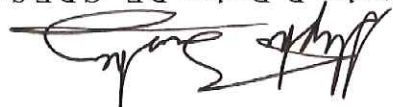
Captain Chris Pirone
January 3, 2014
Page 4

3.4.7. All structures are required to display the assigned street number. Numbers shall be clearly visible from the public right of way.

Supporting Evidence: The applicant will work with the City's Public Services Division to assign street addresses and numbering to meet City Standards.
If you need any further information, please contact our office.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.



Stephen R. Bushey, P.E., C.P.E.S.C.
Senior Engineer

SRB/smk

Attachments: Drawing C-3.0 Site Layout & Utility Plan

c: Helen Donaldson, City of Portland Planning Department
David Lloyd, Archetype, PA

R:\3041 Sheridan Street\Admin\Permitting\City of Portland - Level III Site Plan Application\2014.01.03 Pirone-Fire Dept Review.doc

5. CONSTRUCTION MANAGEMENT PLAN

The following statement is made in accordance with the City of Portland Code of Ordinances, Chapter 14 Land Use, Section 14-525(c)(9).

5.1 CONSTRUCTION MANAGEMENT PLAN

New Day Farm, LLC is seeking to commence construction during winter 2014 and complete the work by late 2014. The residential development construction will involve street openings, new interior building construction and site work. The accompanying construction plan outlines the anticipated timeline and sequence of activities.

5.2 ATTACHMENTS

Attachment I – Construction Management Plan

Construction Management Plan

ATTACHMENT I

Prepared for:
Jeff Rosenblatt and Deb Byers
11 McQuillians Hill Rd
Gorham, Maine 04038

Sheridan Street Project Portland, Maine Construction Management Plan



Great Falls Construction
25 Years of Service

Sheridan Street Project

Construction Management Plan

The project management team and the field supervision team will work together onsite as well as through the main office. This will ensure clear and timely communication within the Great Falls team and seamless coordination of project activities. Project management will be overseen by the Operations Manager working out of the Great Falls home office in Gorham, Maine. The Site Project Manager/Superintendent will be on site to oversee and manage the project during all phases of construction.

The work involves new construction of a multi-unit residential complex on the Sheridan Street lot in Portland with parking off of Sheridan Street per plans submitted by the design team.

Key issues to be addressed include:

- Site mobilization and construction entrance set up.
- Traffic management along Sheridan Street.
- Temporary fencing, pedestrian access and construction site signage for public safety and continued accessibility along Sheridan Street.
- Parking for workforce.
- Erosion control.
- Coordination of material deliveries.
- Material storage and laydown areas.
- Waste management.
- Management of excavated materials.
- Snow removal if necessary.
- Restoration of the site including loaming, seeding, mulching and landscaping.

Great Falls Construction will work with the City of Portland, owner and other entities to coordinate with the various off site construction activities including all work within the public right of ways. All traffic control, detours and signage will be in accordance with city requirements.

6. SOLID WASTE

6.1 INTRODUCTION

This section of the application provides the estimates of solid waste generation, considers the reductions of the waste through the use of recycling, provides information on waste projections during construction of the development, and outlines the planned procedures for the transport and disposal of solid wastes that will be generated by the operation of the proposed Sheridan Street development.

The following volumes of solid waste associated with the construction and operation of the development have been estimated:

- 25 cubic yards of stumps and grubbing from the construction of the proposed development, associated site work improvements, access drive, and landscaping.
- 16 cubic yards of construction debris related to the new building construction activities (excluding volume of recycled materials).
- 170 pounds per week of solid waste will be generated by the operations of the development¹. After the recyclable material has been removed, it is estimated that the project will generate 2.2 tons of recyclable waste and 2.2 tons of non-recyclable waste per year.

6.2 SOLID WASTES GENERATED DURING CONSTRUCTION OF THE SITE

The solid wastes generated during the development site work will include minor packaging materials and minor amounts of solid waste that can be processed with the waste stream of the General Contractor for the building.

The applicant will retain a General Contractor to perform earthwork and land clearing on site. Land clearing will include minor building demolition, site cleanup, vegetation clearing, grubbing and topsoil removal. Removed topsoil may be screened and may be reused for onsite landscaping purposes if acceptable based on environmental conditions.

The Contractor will be permitted to dispose of trees and limbs by removing to an offsite location.

6.3 SOLID WASTE GENERATED DURING THE CONSTRUCTION OF THE PROPOSED BUILDING

The contract provisions and the wastes generation estimates for the proposed buildings will be as follows:

- The construction contract will provide a goal for recycling of solid waste of 80%.
- The construction contract will require a plan for recycling and the location of recycling facilities to be identified prior to any solid wastes removal from the site.
- Construction Debris and Waste – 16 c.y. after recycling.

¹ Based on Table 14-1 of the CEQR Technical Manual, January 2012 Edition; Source: New York City Department of Sanitation. Waste rate = 17 lbs/person/week.

Attachment J – Computations of Types and Volumes of Solid Wastes for Construction Project

6.8 ATTACHMENTS

The applicant will be responsible for the maintenance of the minor storm drain systems within the site. They will be responsible for the long-term maintenance of the stormwater management collection systems and the associated infrastructure including the routine maintenance of the roof drain filter system. Given the limited amount of drainage infrastructure on the site, these volumes are considered to be insignificant.

6.7 GRIT/SEDIMENT REMOVAL

The developer anticipates use of cleaners, solvents, etc. will be within normal household thresholds thus requiring no special measures for storage or use.

6.6 HAZARDOUS AND SPECIAL WASTES

The development will use fluorescent light bulbs that do not have PCB ballasts. The electrical switches for the project will be specified to not contain mercury. Fluorescent bulbs and other universal wastes will be taken to Riverside Recycling Facility in Portland.

6.5 FLUORESCENT LIGHTS AND FIXTURES

The normal waste from the 5 unit development will be containerized and set curbside for routine pickup by the City's Waste Disposal Services. Unit occupants will participate in the City's recycling efforts as is normal for residential properties.

6.4 SOLID WASTE GENERATED FROM THE OPERATION OF THE DEVELOPMENT

The collection, transfer, disposal, and payment of all fees for solid wastes shall be the responsibility of the Contractor, with all waste transferred by a licensed non-hazardous waste transporter:

Hazardous Materials:	WMI Crossroads Facility in Norridgewock, Maine
Mixed Construction Material:	Riverside Recycling Facility in Portland, Maine; WMI Crossroads Facility in Norridgewock, Maine or Juniper Ridge in Old Town, Maine (Contractor option)
Separated Wood Construction Debris:	KTI Biofuels in Lewiston, Maine
Separated Metal/Ferrous Material:	One Steel Recycling Inc. in Arundel or Oakland, Maine

Unless otherwise directed by the City, the waste stream will be transported and disposed of at the following locations:

**Computations of Types of Volumes of Solid Wastes
for Construction Project**

ATTACHMENT J

SOLID WASTES COMPUTATIONS AND DISPOSAL

A. SITE CONSTRUCTION:

- Type: Wood Waste from Clearing Operations
- Basis of Quality Computations: By Inspection
- Site Construction Miscellaneous Areas Onsite

Location	Area to be Cleared	Rate per Acre	Yield
Developed yard area	.25 acres	100 cubic yards per acre	= 25 c.y.
Total			= 25 c.y.

Disposition:

Trees: Cut above stump line. Chip and haul to approved offsite location or use on-site as mulch.

Stumps: Provide the Contractor the option in the construction documents to chip on site and use for erosion control mix, or haul to an approved disposal area.

Other Wastes Associated with Other Site Construction:

Cardboard from packaging etc.: Quantity should be limited. Construction documents will require a recycling program. Specify a goal of 80% recycling. All other to be placed in a separate dumpster on the site paid for and designated for Contractor. Contractor to haul to the Riverside Recycling Facility, or to the WMI Crossroads facility in Norridgewock, Maine.

B. NEW BUILDING CONSTRUCTION:

Basis of Estimate: 10 c.y./1,500 s.f. of finished space

Area: Approximately 11,589 square feet

Solid Waste: Approximately 78 c.y.

Set a goal in the construction documents to require segregation of cardboard and paper with a goal of 80%; segregation of metals with a goal of 85%.

Total: 78 c.y. before recycling

Net: 16 c.y. if 80% of the material is recycled

Require Contractor to: Provide multiple 30 c.y. dumpsters. Haul to facilities identified in Section 8.2 with shipping manifest. The Contractor should identify recycling methods and sites prior to construction.

Disposition:

Assume 10 percent is concrete which can be sent to the approved aggregate recycling facilities operated by Shaw Bros. or R.J. Gronlin and Sons for processing into recycled aggregate.

Of the remaining 90 percent, assume 70 percent is wood or metal which can be transported to KTI Biofuels in Lewiston (for wood) or One Steel Recycling in Oakland, Maine for metals.

This will leave about 17 cubic yards of mixed construction debris that should be hauled to the Riverside Recycling Facility in Portland, WMI Crossroads facility in Norridgewock, Maine or the Juniper Ridge Facility in Old Town, Maine.

Require Contractor to: Provide dumpsters designated by material type. The contractor should identify recycling methods and sites prior to construction.

All haulers must have a current non-hazardous waste haul license. The Contractor shall provide the names of the haulers 10 days prior to removal of any demolition debris or construction debris from the site.

7. CONFORMITY WITH APPLICABLE DESIGN STANDARDS

The following statement is made in accordance with the City of Portland Code of Ordinances, Chapter 14 Land Use, Article V Section 14-526.

7.1 OVERVIEW

This project conforms with all the applicable design standards of Section 14-526 as demonstrated in the following narrative.

(a) Transportation Standards

1. Impact on Surrounding Street Systems:

The development will fit in with the existing street system as it will use a new curb cut off on Sheridan Street. Based on the number of residential units the project is expected to have an insignificant impact on traffic in the neighborhood.

2. Access and Circulation:

a. Site Access and Circulation.

(i) The development provides access via Sheridan Street. Door controlled access will be provided at each end of the building and ample turning movement is provided at the street entrance. Internal circulation has been reviewed and is highlighted by the turning template figures contained in Attachment K to this section. The applicant is requesting a waiver from the City standards for a 24' wide aisle width and also a waiver to allow parking spaces to be 8'-2" wide.

(ii) Access and egress have been designed to avoid conflicts with existing turning movements and traffic flows.

(iii) The site does not feature drive up services as mentioned in this requirement.

b. Loading and Servicing.

(i) Not required

c. Sidewalks.

(i) Sidewalks have been provided to connect to the sidewalks on Sheridan Street. All sidewalk improvements shall conform to the City of Portland Technical Manual as shown on the project design drawings.

(ii) The sidewalk on Sheridan Street appears to be in satisfactory condition and does not require any major improvements beyond repairs needed for the utility installations.

3. Access and Circulation:
 - a. The development consists of fewer than twenty (20) dwelling units therefore is not subject to Public Transit Standards.
 - b. A new Transit stop is not proposed.
 - c. A new transit stop is not proposed based on the close proximity of nearby transit stops.
 - d. Waiver: The applicant requests a waiver of the transit facility requirement, if necessary.
4. Parking:
 - a. Location and Required Number of Vehicle Parking Spaces:
 - (i) The applicant is providing parking on a 1 space per residential unit ratio which satisfies Section 14-332 (a) (4) of the code.
 - (ii) The applicant has not prepared a TDM strategy.
 - (iii) The applicant proposes the amount of parking which is appropriate for the anticipated uses of this site.
 - (iv) Parking spaces and aisles are adequate to meet the development needs but do require waivers from the Technical Standards as the proposed dimensions are slightly less than specified in the Technical Manual.
 - (v) The parking garage has been designed to withstand site conditions. The parking space will be paved and graded to drain to a formal drainage system inside the garage that will be tied into the building's plumbing system.
 - b. Location and Required Number of Bicycle Parking Spaces:
 - (i) The project will include interior bicycle storage for each unit.
 - c. Motorcycles and Scooter Parking:
 - (i) The project does not provide designated motorcycle/scooter parking in the parking structure facility.
 - d. Snow Storage:
 - (i) Snow storage management will employ two strategies:
 1. On-site snow storage around the perimeter of the site.
 2. Snow removal and offsite storage. Generally speaking the nature of the proposed site use precludes the need for significant snow removal.

5. Transportation Demand Management (TDM):
 - a. A TDM plan is not required for the project.
- (b) Environmental Quality Standards
 1. Preservation of Significant Natural Features:
 - a. The existing site retains no prominent significant natural features therefore no issue related to the preservation of these features applies.
 - b. The applicant is not requesting a waiver from this standard.
 2. Landscaping and Landscaping Preservation:
 - a. Landscape Preservation.
 - (i) The site's existing tree population is limited so there is no formal tree preservation proposed. The applicant is proposing a landscape plan to provide limited buffering and to improve aesthetics.
 - (ii) Not applicable
 - (iii) Not applicable
 - (iv) The applicant will require a waiver from this standard, if applicable.
 - b. Site Landscaping.
 - (i) Landscaped Buffers:
 - (a) There are no observable service or loading areas.
 - (b) The development will be designed to meet the understory planting requirements of Section 4 of the Technical Manual.
 - (c) Not applicable.
 - (ii) Parking Lot Landscaping:
 - a) All parking is interior of the building therefore no parking lot planting is required.
 - b) Not applicable.
 - c) Not applicable.
 - (iii) Not applicable.

- a. The site has been designed to promote safe and inviting residential access. Controlled access into the interior parking spaces has been designed into the site plan through the use of overhead door system.
 - b. No changes to emergency access conditions within the surrounding streets is proposed.
 - c. Fire hydrants are located within the adjacent street system. The new building will be fully sprinklered.
2. Public Safety and Fire Prevention:

- a. The project has been designed to be consistent with the City's Zoning Ordinance and off-site infrastructure.
 - b. Not applicable.
1. Consistency with City Master Plans:

(c) Public Infrastructure and Community Safety Standards.

- a. The project will be connected to the public sanitary sewer system which is adequately sized for the project flows.
 - b. The project is serviced by both a public wastewater system and public drainage system. The project will not pose a risk of groundwater contamination.
 - c. N/A
 - d. The project is not located in a watershed of an urban impaired stream as listed by the MeDEP.
 - e. The Stormwater Management Plan will meet the requirements and goals stated in Section 5 of the Technical Manual. The applicant proposes to connect the small roof area of the building into the City's drainage system in the street which appears to have adequate capacity.
 - f. The project is not located in a watershed of an urban impaired stream as listed by the MeDEP.
3. Water Quality, Stormwater Management and Erosion Control:
- a. Stormwater:
 - (i) Stormwater draining onto the site from adjacent properties is very limited. No changes to these offsite flow regimes is anticipated.
 - (ii) The project will not adversely impact adjacent lots or the City street system.
 - (iii) The project will not adversely impact adjacent lots or the City street system.
 - (iv) The project will not adversely impact adjacent lots or the City street system.

1. Massing, Ventilation and Wind Impact:
 - a. The bulk, location and height of the proposed building have been designed to not result in adverse impacts to abutting properties. The elevations depicting building massing are enclosed in the site plan package.
 - b. HVAC venting is proposed to be directed to the building roof and directed away from public spaces.
2. Shadows:
 - a. The development is located in the B-2b Zone and this standard is not applicable.
3. Snow and Ice Loading:
 - a. The proposed buildings will be designed and located such that accumulated snow and ice will not fall onto adjacent properties or public ways.
4. View Corridors:
 - a. The project site is located outside the Downtown Vision View Corridor Protection Plan.
5. Historic Resources:
 - a. The development is not located in a historic district, historic landscape district or City designated landmark.
 - b. The development is not located adjacent to or within 100 ft. of a designated landmark, historic district, or historic landscape district.

(d) Site Design Standards.

3. Availability and Adequate Capacity of Public Utilities:
 - a. The applicant will secure letters from all applicable utilities stating their ability to serve this project. The project will require new utility service infrastructure to serve the new buildings.
 - b. All on site electrical lines will be underground.
 - c. All new utility infrastructures will meet the provisions of the Technical Manual.
 - d. The project will require a new service connection to the sewer system in Sheridan Street
 - e. The sanitary sewer collection system will be designed to meet all applicable sections of the Technical Manual. A stormwater management system is not required based on the project size.
 - f. The project will use an interior trash room to store trash and recyclables temporarily until waste containers are set street side for weekly pickup by City forces.

Attachment K – Turning Template Figures
Attachment L – Lighting Catalog Cuts

7.2 ATTACHMENTS

a. The project is designed to be a high density development with multiple story building, interior parking structures and attractive public space.

9. Zoning Related Design Standards:

(iiii) All street and wayfinding signage shall meet the requirements of the Manual on Uniform Traffic Devices (MUTCD) and Division 22 of the City Code.

approval.

(ii) Proposed commercial signage is still being designed and subject to a condition of

(i) The project is not located in a historic district or subject to Article IX.

a. All street and wayfinding signage shall meet the requirements of the Manual on Uniform Traffic Devices (MUTCD) and Division 22 of the City Code.

8. Signage and Wayfinding:

The project noise levels will be designed to meet the permitted levels as outlined in the B-2b Zone. All HVAC and mechanical equipment is proposed to be mounted on the roof.

7. Noise and Vibration:

(i) Exterior lighting will be designed to meet the requirements of Section 12 of the Technical Manual. Catalog cuts of building mounted fixtures are contained in Attachment L.

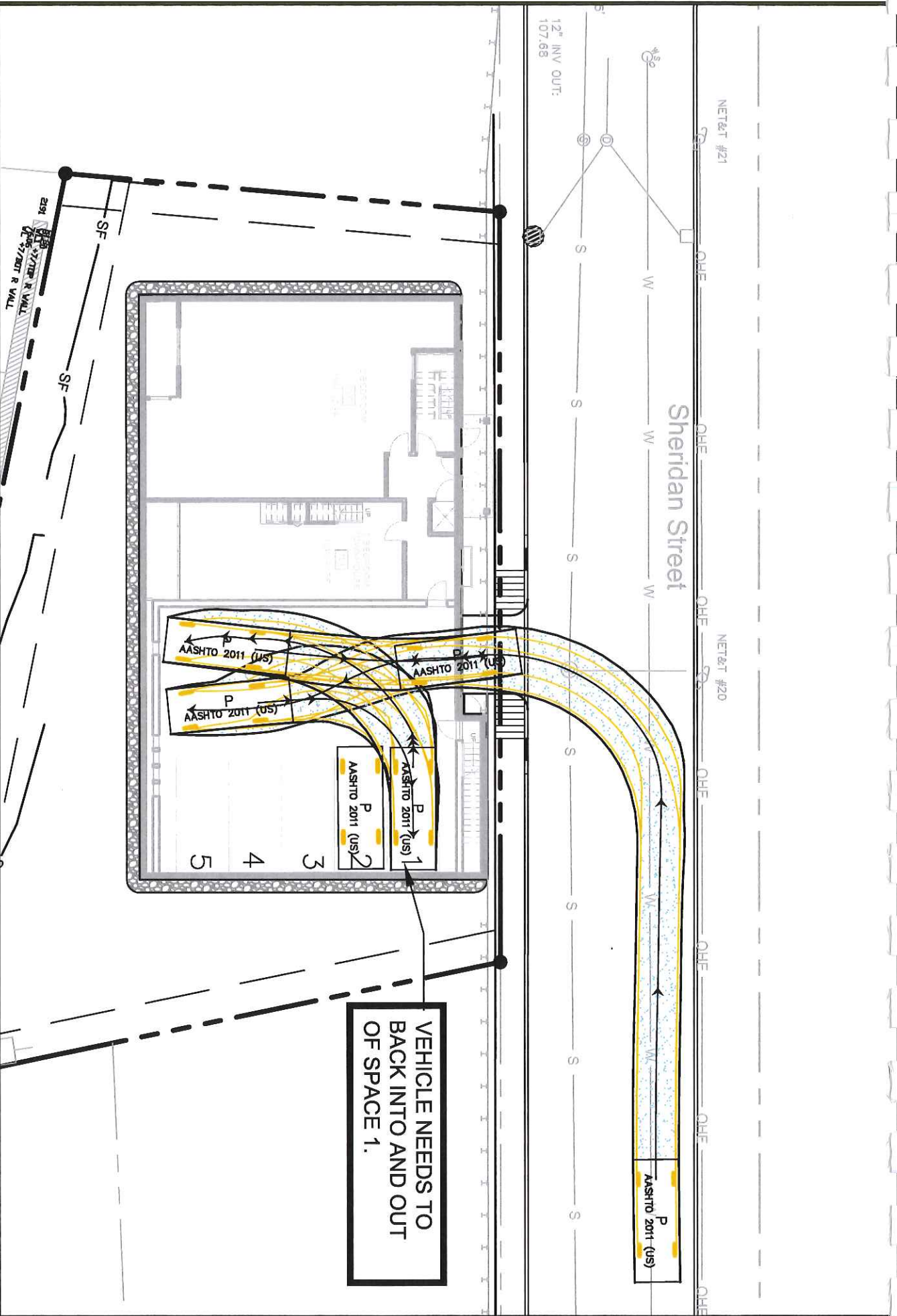
a. Site Lighting.

6. Exterior Lighting:

c. There are no known archaeological resources on the site.

Turning Template Figures

ATTACHMENT K



FAY, SPOFFORD & THORNDIKE, INC.
 ENGINEERS · PLANNERS · SCIENTISTS
 778 MAIN ST, SUITE B, SOUTH PORTLAND, ME 04108

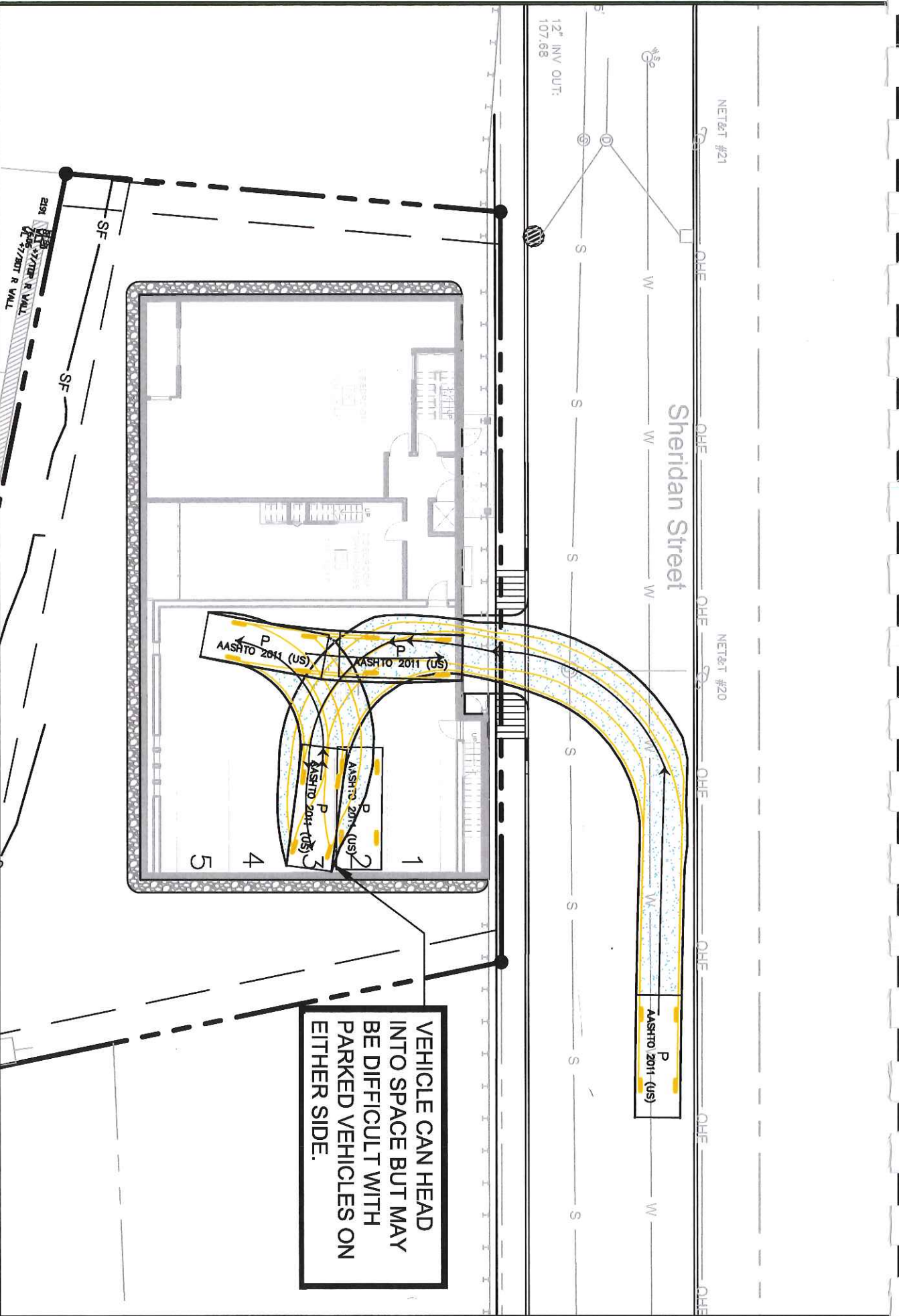
SHERIDAN STREET

AUTOTURN MOVEMENT
 AASHTO 2011-P (LARGE CAR)
 STALL NO. 1

DRAWN:	BEK	DATE:	2013.10.21
DESIGNED:	BEK	SCALE:	1" = 20'
CHECKED:	JRP	JOB NO.	3041
FILE NAME:	3041 AUTOTURN.DWG		

FIGURE

AT 1



FAY, SPOFFORD & THORNDIKE, INC.
 ENGINEERS · PLANNERS · SCIENTISTS
 778 MAIN ST, SUITE B, SOUTH PORTLAND, ME 04106

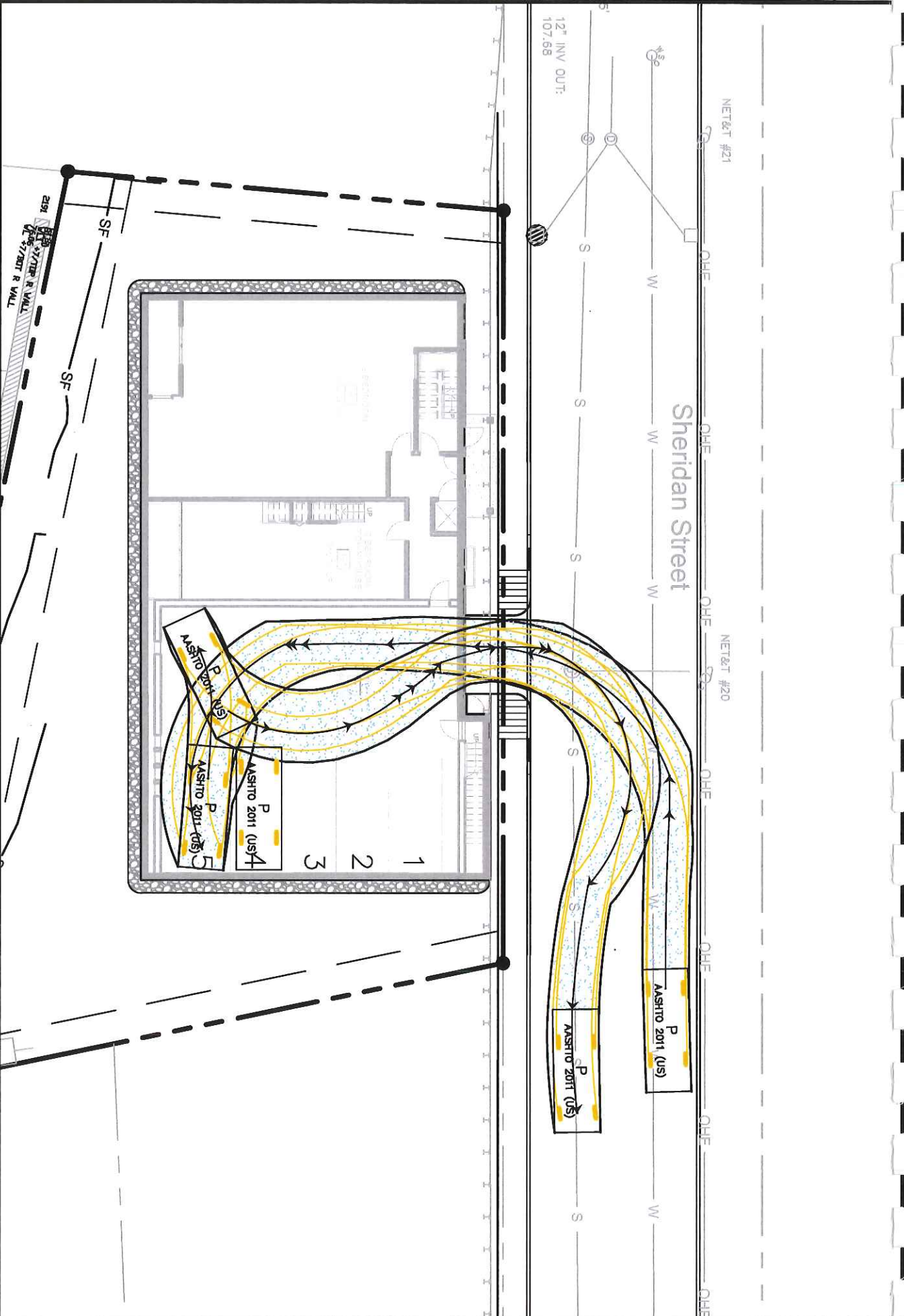
SHERIDAN STREET

AUTOTURN MOVEMENT
 AASHTO 2011-P (LARGE CAR)
 STALL NO. 3

DRAWN:	BEK	DATE:	2013.10.21
DESIGNED:	BEK	SCALE:	1" = 20'
CHECKED:	JRP	JOB NO.	3041
FILE NAME:	3041 AUTOTURN.DWG		

FIGURE

AT 2



FAY, SPOFFORD & THORNDIKE, INC.
 ENGINEERS · PLANNERS · SCENARISTS
 778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04108

SHERIDAN STREET

**AUTOTURN MOVEMENT
 ASHTO 2011-P (LARGE CAR)
 STALL NO. 5**

DRAWN:	BEK	DATE:	2013.10.21
DESIGNED:	BEK	SCALE:	1" = 20'
CHECKED:	JRP	JOB NO.:	3041
FILE NAME:	3041 AUTOTURN.DWG		

FIGURE
AT 5

Lighting Catalog Cuts

ATTACHMENT L

A CLASSIC LANTERN WITH MODERN STYLING. ETCHED OPAL GLASS FEATURES HORIZONTAL BAND. STAMPED ALUMINUM CONSTRUCTION ON ANTIQUE BRONZE -20 AND STAINLESS STEEL CONSTRUCTION ON -135.

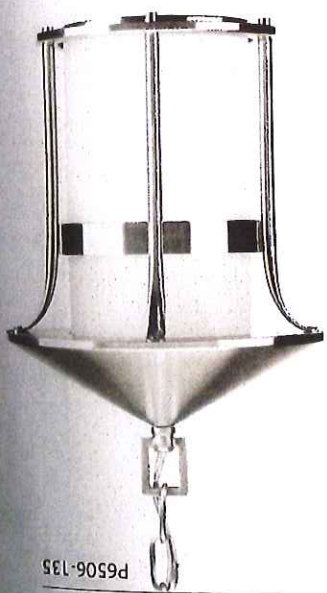
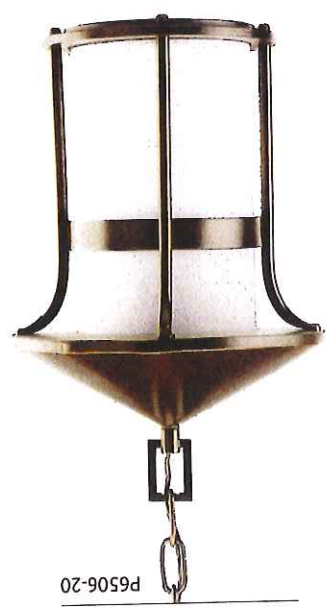
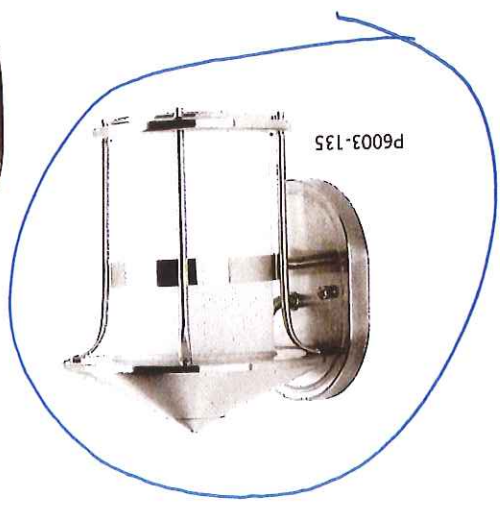
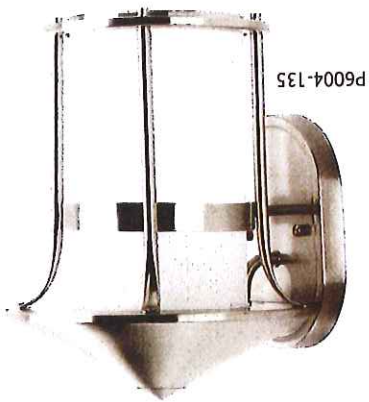
P6003-135 Stainless Steel
 One-light wall lantern.
 Size: 7" W, 8-1/8" ht.
 Extends 7-3/4", H/CTR
 3-1/4".
 Lamp: One medium base

P6004-20 Antique Bronze
 One-light wall lantern.
 Size: 9" W, 11" ht. Extends
 9-7/8", H/CTR 4-3/4".
 Lamp: One medium base
 lamp, 100W max.

P6005-20 Antique Bronze
 One-light wall lantern.
 Size: 11" W, 13-1/2" ht.
 Extends 11-7/8", H/CTR
 5-1/8".
 Lamp: One medium base

P6406-20 Antique Bronze
 One-light post lantern.
 Size: 9" dia, 14" ht. Fits 3"
 post (order separately).
 Lamp: One medium base
 lamp, 100W max.

P6506-20 Antique Bronze
 One-light hanging lantern.
 Size: 9" dia, 12-7/8" ht.
 Overall ht. w/chain 78"; wire
 180".
 Lamp: One medium base
 lamp, 100W max.



The following letter in Attachment M provides responses to City of Portland Peer Review Comments from the review of the Preliminary Site Plan Application for Sheridan Street.

8. RESPONSE TO PEER REVIEW COMMENTS

Response Letter to City of Portland

ATTACHMENT M



FAY, SPOFFORD &
THORNDIKE
778 Main Street, Suite 8
South Portland, ME 04106
Toll Free: 800.835.8666
Main: 207.775.1121
Fax: 207.879.0896
www.fstinc.com

January 2, 2014

Ms. Nell Donaldson, Planner
Planning & Urban Development Department
City of Portland
389 Congress Street
Portland, ME 04101

Subject: Sheridan Street Apartments
Preliminary Site Plan Application
Response to Peer Review Comments

Dear Nell:

Our office has reviewed review comments from Tom Errico of T.Y. Lin dated 11/19/13 and David Senus of Woodard & Curran dated 11/11/13 as well as public comments emailed to your office and we offer the following responses. For ease of review, your comments have been restated (*in italics*) followed by our responses:

TOM ERRIKO, T.Y LIN COMMENTS DATED 11/19/13

Comment 1:

The interior garage parking aisle is approximately 23 feet wide and is slightly less than City dimensional standards. I support a waiver for the proposed condition. In my professional opinion site vehicles will be able to maneuver on site without backing into Sheridan Street.

Response:

We appreciate the reviewer's consideration of this waiver request. We note that Section 1.7.2.3 of the Technical Standards suggest a minimum width of 20 feet. The proposed aisle in the garage will be nearly 24'; hence, we concur with the reviewer's assessment that maneuvering in the garage will be adequate.

Comment 2:

Parking space width dimensions are slightly narrower than City standards (8.5 feet vs. 9.0 feet). I support a waiver for the proposed condition.

Ms. Nell Donaldson
January 2, 2014
Page 2

Response:

We appreciate the reviewer's consideration of this waiver request.

Comment 3:

I find the driveway design to be acceptable.

Response:

No further response necessary.

DAVID SENUS, WOODARD & CURRAN COMMENTS DATED 11/11/13

Comment 1:

The application is preliminary. As such, additional documents will need to be submitted for the final application, including a stormwater management plan (as noted below), letters from utilities confirming capacity to serve the proposed development, and a Construction Management Plan. Woodard & Curran will perform a review of the Final Application upon receipt of those documents.

Response:

This information is contained within the Final Site Plan submission.

Comment 2:

In accordance with Section 5 of the City of Portland Technical Manual, a Level III development project is required to submit a stormwater management plan pursuant to the regulations of MaineDEP Chapter 500 Stormwater Management Rules, including conformance with the Basic, General and Flooding Standards:

a. Basic Standard: A plan and notes should be provided to address erosion and sediment control requirements, inspection and maintenance requirements, and good housekeeping practices in general accordance with Appendix A, B & C of MaineDEP Chapter 500.

Response:

A plan note has been added to the drawings conditioning the project contractor to comply with the City's erosion and sediment control requirements and long-term good housekeeping practices.

b. *General Standard: The proposed roof-area is considered new impervious area. Any clearing that occurs as part of the construction would be considered new developed area. As part of the final application, the applicant will be required to submit a stormwater management plan identifying a stormwater treatment method for the site. The stormwater treatment system shall be sized in accordance with the General Standards to manage runoff from the new impervious and developed areas of the site; or an equivalent, adjacent area. The infiltration practice proposed on the Preliminary Submittal may be acceptable, but engineering calculations showing conformance with the General Standards should be provided with future submittals.*

Response:

The applicant proposed to discharge roof runoff into the City's municipal drainage system in Sheridan Street. Based on the relatively minor flow emanating from the building roof, the City's system is expected to have adequate capacity. In order to provide water quality treatment, the project will include a roof drain filter system such as those described in Attachment A to this letter. The applicant requests the right to make a final selection of the roof filter system during construction.

c. *Flooding Standard: As part of the final application, the applicant will be required to submit documentation demonstrating compliance with the Flooding Standard. A waiver from the Flooding Standard may be granted if the Applicant can demonstrate that the increase in runoff resulting from the project can be adequately managed and have no adverse effect on public or private infrastructure.*

Response:

The applicant is requesting a waiver from compliance with the Flooding Standard as the current proposal is to tie the building roof drainage into the City's drainage system in Sheridan Street. We understand that the DPS is agreeable to this proposal.

Comment 3:

The Stormwater Management Plan should include a stormwater inspection and maintenance plan developed in accordance with and in reference to MaineDEP Chapter 500 guidelines and Chapter 32 of the City of Portland Code of Ordinance.

Response:

The applicant proposes to complete routine maintenance of the roof drain filter and related drainage system. This will involve year round observations of these systems (similar to all utilities) and replacement of the filtering measures as recommended by the product manufacturers. Notes regarding these requirements have been added to the plans.

Comment 4:

The Applicant proposes to infiltrate stormwater via roof drain leaders discharging into a crushed stone layer installed beneath the building footprint. The Applicant has noted that Summit Geoen지니어ing Services has conducted a preliminary geotechnical investigation of the project site. The final submittal should include calculations for this infiltration concept. Along with a review by the geotechnical engineer to ensure that the proposal will not have adverse impact on the building foundation or slope stability.

Response:

The proposal to infiltrate roof runoff onsite is no longer applicable.

Comment 5:

The pipe trench detail should conform with Detail II-12 of the City of Portland Technical Standards for work within the City Right-of-Way.

Response:

The pipe trench detail has been updated.

MARGE SCHMUCKAL, ZONING ADMINISTRATOR COMMENTS DATED 11/12/13

Comment 1:

I have reviewed the current submittal of plans. This proposal is for a new 5-unit building with 5 interior parking spaces on a new lot that has been conveyed out from another lot. The property is entirely within a B-2b zone. The new structure is meeting the maximum and minimum setbacks. This is also a subdivision.

Response:

No further response necessary.

Comment 2:

The maximum building height in the B-2b zone is 45 feet. I have not received any information as to the average grade of the new building on this site. There is quite a considerable grade change from the front to the rear of the property. The building height along the front of the property (the highest grade) along Sheridan Street is shown to be 31.5'. There is no information showing the height of the building from the rear of the structure. I will need the average grades around the building to determine where I begin measuring the height of the building. I will then need to know the elevation level to the top of the roof beam as defined in the Ordinance for flat roofs.

Ms. Nell Donaldson
January 2, 2014
Page 5

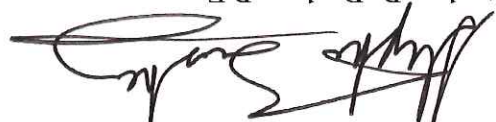
Response:

The average grade information and building height measurements are contained on the final Site Plan.

If you have any questions or require additional information please contact this office.

Sincerely,

FAY, SPOFFORD & THORNDIKE



Stephen R. Bushey, P.E.
Senior Principal Engineer

SRB/smk

Attachment

Roof Drain Filter Samples

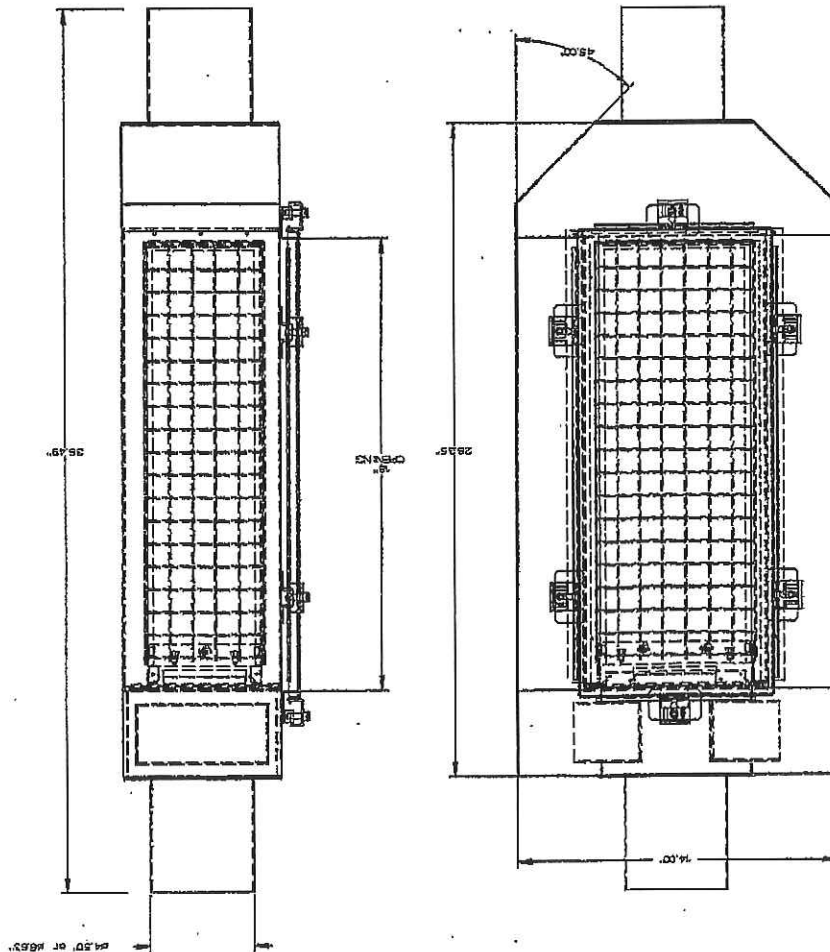
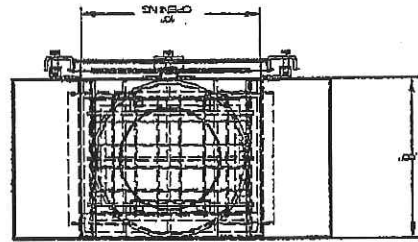
ATTACHMENT A

FLO-GARD™ DOWNSPOUT FILTER
FOR 4" / 6" DOWNSPOUTS
 (Models FF-DS4 & FF-DS6)

KriStar Enterprises, Inc., Santa Rosa, CA (800) 579-8819

06/04

- NOTES:**
1. Flo-Gard™ Downspout Filter is available to fit most industry-standard downspouts (see specifications).
 2. Filter insert shall have adequate bypass capacity to allow downspout to flow unimpeded at all times.
 3. Filter assembly shall be constructed from stainless steel (Type 304).
 4. Filter medium shall be zeolite installed and maintained in accordance with manufacturer recommendations.

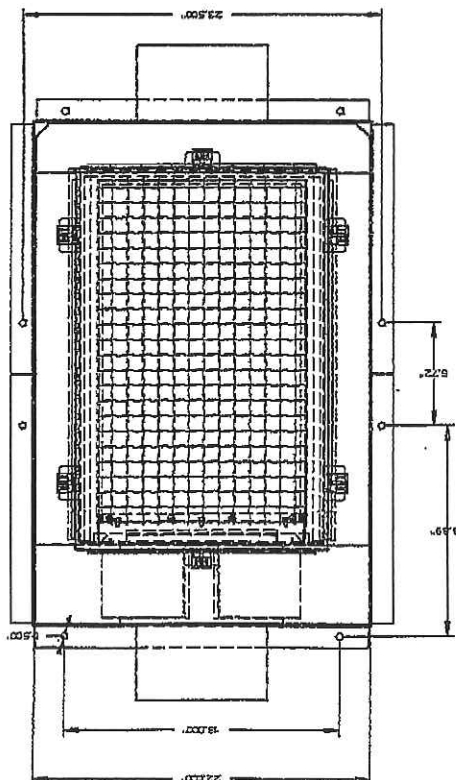
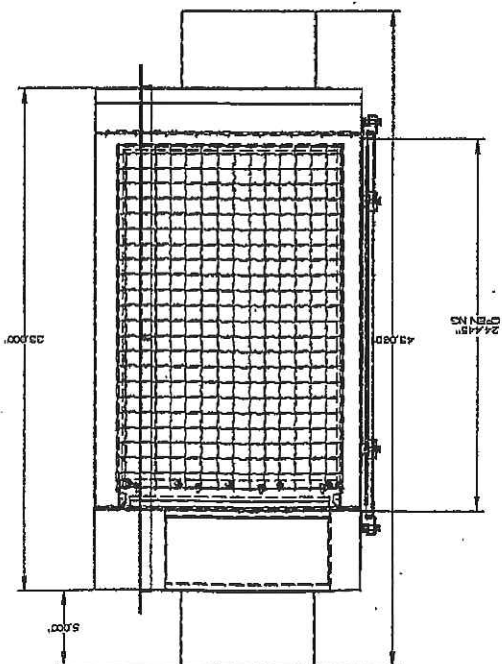
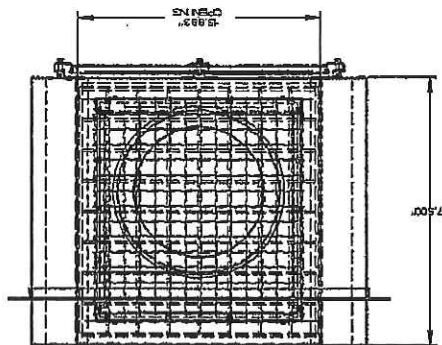


FLO-GARD™ DOWNSPOUT FILTER
FOR 8" DOWNSPOUTS
 (Model FF-DS8)

Krislar Enterprises, Inc., Santa Rosa, CA (800) 579-8819

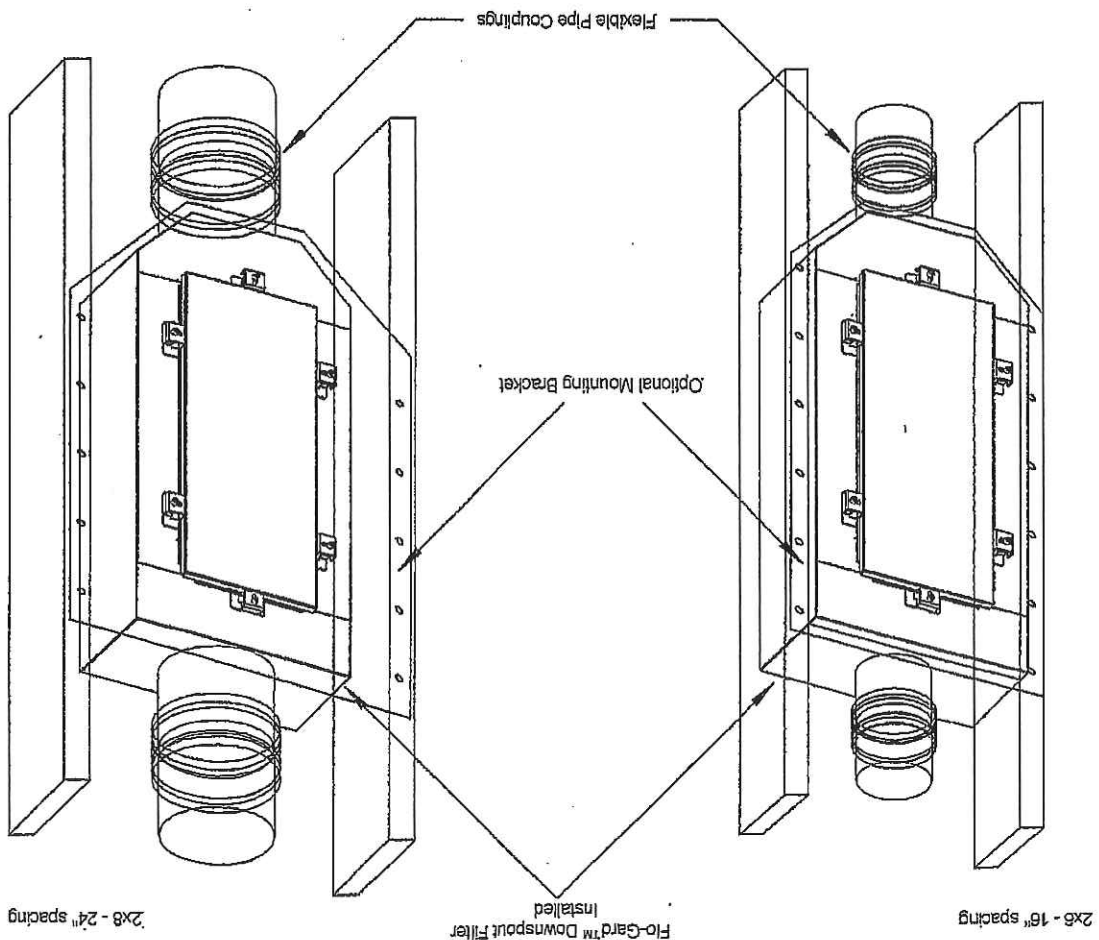
07/04

- NOTES:**
1. Flo-Gard™ Downspout Filter is available to fit most industry-standard downspouts (see specifications).
 2. Filter insert shall have adequate bypass capacity to allow downspout to flow unimpeded at all times.
 3. Filter assembly shall be constructed from stainless steel (Type 304).
 4. Filter medium shall be zeolite installed and maintained in accordance with manufacturer recommendations.



1. Flo-Gard™ Downspout Filter is available to fit most industry standard downspouts (see specifications).
2. Filter insert shall have adequate bypass capacity to allow downspout to flow unimpeded at all times.
3. Filter assembly shall be constructed from stainless steel (Type 304).
4. Filter medium shall be zeolite installed and maintained in accordance with manufacturer recommendations.

NOTES:



FLO-GARD™ DOWNSPOUT FILTER
FOR 4"/6" DOWNSPOUTS
 (Wood Framing Recessed Installation)

KriStar Enterprises, Inc., Santa Rosa, CA (800) 579-8819

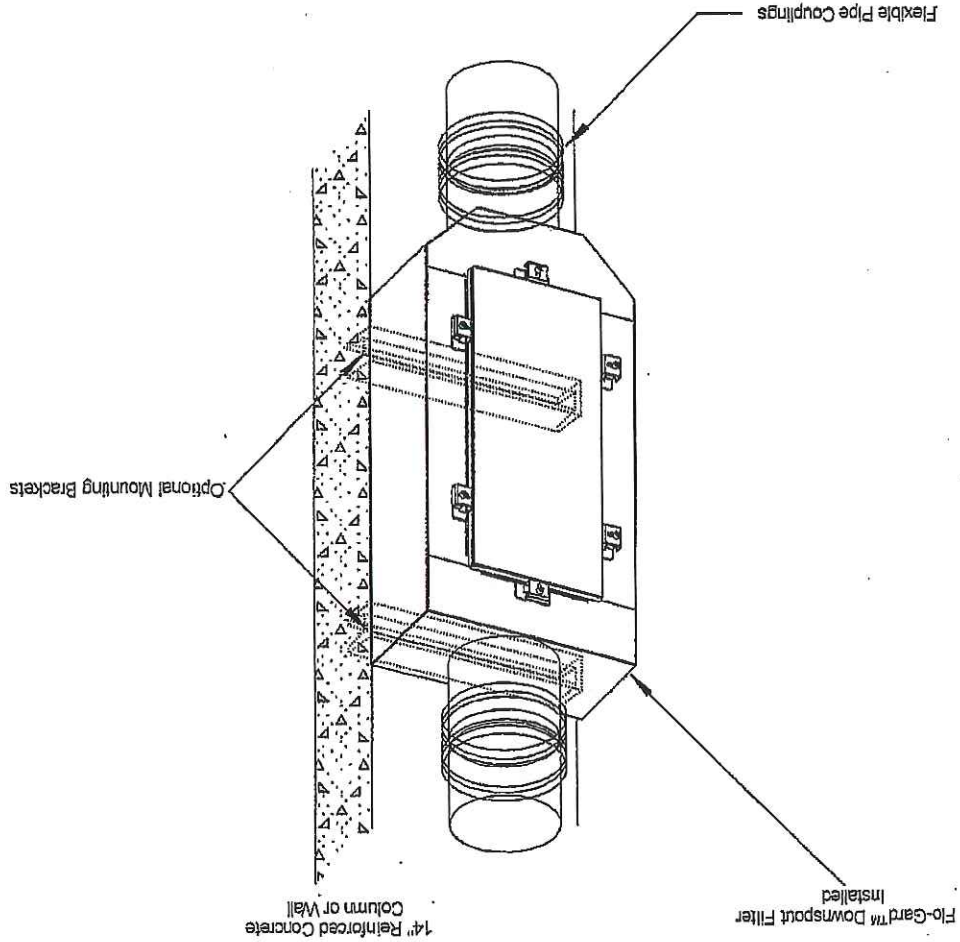
FLO-GARD™ DOWNSPOUT FILTER
FOR 4" x 6" DOWNSPOUTS
 (Concrete Wall Surface Installation)

Krislar Enterprises, Inc., Santa Rosa, CA (800) 879-8819

08/04

US PATENT

- NOTES:**
1. Flo-Gard™ Downspout Filter is available to fit most industry-standard downspouts (see specifications).
 2. Filter insert shall have adequate bypass capacity to allow downspout to flow unimpeded at all times.
 3. Filter assembly shall be constructed from stainless steel (Type 304).
 4. Filter medium shall be zeolite installed and maintained in accordance with manufacturer recommendations.



into the basin in such a way that all influent passes through it before exiting and entering the downstream conduit. The combination of gross solids removal via the strainer and the absorption / filtration function of the media section reduce TSS and other pollutants.

3. The outer downspout filter housing is made of durable 10ga powder-coated steel and is designed to provide easy access to the internal rigid strainer and filter elements via the top lid. The lid has a prop that can be locked in an open position so that a single operator can service the unit either by hand or with a Vactor truck (just like our catch basin filters). There are two levels of outlet openings so that the downspout filter can be run in either a dry (where vector control is a concern) or wet configuration (to increase removal rates with additional contact time).

These filtration units are also commonly referred to as a roof drain filter, a gutter drain filter, rainwater filter units, etc. and are highly effective at removing pollutants from rainwater that carries pollutants that have settled on the roof of buildings which then routes into the gutters and through the downspouts to the storm drain system. The primary concerns are dissolved zinc (which can come from galvanized HVAC equipment on the roof as well as moss inhibitor, and abrasion resistance coatings, along with environmental deposition), dissolved copper and dissolved lead removal (which tend to be carried in environmental deposition from neighboring properties or nearby roadways where copper is found in brake linings and lead is found in tire weights).

[Return to the Top of Page](#)

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Related content: CleanWay, cost-effective catch basins, improved water quality, stormwater management, metals removal media, industrial and wastewater effluent remediation
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Bio Clean Environmental Services, Inc.

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- Curb Guard
- Bio Sorb
- Curb Inlet Baskets
- Downspout Filter
- Plume Filters
- Golf Green Filter
- Grate Inlet Skimmer Box
- Modular Wetlands
- N.S. Baffle Box
- Storm Capture
- Stormtreat
- Trench Drain Filter
- Water Polisher
- Maintenance
- Bioaugmentation

Downspout Filter

Downspout Filter

The Bio Clean Downspout Filter is simple in design and can adapt to fit 2", 4", 6", 8", 10" or 12" downspouts. This filter is perfect for new construction and retrofits. The filter has a sleek inline design allowing it to fit in tight corners where other box type filters are simply too large.

It's available in two types:

- 6" or 8" Screen Type with hydrocarbon filter.
 - Can treat up to .19 CFS.
- 6" or 8" Media Type with advanced filtration media for higher performance.
 - Can treat up to .05 CFS.

Both types have an internal bypass capacity of 1.2 CFS.

HIGHLIGHT: Approved by the City of Los Angeles Mechanical Testing Laboratory. RR# 5668.

The Bio Clean Downspout Filter is capable of removing the following pollutants:

- Trash and debris
- Sediments
- Total suspended solids (TSS)
- Oxygen demanding substances
- Nutrients
- Metals
- Oils and grease including various hydrocarbons

HIGHLIGHT: This filter has demonstrated 87% removal of hydrocarbons and 93% removal of sediments.

The Downspout Filter is easy to maintain, designed with an internal high flow bypass and a storage capacity of over .26 cubic feet or 31 pounds of wet sand.

DOWNLOADS

[Brochure](#)

[Performance](#)

[Installation Manual](#)

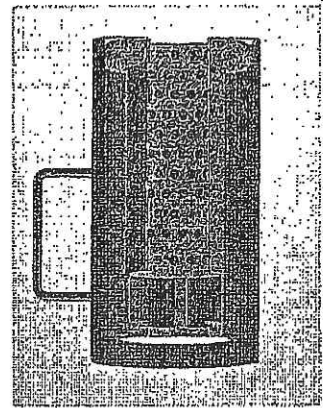
[Drawings](#) [PDF DWG](#)

- Bio Clean Downspout Filter - Screen Type
- Bio Clean Downspout Filter - Media Type


Product Details

IAMPO Approved:

The Only Downspout Filter Approved Under the New Testing Protocol



[click for more](#)

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[X Please upgrade Internet Explorer now by clicking here...](#)

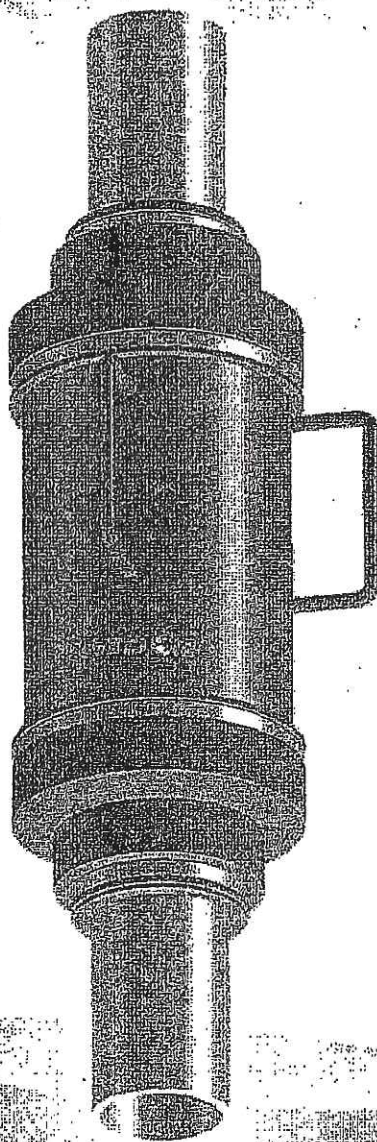
Downspout Filter

PROVEN STORMWATER TREATMENT TECHNOLOGY



Overview

The Bio Clean Downspout Filter is the industry's leading solution for treatment of roof runoff. This technology is used to treat commercial and industrial roof tops along with high rise buildings, parking structures and residential buildings. Available in 3 sizes, this filter can easily adapt to downspouts 2" to 12" in diameter. The filter comes standard with rubber boots that allow for easy installation to the downspout. Proven since 2003, the Bio Clean Downspout Filter has been used on hundreds of installations throughout the United States. All internal components are constructed of stainless steel. The sleek inline design allows the filter to be used in tight spaces. Approved by the IAPMO, this filter can meet all your needs.



Advantages

- 5 Year Warranty
- No Nets or Geotabrics
- Sleek Inline Design
- High Treatment Flow Rate
- High Bypass Flow Rate
- Low Cost

Performance

- 93% Removal of TSS
- 87% Removal of Hydrocarbons
- Effective at Removing Metals, Nutrients and Bacteria (Media Type)

Specifications

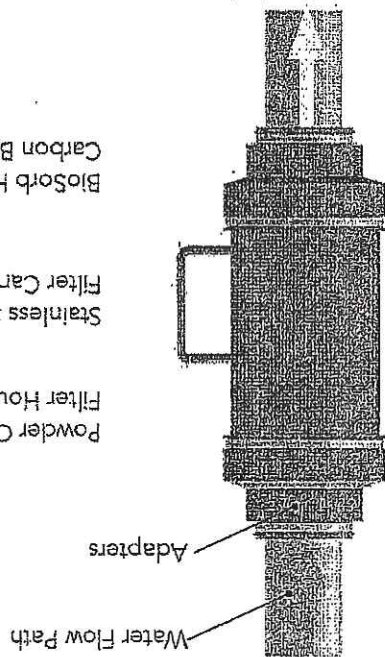
Model #	Inlet ID (dia., in.)	Filter OD (dia., in.)	Storage Cap. (cu. ft.)	Filtered Flow (gpm)	Bypass Flow (gpm)
BC-DF4	4	6.625	0.09	249	566
BC-DF6	6	8.625	0.21	509	1006
BC-DF8	8	8.625	0.21	509	1006
BC-DF10	10	12.75	0.77	1145	2264
BC-DF12	12	12.75	0.77	1145	2264

www.BioCleanEnvironmental.com

Downspout Filter

PROVEN STORMWATER TREATMENT TECHNOLOGY

Operation



Application



- Easily Adapts to Square or Rectangle Downspouts
- Commercial Residential
- Parking Structures
- Mixed Use

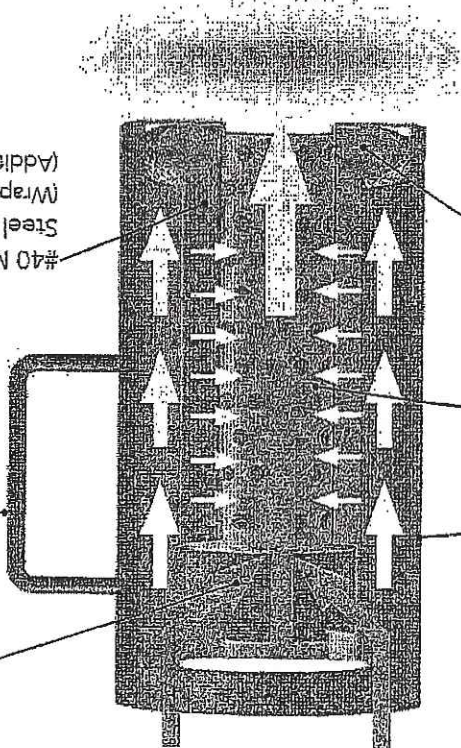


Fits In-line with Iron, Steel or Plastic Pipe

Approvals



APMO Testing & Approval Listing



Treatment Flow Path
Bypass Flow Path

Installation & Maintenance

See our Website for Installation & Maintenance Manuals at www.BioCleanEnvironmental.com

2972 San Luis Rey Rd
Oceanside, CA 92058
p 760.433.7640 f 760.433.3176
www.BioCleanEnvironmental.com



Bio Clean Downspout Filter - Removal Efficiencies

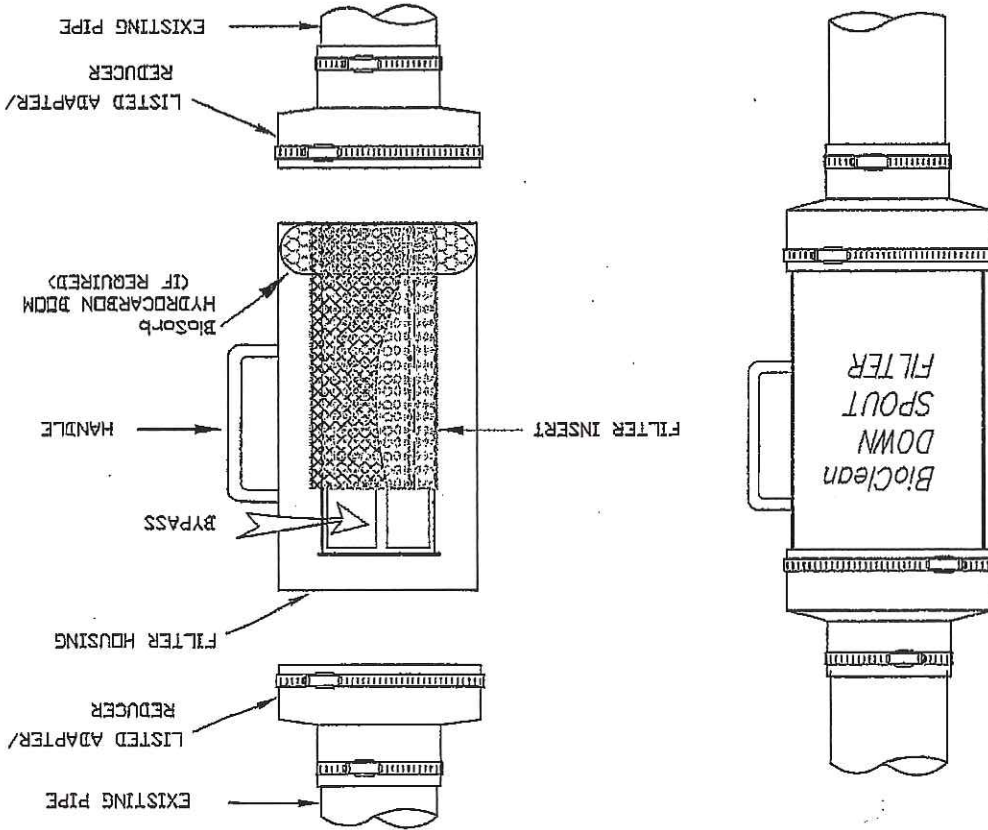
Numeric Reductions (mg/L)

Location		Inlet		Outlet		Removal Efficiency	
Waves Environmental		Coarse Total Suspended Solids mg/L		Fine Total Suspended Solids mg/L		Hydrocarbons mg/L	
		Inlet		Outlet		Removal Efficiency	
		Inlet		Outlet		Removal Efficiency	
		223		30		87%	
		58%					

Bio Clean Fume Filter Pollutant Removal Testing - 2007

INSTALLATION MANUAL

Bio Clean Downspout Filter



TOOLS AND EQUIPMENT NEEDED:

1. Medium size flat screw driver
2. Gas powered demo or cut-off saw with abrasive blade and pipe wrap
3. Permanent marker
4. Anchor strap by others



P.O. BOX 869, Oceanside, Ca. 92049
 (760) 433-7640 Fax (760) 433-376
 www.biocleanenvironmental.net

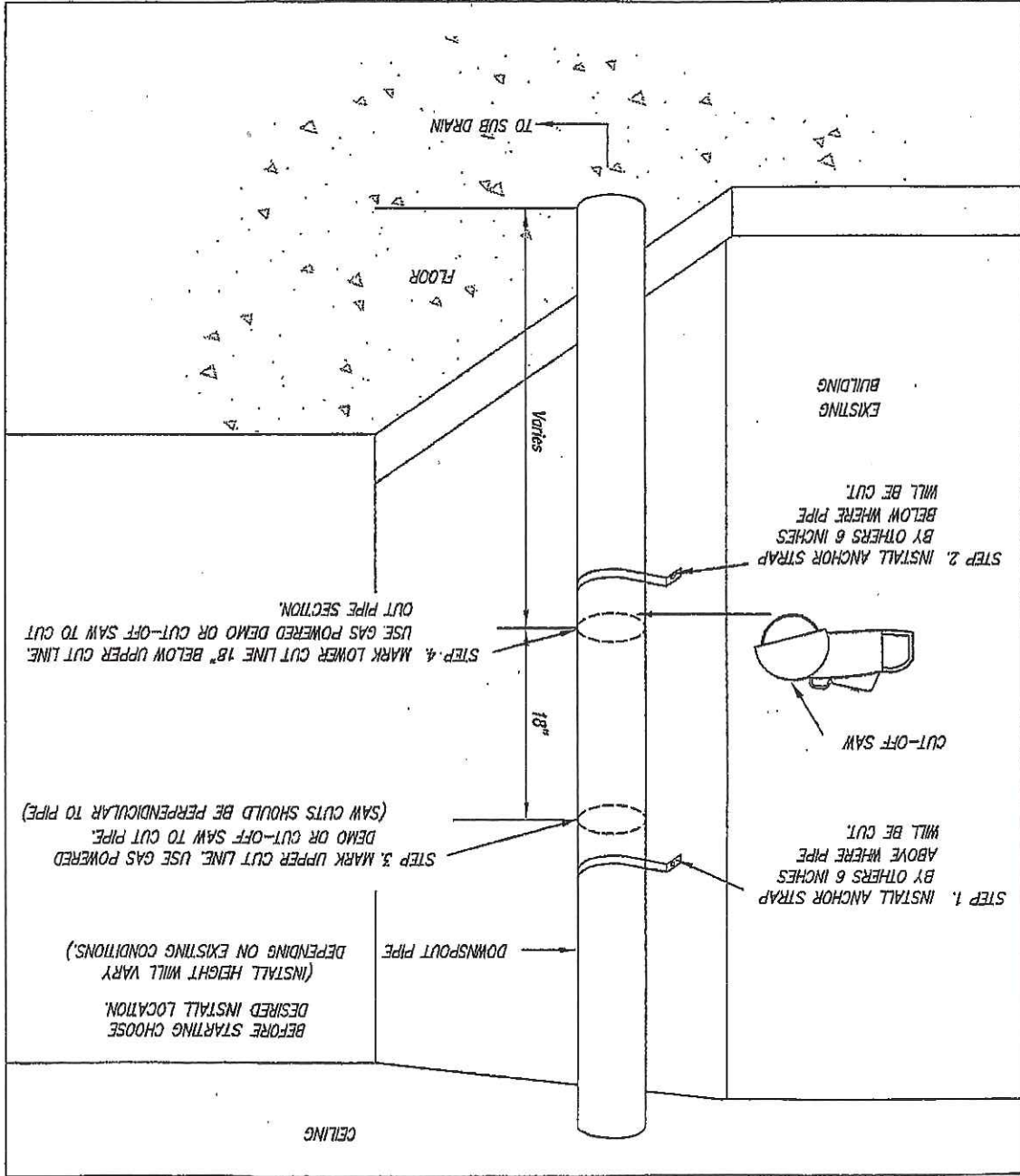
Downspout filter comes pre-assembled.

Adapts to 4", 6", or 8" downspouts.

NOTES

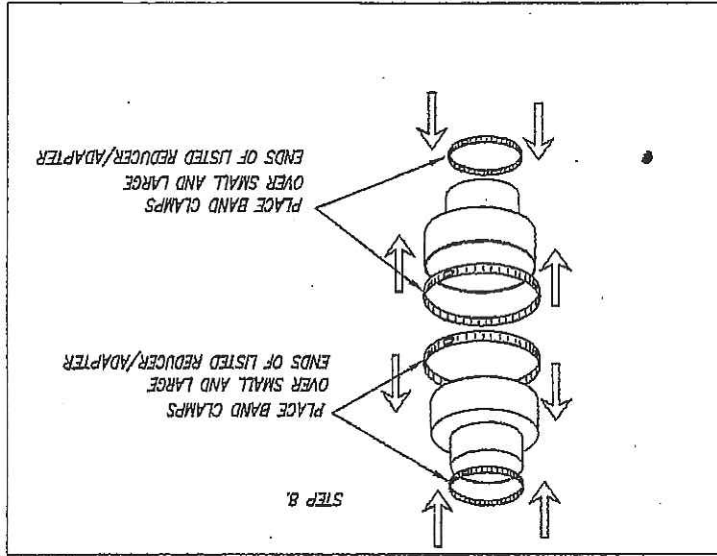
1. The device shall be sized according to the nominal size of the interconnecting drainage system. At no time shall the entrance size be larger than the exit size.
2. The device shall be installed in an accessible location to provide for means of repair and maintenance
3. The device shall be installed using approved adapters or couplings to attach the device to the downspout or drainage pipe.

STARTING INSTALLATION - CUTTING OUT PIPE SECTION

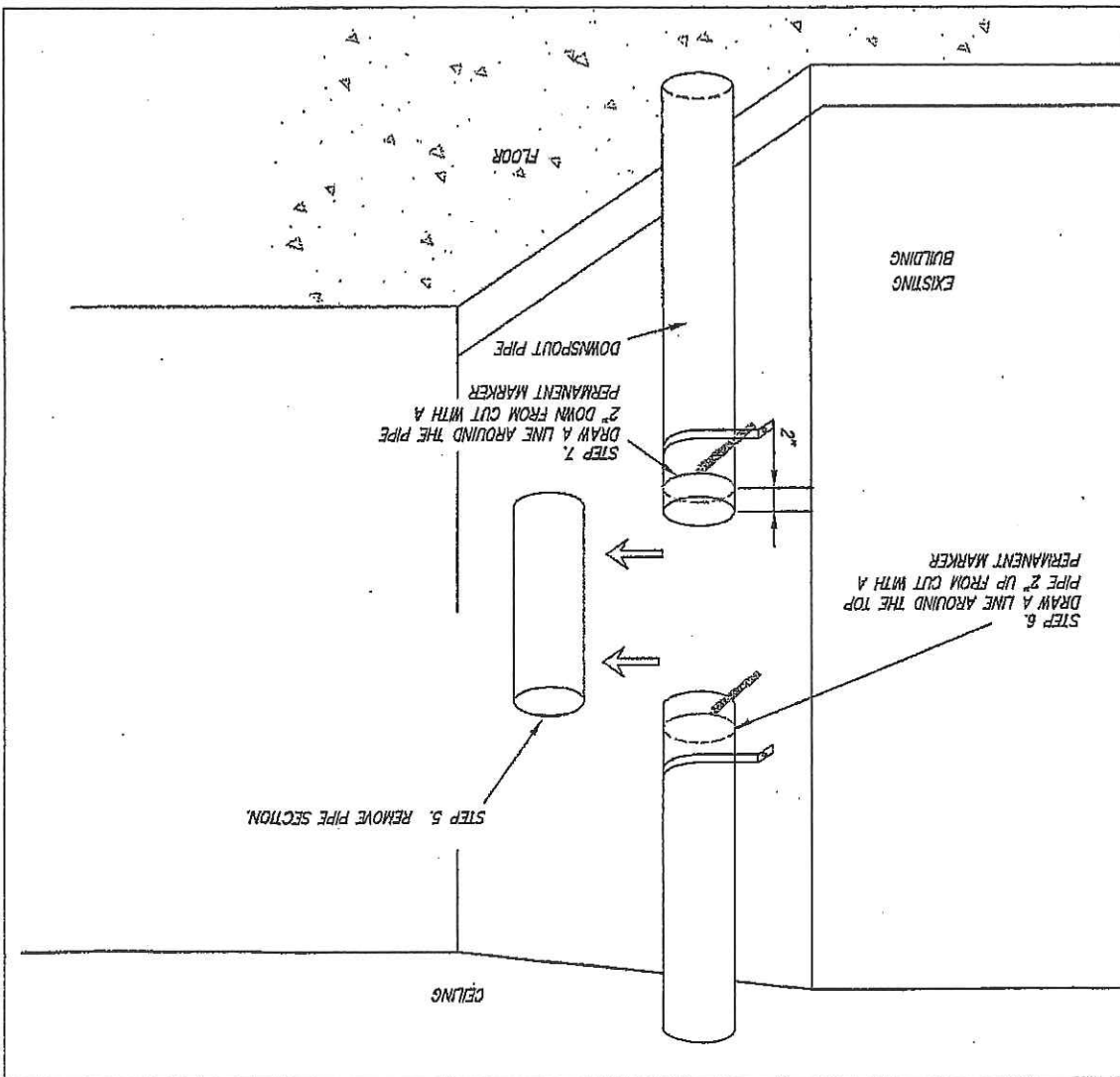


NOTES

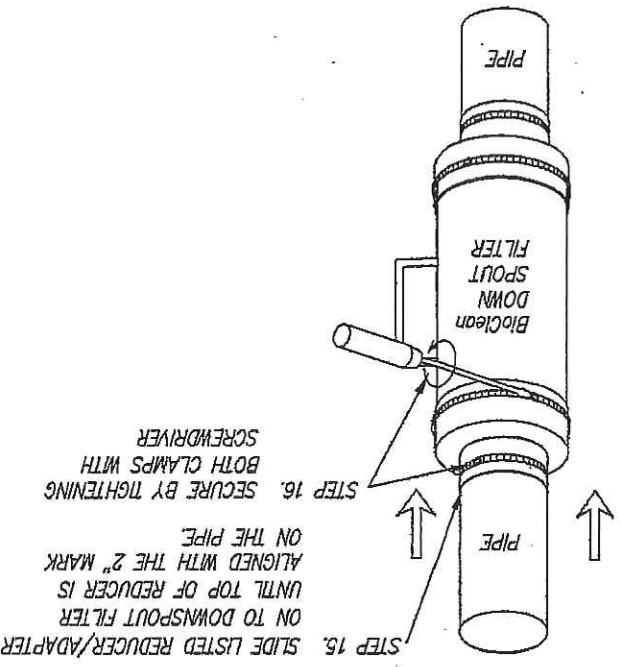
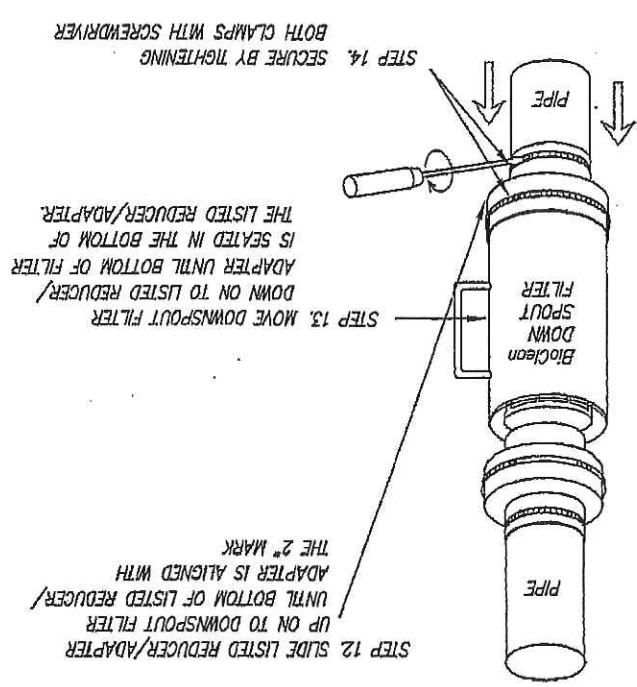
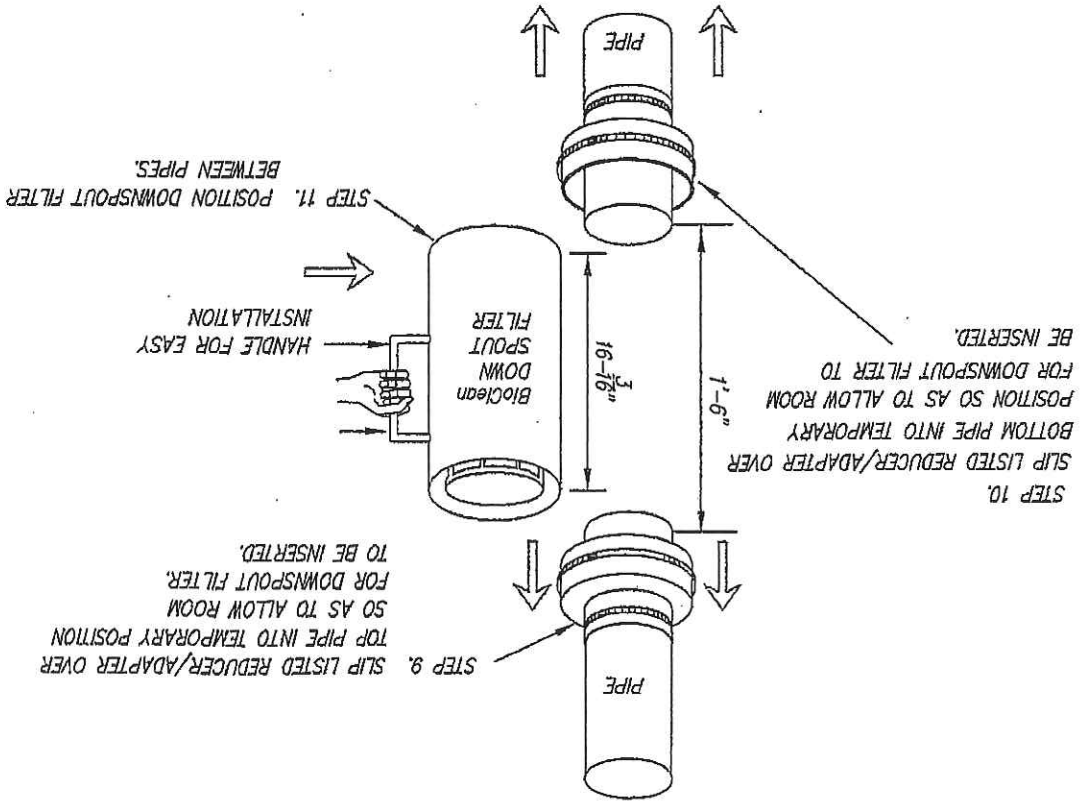
1. The device shall be sized according to the nominal size of the interconnecting drainage system. At no time shall the entrance size be larger than the exit size.
2. The device shall be installed in an accessible location to provide for means of repair and maintenance.
3. The device shall be installed using approved adapters or couplings to attach the device to the downspout or drainage pipe.



PREPARING LISTED REDUCERS/ADAPTERS

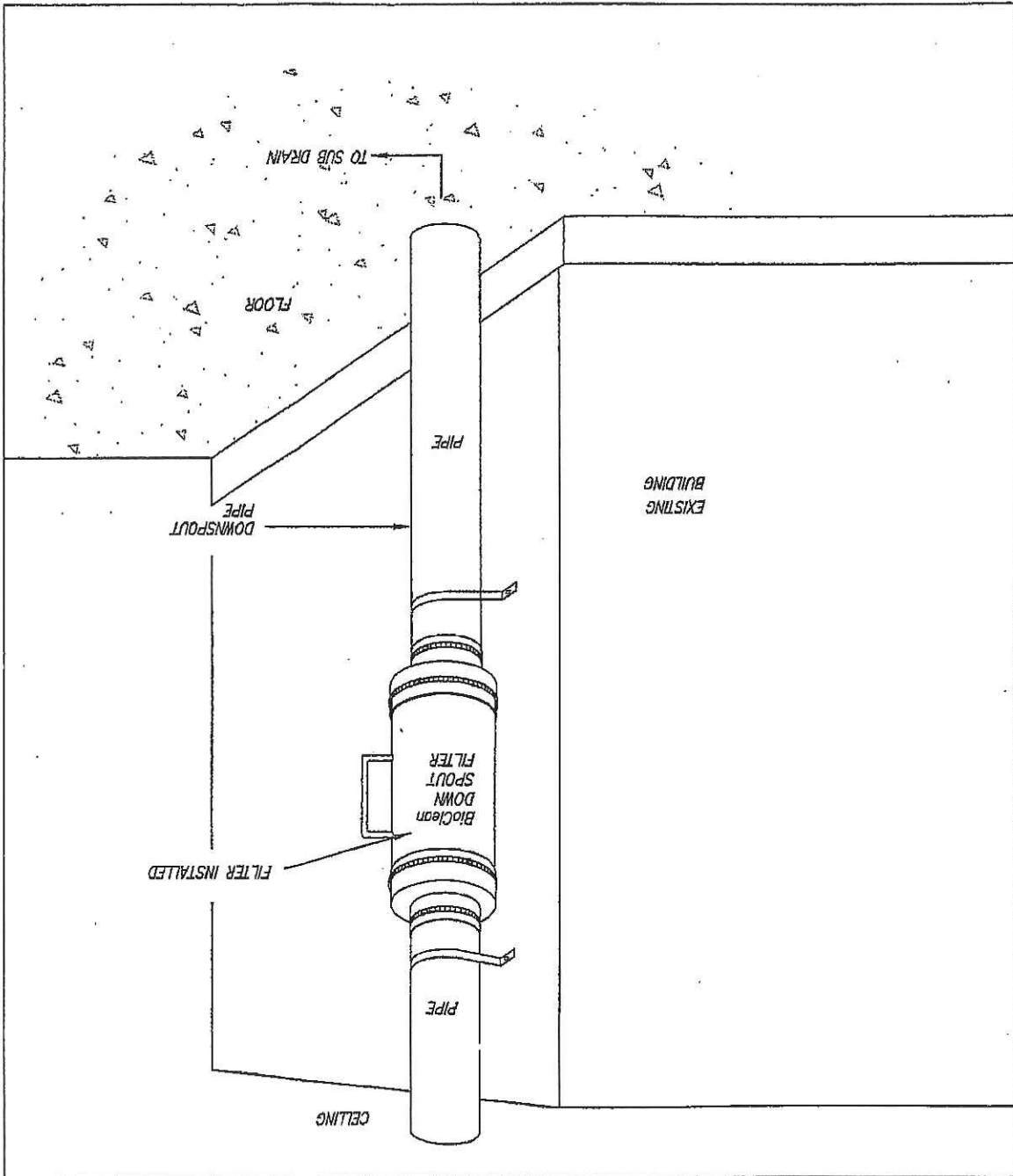


INSTALLING DOWNSPOUT FILTER



1. The device shall be sized according to the nominal size of the interconnecting drainage system. At no time shall the entrance size be larger than the exit size.
2. The device shall be installed in an accessible location to provide for means of repair and maintenance.
3. The device shall be installed using approved adapters or couplings to attach the device to the downspout or drainage pipe.

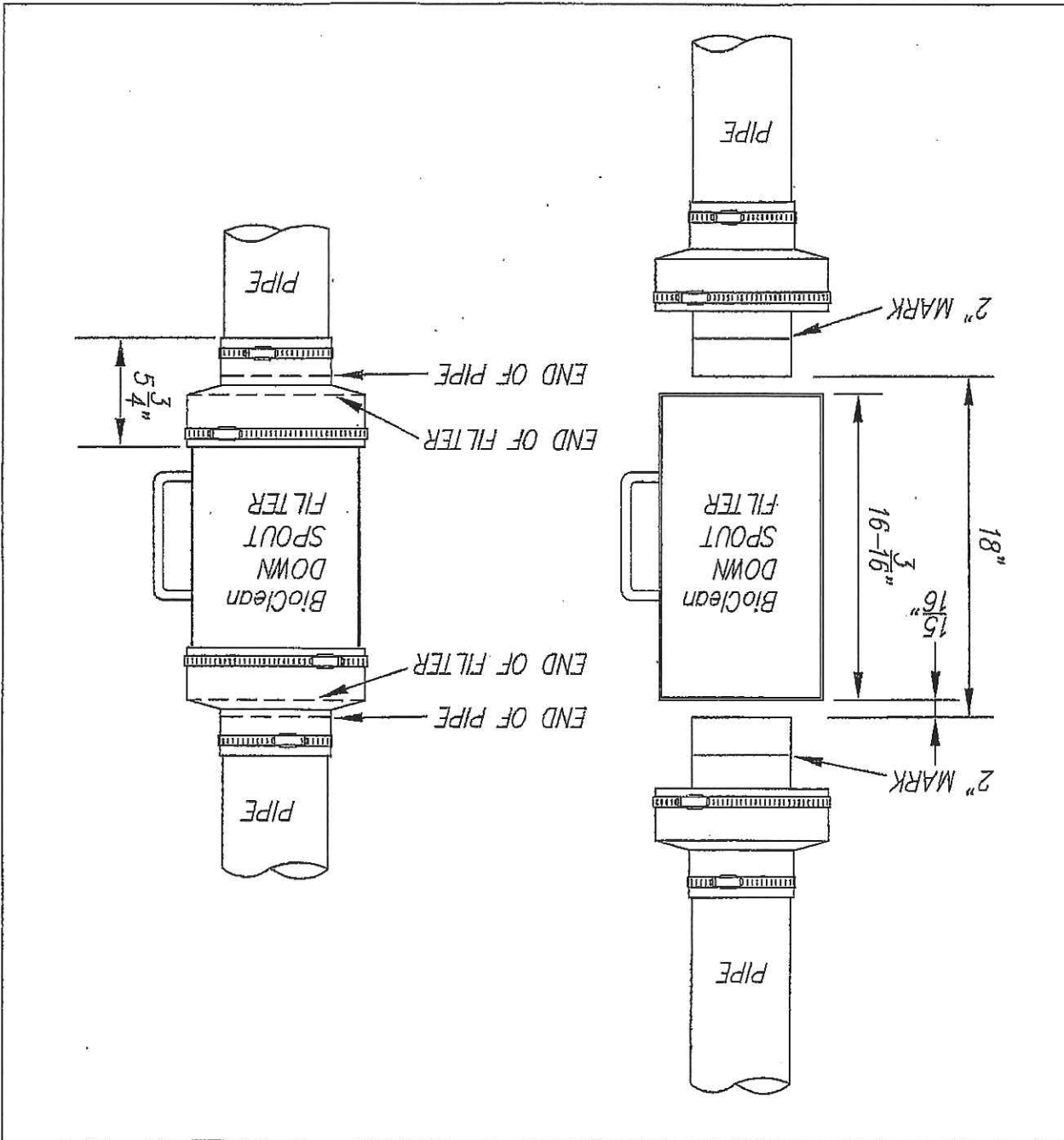
NOTES



TYPICAL DOWNSPOUT FILTER INSTALLED
(FOR EXAMPLE, INSIDE PARKING STRUCTURE)

1. The device shall be sized according to the nominal size of the interconnecting drainage system. At no time shall the entrance size be larger than the exit size.
2. The device shall be installed in an accessible location to provide for means of repair and maintenance.
3. The device shall be installed using approved adapters or couplings to attach the device to the downspout or drainage pipe.

NOTES



APPROPRIATE FILTER POSITIONING
 FILTER CENTERED BETWEEN PIPES WITH EVEN GAPS ON TOP AND BOTTOM

BIO CLEAN 8" DIA DOWNSPOUT FILTER – Media Type

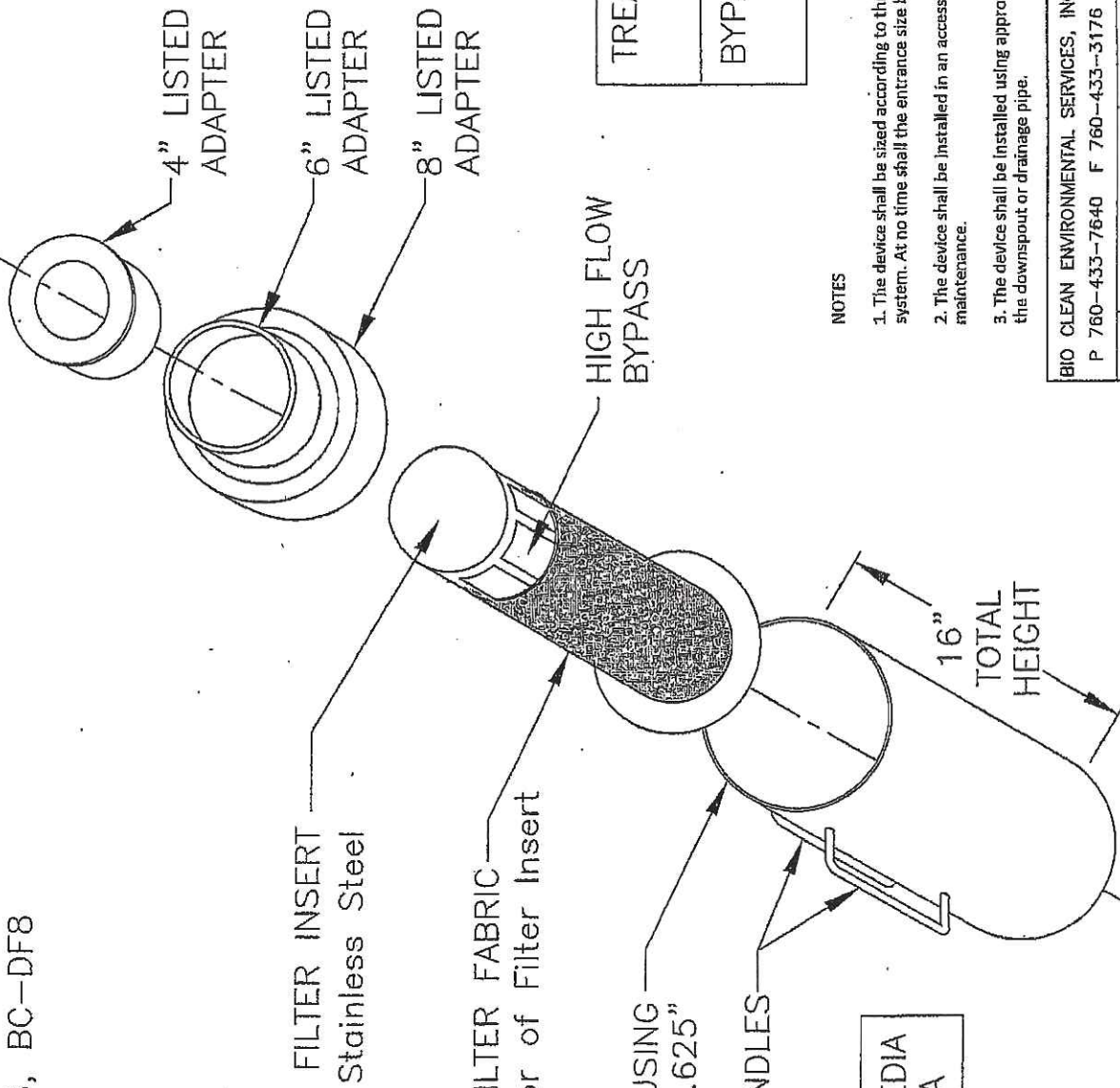


MODEL #'S
BC-DF4, BC-DF6, BC-DF8

For Model#
BC-DF4

For Model#
BC-DF6

For Model#
BC-DF8



TREATMENT FLOW RATE
= 0.05 CFS

BYPASS FLOW RATE
= 2.25 CFS

NOTES

1. The device shall be sized according to the nominal size of the interconnecting drainage system. At no time shall the entrance size be larger than the exit size.
2. The device shall be installed in an accessible location to provide for means of repair and maintenance.
3. The device shall be installed using approved adapters or couplings to attach the device to the downspout or drainage pipe.

BIO CLEAN ENVIRONMENTAL SERVICES, INC. P.O. BOX 869, OCEANSIDE, CA 92049	
P 760-433-7640 F 760-433-3176 WWW.BIOCLEANENVIRONMENTAL.NET	
SIZE	MODEL # BC-DF4 BC-DF6, BC-DF8
REV	DWG NO. DOWNSPOUT FILTER
SCALE	N.T.S.
SHEET	1 OF 1

1.3 SQ FT MEDIA SURFACE AREA

PATENT PENDING