

THIS IS NOT A BOUNDARY SURVEY

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MORTGAGE INSPECTION OF: DEED BOOK 16316 PAGE 323 COUNTY Cumberland
PLAN BOOK ----- PAGE ----- LOT -----

ADDRESS: 135 Washington Avenue, Portland, Maine

Job Number: 906-57

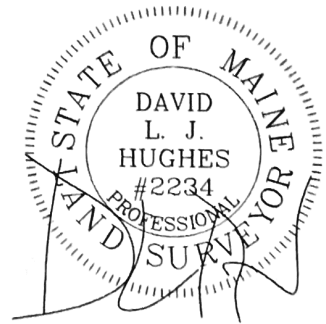
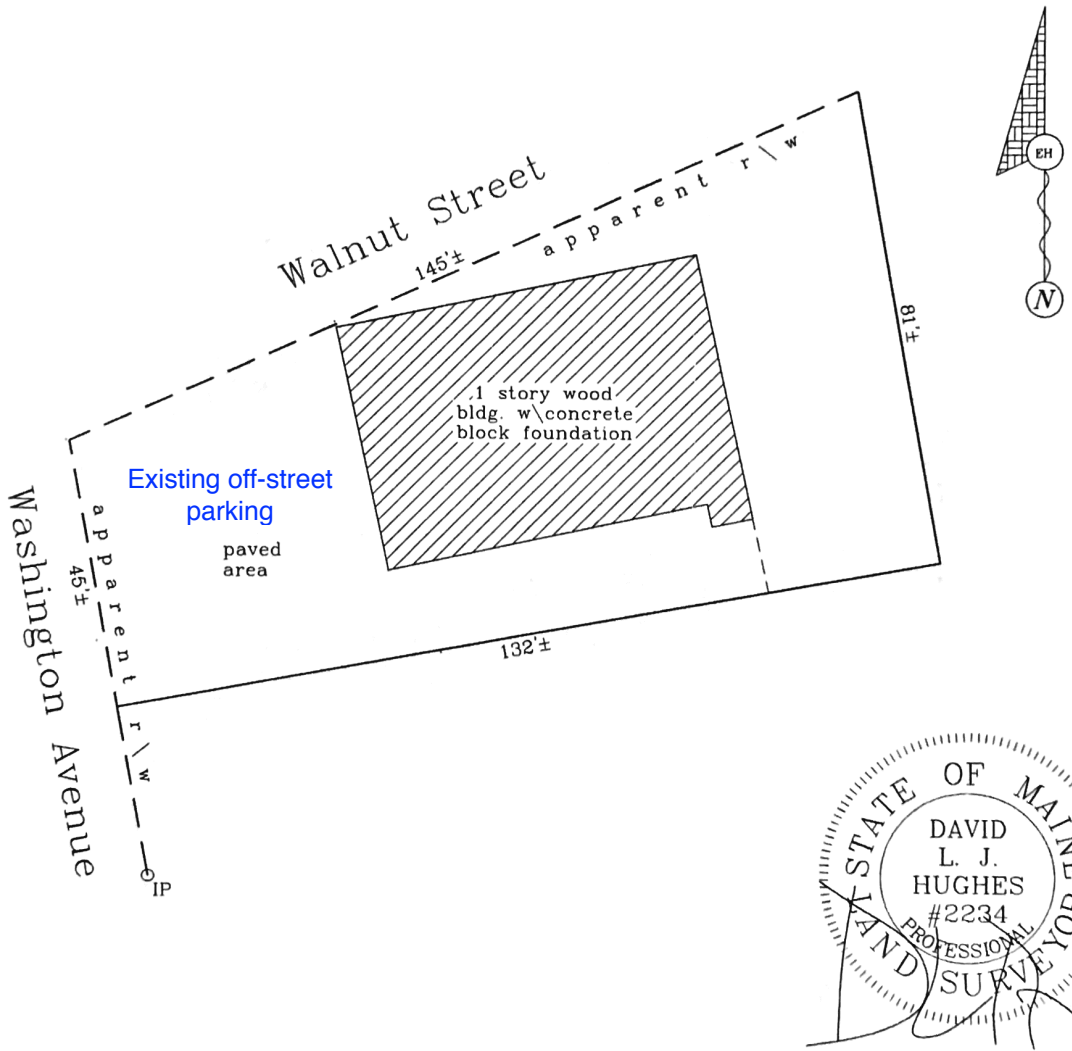
Inspection Date: 08-25-16

Buyers: Fox Street LLC

Scale: 1" = 30'

Client File #: 22183.6

Sellers: The Sahara Club Inc.



I HEREBY CERTIFY TO: Jensen, Baird, Gardner, & Henry, Fox Street, LLC,
and Chicago Title Insurance Company.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

- Monuments found did not conflict with the deed description.
- The dwelling setbacks do not violate town zoning requirements.
- As delineated on the Federal Emergency Management Agency Community Panel 230051-0014B:
- The structure does not fall within the special flood hazard zone.
- The land does not fall within the special flood hazard zone.
- A wetlands study has not been performed.

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THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY