

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0687	Issue Date: JUN 28 2001	CEL: 012 P001001
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Location of Construction: 135 Washington Ave	Owner Name: Rogers Karl	Owner Address: Po Box 9722 Portland, ME 04101 CITY OF PORTLAND	Phone: 207-772-9215
Business Name: Sahara Club	Contractor Name: no contractor/self	Contractor Address: n/a n/a	Phone:
Lessee/Buyer's Name: Sahara Club	Phone: n/a	Permit Type: Change of Use - Commercial	Zone: B2b

Past Use: Wholesale Flower Shop	Proposed Use: Change Use: Non-Profit Club; Sahara Club	Permit Fee: \$84.00	Cost of Work: \$10,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A-3 Type: 2B	

Proposed Project Description:
Change Use. Interior Renovations Per Plans.

Signature: *[Handwritten Signature]*
PERMIT ISSUED WITH REQUIREMENTS
 PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: cjh	Date Applied For: 06/12/2001	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>Private clubs Allowed - B2b no min lot size</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>6/27/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: *135 Washington AVE*

Total Square Footage of Proposed Structure *2400* ^{*under 6,000*} Square Footage of Lot $\frac{3300}{5199}$ *8099* ^{*sq ft*}

Tax Assessor's Chart, Block & Lot Number Chart# <i>012</i> Block# <i>2</i> Lot# <i>001</i>	Owner: <i>Sahara Club</i> <i>135 Washington</i>	Telephone#: <i>772-9215</i>
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Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost of Work: <i>\$10,000</i> Fee: <i>\$84.00</i>
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Current use: *Wholesale Flower Shop*
If the location is currently vacant, what was prior use: *NA*
Approximately how long has it been vacant:
Proposed use: *Non Profit Club AKA Sahara Club*
Project description: *Change of Use, add 1 more Bathroom, Dining + Kitchen, Meeting Room, TV Room, Office, Game Room, Bar/Beer Room, Air*

Contractor's Name, Address & Telephone:
No Contractor / NOT DOING WORK
Applicants Name, Address & Telephone: *Sahara Club*
Virginia Morrow
46 Sebago Lake Rd.
892-0037
Who should we contact when the permit is ready: *Yinger Morrow* *xx*
Telephone: *xx 892-0037*
If you would like the permit mailed, what mailing address should we use:
6/19/00
Draft
Disc'd By:
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 12 2000

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks *Need set backs*
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Virginia Morrow*

Date: *6/12/2001*

BUILDING PERMIT REPORT

DATE: 14 June 2001 ADDRESS: 135 Washington Ave. CBL: 012-P-001 & 30

REASON FOR PERMIT: Change of Use Mercantile To Non-Profit Club

BUILDING OWNER: Karl Rogers (Sabara Club)

PERMIT APPLICANT: /CONTRACTOR SAO

USE GROUP: A-3 CONSTRUCTION TYPE: 2C CONSTRUCTION COST: \$10,000.00 PERMIT FEES: \$84.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *11, *13, *21, *25, *29, *30, *31, *33, *35, *38, *39

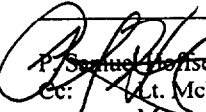
- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

Handwritten signature or initials at the bottom right corner.

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

- X 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- X 29. All requirements must be met before a final Certificate of Occupancy is issued.
- X 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- X 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- X 32. Please read and implement the attached Land Use Zoning report requirements. *sepa stage permits are required for any New Storage*
- X 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- X 34. Bridging shall comply with Section 2305.16.
- X 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- X 36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- * 38. Kitchen exhaust equipment shall comply with Chapter 5 of the City's Mechanical Code (The BOCA Mechanical Code/1999)
- 39. 2nd Floor storage area shall be separated by a 1 hour fire separation


 P. Schumuckal, Building Inspector
 cc: A. McDougall, PFD
 Marge Schumuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager
M. Nugent

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**



QUOTE

Store 2401 PORTLAND
245 RIVERSIDE STREET
PORTLAND, ME 04102

Phone: (207) 761-0600
Salesperson: CSDIC
Reviewer:

FLOORING

QUOTE

2001-06-03 12:40
Prices Valid Thru: 06/04/2001

SOLD TO	Name MORROW		Home Phone (207) 892-0037	
	Address 46 SEBAGO LAKE RD		Work Phone (207) 772-9215	
	Company Name			
	City GORHAM		Job Description VCT	
	State ME	Zip 040382521	County	

CUSTOMER PICKUP #1		MERCHANDISE AND SERVICE SUMMARY			We reserve the right to limit the quantities of merchandise sold to customers.		
		REF #W02 SKU #515-664 Customer Pickup / Will Call					
S.O. MERCHANDISE TO BE PICKED UP:		S/O ARMSTRONG FLOOR TILE REF #S01					
REF #	SKU	QTY	UM	DESCRIPTION	TAX	PRICE EACH	EXTENSION
S0101	326-208	57.00	CA	51811 /51811 WHITE	Y	\$26.55	\$1,513.35
SCHEDULED PICKUP DATE: Will be scheduled upon arrival of all S/O Merchandise					MERCHANDISE TOTAL:		\$1,513.35
TOTAL CHARGES OF ALL MERCHANDISE & SERVICES					END OF CUSTOMER PICKUP - REF #W02		
					ORDER TOTAL	\$1,513.35	
					SALES TAX	\$75.67	
					TOTAL	\$1,589.02	
					BALANCE DUE	\$1,589.02	
END OF ORDER No. 115811							



QUOTE

Store 2401 PORTLAND
245 RIVERSIDE STREET
PORTLAND, ME 04102

Phone: (207) 761-0600
Salesperson: MWMFC
Reviewer:

DOORS -

QUOTE

SOLD TO	Name MORROW		Home Phone (207) 892-0037	
	Address 46 SEBAGO LAKE RD		Work Phone (207) 772-9215	
	City GORHAM			
	State ME		Zip 040382521	
	Job Description SO DOORS		County	

2001-06-03 13:17
Prices Valid Thru: 06/04/2001

CUSTOMER PICKUP #1

MERCHANDISE AND SERVICE SUMMARY

We reserve the right to limit the quantities of merchandise sold to customers.

REF #W06 SKU #515-664 Customer Pickup / Will Call

STOCK MERCHANDISE TO BE PICKED UP:

REF #	SKU	QTY	UM	DESCRIPTION	TAX	PRICE EACH	EXTENSION
R01	824-356	8.00	EA	POCKET FRAME SET 125PD CAPACITY /	Y	\$49.97	\$399.76
R02	837-318	8.00	EA	36X80 COLONIST DOOR SLAB /	Y	\$37.97	\$303.76
R04	820-083	2.00	EA	ENCORE 32X80 OAK /	Y	\$49.98	\$99.96
R05	820-121	13.00	EA	ENCORE-ES- 8X80 OAK /	Y	\$16.75	\$217.75

S.O. MERCHANDISE TO BE PICKED UP:

SJO BROCKWAY SMITH REF #S03

S0301	583-872	1.00	EA	PS262 OUTSWING /PS-262 OUTSWING 3-0X6-8 RH 9LITE /PS-262 OUTSWING RH 3-0X6-8 9LITE 6 9/16 JAMB PRIMED JAMB AND BRICKMOULD ZINC HINGES WITH DEADBOLT BORE AND PREMIUM SELF SEAL WOODGRAIN CAP/MILL FINISH	Y	\$259.74	\$259.74
S0302	583-872	1.00	EA	PS-262/PS263SL /PS262 W/PS263SL 2SIDELITES 6-0X6-8 /PS-262 6-0X6-8 DOUBLE UNIT RH OPERATING 9LITE WITH 2 SIDELITES PS-263SL 1-2X6-8 ALL WITH 6 9/16 JAMB PRIMED JAMB AND BRICKMOULD DOOR WITH DEADBOLT BORE	Y	\$735.54	\$735.54

SCHEDULED PICKUP DATE: Will be scheduled upon arrival of all SJO Merchandise

MERCHANDISE TOTAL: \$2,016.51

END OF CUSTOMER PICKUP - REF #W06

TOTAL CHARGES OF ALL MERCHANDISE & SERVICES

ORDER TOTAL	\$2,016.51
SALES TAX	\$100.89
TOTAL	\$2,117.34
BALANCE DUE	\$2,117.34

END OF ORDER No. 115813



SPECIAL SERVICES CUSTOMER AGREEMENT

Store 2401 PORTLAND
245 RIVERSIDE STREET
PORTLAND, ME 04102

Phone: (207) 761-0600
Salesperson: KTAMM
Reviewer:

VALIDATION AREA

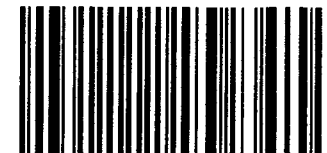
**BATH W Ped.
Sink**

This is only a [†]QUOTE for the merchandise and services printed below. This becomes an Agreement upon payment and an endorsement by a Home Depot register validation.

SOLD TO	Name MORROW		Home Phone (207) 892-0037	
	Address 46 SEBAGO LAKE RD		Work Phone (207) 772-9215	
	Company Name			
	City GORHAM		Job Description PROJECT	
	State ME	Zip 040382521	County	

[†]QUOTE is valid for this date: 06/03/2001

HOME DEPOT DELIVERY #1		MERCHANDISE AND SERVICE SUMMARY			We reserve the right to limit the quantities of merchandise sold to customers.		
		REF #V09					
STOCK MERCHANDISE TO BE DELIVERED:							
REF #	SKU	QTY	UM	DESCRIPTION	TAX	PRICE EACH	EXTENSION
R02	759-721	2.00	EA	NEO STYLE LAV CHROME W/EXTRA HDLS /	Y	\$99.00	\$198.00
R03	292-295	2.00	EA	PATRIOT TOILET TANK-WHITE (NEW) /	Y	\$47.00	\$94.00
R04	406-627	2.00	EA	17"HIGH PATRIOT ELG BWL-WHT. /	Y	\$99.00	\$198.00
R05	606-013	2.00	EA	24X36 BEVELED WALL MIRROR /	Y	\$16.90	\$33.80
R06	546-077	2.00	EA	MOLDED WOOD ELONGATED SEAT-WHITE /	Y	\$12.96	\$25.92
R07	220-507	2.00	EA	WESTMINSTER 4IN TRAD PEDESTAL LAV /	Y	\$56.00	\$112.00
R08	219-543	2.00	EA	WESTMINSTER TRAD. PEDESTAL BASE /	Y	\$43.00	\$86.00
						MERCHANDISE TOTAL:	\$747.72
DELIVERY INFORMATION:							
V09	515-663	1.00	EA	Curbside Delivery Service		Y	\$45.00
						DELIVERY SERVICE SUBTOTAL:	\$45.00
*** CONTINUED ON NEXT PAGE ***							

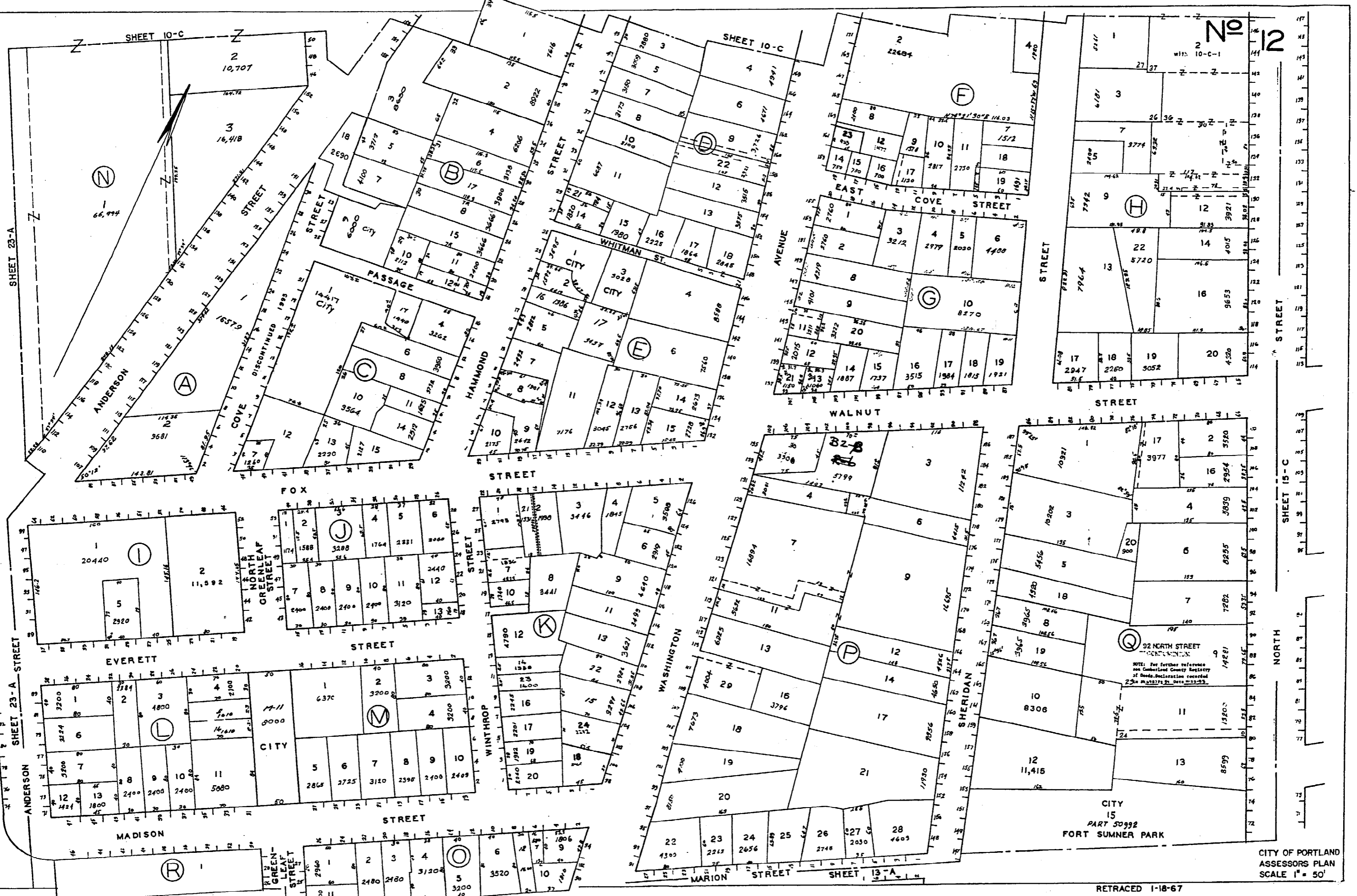


HOME DEPOT DELIVERY #1 <small>(Continued)</small>		REF #V09	
HOME DEPOT WILL DELIVER MDSE TO: MORROW, VIRGINIA			
ADDRESS: 135 WASHINGTON AVE		CITY: PORTLAND	
STATE: ME	ZIP: 04103-	COUNTY: CUMBERLAND	SALES TAX RATE: 5.00
PHONE: (207) 892-0037			
			MDSE & DELIVERY TOTALS: \$792.72
END OF HOME DEPOT DELIVERY - REF #V09			
TOTAL CHARGES OF ALL MERCHANDISE & SERVICES			ORDER TOTAL \$792.72
			SALES TAX \$39.64
			TOTAL \$832.36
			BALANCE DUE \$832.36
END OF ORDER No. 115799			

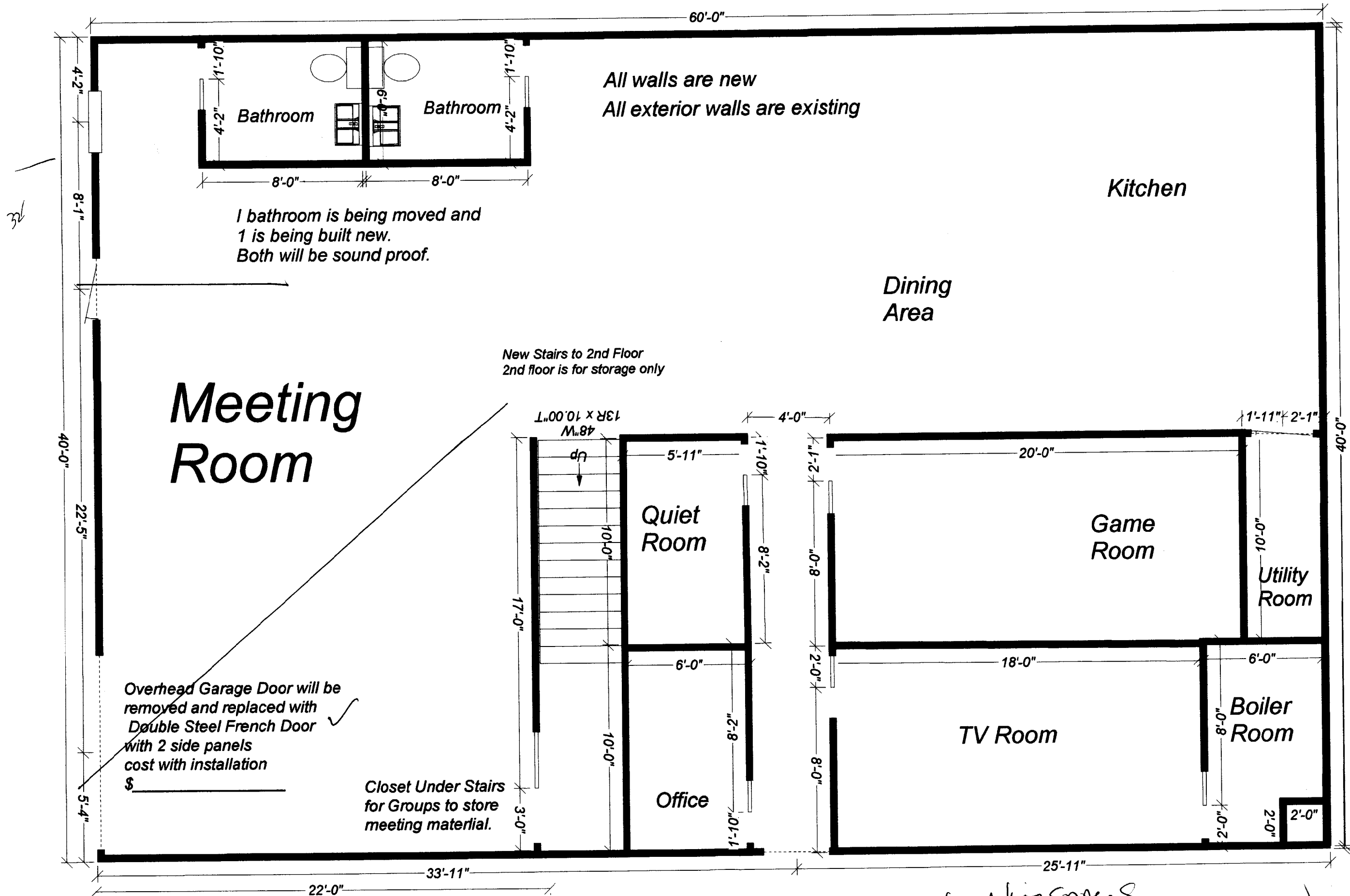
TERMS AND CONDITIONS

DELIVERY TERMS

The Home Depot provides curb service delivery only and is not responsible for property damage beyond curbside delivery. If you assist The Home Depot with any delivery, it will be at your own risk and you hereby release The Home Depot from any claims for loss or damage you may have by reason of your assisting with any delivery. If you require additional delivery service, The Home Depot may assist you; however, any additional delivery service shall be your sole responsibility. The Home Depot is not responsible for any injury to persons or damage to property arising out of The Home Depot's assistance with additional delivery service, and in consideration of such assistance, you release The Home Depot from any claims for loss or damage you may have and shall indemnify and hold The Home Depot harmless from such claims by third parties.



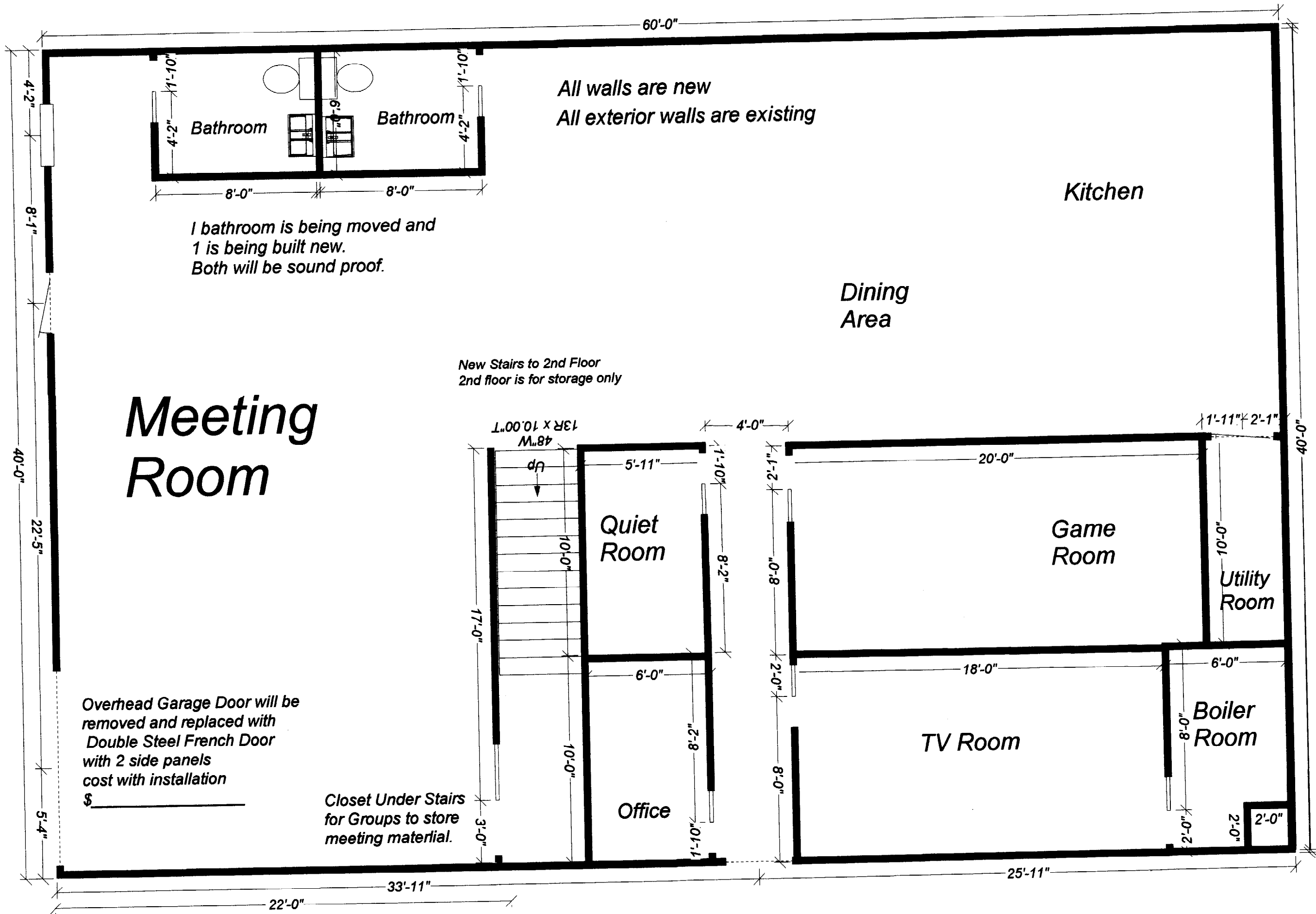
NOTE: For further reference see Cumberland County Registry of Deeds, Declaration recorded 2-28-1917, 2-28-1918, 2-28-1919.



USE GROUP
A-3

~ 6 parking spaces
req - 8 off street
show

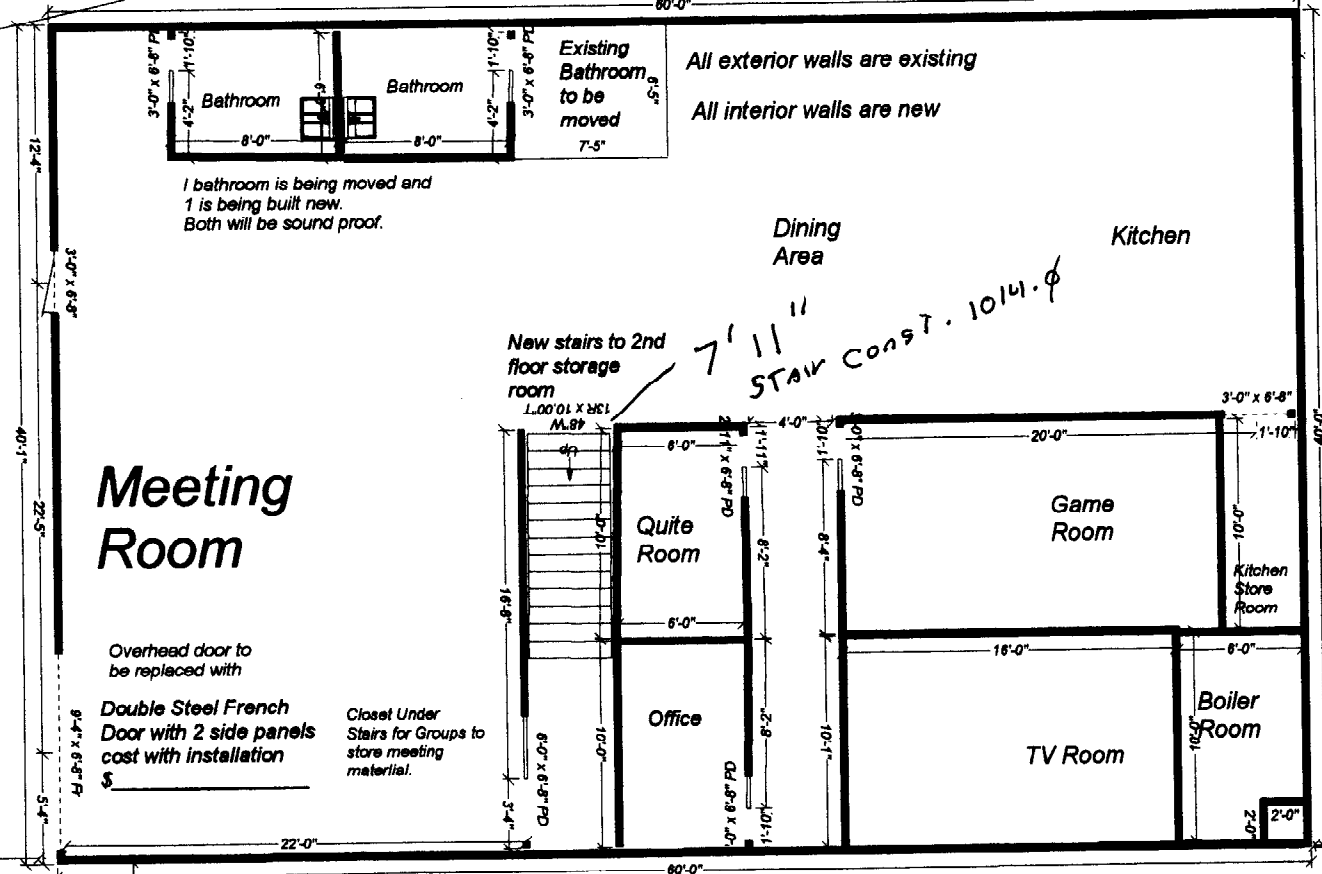
$40 \times 60 = 2400 \div 400 = 6$
 $32 \times 20 = 640 \div 100 = 6.6$



146'-11" P.L.

15'-4"

60'-0"



Building occupants will be about 40 - 45.

8 Parking Spaces will be in the front of the building.

The rest of the parking for the occupants will be off street.

Handwritten signature

Td. 4.88

82-1 P.L.

45'-0"

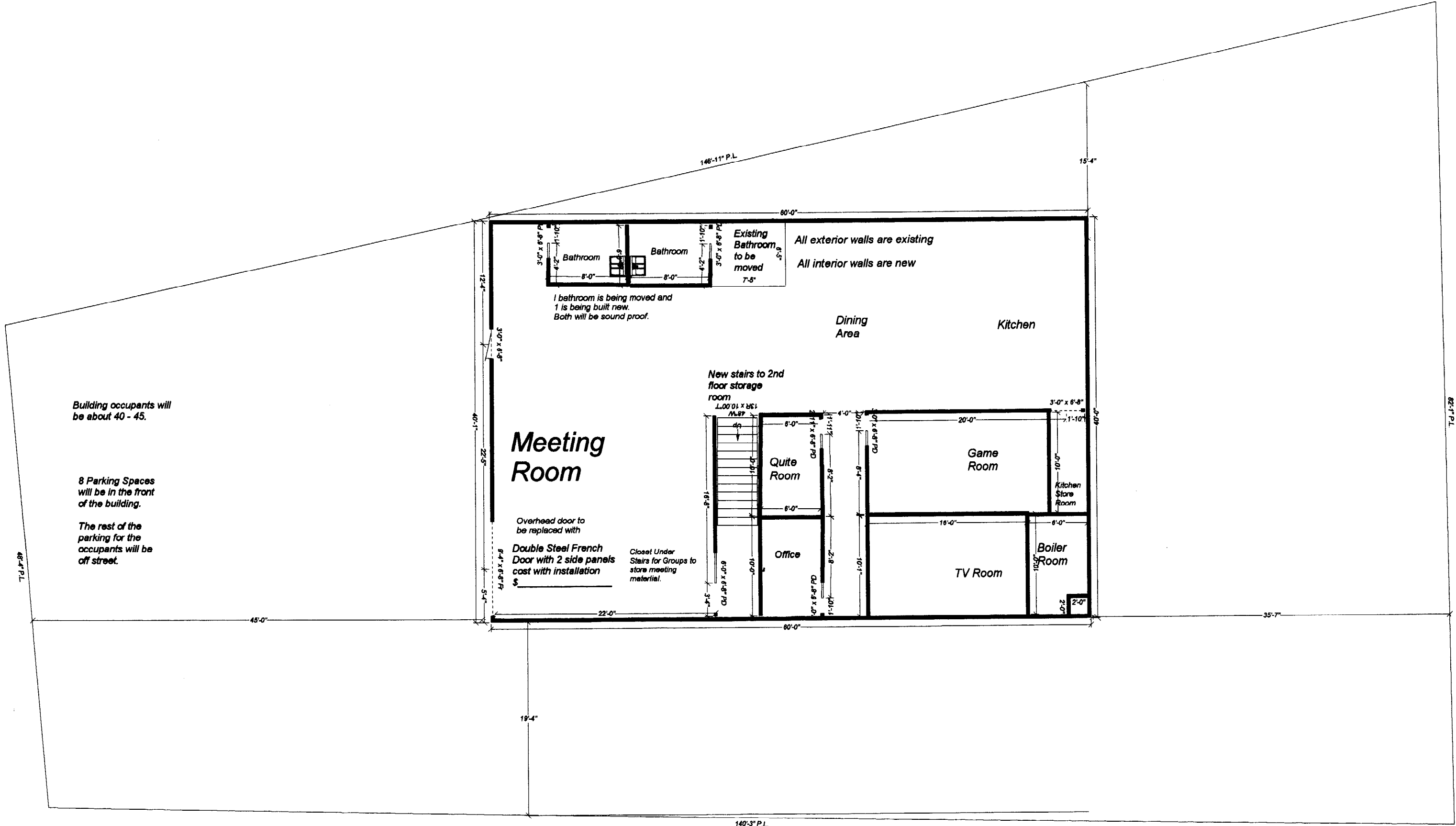
19'-4"

22'-0"

60'-0"

35'-7"

140'-3" P.L.



Building occupants will be about 40 - 45.

8 Parking Spaces will be in the front of the building.

The rest of the parking for the occupants will be off street.

Tid. 8-88

82'-1" P.L.

140'-3" P.L.