

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that C BRUNI LLC – PORTLAND POTTERY Located At 120 WASHINGTON AVE

Job ID: 2011-12-2836-ALTCOMM/2012-41693 AMEND

CBL: 012- K-006-001

No Artist studio job

has permission to Amendment to remove walk in at new rear door add exterior deck connector, new interior beams/walls provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

JMB 4/4/12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-12-2836-ALTCOMM 2012-41693-AMEND	Date Applied: 3/13/2012	CBL: 012- K-006-001	
Location of Construction: 120 WASHINGTON AVE (122)	Owner Name: C BRUNI LLC	Owner Address: 118 WASHINGTON AVE PORTLAND, ME 04101	Phone: 207-772-4334
Business Name:	Contractor Name: Owner	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-2b
Past Use: Retail & café (9 seats) – NO ARTIST STUDIO	Proposed Use: Same – retail & café (9 seats) - amend permit #2011-12-2836 – add walls & open up area at rear door to connect to existing deck	Cost of Work: 4000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: M Type: SB IBC-2009 Signature: <i>[Signature]</i>
Proposed Project Description: Add Ext Door to back of building		Signature: <i>Capt. Piron 3/19/12</i>	4/4/12
Proposed Project Description: Add Ext Door to back of building	Pedestrian Activities District (P.A.D.)		
Permit Taken By:	Zoning Approval		

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK w/conditions 3/15/12 ABU</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABU</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2011-12-2836-ALTCOMM

Located At: 120 WASHINGTON
AVE

CBL: 012- K-006-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. The use of this property is first floor retail with a dwelling unit above. There was a change of use permit (#2011-09-2161-CH OF USE) issued to add artist studio space to the retail space on the first floor, but the owner has decided to only use the first floor as retail. Any change of use shall require a separate permit application for review and approval.

Fire

1. All construction shall comply with City Code Chapter 10.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans, including guardrail specs, additional beam in bathroom, the step height at the 2 decks and deck framing details.
3. All previous conditions of approval and inspections continue to be in effect.

B-2b

Amendment to Permit 2011-12-2832-Altam

Entered 3/13/12

(S)

General Building Permit Application

New: 201241693 (Child)



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>122 Washington Ave. Portland</u>		
Total Square Footage of Proposed Structure/Area <u>Under 10 SF</u>	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>12 K 6</u>	Applicant *must be owner, Lessee or Buyer* Name <u>C BRUNI LLC</u> <u>Lisa + Chris BRUNI</u> Address <u>118 Washington Ave.</u> City, State & Zip <u>Portland, Me 04101</u>	Telephone: " <u>207-772-4334</u>
Lessee/DBA (If Applicable) RECEIVED MAR 13 2012 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: <u>\$400.00</u> <u>Amend.</u> C of O Fee: \$ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>vacant</u> Number of Residential Units _____ If vacant, what was the previous use? <u>Grocery Store</u> Proposed Specific use: <u>retail Pottery + Cafe</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Amendment for rear door, + additional walls on plans.</u>		
Contractor's name: <u>Owners - Lisa + Chris</u> Address: <u>118 Washington Ave.</u> City, State & Zip <u>Portland, Me 04101</u> Telephone: <u>772-4334</u> Who should we contact when the permit is ready: <u>Lisa or Chris</u> Telephone: <u>(C) 232-0845</u> Mailing address: <u>118 Washington Ave. Portland</u> 0845 0845		

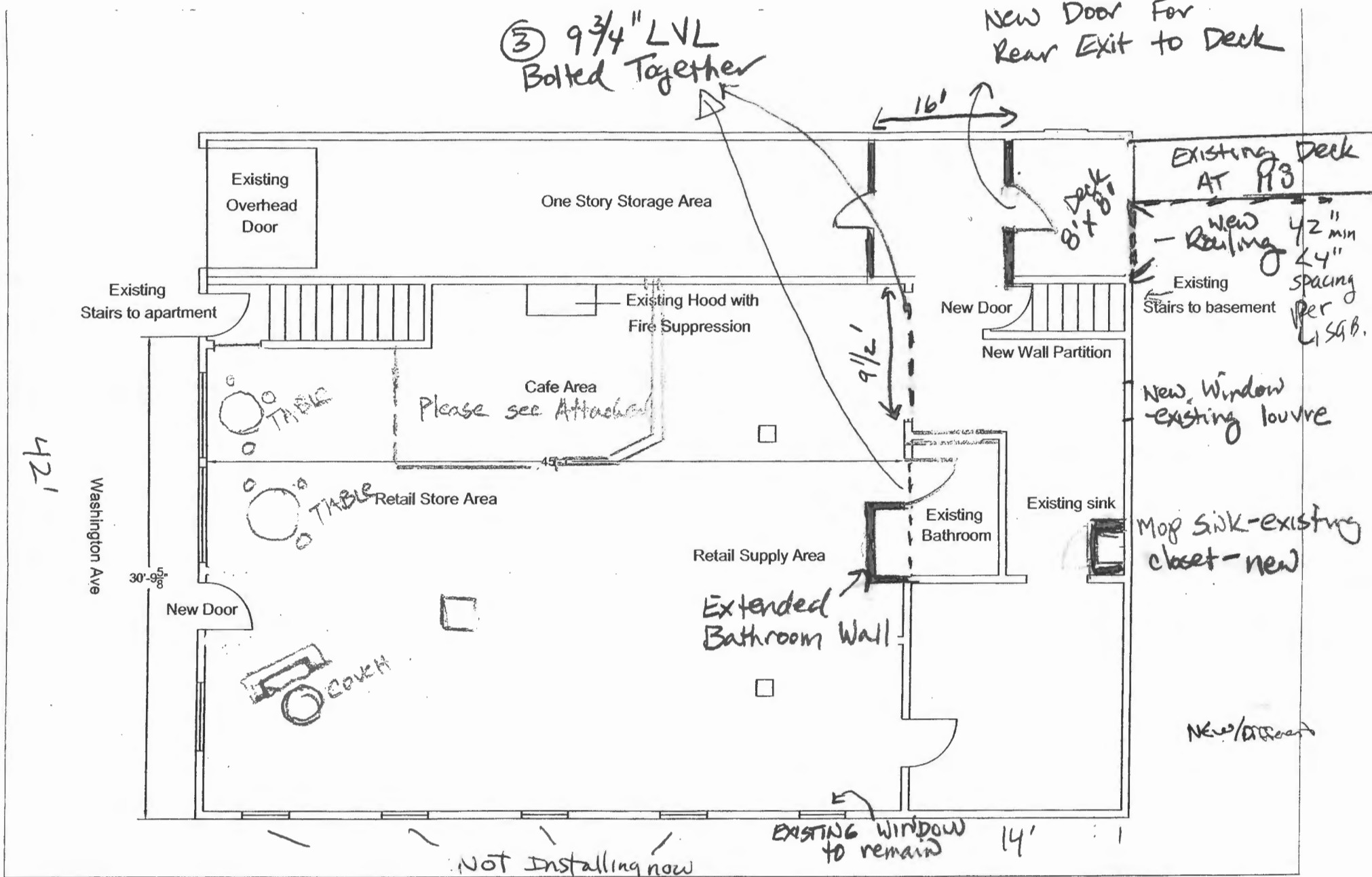
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>Lisa Baranzin</u>	Date: <u>3/12/12</u>
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This is not a permit; you may not commence ANY work until the permit is issued



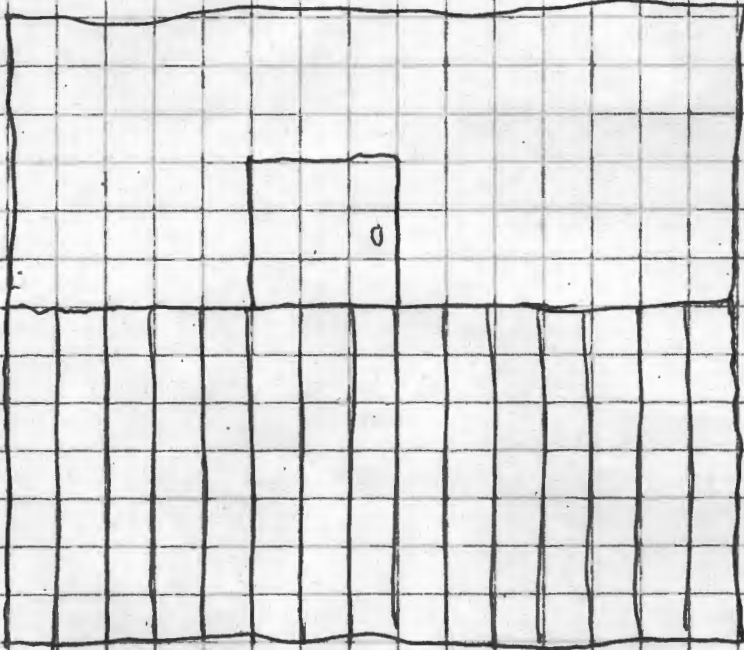
122 Washington Ave
Portland, ME

Portland Pottery #2
Proposed Layout
Amendment to Rear Exit Permit

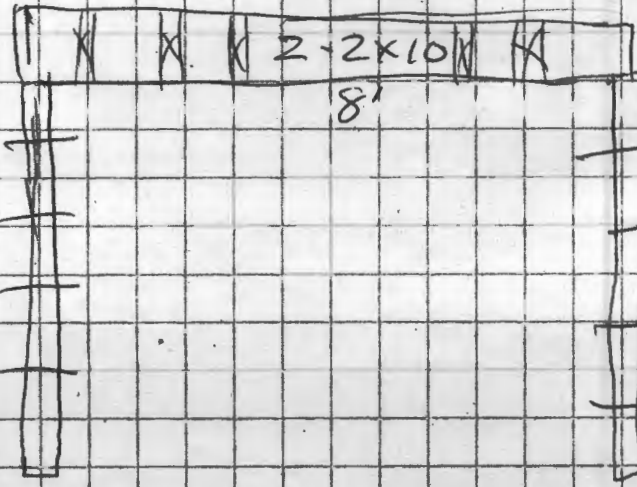
Scale: 1/8"=1'
10/5/11

Exterior Door (Proposed) AA 120-122

Washington Ave



5/3/12
Per Lisa B.
2-2x10 Beam



8x8' PT Deck
FRAMED w/ 2x10 PT
DECKING w/ 2x4 PT
16" O.C.

JOIST HANGERS
LAGGED INTO BLOCK WALLS

2.0E CP-LAM DESIGN PROPERTIES



DOUG FIR LVL

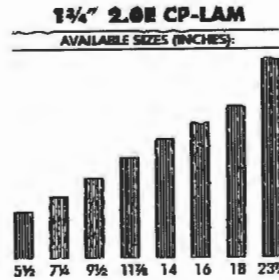
ALLOWABLE DESIGN PROPERTIES - 1 3/4" 2.0E CP-LAM

Depth	Maximum Vertical Shear (lbs)			Maximum Bending Moment (ft-lbs)			EI (x 10 ⁴ lb-in ²)	Weight (plf)
	100%	115%	125%	100%	115%	125%		
5 1/2"	1829	2103	2286	2664	3064	3330	49	2.50
7 1/2"	2411	2772	3013	4380	5037	5475	111	3.30
9 1/2"	3159	3633	3948	7125	8194	8907	250	4.32
11 1/2"	3948	4541	4936	10647	12245	13309	488	5.40
14"	4655	5353	5819	14320	16468	17900	800	6.36
16"	5320	6118	6650	18210	20942	22763	1195	7.27
18"	5985	6883	7481	22511	25888	28139	1701	8.18
23 1/2"	7938	9129	9923	37428	43043	46786	3969	10.85

2.0E CP-LAM Allowable Design Stresses⁽¹⁾

- Modulus of Elasticity $E = 2,000,000 \text{ psi}^{(2)}$
- Bending $F_b = 3,100 \text{ psi}^{(3M)}$
- Horizontal Shear (joist) $F_v = 285 \text{ psi}$
- Compression Perpendicular to Grain (joist) $F_{c\perp} = 850 \text{ psi}^{(2)}$
- Compression Parallel to Grain $F_c = 2,750 \text{ psi}$

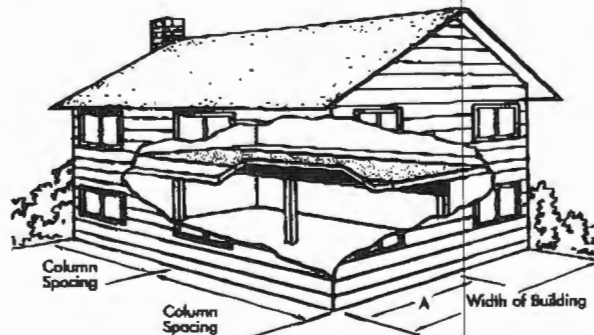
- (1) These allowable design stresses apply to dry service conditions.
- (2) No increase is allowed for load duration.
- (3) Multiply by $(12/d)^{1/3}$ where $d =$ depth of member (in).
- (4) A factor of 1.04 may be applied for repetitive members as defined in the National Design Specification[®] for Wood Construction.



For additional grades and sizes, please visit our Web site at www.coastalforestproducts.com

2.0E CP-LAM FLOOR BEAMS

This table provides CP-LAM beam sizes for center support of one level of floor framing over various column spacings. Where floor joists are continuous over the beam, this table applies only when the 'A' span is between 45% and 55% of the building width.



1 3/4" x 2.0E CP-LAM

Width of Building (ft)	Column Spacing									
	11'	12'	13'	14'	15'	16'	17'	18'	19'	20'
24'	2-11 1/2"	2-11 1/2"	2-11 1/2"	2-14"	2-14"	2-16"	2-16"	2-16"	2-18"	2-18"
	3-9 1/2"	3-9 1/2"	3-11 1/2"	3-11 1/2"	3-11 1/2"	3-14"	3-14"	3-14"	3-16"	3-16"
28'	2-11 1/2"	2-11 1/2"	2-14"	2-14"	2-14"	2-16"	2-16"	2-18"	2-18"	-
	3-9 1/2"	3-11 1/2"	3-11 1/2"	3-11 1/2"	3-14"	3-14"	3-14"	3-16"	3-16"	3-18"
32'	2-11 1/2"	2-11 1/2"	2-14"	2-14"	2-16"	2-16"	2-18"	2-18"	-	-
	3-9 1/2"	3-11 1/2"	3-11 1/2"	3-14"	3-14"	3-14"	3-16"	3-16"	3-18"	3-18"
36'	2-11 1/2"	2-14"	2-14"	2-16"	2-16"	2-18"	2-18"	-	-	-
	3-11 1/2"	3-11 1/2"	3-11 1/2"	3-14"	3-14"	3-16"	3-16"	3-16"	3-18"	3-18"
40'	2-11 1/2"	2-14"	2-14"	2-16"	2-16"	2-18"	-	-	-	-
	3-11 1/2"	3-11 1/2"	3-14"	3-14"	3-14"	3-16"	3-16"	3-18"	3-18"	-

→ see note 3

Notes:

1. CP-LAM beam sizes are listed as the number of 1 3/4" thick pieces by the beam depth, e.g. 2-9 1/2" indicates two 1 3/4" pieces by 9 1/2" deep.
2. All CP-LAM beams require support across their full width.
3. The minimum required end and intermediate bearing lengths (based on 850 psi) are 3" and 7 1/2" respectively unless the + symbol is shown. In that case, 4 1/2" and 10 1/2" end and intermediate bearing lengths are required.
4. CP-LAM beam sizes are based on residential floor loading of 40 psf live load and 10 psf dead load. The roof framing must be trusses supported at the exterior walls only.
5. Deflection is limited to L/360 at live load and L/240 at total load.
6. CP-LAM beam sizes are based on continuous floor joist spans and simple or continuous beam spans. If the floor joists are not continuous, it is permissible to consider a "Width of Building" dimension that is equal to 0.8 times the actual width of the building.

C P - L A M 2.0E DESIGN PROPERTIES & FLOOR BEAMS



4/9/12
Per Sam
Step 15 7"





PORTLAND MAINE

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Receipts Details:

Tender Information: Check , Check Number: 20558
Tender Amount: 30.00

Receipt Header:

Cashier Id: bsaucier
Receipt Date: 3/13/2012
Receipt Number: 41694

Receipt Details:

Referance ID:	5577	Fee Type:	UI-MI
Receipt Number:	0	Payment Date:	
Transaction Amount:	30.00	Charge Amount:	30.00
Job ID: Job ID: 2011-12-2836-ALTCOMM - Add Ext Door to back of building			
Additional Comments: 122 Washington			

Thank You for your Payment!