

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that C BRUNI LLC

Located At 120 WASHINGTON AVE

Job ID: 2011-09-2161-CH OF USE

CBL: 012- K-006-001

has permission to Change the Use from market with 1 dwelling above to ^{artist studio} ~~artist studio~~ retail pottery/café, renovate space provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

 11/23/11

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

SCANNED



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development

Building Inspections Division

Location: 120 WASHINGTON AVE

CBL: 012- K-006-001

Issued to: C BRUNI LLC

Date Issued: 5/16/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-09-2161-CH OF USE as amended by 2011-12-2836-ALTCOMM/2012-41693, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

1st Floor

APPROVED OCCUPANCY

USE GROUP M
TYPE 5B
IBC 2009

Approved:

5-16-12

(Date)

Inspector

Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-09-2161-CH OF USE

Located At: 120 WASHINGTON
AVE

CBL: 012- K-006-001

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted and additional information provided by Great Falls Construction. Any deviations shall require a separate approval before starting that work.
3. This property shall remain an artist studio, a retail space and a café all on the first floor with one apartment above with the issuance of this permit and subsequent issuance of a certificate of occupancy. Any change of use shall require a separate permit application for review and approval.

amended plan - 3/13/12 - no artist studio in space

Fire

1. Installation shall comply with City Code Chapter 10.
2. All construction shall comply with City Code Chapter 10.
3. The occupancy shall comply with City Code Chapter 10 upon inspection.
4. All outstanding code violations shall be corrected prior to final inspection.
5. All smoke detectors and smoke alarms shall be photoelectric.
6. Need 90 min rated-door that enters into residential stairwell.

Building

1. Application approval based upon information provided by applicant, including revised detail as dated. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2009 Section 713.
3. New cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes
4. Approval of City license is subject to health inspections per the Food Code.
5. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
6. Ventilation of all these spaces is required per ASHRAE 62.1
7. Existing kitchen exhaust hood/duct/termination & suppression to be inspected by company for compliance.
8. This permit approves non-separated mixed occupancy of the Mercantile/Factory with 2 hour separation between this and the Residential occupancy.
9. Occupancy maximum is 49 for one means of egress.
10. A more detailed floor plan of the kitchen/café area is required showing fixtures seating and display.
11. A separate permit is required for the installation of a rear egress door.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection/Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-09-2161-CH OF USE	Date Applied: 9/6/2011	CBL: 012 - - K - 006 - 001 - - - - -	
Location of Construction: 120-122 WASHINGTON AVE	Owner Name: C Bruni LLC	Owner Address: 118 WASHINGTON ST PORTLAND, ME 04101	Phone: 772-4334
Business Name:	Contractor Name: Jonathan Smith @ Great Falls Const <i>Valene</i>	Contractor Address: 20 Mechanic ST GORHAM MAINE 04038	Phone: (207) 839-2744
Lessee/Buyer's Name:	Phone:	Permit Type: Change of use	Zone: B-2b
Past Use: Retail market with one dwelling unit above	Proposed Use: To change the use from a retail market and one dwelling unit above to an artist's studio space (pottery) and a retail store area and a café area on the 1st floor with one apt above to add new window on 1st floor	Cost of Work: \$38,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <i>F2/B</i> Type: <i>5B</i> <i>IBC-2009</i> Signature: <i>JMB</i>
Proposed Project Description: Re-open as pottery & pottery supply store & Café		Pedestrian Activities District (P.A.D.) <i>11/23/11</i>	

Permit Taken By: Lannie	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK with conditions</i> <i>9/26/11</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>9/26/11</i>	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/26/11</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3/12/12 met w/ Lisa B. - she submitted The cafe layout as requested. Will also apply for Amendment for various changes. JMB

3/15/12 amended plan shows not artist studio space. Confirmed this in telephone conversation w/ Chris Bruni. Use of first floor is just retail - cafe w/ 9 seats, 3 potting supplies, 1 finished pots. ARM
→ 2012-41693 (2011-12-2831)

3-15-12 DWM Lisa 232-0845 Framing OK

3-23-12 DWM ~~Daniel 603-988-3502~~ Matt 327-2121 close-in OK
pending plumbing changes below floor. eliminate wet vented structure from 2nd floor

5-11-12 DWM/BKL/Capt. Pirone Lisa Final, Fall. Provides Hood termination +
② fire suppression letters, ③ Handrail bat 2 steps. ④ Revised Floor Plan

5-16-12 DWM Lisa Final OK

than four thousand (4,000) square feet in floor area on that date.

6. Studios for artists and craftspeople, provided that the area of such studios does not exceed four thousand (4000) square feet for each studio space.
7. Hostels, provided the applicant submits a site plan and operations plan demonstrating compliance with the following conditions:
 - a. All applicable provisions of Article V of this chapter shall be met.
 - b. Parking shall be provided in compliance with Division 20 of this Article.
 - c. No unaccompanied minors under the age of eighteen (18) shall be permitted in the facility.
 - d. The length of stay for transient guests shall not exceed fifteen (15) days out of any sixty-day period.
 - e. The building shall meet the applicable occupant load requirements as defined by the International Building Code and the NFPA Life Safety Code, as such codes are amended or adopted by the city.

(Ord. No. 293-88, 4-4-88; Ord. No. 39-96, § 2, 10-7-96; Ord. No. 125-97, § 6, 3-3-97; Ord. No. 164-97, § 2, 12-1-97; Ord. No. 25, 7-07-99: emergency enactment of 120-day moratorium, effective 7/07/99 thru 11/04/99; Ord. No. 94A, 11-01-99: emergency enactment of 44-day extension of moratorium enacted on 7-07-99, effective date 11/01/99 thru 12/15/99; Ord. No. 94-99, 11-15-99; Ord. No. 118-00, 11-20-00; Ord. No. 151-03/04, 02/23/04; Ord. No. 127-09/10, 1-4-10 emergency passage; Ord. No. 244-09/10, 6-21-10; Ord. No. 283-09/10, 7-19-10 emergency passage; Ord. 10 10/11, 8-2-10; Ord. No. 279-09/10, 6-6-11)

Sec. 14-183. Conditional uses.

The following uses are permitted in the B-2, B-2b and B-2c zone, as provided in section 14-474 (conditional uses), if they meet the following requirements:

- (a) *Business*. Any of the following conditional uses, provided

B-2b



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>122 Washington Ave, Portland, ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>1857 SF</u>		Square Footage of Lot <u>2,919 SF</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>12 - K - 006-001</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>C Bruni LLC</u> Address <u>118 Washington Ave</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>772-4334</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip <u>ARN'S EASTEND MARKET</u>	Cost Of Work: \$ <u>31,500</u> C&O Fee: \$ <u>75</u> Total Fee: \$ <u>475</u>
Current legal use (i.e. single family) <u>store + food prep with one residential unit on top 2 floors</u> If vacant, what was the previous use? <u>Store + food prep</u> Proposed Specific use: <u>store + food prep</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Remodel + reopen 122 Washington Ave as a pottery + pottery supply store + cafe</u>		
Contractor's name: <u>Great Falls Construction</u> Address: <u>20 Mechanic St</u> City, State & Zip <u>Gorham, ME 04038</u> Telephone: <u>839-2744</u> Who should we contact when the permit is ready: <u>Jonathan Smith</u> Telephone: <u>839-2744</u> Mailing address: <u>20 Mechanic St, Gorham, ME 04038</u>		

9.6.11

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
SEP - 6 2011
Dept. of Building Inspections
City of Portland Maine

Signature: Jana Bonaiuto, Manager Date: 8/29/11

This is not a permit; you may not commence ANY work until the permit is issue

2 Hour

Design #

UL L505

GA File #

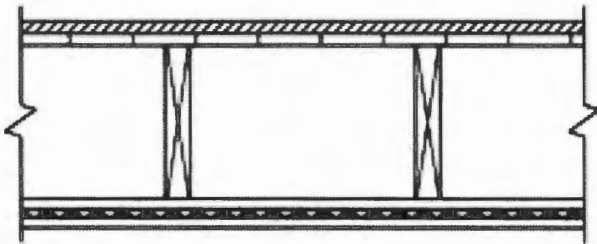
FC 5724

STC - N/A

IIC - N/A

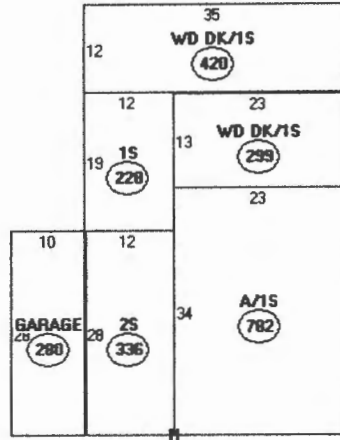
Sound Test # N/A

Test # N/A



[Link to .PDF file](#)
[Link to .DWG file](#)
[Link to .DWG/Text file](#)

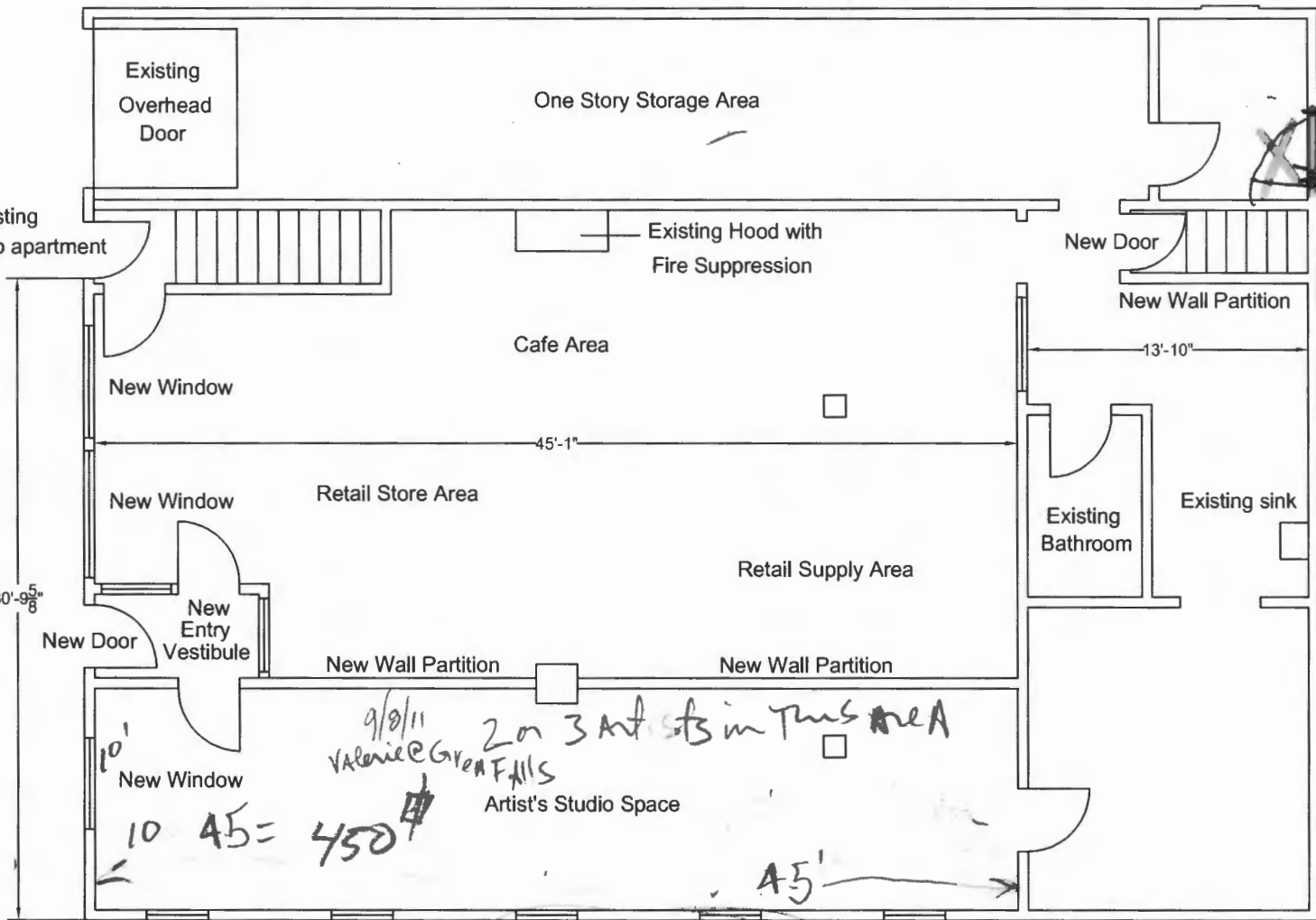
Base layer 5/8" (15.9 mm) Fire-Shield C Gypsum Board applied at right angles to 2x10 wood joists 16" o.c. with 8d nails, 2-1/2" long, 0.113" shank, 19/64" heads, 7" o.c. Resilient furring channels at 24" o.c. applied at right angles to wood joists through base layer with 8d nails, 2-1/2" long, 0.113" shank, 19/64" head, at each joist. Face layer 5/8" Fire-Shield C Gypsum Board applied at right angles to resilient furring channels with 1" type S drywall screws 12" o.c. Wood joists supporting 1" nominal T&G wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T&G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.



34
13
12

59

- Descriptor/Area
- A: 091
2065 sqft
 - B: 038
2065 sqft
 - C: 011
1118 sqft
 - D: 011
315 sqft
 - E: OVERHEAD DR-WOOD/MTL
64 sqft
 - F: GARAGE-ATTACHED-FRM
280 sqft
 - G: PORCH, OPEN
420 sqft
 - H: PORCH, OPEN
299 sqft
 - I: A/1S
782 sqft
 - J: 25
336 sqft
 - K: GARAGE
280 sqft



No Door on this permit

NO PARKING Req. for 10,000 sq ft of window - 12' high
 Washington Ave
 10,000 sq ft of window - 12' high
 8/29/11

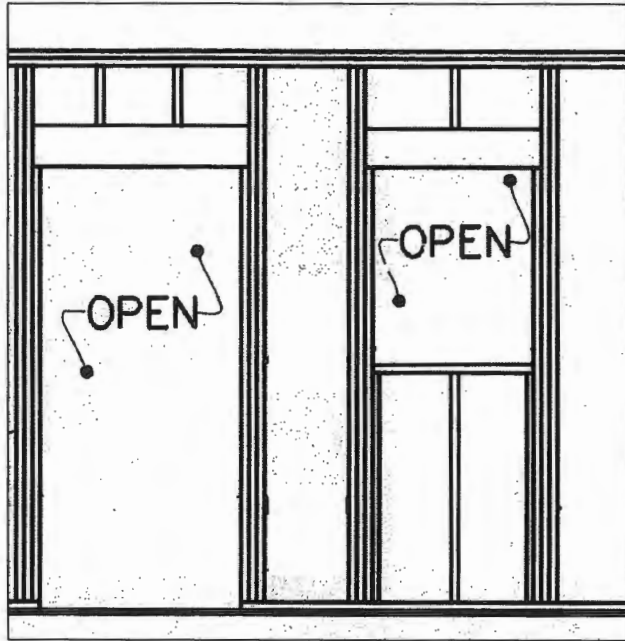
9/8/11
 Valerie @ Great Falls
 2 or 3 Art sts in this area

59 entire length of 6 ft

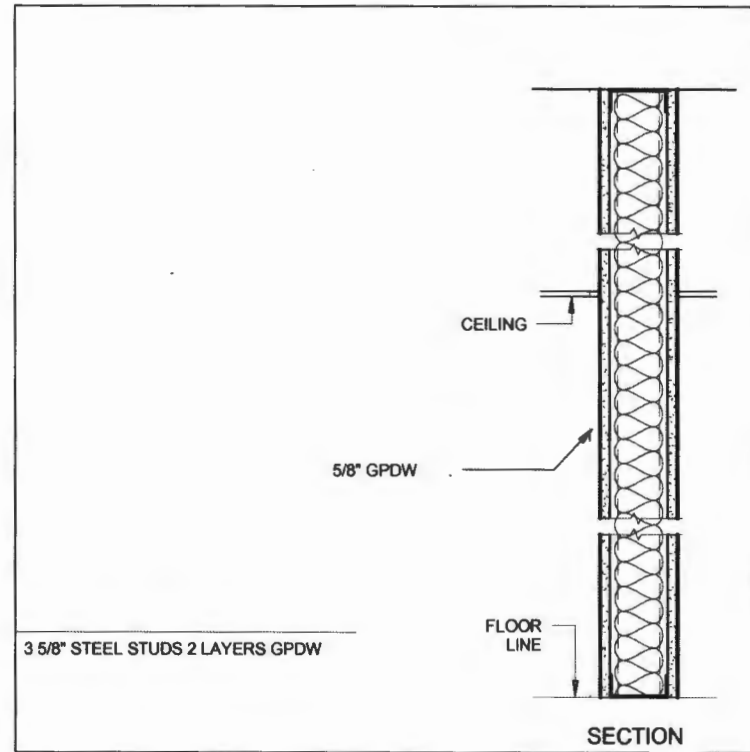
122 Washington Ave
Portland, ME

Portland Pottery
Proposed Layout

Scale: 1/8"=1'
8/29/11



Door and window framing 16" oc



Wall Section

122 Washington Ave
Portland, ME

Portland Pottery
Details

Scale: 1/8"=1'
8/29/11

**Renovation of
122 Washington St, Portland, ME
Window and Door Schedule**

Door Schedule

- (1) Half glass, primed steel door, steel knock-down frame, self closing hinges, panic bar hardware and latch lock**
- (2) Full glass, primed steel door, steel knock-down frame, self closing hinges, panic bar hardware and latch lock**
- (1) Primed steel door, steel knock-down frame for door into basement**

Window Schedule

- (3) Aluminum storefront insulated glass windows and frames**
- (5) Vinyl awning windows with full screens**
- (1) Interior vinyl window**

At East
End Market

Portland
Pottery



© 2011 Google

120-122
WRIGHTWOOD AVE

118 WRIGHTWOOD
AVE

WRIGHTWOOD AVE





Jeanie Bourke - FW: 122 Washington ave permit review

From: Lisa Bruni <Lisa@portlandpottery.com>
To: "jmb@portlandmaine.gov" <jmb@portlandmaine.gov>
Date: 11/18/2011 1:44 PM
Subject: FW: 122 Washington ave permit review
Attachments: Window spec.pdf; 122 washington ave portland.jpeg; IMAG0303.jpg; IMAG0299.jpg; Door specs.pdf

Hi Julie,

Thank you for getting back to us. I thought you had received this information via Todd. The only thing I will need to get to you, is the café lay out. I will scan and send it on Monday or drop it off.

Thanks again for your help and have a nice weekend.

Lisa

PS Please let us know if we need anything else.

Lisa, Here is the package to forward to Town Hall. All you need to do is attach the café layout sketch and you are all set. Val

Here are the items:

- Pottery studio considered F-2 use, 2 hour separation required from mercantile per Table 508.4 with opening protections, fire door

We will have 2 layers of Type X drywall on each side of the metal stud wall partition with a fire rated door.

- Floor/ceiling assembly separating residential also needs sound transmission class STC 50 (2 hours ok)

We will add the sound transition class STC 50 to the floor/ceiling assembly

- Tempered windows: 1 in vestibule, 1 at new window near common vestibule door

Storefront and vestibule windows to be 1" clear annealed and tempered glass.

- Common vestibule door at apartment to be 90 minute

We will replace the existing common vestibule door at apartment with a 90 minute door

- Need window/door specs for u-factor, energy code

Windows & door spec attached

- Floor plan/fit up for café and studio including plumbing fixtures

Attached

- Existing kitchen hood to be inspected for compliance by installation company

The kitchen hood will be inspected for compliance.

- Review rear exit and decks from pre-lim meeting

See attached site pictures



PORTLAND
POTTERY
SUPPLY

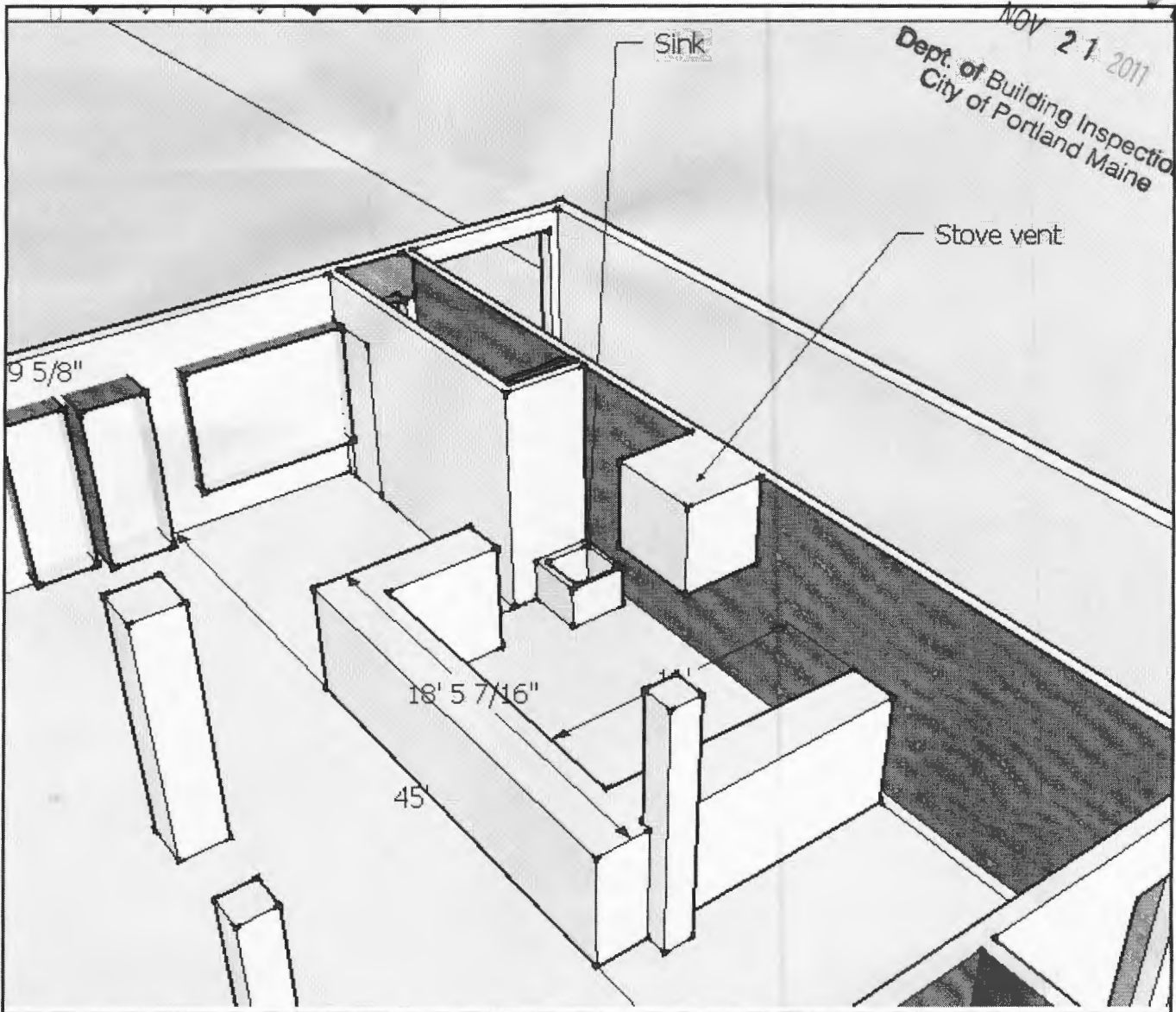


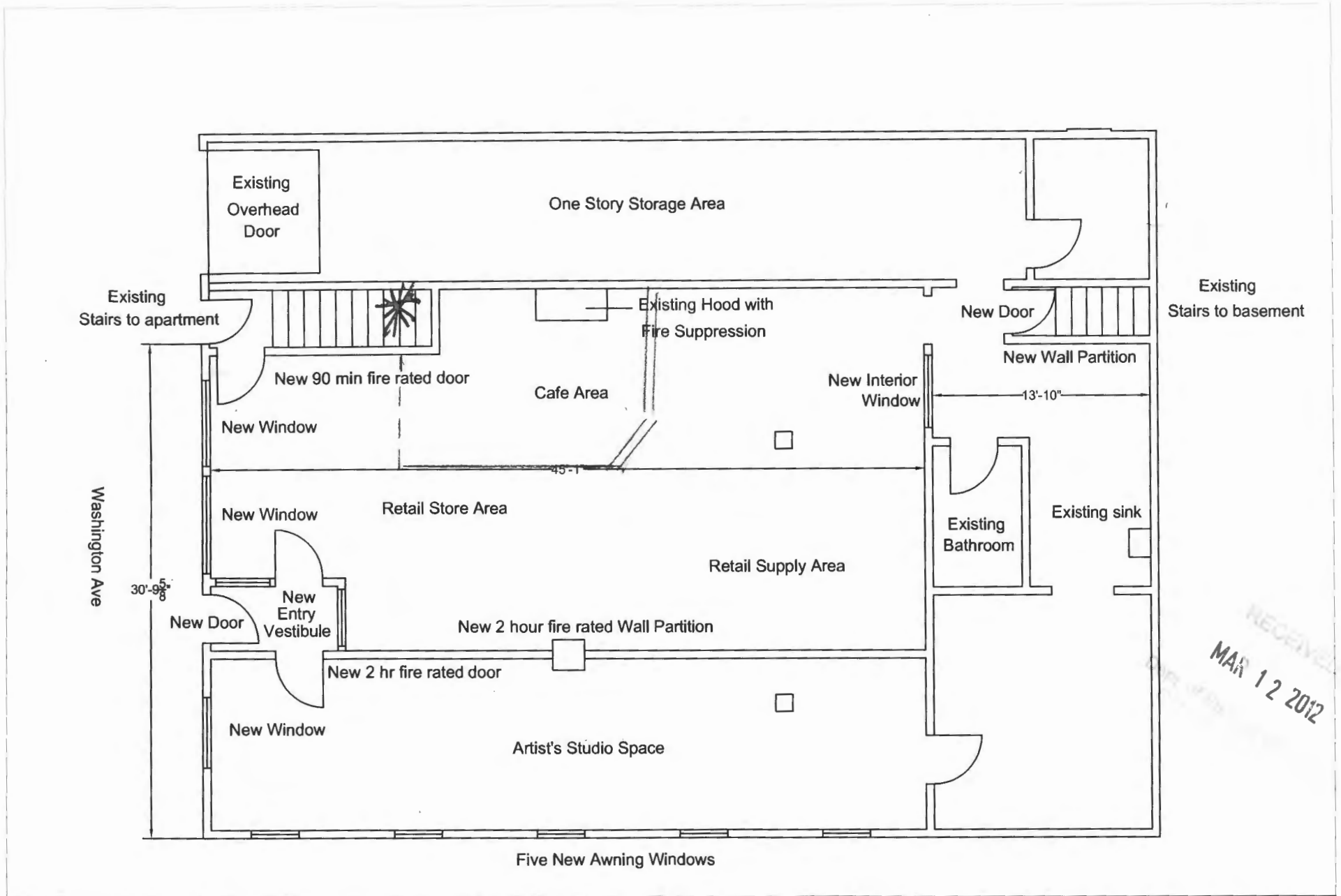
Jeanie Bourke - Permit 120-122 Cafe Plan

From: Chris Bruni <Chris@portlandpottery.com>
To: "jmb@portlandmaine.gov" <jmb@portlandmaine.gov>
Date: 11/21/2011 11:08 AM
Subject: Permit 120-122 Cafe Plan

Hello Jeanie, Here is the floor plan for the café. Let me know if you need more. Thank you

Chris Bruni





RECEIVED
MAR 12 2012

122 Washington Ave
Portland, ME

Portland Pottery
Proposed Layout #1

Scale: 1/8"=1'
10/5/11

