

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Please Read
Application And
Notes, If Any,
AttachedThis is to certify that NESBITT KELLY A /Thompson & Johns workershas permission to Accessory Structure

NOV 19 2009

AT 11 EVERETT STCity of Portland
012 J009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other closed-in. 2 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Markley 11/19/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1223	Issue Date:	CBL: 012 J009001
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Location of Construction: 11 EVERETT ST	Owner Name: NESBITT KELLY A	Owner Address: 11 EVERETT ST	Phone: 207-766-5625
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone: 2077665219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-6

Past Use: Residential - Single Family Dwelling	Proposed Use: <i>SFD</i> Residential Accessory Structure for shed and hobby art studio	Permit Fee: \$60.00	Cost of Work: \$4,000.00	CEO District: 1	2400P
Proposed Project Description: Accessory Structure for shed and hobby art studio		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>		
		Signature:	Signature: <i>Jm 11/19/09</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)					
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied					
Signature: _____ Date: _____					

Permit Taken By: jmy	Date Applied For: 10/30/2009	Zoning Approval		
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews	Zoning Appeal	Historic Preservation
		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj. Minor MM <i>ok with conditions</i> Date: <i>11/17/09</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

PERMIT ISSUED

NOV 19 2009

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 11 EVERETT ST. PORTLAND			
Total Square Footage of Proposed Structure/Area 193 SF		Square Footage of Lot 2400	
Tax Assessor's Chart, Block & Lot Chart# 12 Block# J Lot# 9		Applicant * must be owner, Lessee or Buyer Name KELLY NEBBITT Address 11 EVERETT ST City, State & Zip PORTLAND, ME 04101	
Telephone: 207-318-1245			
Lessee/DBA (If Applicable)		Owner (if different from Applicant) Name Address City, State & Zip	
		Cost Of Work: \$ 4,000 C of O Fee: \$ Total Fee: \$ 60	
Current legal use (i.e. single family) single family R-6 If vacant, what was the previous use? Proposed Specific use: single family Is property part of a subdivision? If yes, please name Project description: CONSTRUCTION OF AN ACCESSORY STRUCTURE			
RECEIVED			
Contractor's name: GREG		OCT 30 2009	
Address:			
City, State & Zip		Dept. of Building Inspections City of Portland Maine	
Who should we contact when the permit is ready: RACHEL CONLEY		Telephone: 207-766-5625	
Mailing address: 216 STERLING ST. PEAKS ISLAND, ME. 04108			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Rachel Conley	Date: 10.29.09
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This is not a permit; you may not commence ANY work until the permit is issued

From: kelly nesbitt <nesbitt.kelly@gmail.com>
To: <mes@portlandmaine.gov>, <buildinginspections@portlandmaine.gov>
Date: 11/16/2009 5:09:54 PM
Subject: Atten: Marge Schmuckal

Dear Marge,

Hello. My name is Kelly Nesbitt. I live at #11 Everett Street. Zone R6.

I recently applied for a building permit to build for an exterior building that will be used as my art studio/shed. My intentions are to use the space to write and practice my solo theatrical performances. I am a performer and you can easily find my work online. I will also use the space for storage, similar to a shed. My designer for the building is Rachel Conly. I am told that the application may need some additional information. I am more than happy to provide whatever information you may need. I am off work for the next 2 days and I could also come in to meet with you if you would like. I can be readily reached by my cell phone. I'd very much like to be able to get the sono tubes into the ground before Thanksgiving, before the ground freezes. Please let me know what I can do to help the process and to address any concerns for the permit.

My phone: 318-1245

Thank you for your time!
 Kelly Nesbitt

cleaner
 up stairs - write
 1st floor
 move in
 storage
 shed
 write scripts
 quiet clean
 space for

hobby only -
 has a regular occupational
 therapy job

11/17/09 - spoke with Kelly
 yes electric
 no plumbing -

yes - wood stove - needs a separate permit

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1223	Date Applied For: 10/30/2009	CBL: 012 J009001
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Location of Construction: 11 EVERETT ST	Owner Name: NESBITT KELLY A	Owner Address: 11 EVERETT ST	Phone: 207-766-5625
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Residential - Accessory Structure for shed and hobby art studio	Proposed Project Description: Accessory Structure for shed and hobby art studio
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/17/2009**Note:** **Ok to Issue:** ☒

- 1) This proposed structure is being approved ONLY for an accessory structure. Any change of use SHALL require a separate permit, review and approval.
- 2) This structure shall not be higher than 18' measured from grade to the mid-point of the roof (between the ridge and where the roof hits the outside wall).
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 11/18/2009**Note:** **Ok to Issue:** ☒

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

11/17/2009-mes: Was trying to get more information on the use and activities in what was originally called just an "Accessory Structure" - will be for a shed and hobby art studio on the first floor with a quiet clean space for writing scripts on the 2nd floor. Not a home occupation. Spoke to owner and received e-mail explaining

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

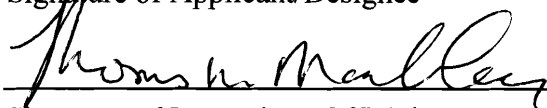
 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee



Signature of Inspections Official

Date

 11/19/09

Date

From: rachel conly <raconly@yahoo.com>
To: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 11/12/2009 3:00:02 PM
Subject: Re: 11 Everett Street

Hi Ann,

Thanks for your quick response. Is there any question that I can answer for Marge? The use of the "out building" will be for artist studio purposes. In addition to her "day job" as an occupational therapist, Kelly is a visual and performance artist and needs space to work.

If you need to know anything else, maybe I can help. I try to handle as much as I can up front for my clients. Would it help if I call Marge?

I am leaving the office for the day. Have a good evening. Rachel

Rachel Conly
Architectural Designer

--- On Thu, 11/12/09, Ann Machado <AMACHADO@portlandmaine.gov> wrote:

From: Ann Machado <AMACHADO@portlandmaine.gov>
Subject: Re: 11 Everett Street
To: raconly@yahoo.com
Date: Thursday, November 12, 2009, 11:49 AM

Rachel -

Marge ended up reviewing the zoning. She has it on hold because she needed more information about the use of the building. She was planning to write a letter. I don't know if she has yet or not.

Ann

>>> rachel conly <raconly@yahoo.com> 11/12 2:41 PM >>>

Hi Ann,

Just checking on the submission for 11 Everett Street. I just spoke with Tom Markely and he said he has not seen it yet.

Thanks, Rachel

From: kelly nesbitt <nesbitt.kelly@gmail.com>
To: <AMACHADO@portlandmaine.gov>
Date: 11/12/2009 3:41:17 PM
Subject: Ann

Dear Ann,

Hello!

Kelly Nesbitt from 11 Everett Street, R6 zone.

Rachel Conly has been working on my plans for my studio building in my backyard. She tells me that there is a letter that I will have to sign before the permit is issued.

I'd be happy to come in and pick up that letter as soon as it is available. Also, if it is feasible, it could also be emailed to me via word document as well. My plans for the space are for it to be used as an art studio. Ideally, I'd like have the permit before Thanksgiving if possible so that i could at least get the sono tubes in the ground before the ground freezes.

Please let me know if there is any way that I could either pick the letter up or if email could be an option.

Thanks so much for your time!
Kelly Nesbitt
318-1245

THIS IS NOT A BOUNDARY SURVEY

INSPECTION OF PREMISES

I HEREBY CERTIFY TO Douglas Title Co.
Florida Capital Bank, N.A. and its Title Insurer

11 Everett Street
Portland, Maine

Job Number: 397-95
Inspection Date: 09-17-07
Scale: 1" = 20'

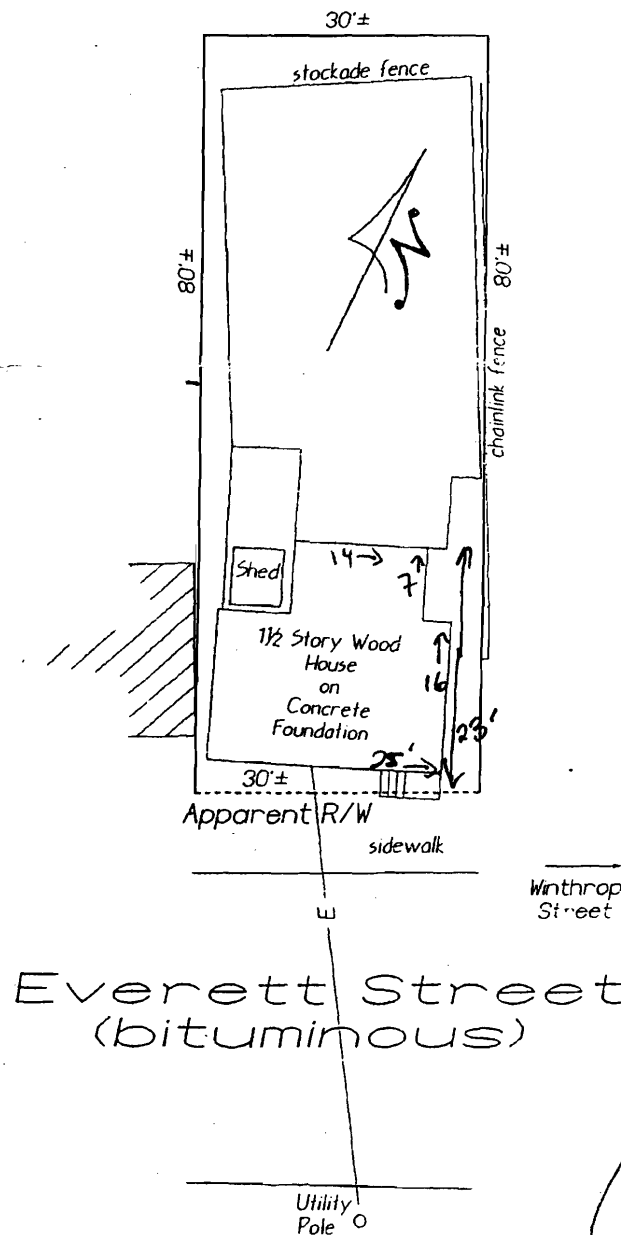
The monumentation is ~~not~~ in harmony with current deed description.

The building setbacks are ~~not~~ in conformity with town zoning requirements. "Grandfathered"

The dwelling does not ~~appear to~~ fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.

The land does not ~~appear to~~ fall within the special flood hazard zone as indicated on community-panel # 230051 0013-B

BUYER: Kelly Nesbitt
SELLER: Allen L. Dammann



Existing

THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN. THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ABUTTING DEEDS.

Bruce R. Bowman
INCORPORATED
184 John Small Road
Chebeague Island, Maine 04017
Phone: (207) 846-1663
Fax: (207) 846-1664



PLAN BOOK _____ PAGE _____ LOT _____
DEED BOOK 21627 PAGE 106 COUNTY Cumberland

THIS PLAN IS NOT FOR RECORDING Drawn by: BCB

LOT COVERAGE CALCULATIONS:

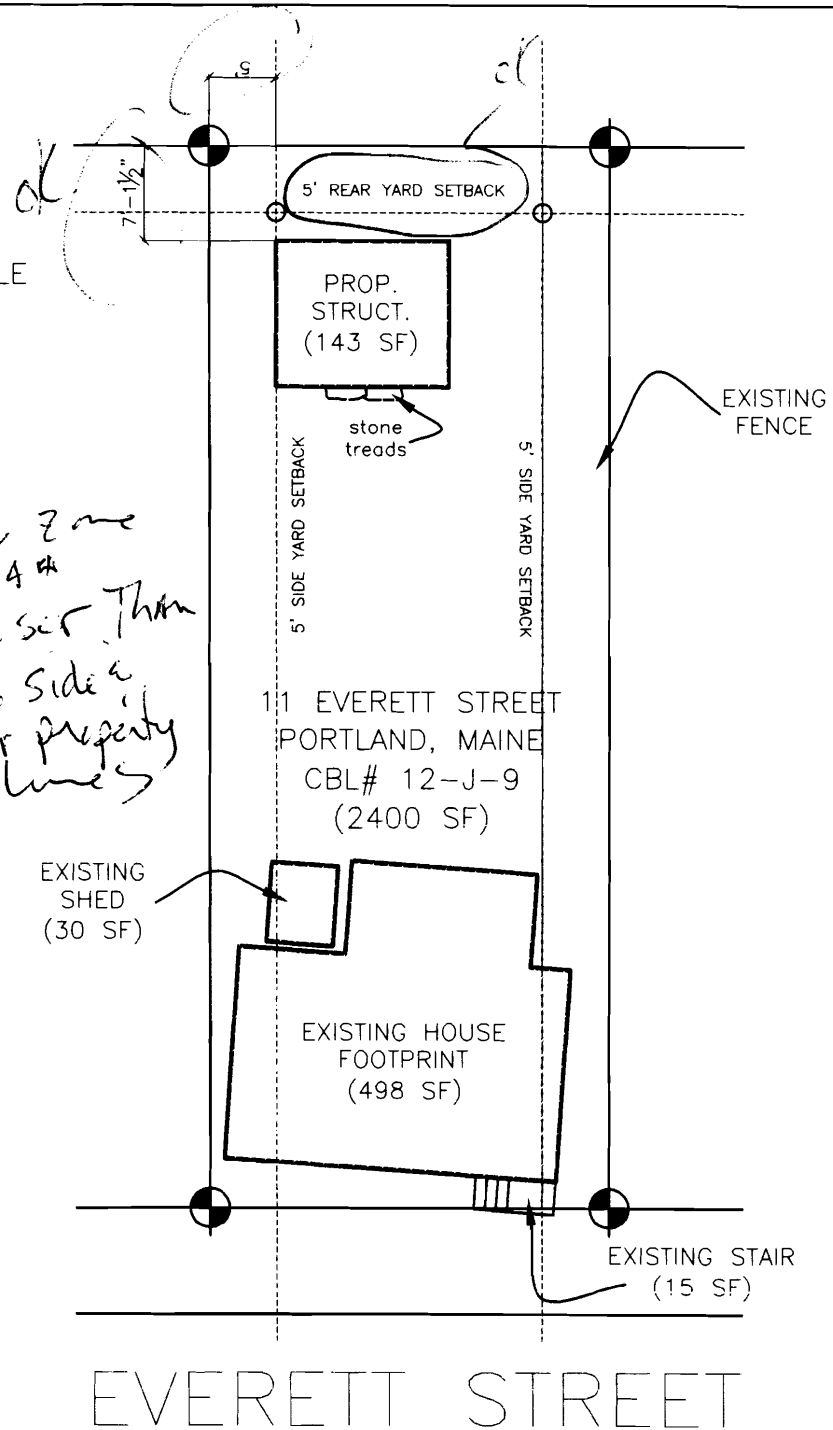
EXISTING LOT 2,400 SF X(.50)= 1,200 SF ALLOWABLE

EXISTING HOUSE	498 SF
EXISTING STAIR	15 SF
EXISTING SHED	30 SF

SUBTOTAL	543 SF
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PROPOSED DETACHED ACCESSORY STRUCTURE	143 SF
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TOTAL	686 SF
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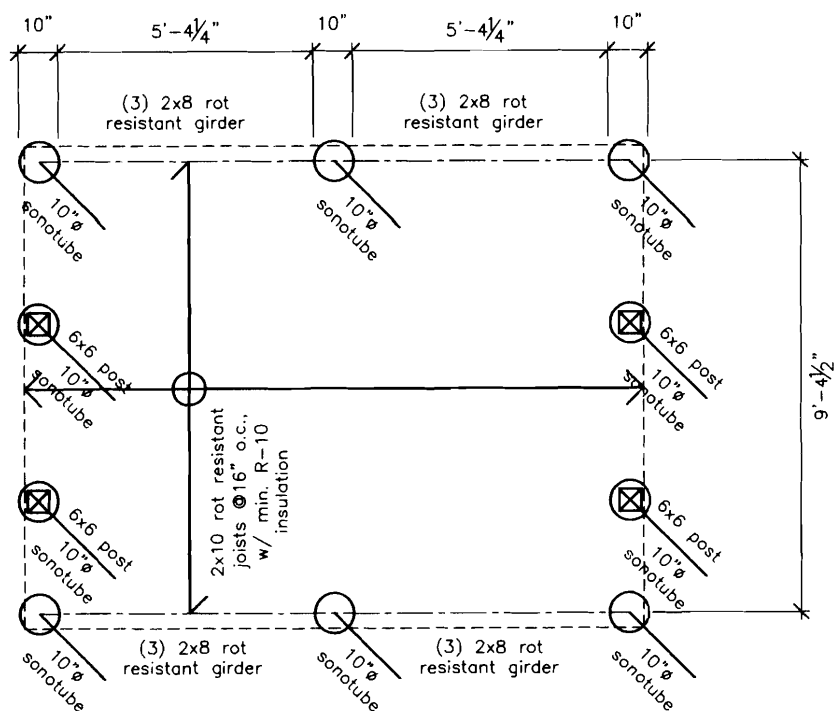


A1

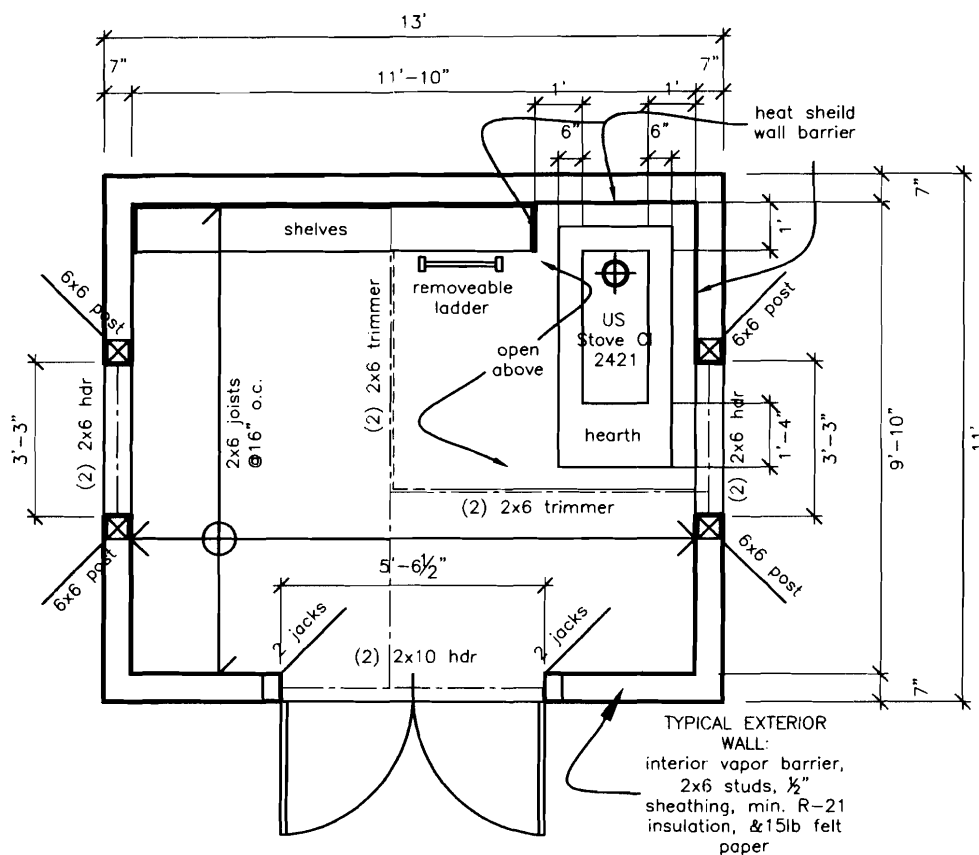
10.26.09

Rachel Conly
Architectural Design

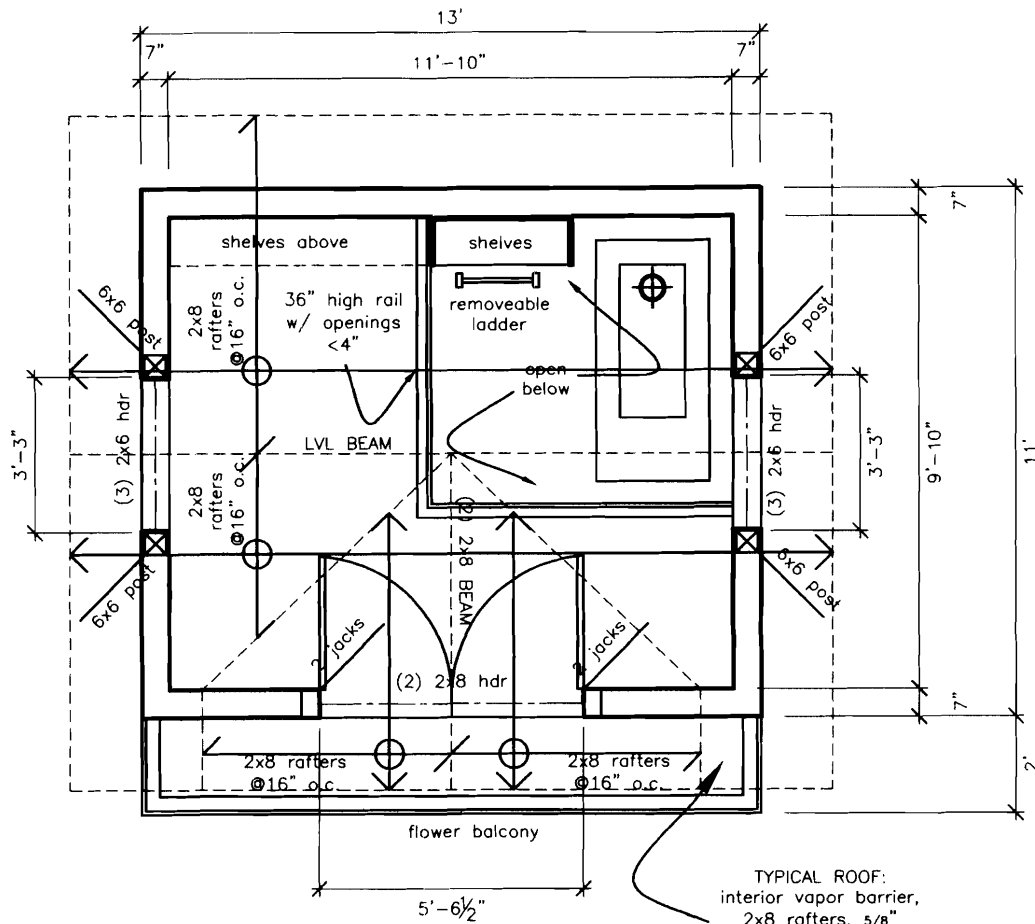
Nesbitt Residence
11 Everett Street, Portland, Maine, 04101



Ⓐ Foundation Plan/First Floor Framing
1/4" = 1'-0"

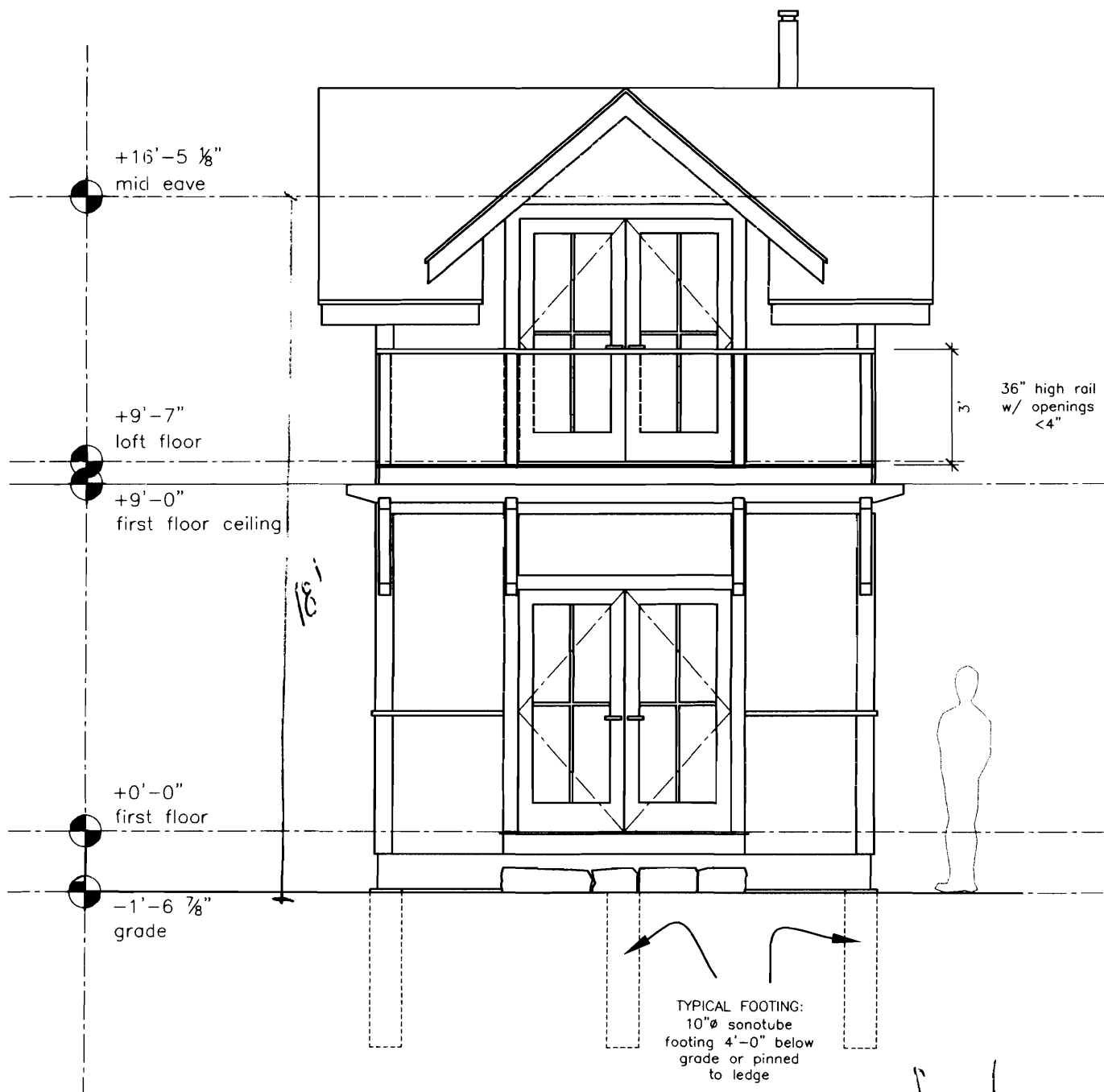


Ⓑ First Floor Plan/Second Floor Framing
1/4" = 1'-0"



(B) Loft Plan/Roof Framing
 $\frac{1}{4}" = 1'-0"$

TYPICAL ROOF:
 interior vapor barrier,
 2x8 rafters, 5/8"
 sheathing, min. R-38
 icynene
 (blown-in insulation),
 30lb felt paper &
 standing seam
 metal roofing



(A) South Elevation
 $\frac{1}{4}" = 1' - 0"$

measured to the mid eave

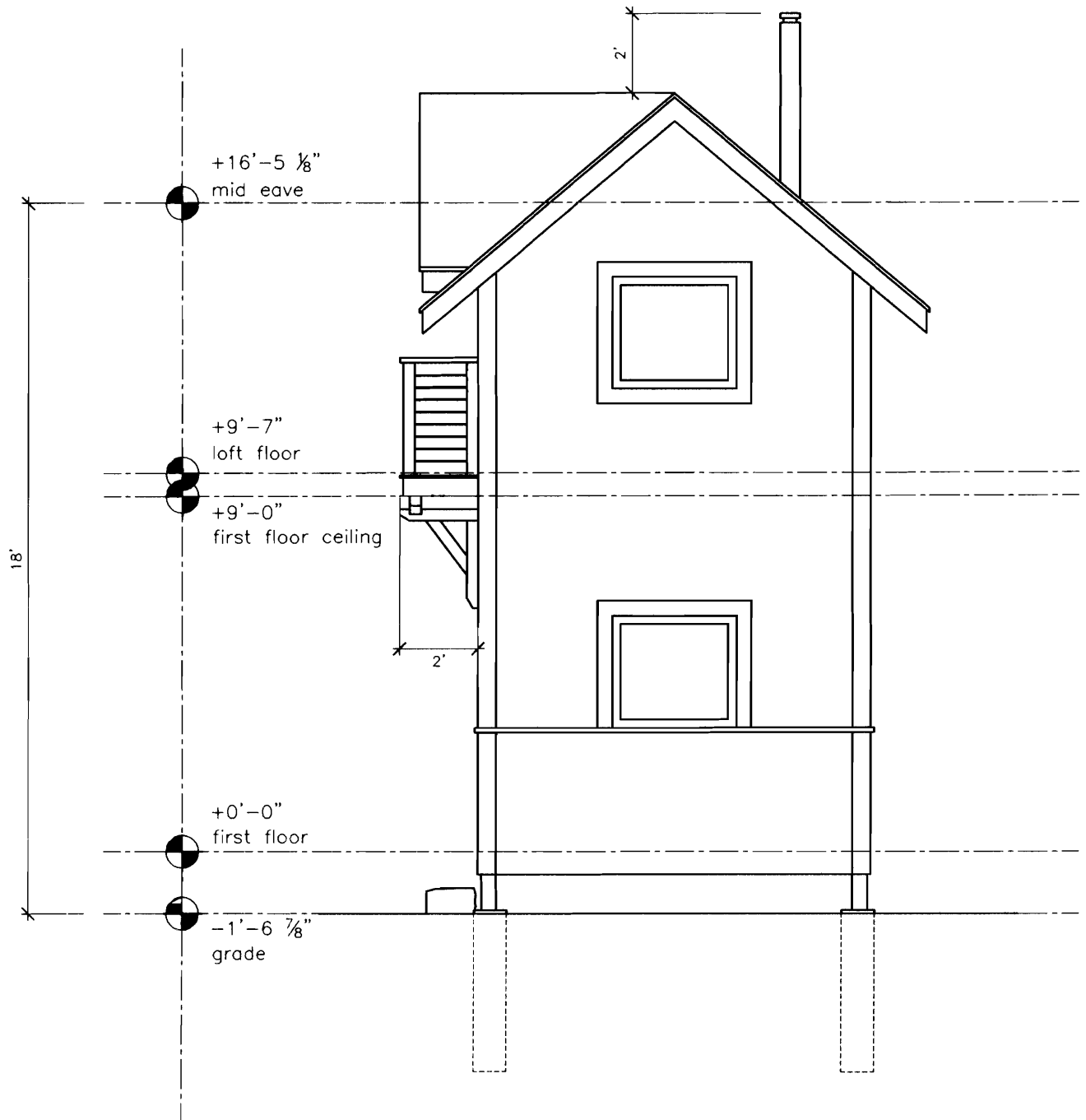
*shall be no higher
 than 18' for an
 Accessory Structure*

Nesbitt Residence
 11 Everett Street, Portland, Maine, 04101

Rachel Conly
 Architectural Design

10.26.09

A4



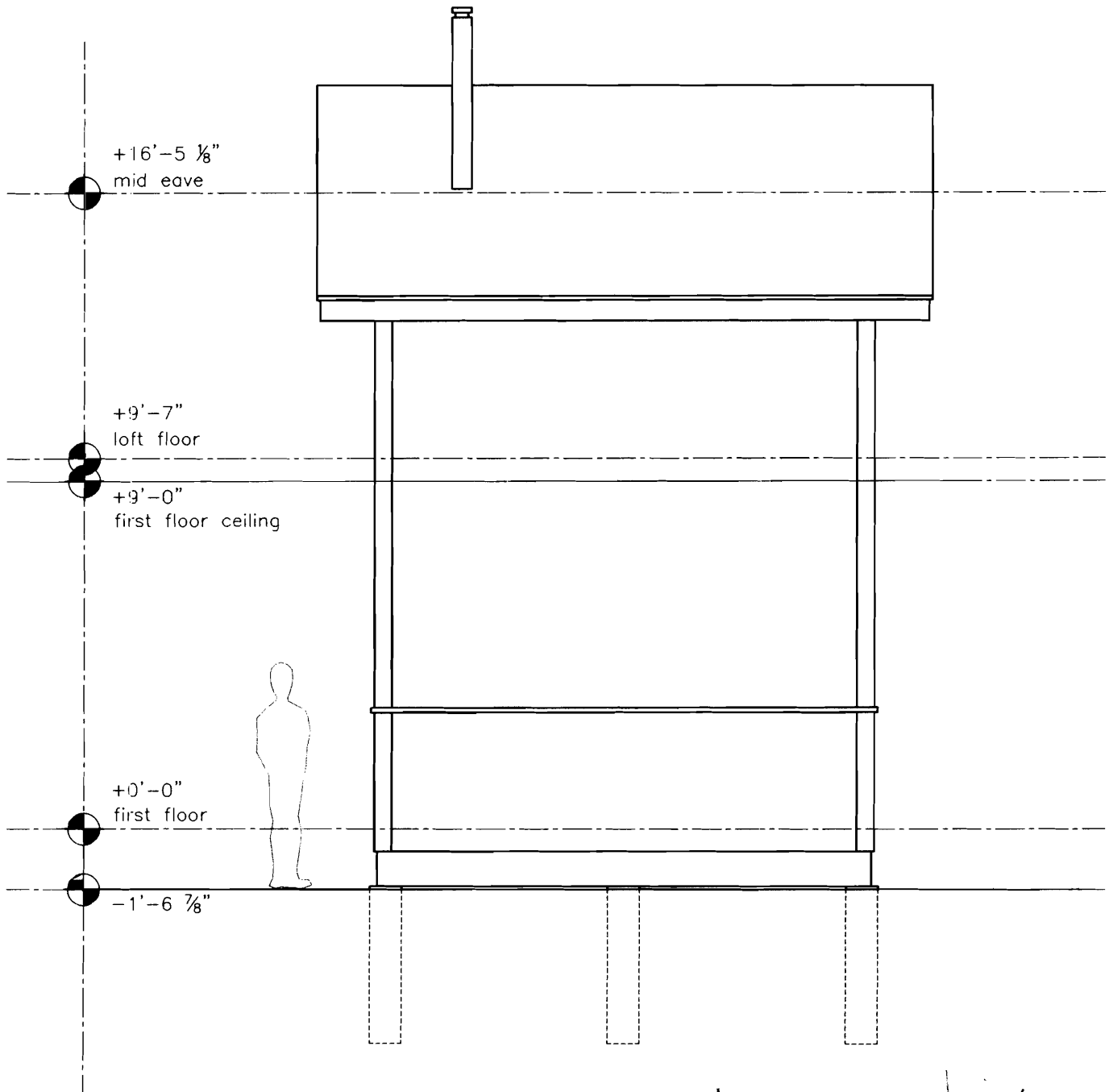
(A) East Elevation
 $\frac{1}{4}" = 1'-0"$

Nesbitt Residence
 11 Everett Street, Portland, Maine, 04101

Rachel Conly
 Architectural Design

10.26.09

A5



(A) North Elevation
1/4" = 1'-0"

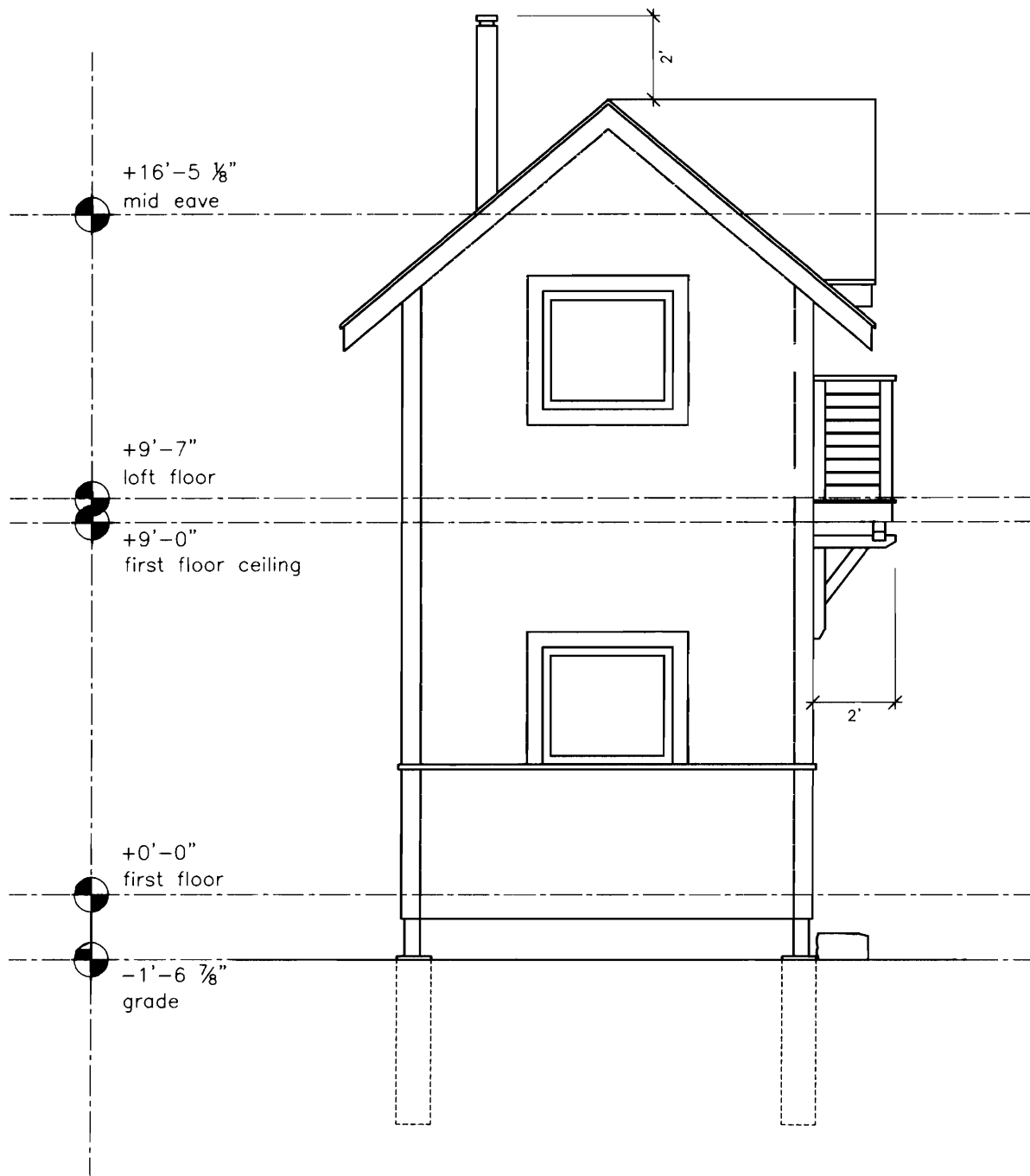
Shall be no higher
than 18' from grade to
The mid ~~roof~~ point
(ridge to where roof hits
the cut side wall)

Nesbitt Residence
11 Everett Street, Portland, Maine, 04101

Rachel Conly
Architectural Design

10.26.09

A6



West Elevation

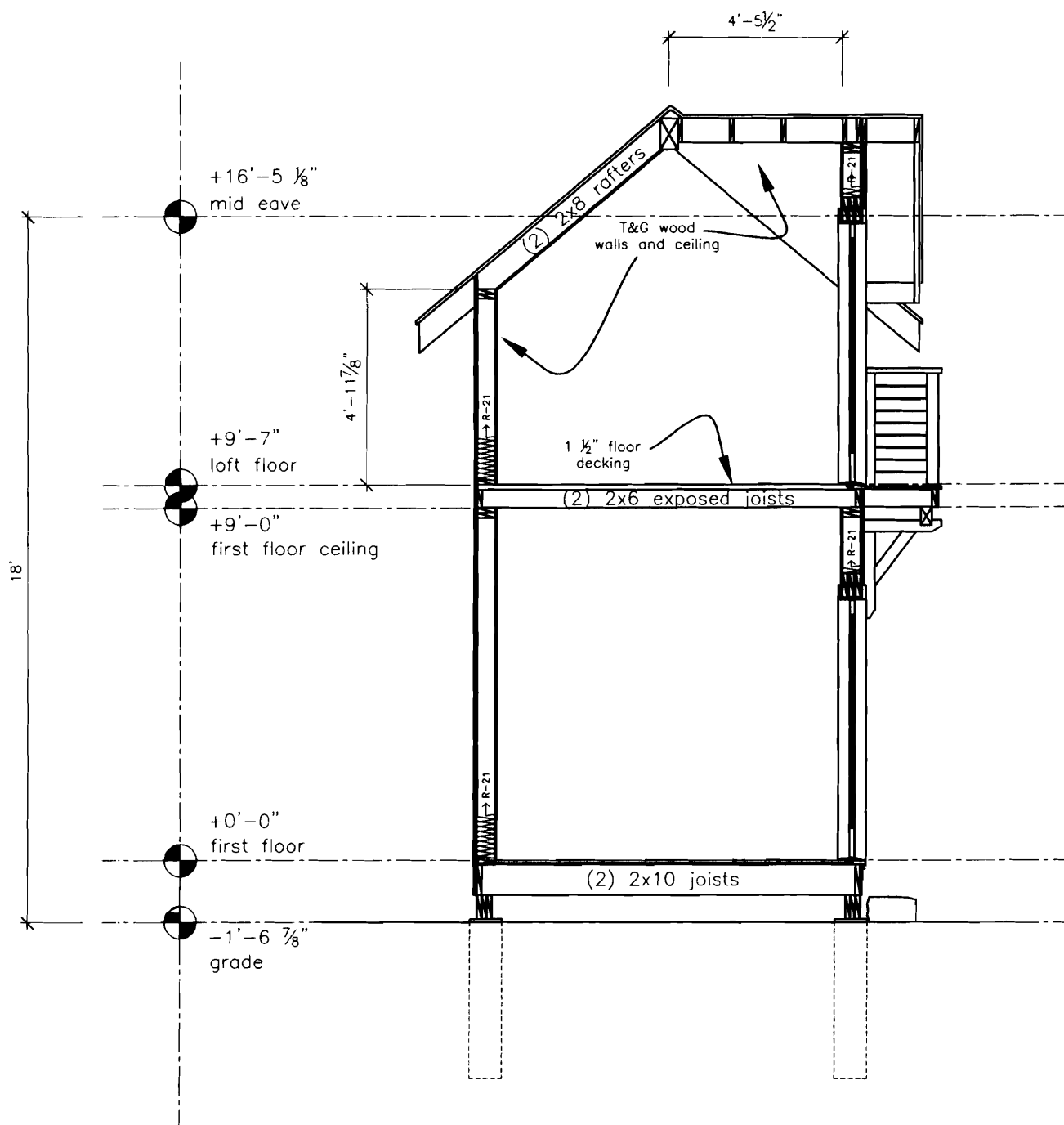
$\frac{1}{4}" = 1' - 0"$

Nesbitt Residence
11 Everett Street, Portland, Maine, 04101

Rachel Conly
Architectural Design

10.26.09

A7



(A) Cross Section
 1/4" = 1'-0"

Nesbitt Residence
 11 Everett Street, Portland, Maine, 04101

Rachel Conly
 Architectural Design

10.26.09

A8