PORTLAND, MAINE 04101

PERMIT SET

5/4/18

GENERAL NOTES

- 1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- 2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- 3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
 - CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS PRIOR TO PERFORMANCE OF ANY WORK. CONTRACTORS AND SUBCONTRACTORS SHALL INSTALL ALL MATERIALS AS PER THE
 - CONSTRUCTION DOCUMENTS AND THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS. INSTALLERS MUST BE TRAINED AND EXPERIENCED IN THE APPLICATION/INSTALLATION OF THE PRODUCTS/MATERIALS THAT THEY ARE INSTALLING.
 - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN CONDITIONS AS ALLOWED BY THE
 - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN COORDINATION WITH ALL OTHER WORK CONDUCTED ON SITE.
- 4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT
- 5. ANY DEVIATIONS WHATSOEVER FROM THE DRAWINGS AND/OR SPECIFICATIONS ARE NOT ALLOWED WITHOUT THE OWNER'S WRITTEN PERMISSION. FAILURE TO PROCURE SUCH WRITTEN AUTHORIZATION PLACES ALL RESPONSIBILITY FOR THE VARIATION ON THE CONTRACTOR.
- 6. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE OWNER SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. EXCEPTION: THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE SITE AND BUILDING PERMITS.
- 8. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE
- 9. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY REGULATING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN AN APPROVED AND LEGAL MANNER.
- 10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- 11. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- 12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF
- 13. COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL
- 14. DIMENSIONS SHOWN ON DRAWINGS ARE TAKEN FROM FACE OF GYPSUM WALLBOARD UNLESS OTHERWISE NOTED
- 15. COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.
- 16. ELECTRICAL WORK TO BE DESIGNED, PERMITTED AND INSTALLED BY CONTRACTOR.
- 17. EXISTING ELECTRICAL SYSTEM TO BE PRESERVED TO THE MAXIMUM EXTENT ALLOWABLE BY CODE.
- 18. PLUMBING WORK TO BE DESIGNED. PERMITTED AND INSTALLED BY CONTRACTOR.
- 19. HVAC WORK TO BE DESIGNED, PERMITTED AND INSTALLED BY CONTRACTOR.

ABBREVIATIONS

AIR/VAPOR ABOVE FINISH FLOOR **BOTTOM OF** CONCRETE **EXISTING ELEVATIONS** FINISH FLOOR ELEVATION FIBERGLASS REINFORCED PANELS GYPSUM WALL BOARD GYPSUM WALL BOARD

INSULATION

ON CENTER BRACKET W/ CLOTHES POLE & SHELF PRESSURE TREATED/PAINTED REFLECTED CEILING PLAN SUSPENDED ACOUSTICAL TILE

SIM SIMILAR STRUCTURAL DRAWINGS OR STRUCTURAL **ENGINEER**

TO BE DETERMINED TOP OF

TYPICAL

UNLESS NOTED OTHERWISE VINYL COMPOSITE TILE

DRAWING LIST

DETAILS - SHEET 2 OF 2

SCHEDULES

		×	Permitti	ewed for Congression and Inspendent of the period of the p
G1.1	COVER SHEET		X	02/13
G1.2	CONSTRUCTION ASSEMBLIES - SHEET 1 OF 2		Χ	
G1.3	CONSTRUCTION ASSEMBLIES - SHEET 2 OF 2		X	
LS1.0	CODE SUMMARY		Х	
LS1.1	LIFE SAFETY PLANS		X	
C1	SITE PLAN		Х	
C2	GRADING AND UTILITY PLAN		Χ	
C3	EROSION & SEDIMENTATION CONTROL DETAILS		Χ	
C4	DETAILS		X	
S1	FOUNDATION PLAN		Х	
S2	SECOND, THIRD FLOOR FRAMING PLANS		Χ	
S3	FOURTH FLOOR, ROOF FRAMING PLAN		Χ	
S4	NOTES, SECTIONS, DETAILS		Χ	
S5	ELEVATION		Χ	
S6	SECTION AND STRUCTURAL SCHEDULES		X	
A1.1	BASEMENT & FIRST FLOOR PLANS		Х	
A1.2	2ND & 3RD FLOOR PLANS		X	
A2.1	ELEVATIONS		Х	
A2.2	ELEVATIONS		Х	
A3.1	BUILDING SECTIONS		Х	
A4.1	DETAILS - SHEET 1 OF 2		Х	



PROJECT CONTACTS

OWNER SIMON NORWALK 29 KELLOGG ST, #3 PORTLAND, ME 04101 207-837-0799 SIMON072889@GMAIL.COM

ARCHITECT EVAN CARROLL, ARCHITECT BILD ARCHITECTURE PO BOX 8235 PORTLAND, ME 04104 P: (207) 408-0168 EVAN@BILDARCHITECTURE.COM CIVIL ENGINEER JON WHITTEN, PE PLYMOUTH ENGINEERING 30 LOWER DETROIT ROAD PO BOX 46 PLYMOUTH, ME 04969

P:207-257-2071

STRUCTURAL ENGINEER KEITH EWING, PE PLYMOUTH ENGINEERING 30 LOWER DETROIT ROAD PO BOX 46 PLYMOUTH, ME 04969 P:207-257-2071





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SHEET

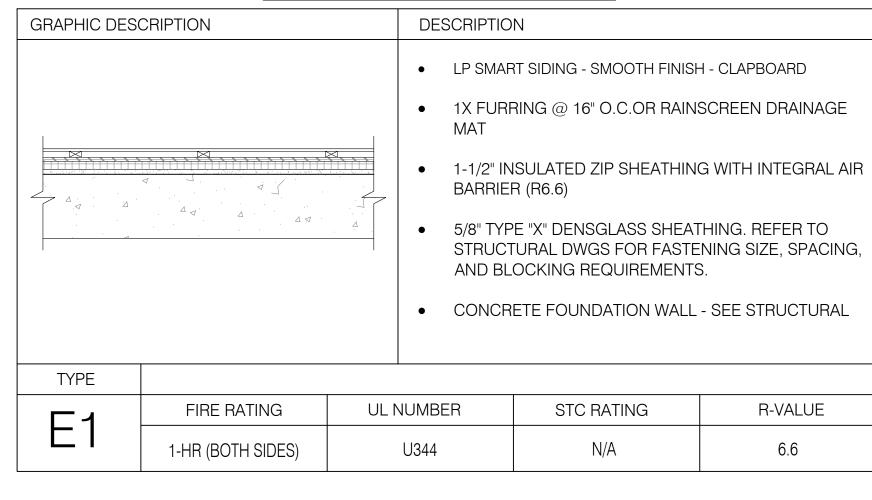
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SLAB ASSEMBLY TYPES

GRAPHIC DES	CRIPTION		DESCRIPTIO	N	
			4" CONC STRUCTI6 MIL PC2" RIGID	SH SCHEDULE FOR FLO RETE SLAB REINFORCE URAL DRAWINGS. DLY VAPOR BARRIER INSULATION HED STONE	
TYPE					
01	FIRE RATING	1 JU	NUMBER	STC RATING	R-VALUE
	N/A		N/A	N/A	R-10

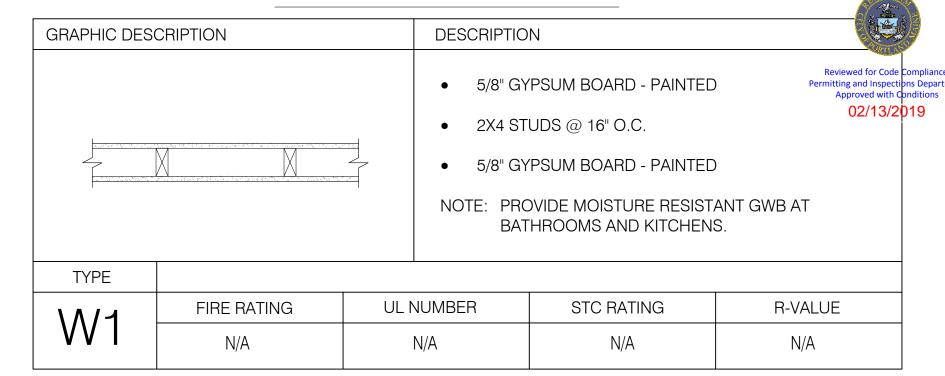
EXTERIOR WALL TYPES

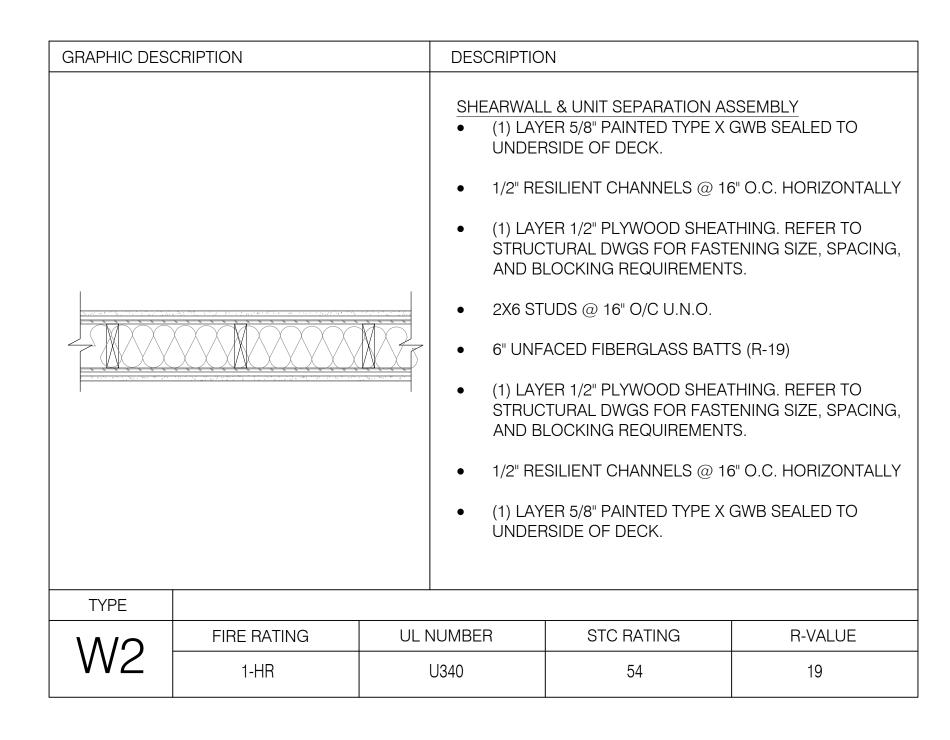


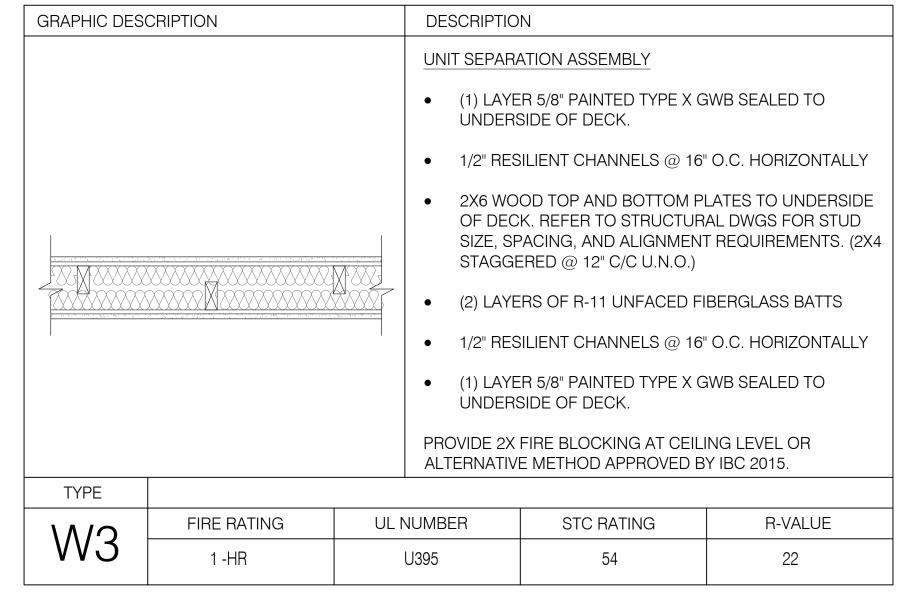
GRAPHIC DES	CRIPTION		DESCRIPTIO	N		
			• LP SMAF	RT SIDING - SMOOTH FINISH	H - CLAPBOARD	
			• 1X FURF MAT	RING @ 16" O.C.OR RAIN	SCREEN DRAINAGE	
			• 1-1/2" IN BARRIEI	ISULATED ZIP SHEATHING R (R6.6)	G WITH INTEGRAL AIR	
			STRUCT	E "X" DENSGLASS SHEAT TURAL DWGS FOR FASTE OCKING REQUIREMENTS	NING SIZE, SPACING,	
				OD STUDS W/ DENSE PA OSE INSULATION FULL C		
			 MEMBRAIN™ SMART VAPOR RETARDER OR APPROVED EQUAL 			
			• 5/8" TYP	E X GYPSUM BOARD		
TYPE						
	FIRE RATING	111	NUMBER	STC RATING	R-VALUE	
F2						
	1-HR (BOTH SIDES)		U344	N/A	20 + 6.6 ci	

GRAPHIC DES	CRIPTION		DESCRIPTIO	N	
			• LP SMAI	RT SIDING - SMOOTH FINIS	H - CLAPBOARD
			• 1X FUR MAT	RING @ 16" O.C.OR RAIN	ISCREEN DRAINAGE
1		1	· · · · · · · · · · · · · · · · · · ·	NSULATED ZIP SHEATHIN R (R6.6)	IG WITH INTEGRAL AIF
			DWGS	PLYWOOD SHEATHING. F FOR FASTENING SIZE, SF ING REQUIREMENTS.	
				OOD STUDS W/ DENSE PA LOSE INSULATION FULL (
				RAIN™ SMART VAPOR RE VED EQUAL	TARDER OR
			• 5/8" GY	PSUM BOARD - PAINTED)
TYPE			<u>'</u>		
ΓΩ	FIRE RATING	ULI	NUMBER	STC RATING	R-VALUE
E3	N/A		N/A	N/A	20 + 6.6 ci

INTERIOR WALL TYPES













17024
PROJECT NO.
PROJECT NAME
30 FOX SPORTLAND, MAI

REVISIONS

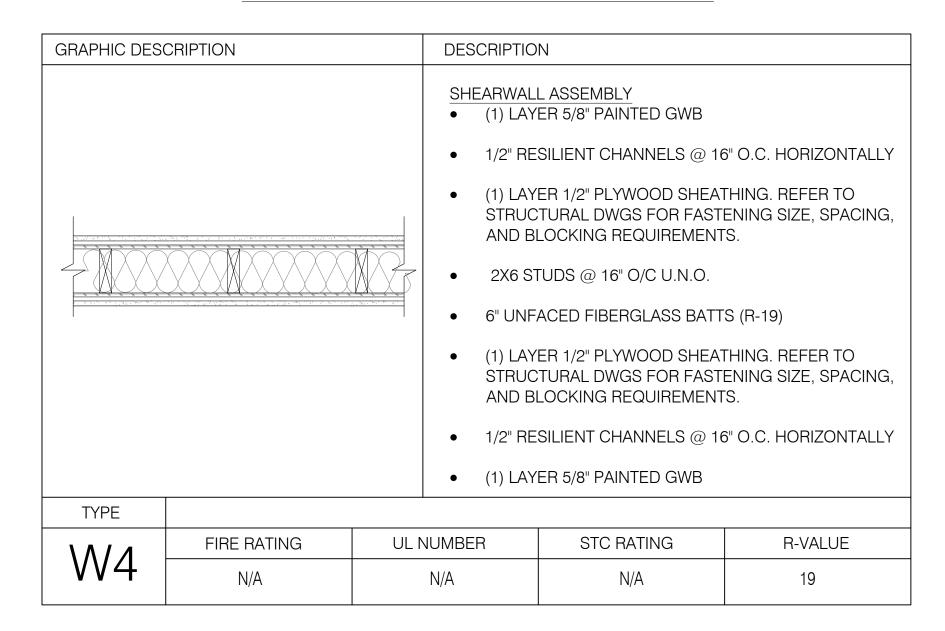
1 05.18.18
2 08.02.18
3 08.14.18
4 08.29.18
5 09.06.18

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CONSTRUCTION ASSEMBLIE

ISSUE DATE **5/4/18**SHEET SCALE 1" = 1'-0"

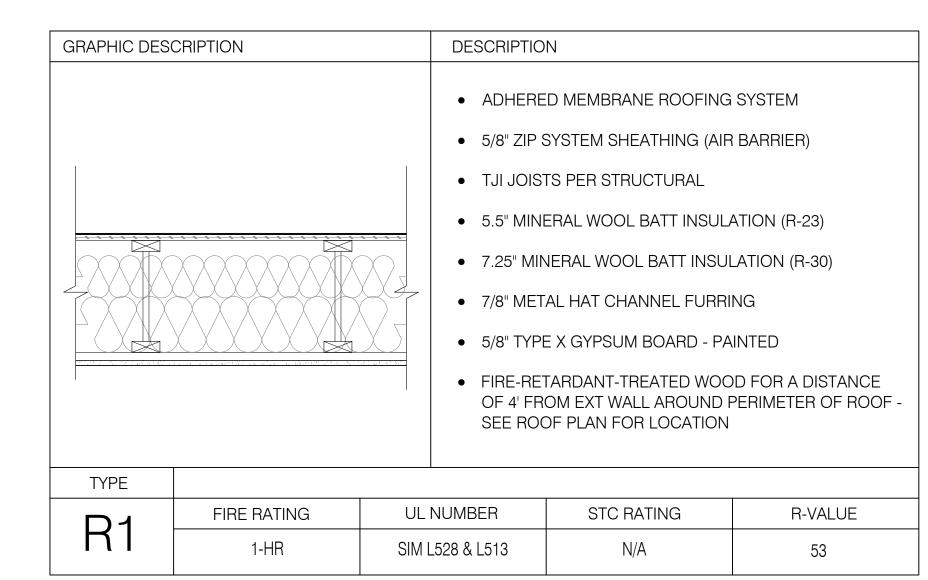
INTERIOR WALL TYPES - CONT.

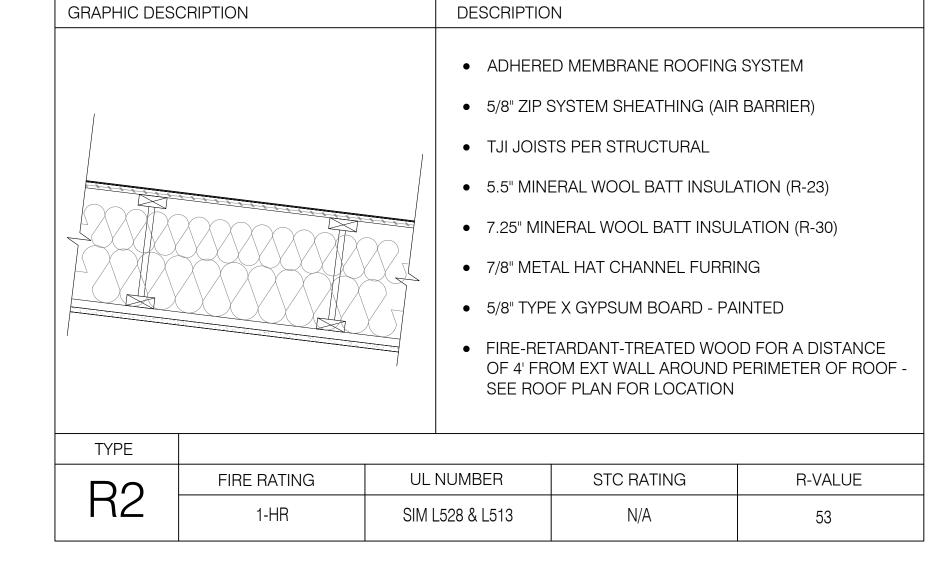


GRAPHIC DES	CRIPTION		DESCRIPTIO	N	
"7/2 7			ACCOF 2X4 WC FRICTICE FIBERGE THK. 5/8" TYLE ACCOF NOTES: PROVIDE BATHR A BEAD APPLIE SOUND SEAL A	PE "X" GYPSUM BOARD F RDANCE WITH UL ASSEM DOD STUDS @ 16" O.C. ON FIT BETWEEN STUDS GLASS INSULATION BATT PE "X" GYPSUM BOARD F RDANCE WITH UL ASSEM DE MOISTURE RESISTANT OOMS. O OF ACOUSTICAL SEALA ED AROUND THE PARTITION O CONTROL. ROUND WINDOW AND D URE FOAM AND/OR LATE	R-19 UNFACED S MEASURING 3-1/2" ASTENED IN IBLY. T GWB AT ANT SHALL BE ON PERIMETER FOR
TYPE	WOOD PARTITION WA	ALL .			
\	FIRE RATING	ULI	NUMBER	STC RATING	R-VALUE
CVV	1-HR		U305	56	N/A

GRAPHIC DES	CRIPTION		DESCRIPTIO	N	
			• 2X6 WO OF DEC SIZE, SF (2X4 STA SOUND	OD TOP AND BOTTOM PICK. REFER TO STRUCTUR PACING, AND ALIGNMENT AGGERED @ 12" C/C U.N ATTENUATION BATTS.	LATES TO UNDERSIDE AL DWGS FOR STUD T REQUIREMENTS. I.O.) CONTINUOUS
TYPE					
\ \ \ \ (\)	FIRE RATING	ULN	NUMBER	STC RATING	R-VALUE
W6	2-HR		U301	NA	NA
			~~~		

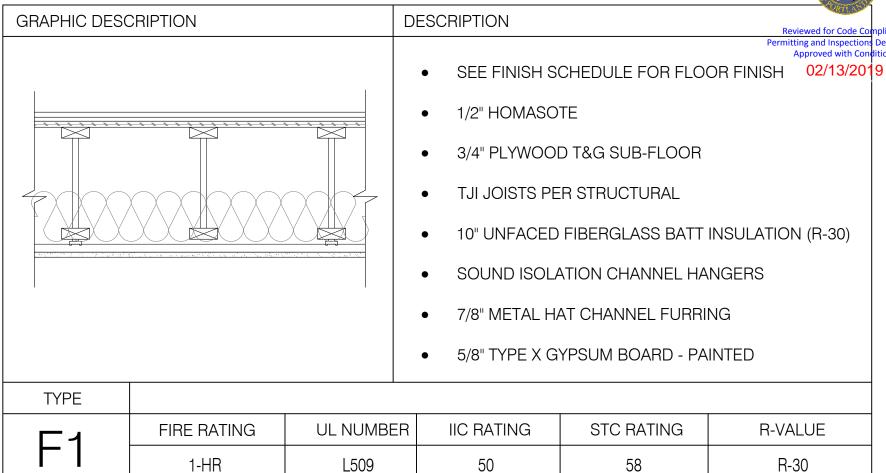
### ROOF ASSEMBLY TYPES

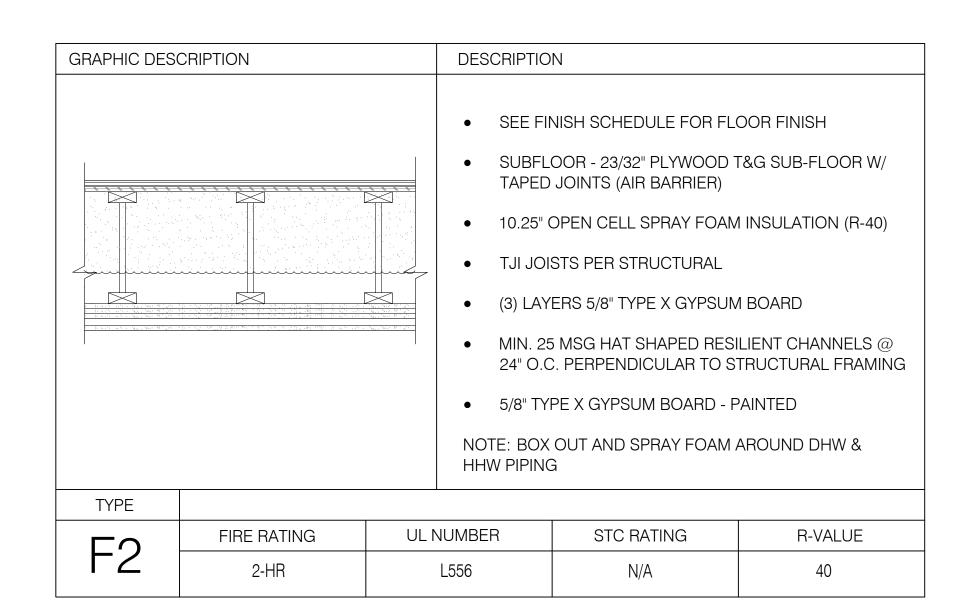


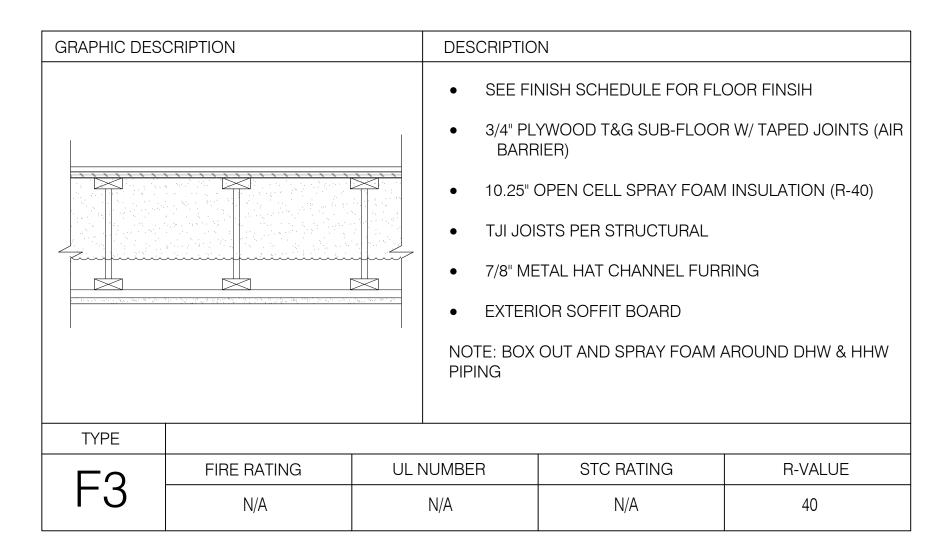


## FLOOR/CEILING ASSEMBLY TYPES



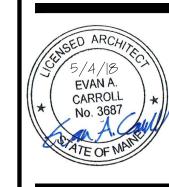












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2 08.02.18
3 08.14.18
4 08.29.18
5 09.06.18 

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CONSTRUCTION ASSEMBLIE

IBC Code OverviewUse:R-2 & U (Separated Occupancies)Construction:Type VBSprinkler:NFPA 13R

NFPA Code Overview

Occupancy:

Use: New Residential Apartment Building & New Storage

16 Occupants

Construction: No minimum requirement
Sprinkler: NFPA 13R
Occupancy: 18 Occupants

IBC 2015 – Detail Code Review

Use and Occupancy Classification:
310.4 Residential Group R-2 (Apartments)
312.1 Utility and Misc. Group U (Private Garages)

Private car storage can be up to 1,000sf (and be considered Group U)
Clear Height: 7ft min.
Floor surface of concrete or asphalt, Slope floor to drain or garage door

Garages beneath habitable rooms shall be separated by not less than 5/8" type X

gyp bd and ½" gyp bd applied to structures supporting the separation from habitable rooms above the garage.

O6.3.6 Automatic garage door openings shall be listed in accordance with UL 325.

406.6.2 A mechanical ventilation system shall be provided per IMC.
420.2 Fire Partitions Separating Dwelling Units (708)
420.3 Floor Assemblies Separating Dwelling Units (711)

504.3 R S13R VB 60' tall 504.4 R-2 S13R VB 3 stories 506.2 R-2 S13R VB 7,000sf 508.4 Separated Occupancies:

U R-2 Sprinkled (NFPA 13R) 2-hr 508.4.4.1 1 hour separation in sprinkled building by fire barriers & horz assemblies (or by 707 and 711)

601 Type VB – No rating required by construction type

602 Separation distance 5'≤X<10' 1 hour exterior wall rating required 10'≤X<30' 0

Projections (including balconies) may be of any material X≤10' Rated for exposure on both sides
 5'≤X<10' Unprotected, Non-Sprinkled 10% openings allowed 10'≤X<15' Unprotected, Non-Sprinkled 15% openings allowed 15'≤X<20' Unprotected, Non-Sprinkled 25% openings allowed Exception 2: Buildings whose exterior bearing walls, exterior nonbearing walls and exterior primary structural frame are not required to be fire-resistance rated shall be</li>

permitted to have unlimited unprotected openings.

705.11.5.1 The roof sheathing or deck is constructed of approved noncombustible materials or of fire-retardant-treated wood for a distance of 4 feet.

707.3.1 Fire Barrier required for shaft enclosure.

707.3.1 Fire Barrier required for shaft enclosure.
 707.5 Fire barriers: From TOP of floor to bottom of decking above (cont. thru concealed)
 707.5.1 Fire Barrier supporting construction shall have same rating
 713.1 Shaft enclosures shall be constructed of fire barriers and horizontal assemblies

713.2 Shaft enclosure is required stair
713.4 Shaft Enclosure: 1 hour when connecting less than four stories
708.1 Fire partitions required to separate dwelling units
708.3 1 hr fire partition rating required between dwelling units

Fire partition continuity: from TOP of floor to bottom of decking above or to bottom of ceiling assembly (with fireblocking or draftstopping)

2.4.3

1 hr horizontal assembly rating required between dwelling units

711.2.4.3 1 hr horizontal assembly rating required between dwelling units
 713.4 Supporting construction of horz assembly between units not required to be rated in VB
 714 All Rated vertical and horizontal assemblies shall be complete assemblies in that any

penetrations shall be treated as in accordance with this section.

All Rated vertical and horizontal assemblies shall be complete assemblies in that any joints shall be treated as in accordance with this section.

All Rated vertical and horizontal assemblies shall be complete assemblies in that any openings shall be treated as in accordance with this section.

716.5 Doors in 1-hour stair shaft shall have a rating of 1 hour
717 All Rated vertical and horizontal assemblies shall be complete assemblies in that any ducts and air transfers shall be treated as in accordance with this section.
717.6.2 Ducts and air transfer openings penetrating a rated ceiling membrane must be

installed with a listed ceiling radiation damper

718 Fire blocking and draft-stopping shall be installed in concealed spaces in accordance with this section.

803.11 R-2: Exit enclosures, corridors, rooms and enclosed spaces required to have Class C finishes.

901.6.1 Automatic sprinkler system shall be monitored by a supervising station (NFPA 72)
 901.6.2 Fire alarm system shall be monitored by a supervising station
 903.2.8 Sprinkler System is required for Group R

903.3.1.2 NFPA 13R is permitted
 906.1 In Group R-2, portable fire extinguishers having a min rating of 1-A:10-B:C.
 907.2.9.1 No manual pull station fire alarm system is required as dwelling units are located less than three units stories above the lowest level of exit discharge and 16 units.

907.2.11.2 Single or multi-station smoke alarms shall be installed:
1. Outside of each sleeping area.
2. Each room used for sleeping.
3. Each story within a dwelling unit.

907.2.11.4 Smoke alarms shall be installed not less than 3 ft horizontally from door of a bathroom with a shower or tub.

bathroom with a shower or tub.

907.2.11.5 Interconnected Smoke Alarms Required:
Outside each sleeping area and in each sleeping room

Min egress ceiling height: 7'-6"
Exception 1: A single step (under 7") allowed at exterior doors in R-2 that are not required to be accessible doors.

Occupancy Load:
Residential: 200 gross at 3,060 SF is 16 occupants

Residential: 200 gross at 3,060 SF is 16 occupants
Total Occupant Load: 16 occupants
1005.3.1 Stairway egress capacity factor: 0.3 inch per occupant
1005.3.2 Other egress component capacity factor: 0.2 inch per occupant
Spaces with one exit:
Occupancy Max Occ. Load Max Common Path

R-2 10 125 ft (w/ sprinkler)

1006.3.2(1) Stories with one exit for R-2 occupancies:

Story Max Dwelling Units Max Common Path

Basement 4 125 ft

1st-3rd stories 4 125 ft

(above grade plane)

(above grade plane)

1008.2 Stair must be illuminated at all times

1009.3 Sprinkler precludes need for wider stair or area of refuge

10010.1.1 Min Door size: 32" clear (36" door)

1010.1.5 Same floor elevation on either side of doors

1010.1.5 Same floor elevation on either side of doors
1010.1.6 Landing not less than width of door
1010.1.8 48" plus door swing between doors in succession
1011.2 Min stair width 36" (for occ. less than 50)
1011.3 Min head clearance 80" (6'-8")

Min head clearance 80" (6'-8")

1011.5.2 7" rise max, and 11" run min

1011.7 Stair construction can be of any material permitted by construction type

1011.12 Stairway not required to extend to roof in three-story building

1014.6 Railing extensions must be 12" at top of stairs and 11" at bottom.

1015.2 Min Guard Height: 42"

1017.2 NFPA 101 Table A7.6
Exit Access Travel Distance: 250'
NFPA 101 30.2.5.3.2: "Travel within a dwelling unit shall not be included when determining the common path of travel"

1020.1 Corridor fire-resistance rating: 0.5 (w/ sprinkler system)

Min. corridor width: 36" w/ occupancy less than 50.
 Discharge identification signs shall comply with this section
 Min exit passageway width: 36" for less than 50 occupants
 Exits passageway min rating: 1-hr (or rating of connected enclosure if greater)
 Constructed of fire barriers and horizontal assemblies.

Emergency escape and rescue openings required in each sleeping room.
 Sound transmission between dwelling units

Walls: STC-50 (45 field tested)

404.1

Ceilings: IIC-50 (45 field tested)

2406.4 Safety Glazing: all hazardous locations including doors, near doors, windows, near floors, large amounts of glass, and near stairways.

IECC 2015
103.2 Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with commercial code.

demonstrate compliance with commercial code.

301.1 Climate Zone 6A
303.1.1.1 Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300ft².

303.1.3 U-factors of fenestration products are determined in accordance with NFRC test procedures or taken from the default table.

303.2 Floor insulation installed per manufacturer's instructions, and in substantial contact with the underside of the subfloor.
 303.2 Wall insulation is installed per manufacturer's instructions.
 303.3 Manufacturer manuals for mechanical and water heating equipment have been

provided.

1.1 Element: Required: Provided:
Fenestration U-Factor 0.35 max 0.29
Ceiling R-Value 49 min 53
Wood Frame R-Value 20 min or 13+5 42.35

Floor R-Value 30 min 52
Slab R-Value 10 min 10

402.4.2.1 Building envelope tightness verified by blower door test result of <7 ACH at 50 Pa.
This requirement may instead be met via visual inspection, in which case verification may need to occur during insulation inspection.

402.4.4 Fenestration that is not site built is listed and labeled as meeting AAMA/WDMA/CSA

Fenestration that is not site built is listed and labeled as meeting AAMA/WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits. IC-rated recessed lighting fixtures sealed as housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa. Heat pump thermostat installed on heat pump.

Heat pump thermostat installed on heat pump.
 Supply ducts located completely inside the building envelope.
 All joints and seams of air ducts, air handlers, filter boxes, and building

All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are sealed.
 Building cavities are not used for supply ducts.
 HVAC piping conveying fluids above 105°F or chilled fluids below 55°F are insulated to >8-3

403.4 Circulating service hot water systems have automatic or accessible manual controls. Hot water pipes are insulated.
 403.5 Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.
 403.6 Heating and cooling equipment is sized per ACCA manual S based on loads per ACCA Manual J or other approved methods.

50% of lamps in permanent fixtures are high efficacy lamps.

NFPA 10 6.2.1.1 Each floor shall have a single (2) unit Class A Fire Extinguisher NFPA 101 Reviewed for Code Compliance 3.3.32.3 Apartment Building 6.1.8.1.5 Residential Occupancy – Apartment Building (Chapter 30) 02/13/2019 6.1.13.1 Storage – Enclosed Parking Structure (Chapter 42) 6.1.14.4.3 2 hour separation required in nonsprinkled building (NFPA 13R system) Ordinary Hazard Contents Exit access corridors shall have one-hour fire resistance rating Stairs three stories or fewer shall have one-hour fire rating 7.1.5.1 Min headroom: 7'-6" 7.1.6.3 Cross Slope limited to 1:48 7.2.1.2.3.2 Egress door min clear width: 32" Door swing and force to open shall comply with this section Door locks, latches and alarms shall comply with this section 7.2.2.2.1.1 Max riser height: 7" Min Tread depth: 11" Min headroom: 6'-8" 7.2.2.2.1.2 Min stair width: 36" (for occupancy under 50) 7.2.2.3.2.3 Min landing depth: stair width 7.2.2.4.4.1 Handrail height: 36" 7.2.2.4.4.6 Handrail shape: 1 ½" circular cross section 7.2.2.4.4.9 Handrails shall return to wall or newel post 7.2.2.4.4.10 Handrails shall extend 12" at top of stair and one tread length at bottom 7.2.2.4.5.2 Min guard height: 42" 7.2.2.4.5.3 Open guards shall not allow the passage of a 4" sphere 7.2.2.5.4 Stairway identification shall comply with this section. Stair discharge shall have a 1-hr fire resistance rating. 7.2.12.1.1 Sprinkler precludes need for area of refuge in stair. 7.3.1.2 Occupancy Load Residential Apartment: 200 gross at 3,060 SF is 16 occupants 500 gross at 901 SF is Storage: 2 occupants Total Occupant Load: 18 occupants 7.3.4 Min Egress width: 36" 7.4.1.1 See 30.2.4.4 7.8 Egress Illumination shall be in accordance with this section. 7.9 Emergency Lighting shall be in accordance with this section. 7.10 Marking for means of egress shall comply with this section.

7.10 Marking for means of egress shall comply with the 30.1.2.3 Dwelling units allowed over parking when either:

• Parking is sprinkled with NEPA 13 system.

Parking is sprinkled with NFPA 13 system or
 Uses are separated with a 1-hour fire resistance rating.
 No minimum construction requirements
 Means of Egress shall comply with Chapter 7 and Chapter 30
 Single stair permitted from building given

Less than 3 storiesLess than 3 units/floorNo basement

No distance from unit door to stair
1-hr rated stair
Self-closing doors
No corridors

No corridors
½ hr rating between units
30.2.5
Common Path Limit: 50'
30.2.5.4.2
Dead-End Limit: 50'
30.2.6.2
Max Travel Distance within unit (sprinkled): 125'
30.2.6.3.2
Max Travel Distance from unit door to exit (sprinkled): 200'
Fire detection and alarm system shall comply with this section.
Smoke alarms shall be installed:

In every sleeping area
Outside every sleeping area
At least one on each level
Sprinkler system NFPA 13R permitted for four or fewer stories.
Corridor walls (sprinkled): ½ hour

Maximum Travel Distance: 400'

42.2.6

30.3.7.2 Dwelling unit separation (sprinkled): ½ hour
42.1.6 No minimum construction requirements
42.2.4.1 Single means of egress allowed within common path of travel limit.
42.2.5 Dead End Corridor: 100'
Common Path of Travel: 100'

PERMIT SET

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5/4/18 EVAN A.

AEW
SHEET TITLE
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ISSUE DATE **5/4/18** SHEET SCALE

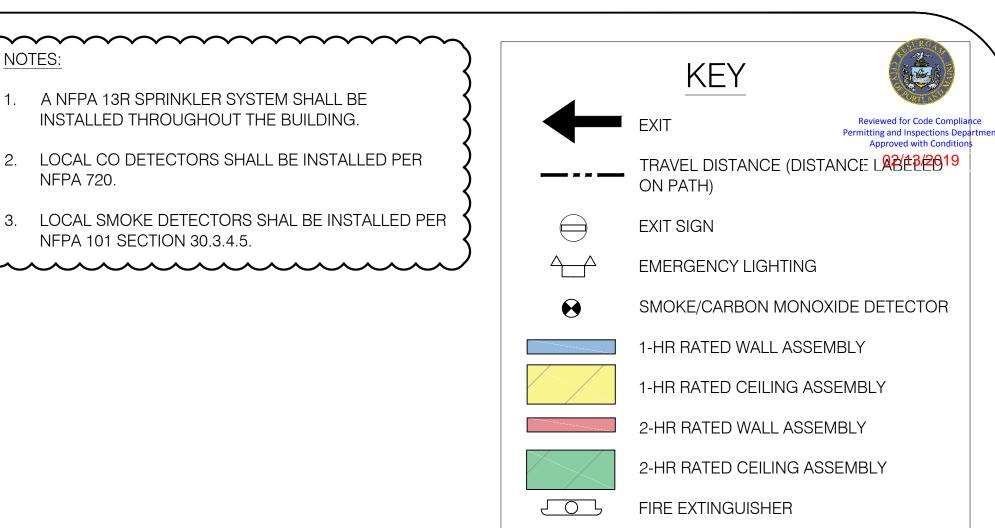
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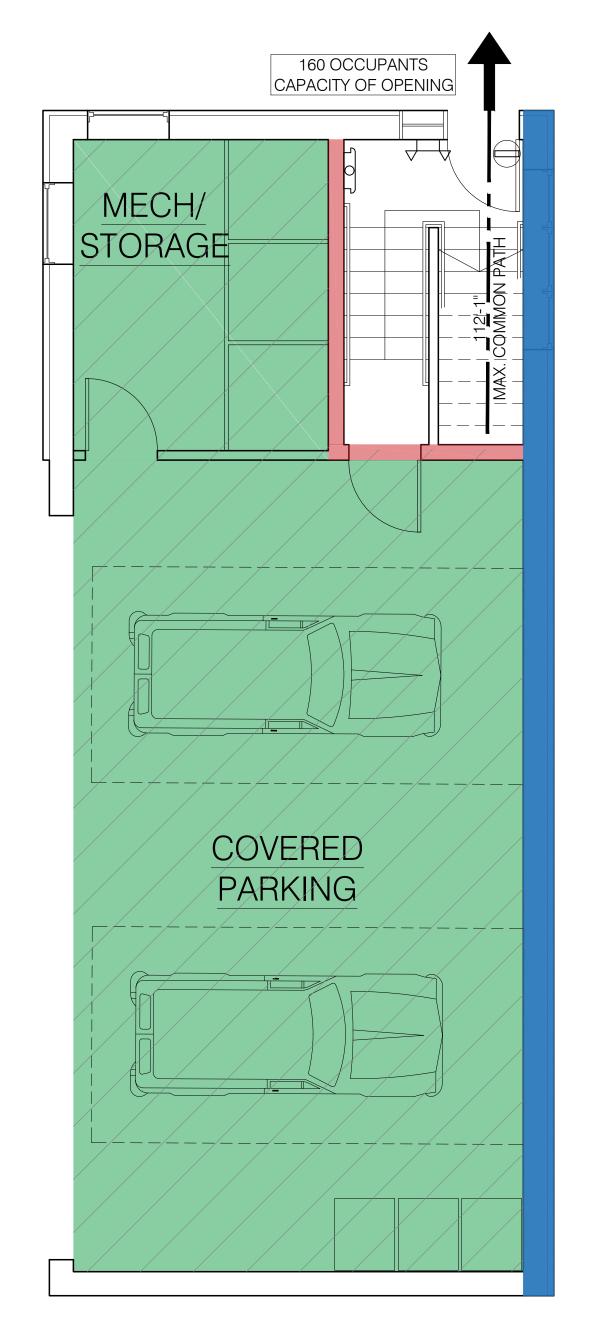
1. A NFPA 13R SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING.

2. LOCAL CO DETECTORS SHALL BE INSTALLED PER NFPA 720.

3. LOCAL SMOKE DETECTORS SHAL BE INSTALLED PER NFPA 101 SECTION 30.3.4.5.

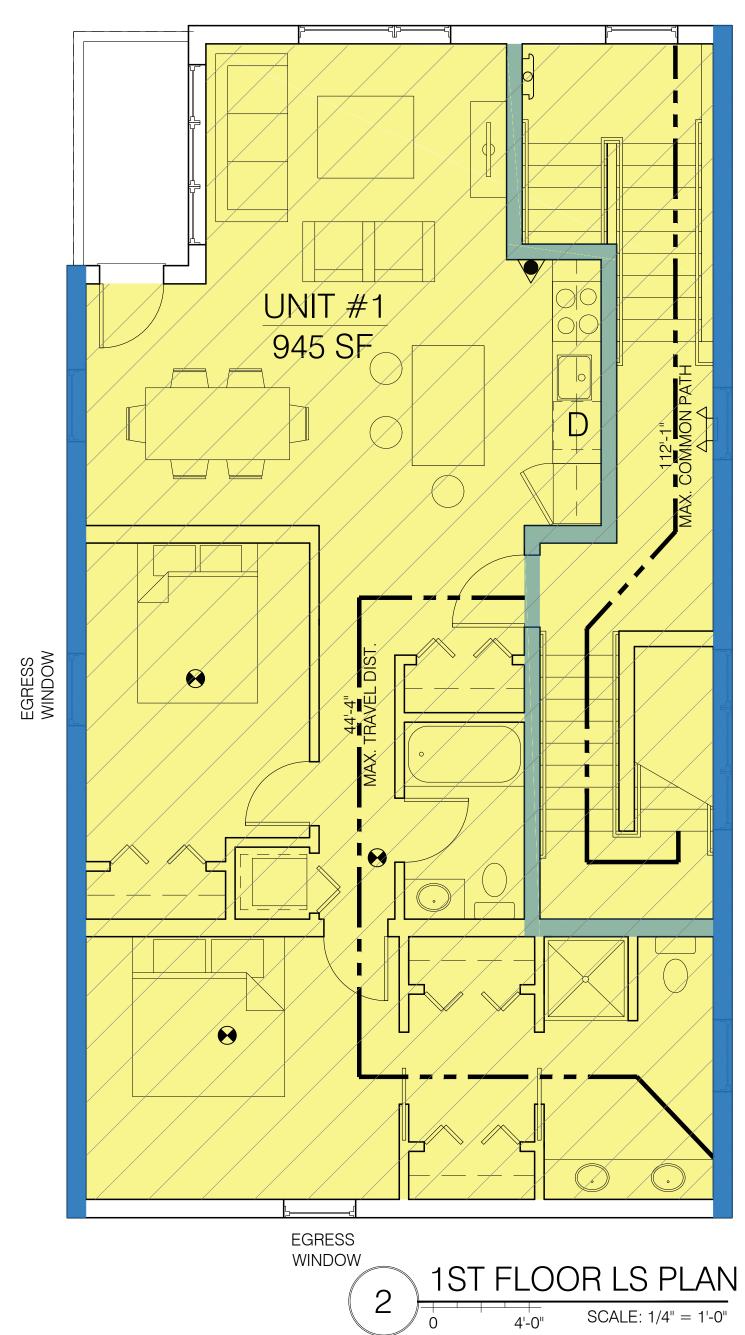


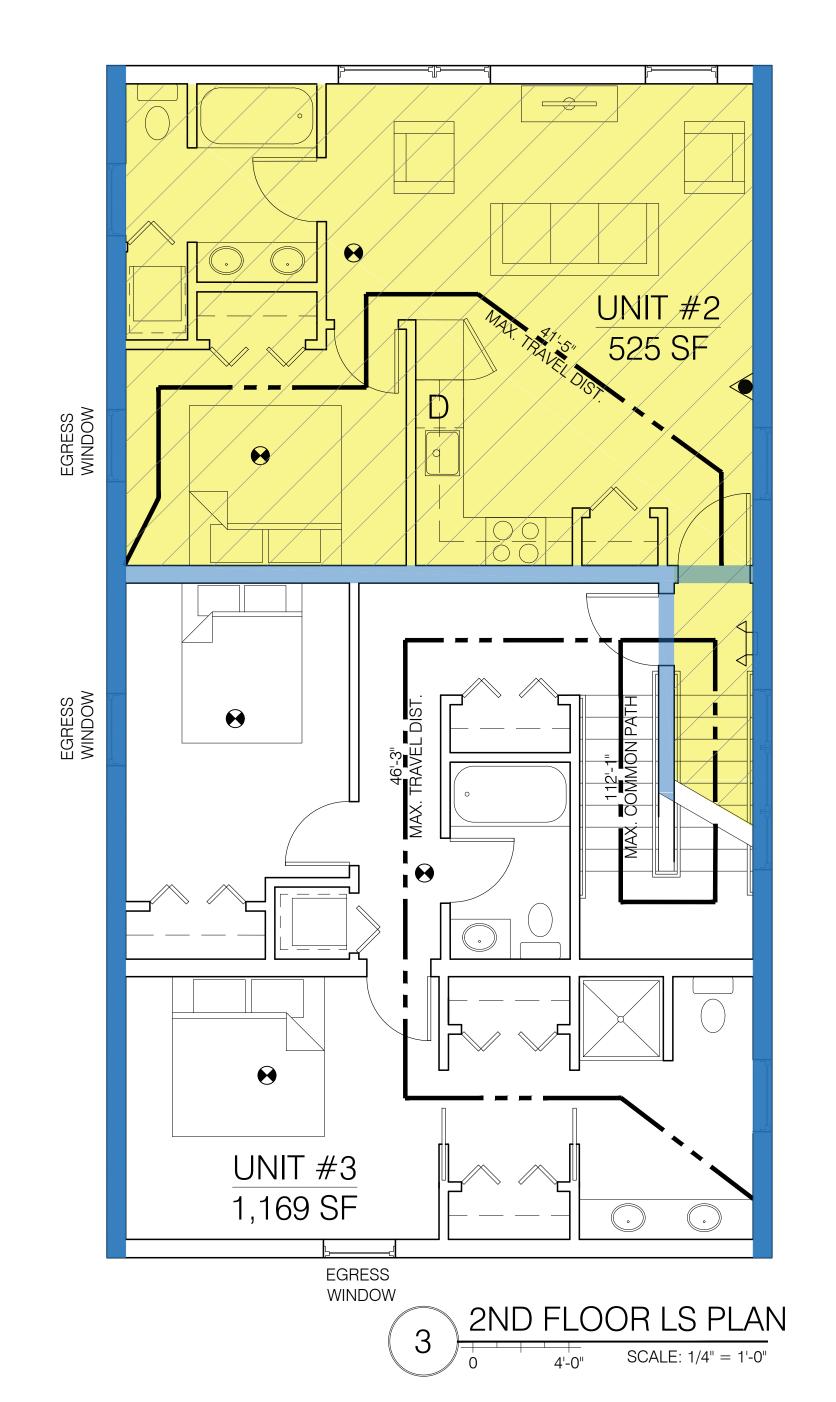
PORTABLE FIRE EXTINGUISHER

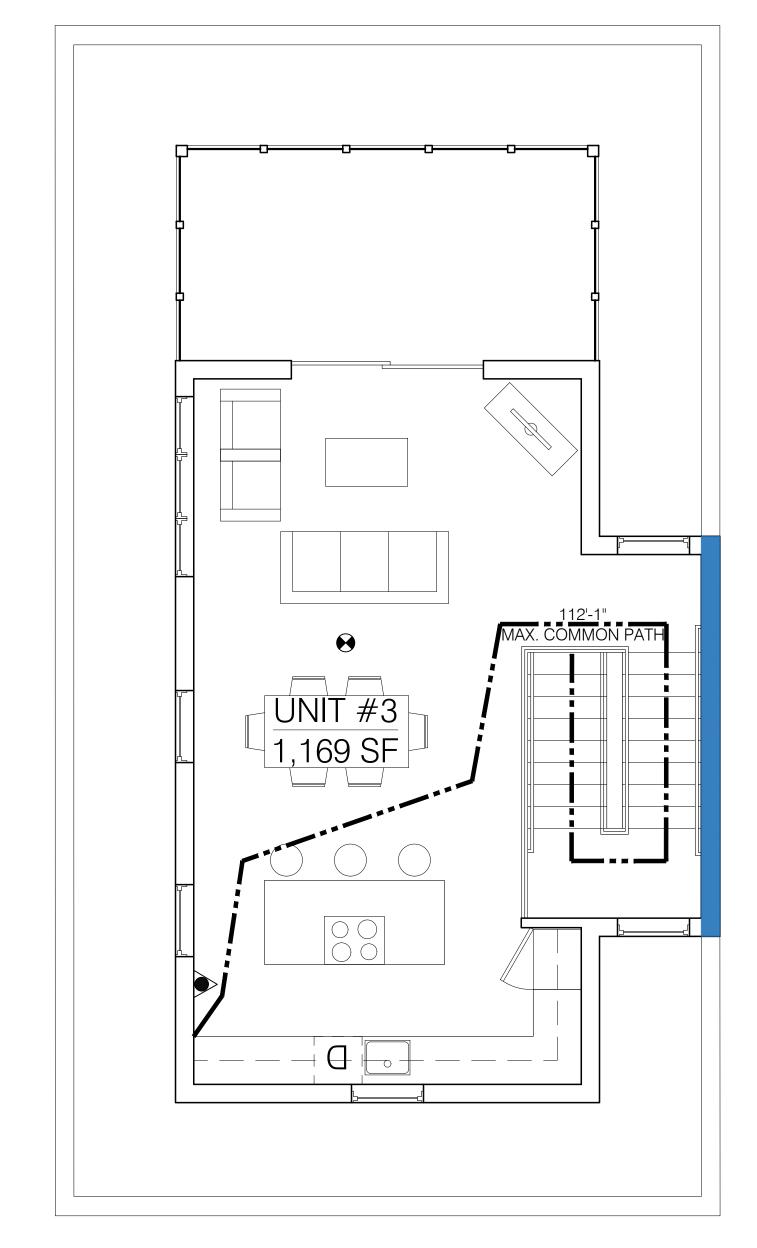


BASEMENT LS PLAN

O 4'-0" SCALE: 1/4" = 1'-0"









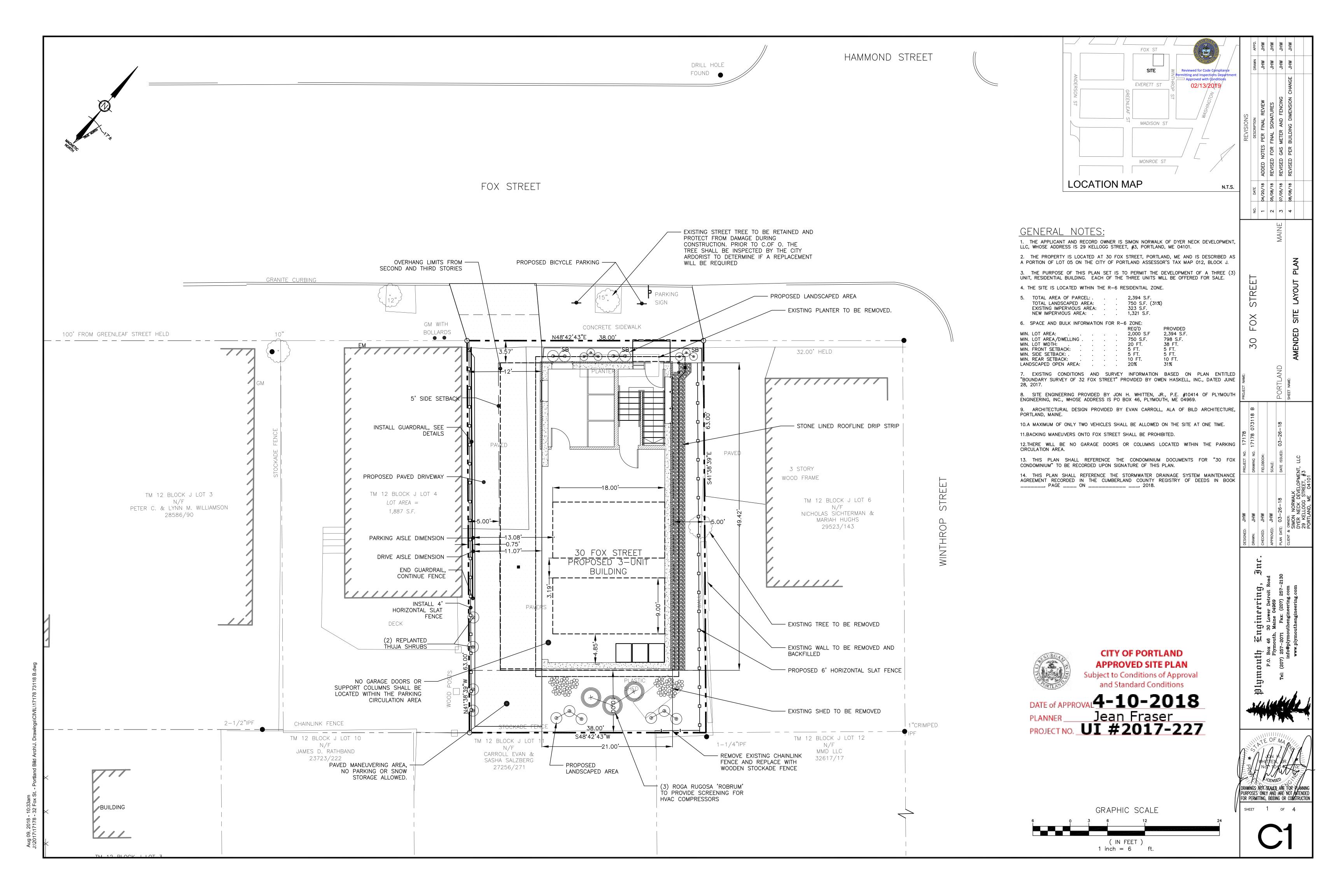
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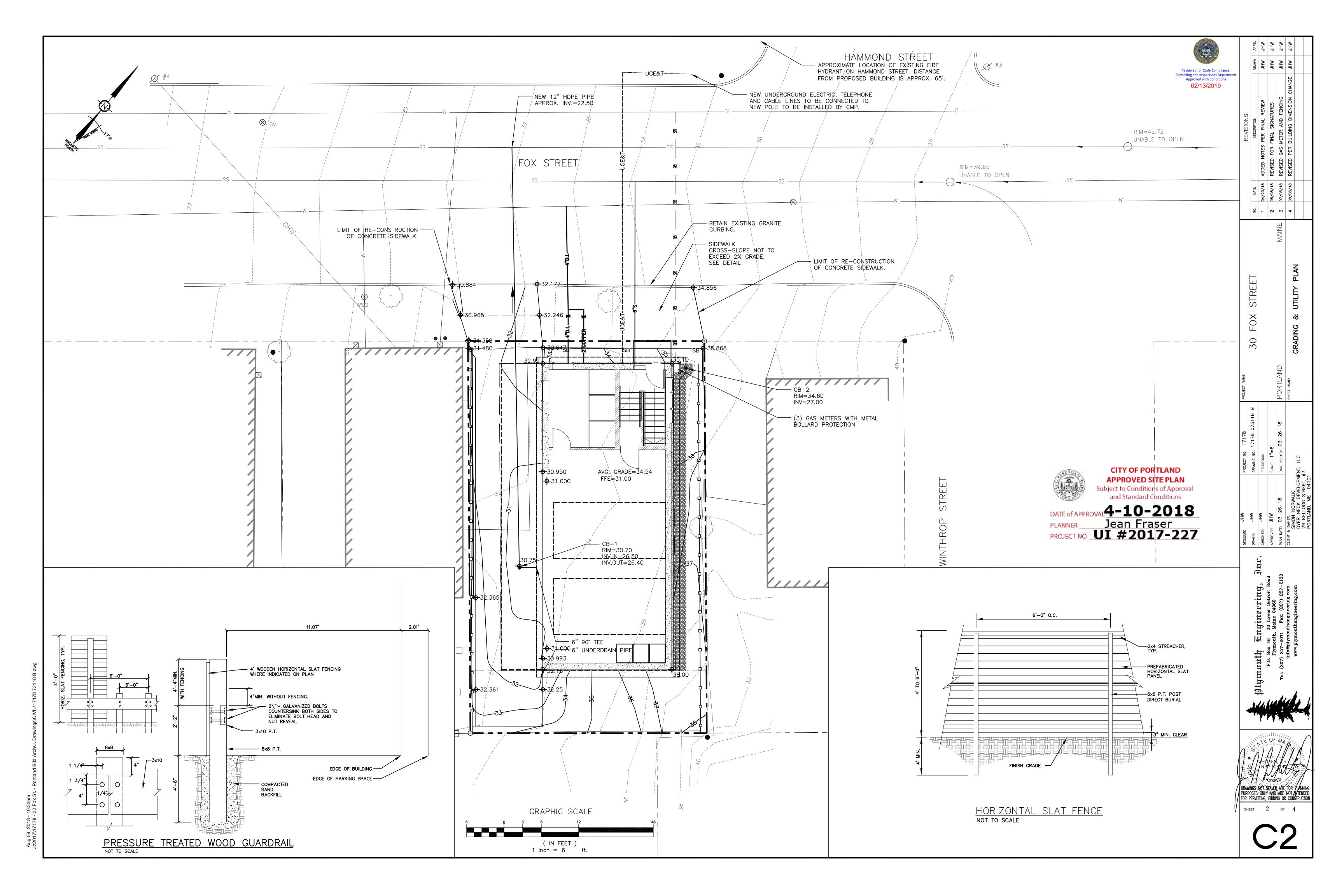
REVISIONS
1 05.18.18
2 08.02.18
3 08.14.18
4 08.29.18
5 09.06.18

PLANS

PERMIT SET

Bild Architec
PO Box 8235
Portland, ME
04104
207.408.0168
evan@bildarchitecture





#### Pre-Construction Phase

A person who conducts, or causes to be conducted, an activity that involves filling, displacing or exposing soil or other earthen materials shall take measures to prevent unreasonable erosion of soil or sediment beyond the project site or into a protected natural resource as defined in 38 MRSA § 480-B. Erosion control measures must be in place before the activity begins. Measures must remain in place and functional until the site is permanently stabilized. Adequate and timely temporary and permanent stabilization measures must be taken. The site must be maintained to prevent unreasonable erosion and sedimentation. Minimize disturbed areas and protect natural downgradient buffer areas to the extent practicable.

#### BMP Construction Phase

A. Sediment barriers. Prior to the beginning of any construction, properly install sediment barriers at the edge of any downgradient disturbed area and adjacent to any drainage channels within the proposed disturbed area. Maintain the sediment barriers until the disturbed area is permanently stabilized.

B. Construction entrance: Prior to any clearing or grubbing, a construction entrance shall be constructed at the intersection with the proposed access drive and the existing roadway to avoid tracking of mud, dust and debris from the site.

. Riprap: Since riprap is used where erosion potential is high, construction must be sequenced so that the riprap is put in place with the minimum delay. Disturbance of areas where riprap is to be placed should be undertaken only when final preparation and placement of the riprap can follow immediately behind the initial disturbance. Where riprap is used for outlet protection, the riprap should be placed before or in conjunction with the construction of the pipe or channel so that it is in place when the pipe or channel begins to operate. Maintain temporary riprap, such as temporary check dams until the disturbed area is permanently stabilized.

D. Temporary stabilization. Stabilize with temporary seeding, mulch, or other non—erodable cover any exposed soils that will remain unworked for more than 14 days except, stabilize areas within 100 feet of a wetland or waterbody within 7 days or prior to a predicted storm event, whichever comes first. If hay or straw mulch is used, the application rate must be 2 bales (70-90 pounds) per 1000 sf or 1.5 to 2 tons (90-100 bales) per acre to cover 75 to 90% of the ground surface. Hay mulch must be kept moist or anchored to prevent wind blowina. An erosion control blanket or mat shall be used at the base of grassed waterways, steep slopes (15% or greater) and on any disturbed soil within 100 feet of lakes, streams and wetlands. Grading shall be planned so as to minimize the length of time between initial soil exposure and final grading. On large projects this should be accomplished by phasing the operation and completing the first phase up to final grading and seeding before starting the second phase, and so on.

. Vegetated waterway. Upon final grading, the disturbed areas shall be immediately seeded to permanent vegetation and mulched and will not be used as outlets until a dense, vigorous vegetative cover has been obtained. Once soil is exposed for waterway construction, it should be immediately shaped, graded and stabilized. Vegetated waterways need to be stabilized early during the growing season (prior to September 15). If final seeding of waterways is delayed past September 15, emergency provisions such as sod or riprap may be required to stabilize the channel. Waterways should be fully stabilized prior to directing runoff to them.

. Seeded areas. For seeded areas, permanent stabilization means an 90% cover of the disturbed area with mature, healthy plants with no evidence of washing or rilling of the topsoil.

3. Sodded areas. For sodded areas, permanent stabilization means the complete binding of the sod roots into the underlying soil with no slumping of the sod or die-off.

C. Permanent mulch. For mulched areas, permanent mulching means total coverage of the exposed area with an approved mulch material. Erosion control mix may be used as mulch for permanent stabilization according to the approved application rates and limitations.

D. Riprap. For areas stabilized with riprap, permanent stabilization means that slopes stabilized with riprap have an appropriate backing of a well-graded gravel or approved geotextile to prevent soil movement from behind the riprap. Stone must be sized appropriately. It is recommended that angular stone be used.

. Agricultural use. For construction projects on land used for agricultural purposes (E.G., pipelines across crop land), permanent stabilization may be accomplished by returning the disturbed land to agricultural use.

Paved areas. For paved areas, permanent stabilization means the placement of the compacted aravel subbase is completed.

G. Ditches, channels, and swales. For open channels, permanent stabilization means the channel is stabilized with mature vegetation at least three inches in height, with well-graded riprap, or with another non-erosive lining capable of withstanding the anticipated flow velocities and flow depths without reliance on check dams to slow flow. There must be no evidence of slumping of the lining, undercutting of the banks, or down—cutting of the channel.

#### General Construction Phase The following erosion control measures shall be followed by the contractor throughout construction of this project:

A. All topsoil shall be collected, stockpiled, seeded with rve at 3 pounds/1,000 sf and mulched, and reused as required. Silt fencing shall be placed down gradient from the stockpiled loam. Stockpile to be located by designation of the owner and inspecting engineer.

3. The inspecting engineer at his/her discretion, may require additional erosion control measures and/or supplemental vegetative provisions to maintain stability of earthworks and finish graded areas. The contractor shall be responsible for providing and installing any supplemental measures as directed by the inspecting engineer. Failure to comply with the engineer's directions will result in discontinuation of construction activities.

C. Erosion control mesh shall be applied in accordance with the plans over all finish seeded areas as specified on the design plans.

D. All graded or disturbed areas including slopes shall be protected during clearing and construction in accordance with the approved erosion and sediment control plan until they are adequately stabilized.

E. All erosion, and sediment control practices and measures shall be constructed, applied and maintained in accordance with the approved erosion and sediment control plan.

. Areas to be filled shall be cleared, grubbed and stripped of topsoil to remove trees, vegetation, roots or other

G. Areas shall be scarified to a minimum depth of 3 inches prior to placement of topsoil.

H. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc., shall be compacted in accordance with ocal requirements or codes

. All fills shall be placed and compacted in layers not to exceed 8 inches in thickness.

. Except for approved landfills or non-structural fills, fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris and other objectionable materials that would interfere with or prevent construction of satisfactory lifts.

K. Frozen material or soft, mucky or highly compressible materials shall not be incorporated into fill slopes or structural fills.

. Fill shall not be placed on a frozen foundation.

M. Seeps or springs encountered during construction shall be handled appropriately.

N. All graded areas shall be permanently stabilized immediately following finished grading.

Remove any temporary control measures, such as silt fence, within 30 days after permanent stabilization is attained. Remove any accumulated sediments and stabilize.

objectionable materials.

<u>Permanent Vegetation</u> Permanent vegetative cover should be established on disturbed areas where permanent, long lived vegetative cover is needed to stabilize the soil, to reduce damages from sediment and runoff, and to enhance the environment

### <u>Seedbed Preparation</u>

A. Grade as feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and maintenance.

B. Apply limestone and fertilizer according to soil tests such as those offered by the University of Maine soil testing laboratory. Soil sample mailers are available from the local cooperative extension service office. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 800 pounds per acre or 18.4 pounds per 1,000 square feet using 10-20-20 (n-p205-k20) or equivalent. Apply ground limestone (equivalent to 50% calcium plus magnesium oxide) at a rate of 3 tons per acre (138 lb. Per 1.000 sa. Ft).

). Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, spring tooth harrow or other suitable equipment. The final harrowing operation should be on the general contour. Continue tillage until a reasonably uniform, fine seedbed is prepared. All but clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.D. Remove from the surface all stones 2 inches or larger in any dimension. Remove all other debris, such as wire, cable, tree roots, concrete, clods, lumps or other unsuitable material.

Inspect seedbed just before seeding. If traffic has left the soil compacted; the area must be tilled and firmed

Permanent seeding should be made 45 days prior to the first killing frost or as a dormant seeding with mulch after the first killing frost and before snowfall. When crown vetch is seeded in later summer, at least 35% of the seed should be hard seed (unscarified). If seeding cannot be done within the seeding dates, mulch according to the temporary mulching BMP and overwinter stabilization and construction to protect the site and delay seeding until the next recommended seeding period.

G. Following seed bed preparation, swale areas, fill areas and back slopes shall be seeded at a rate of 3 lbs./1,000 s.F. With a mixture of 35% creeping red h. Fescue, 6% red top, 24% Kentucky bluegrass, 10% perennial ryegrass. 20% annual ryegrass and 5% white Dutch clover.

I. Areas which have been temporarily or permanently seeded shall be mulched immediately following seeding. J. Areas which cannot be seeded within the growing season shall be mulched for over—winter protection and the area should be seeded at the beginning of the growing season.

#### <u>Winter Construction Phase</u>

If an area is not stabilized with temporary or permanent measures by November 15, then the site must be protected with additional stabilization measures.

A. Permanent stabilization consists of at least 90% vegetation, pavement/gravel base or riprap.

B. Do not expose slopes or leave slopes exposed over the winter or for any other extended time of work suspension unless fully protected with mulch.

C. Apply hay mulch at twice the standard rate (150 lbs. Per 1,000 sf). The mulch must be thick enough such that the ground surface will not be visible and must be anchored.

D. Use mulch and mulch netting or an erosion control mulch blanket or all slopes greater than 8 % or other areas exposed to direct wind.

E. Install an erosion control blanket in all drainageways (bottom and sides) with a slope greater than 3 %.

F. See the vegetation measures for more information on seeding dates and types.

G. Winter excavation and earthwork shall be completed so that no more than 1 acre of the site is without stabilization at any one time.

H. An area within 100 feet of a protected natural resource must be protected with a double row of sediment

I. Temporary mulch must be applied within 7 days of soil exposure or prior to any storm event, but after every workday in areas within 100 feet from a protected natural resource.

J. Areas that have been brought to final grade must be permanently mulched that same day.

K. If snowfall is greater than 1 inch (fresh or cumulative), the snow shall be removed from the areas due to be seeded and mulched.

L. Loam shall be free of frozen clumps before it is applied.

M. All vegetated ditch lines that have not been stabilized by November 1, or will be worked during the winter construction period, must be stabilized with an appropriate stone lining backed by an appropriate gravel bed or geotextile unless specifically released from this standard by the department.

### Maintenance and Inspection Phase

PLACE SILTSACK

CONSTRUCTION.

IN EX. FRAME, EX.

REPLACED DURING

EX. GRADE

SILT SACK PROTECTION

**EXISTING BASIN** 

A. Contractor shall inspect disturbed and impervious areas, and erosion and stormwater control measures, areas used for storage that are exposed to precipitation, and locations where vehicles enter or exit the parcel at least once a week and before and after a storm event, prior to completion of permanent stabilization. A person with knowledge of erosion and stormwater must conduct the inspection. This person must be identified in the inspection log. If best management practices (BMPs) need to be modified or if additional BMPs are necessary, implementation must be completed within 7 calendar days and prior to any storm event (rainfall). All measures must be maintained in effective operating condition until areas are permanently stabilized.

B. A log (report) must be kept summarizing the scope of the inspection, name(s) and qualifications of the personnel making the inspection, the date(s) of the inspection, and major observations relating to operation of erosion and sedimentation controls and pollution prevention measures. Major observations must include: BMPs that need to be maintained; location(s) of BMPs that failed to operate as designed or proved inadequate for a particular location; and location(s) where additional BMPs are needed that did not exist at the time of inspection. Follow-up to correct deficiencies or enhance controls must also be indicated in the log and dated. including what action was taken and when.

CATCH BASIN -

FINISH GRADE

CATCH BASIN EROSION CONTROL INSERT

METAL BOLLARD

NOT TO SCALE

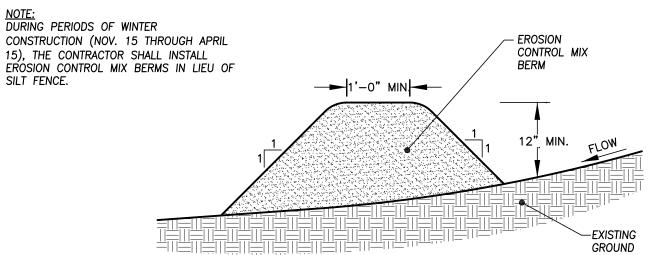
**NEW INSTALLATION** 

PRIOR TO FINAL GRADING AND PAVING OPERATIONS BEGIN, A CATCH

BASIN INSERT (SUCH AS A SILT SACK OR A DANDY BAG II) MUST

BE INSTALLED IN EACH BASIN PER MANUFACTURES INSTRUCTIONS.

HAY BALES SHOULD BE REMOVED ONCE INSERTS ARE INSTALLED.



EROSION CONTROL MIX SHALL CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES & MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH. THE MIX COMPOSITION SHALL MEET THE FOLLOWING STANDARDS:

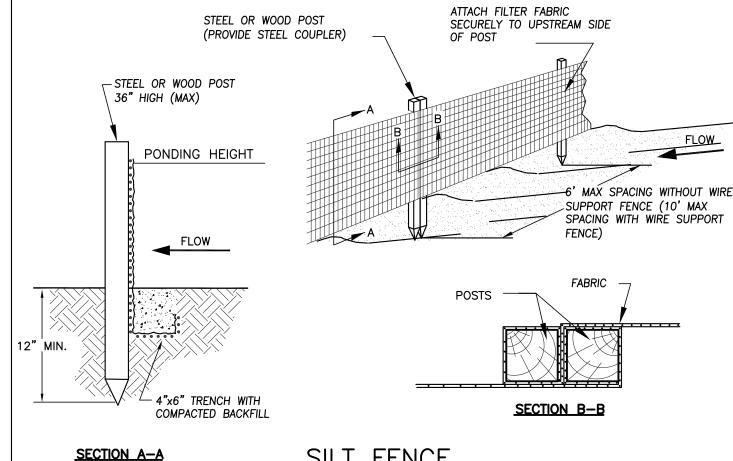
- PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN AND A MINIMUM OF 70%. OF 85% PASSING A 0.75" SCREEN - THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED

- LARGE PORTIONS OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE IN THE MIX. SOLUBLE SALTS CONTENT SHALL BE < 4.0 mmhos/cm.</li>

- THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 80% - 100% DRY WEIGHT BASIS

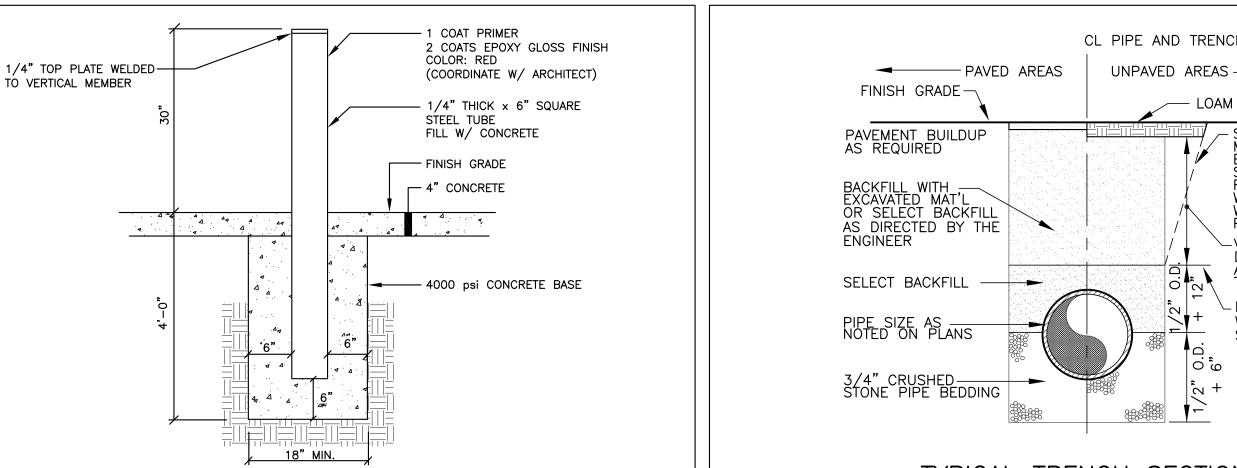
- ph SHALL FALL BETWEEN 5.0 - 8.0.

## EROSION CONTROL MIX BERM



- APPLY TACK COAT (M.D.O.T. SPEC. SECTON 409) 1'-0" +/-PROPOSED ROADWAY (SEE TYPICAL ROAD SECTION) - EXISTING PAVEMENT STRUCTURE SAW CUT AND REMOVE EXIST. TOP COURSE PAVEMENT FOR A DISTANCE OF 12" OR TO SOUND PAVEMENT, WHICHEVER IS GREATER. HOT BITUMINOUS SURFACE PAVING -HOT BITUMINOUS BINDER PAVING AGGREGATE BASE AND SUBBASE GRAVELS-(SEE TYPICAL ROAD SECTIONS FOR DETAILS)

TYPICAL PAVEMENT JOINT



SILTSACK PLACED IN

CATCH BASIN PRIOR

INSTALL CRUSHED

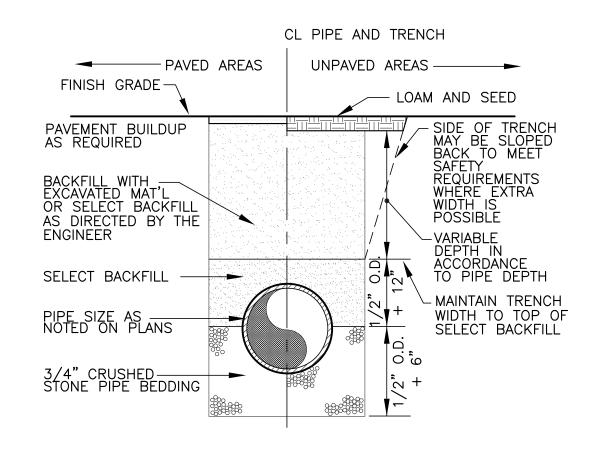
STONE AROUND THE

EDGE TO HOLD SACK

INSTALLATION.

IN PLACE

) FRAME & GRATE



TYPICAL TRENCH SECTION NOT TO SCALE

### CONSTRUCTION NOTES:

MAXIMUM

1. All work shall conform to the applicable codes and ordinances.

attention of the engineer prior to the commencement of work.

2. Contractor shall visit the site and familiarize him or herself with all conditions affecting the proposed work and shall make provisions as to the cost thereof. Contractor shall be responsible for familiarizing him or herself with all contract documents, field conditions and dimensions and confirming that the work may be accomplished as shown prior to proceeding with construction. Any discrepancies shall be brought to the

3. Contractor shall notify engineer of all products or items noted as "existing" which are not found in the

4. Install all equipment and materials in accordance with manufacturer's recommendations and owner's requirements unless specifically otherwise indicated or where local codes or regulations take precedence.

5. Contractor shall verify all dimensions and conditions in the field prior to fabrication and erection of any material. Any unusual conditions shall be reported to the attention of the engineer.

6. Contractor shall clean and remove debris and sediment deposited on public streets, sidewalks, adjacent areas, or other public ways due to construction.

7. Contractor shall incorporate provisions as necessary in construction to protect existing structures, physical features, and maintain site stability during construction. Contractor shall restore all areas to original condition and as directed by design drawings.

8. Site contractor shall obtain all required permits prior to construction.

9. All erosion and sediment control measures shall be installed in accordance with "Maine Erosion and Sedimentation Control Handbook for Construction: Best Management Practices" published by the Cumberland County Soil and Water Conservation District and Maine Department of Environmental Protection, March 2004 or latest edition. It shall be the responsibility of the contractor to possess a copy of the erosion control plan at

10. The contractor is hereby cautioned that all site features shown hereon are based on field observations by the surveyor and by information provided by utility companies. The information is not to be relied on as being exact or complete. The contractor shall contact Dig Safe (1—888—digsafe) at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition to verify horizontal and vertical location of all utilities.

11. Contractor shall be aware that Dig Safe only notifies its "member" utilities about the dig. When notified, Dig Safe will advise contractor of member utilities in the area. Contractor is responsible for identifying and contacting non-member utilities directly. Non-member utilities may include town or city water and sewer districts and small local utilities, as well as USG public works systems.

12. Contractors shall be responsible for compliance with the requirements of 23 MRSA 3360-A. It shall be the responsibility of the contractor to coordinate with the appropriate utilities to obtain authorization prior to relocation of any existing utilities which conflict with the proposed improvements shown on these plans. If a utility conflict arises, the contractor shall immediately notify the owner, the municipality and appropriate utility company prior to proceeding with any relocation.

13. All pavement markings and directional signage shown on the plan shall conform to the Manual of Uniform Traffic Control Devices (MUTCD) standards.

14. All pavement joints shall be sawcut prior to paving to provide a durable and uniform joint.

15. No holes, trenches or structures shall be left open overnight in any excavation accessible to the public or in public rights—of—way.

16. All work within the public right-of-way shall require a M.D.O.T. Permit as well as permits from the town as applicable. 17. The proposed limits of clearing shown hereon are approximate based upon the proposed limits of site

grading. The applicant reserves the right to perform normal forest management activities outside of the clearing limit as shown. Tree removal outside of the limits of clearing may be necessary to remove dead or dying trees or tree limbs. This removal is due to potential safety hazards and to promote proper forest

18. Immediately upon completion of cuts/fills, the contractor shall stabilize disturbed areas in accordance with erosion control notes and as specified on plans

19. The contractor shall be fully and solely responsible for the removal, replacement and rectification of all damaged and defective material and workmanship in connection with the contract work. The contractor shall replace or repair as directed by the owner all such damaged or defective materials which appear within a period of one year from the date of substantial completion.

20. All work performed by the general contractor and/or trade subcontractor shall conform to the requirements of local, state or federal laws, as well as any other governing requirements, whether or not specified on the

21. Where the terms "approved equal", "other approved", "equal to", "acceptable" or other general qualifying terms are used in these notes, it shall be understood that reference is made to the ruling and judgment of Plymouth Engineering, inc.

22. The general contractor shall provide all necessary protection for the work until turned over to the owner. 23. The general contractor shall maintain a current and complete set of construction drawings on site during

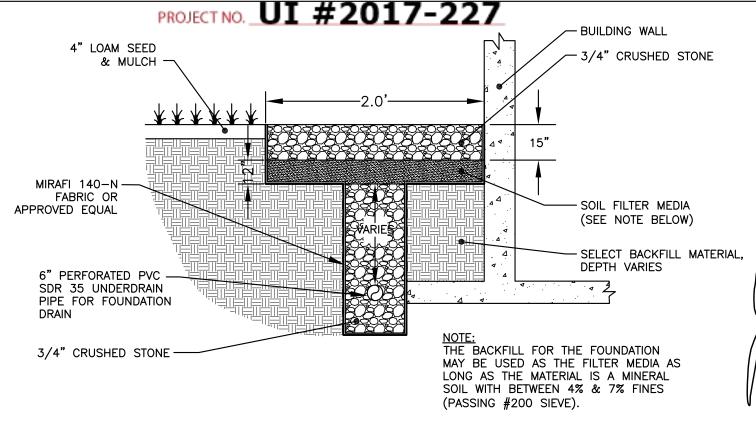
all phases of construction for use of all trades. 24. The contractor shall take full responsibility for any changes and deviation of approved plans not authorized by the architect/engineer and/or client/owner.

25. Details are intended to show end result of design. Any modification to suit field dimension and condition shall be submitted to the engineer for review and approval prior to any work.

26. Before the final acceptance of the project, the contractor shall remove all equipment and materials, repair or replace private or public property which may have been damaged or destroyed during construction, clean the areas within and adjacent to the project which have been obstructed by his/her operations, and leave the project area neat and CITY OF PORTLAND



Subject to Conditions of Approva and Standard Conditions 4-10-2018 Jean Fraser



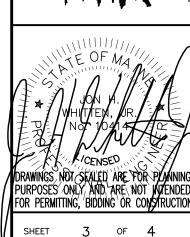
ROOF DRIPLINE FILTER BED

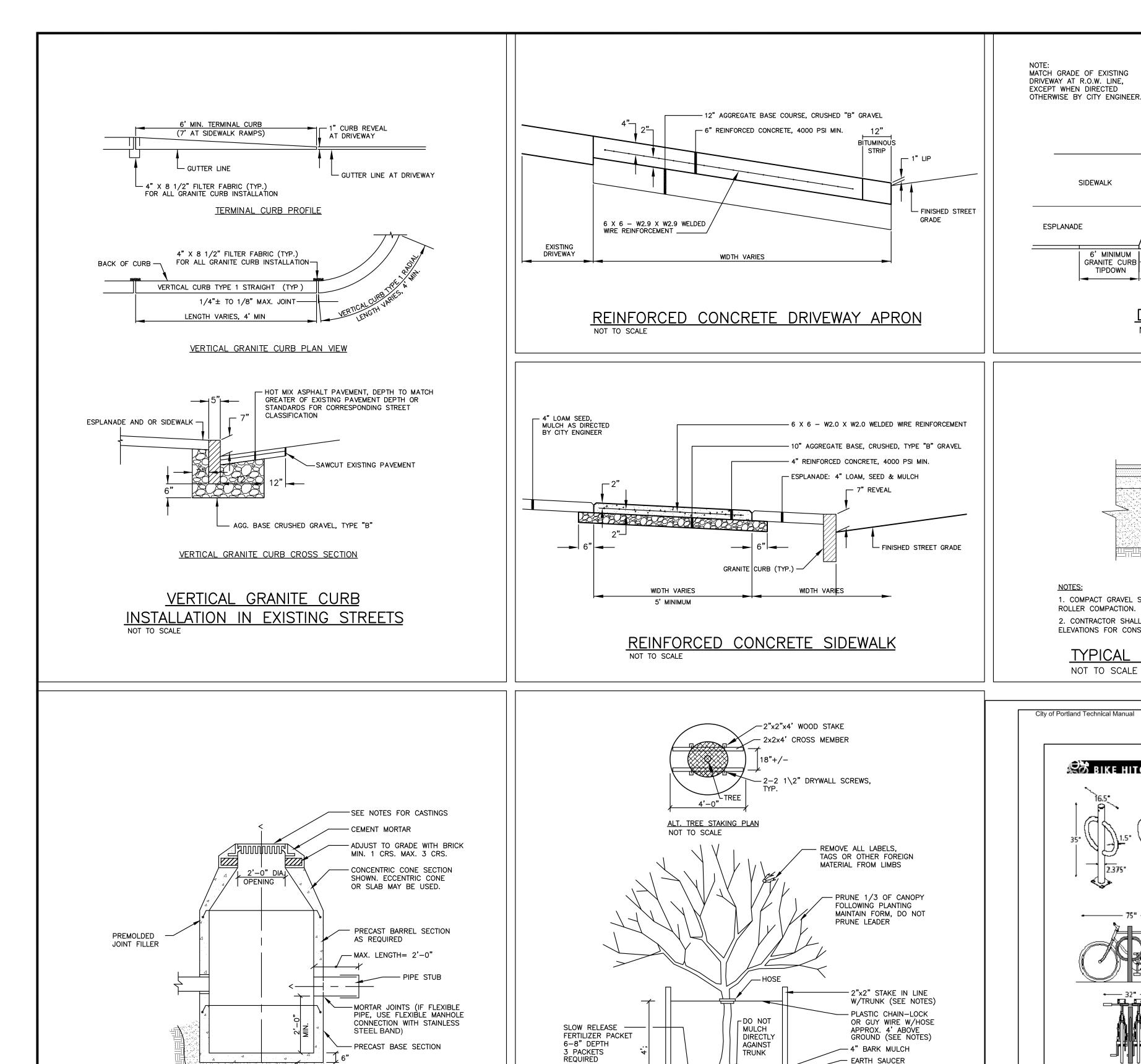


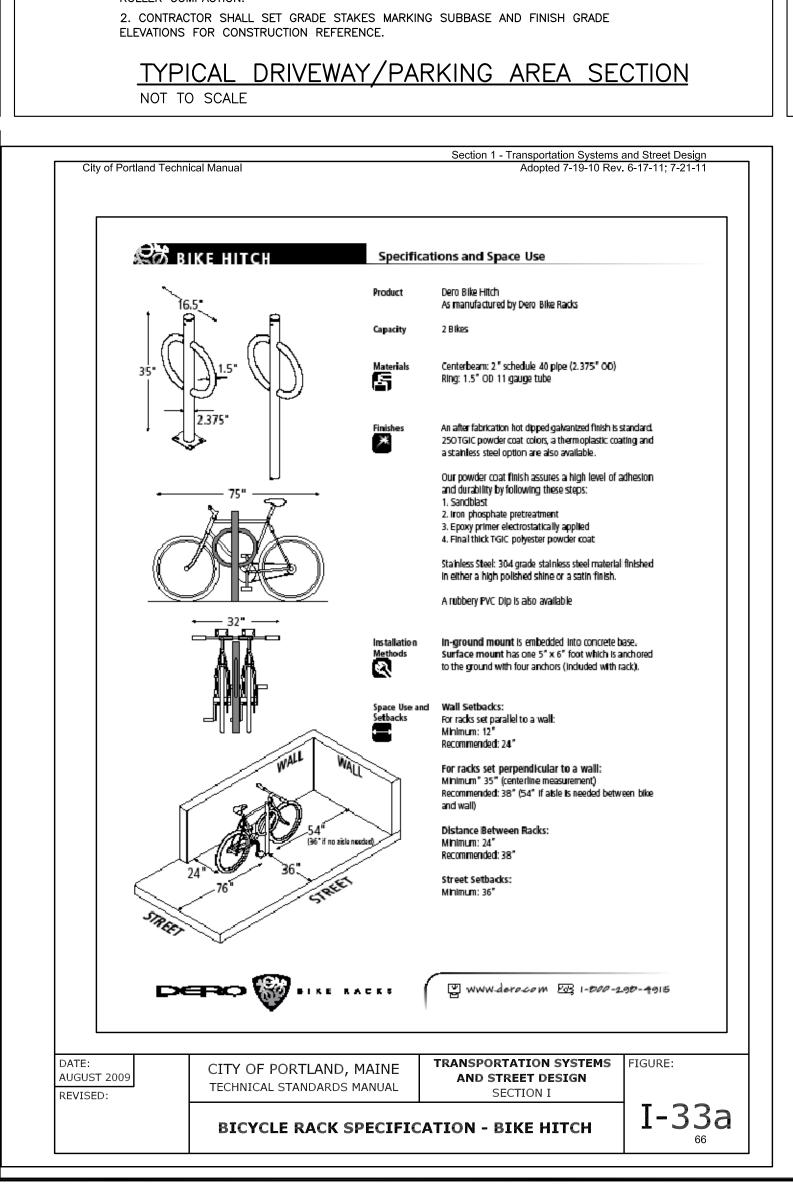
EROSION & SEDIMENTATION CONTROL DETAILS STRE

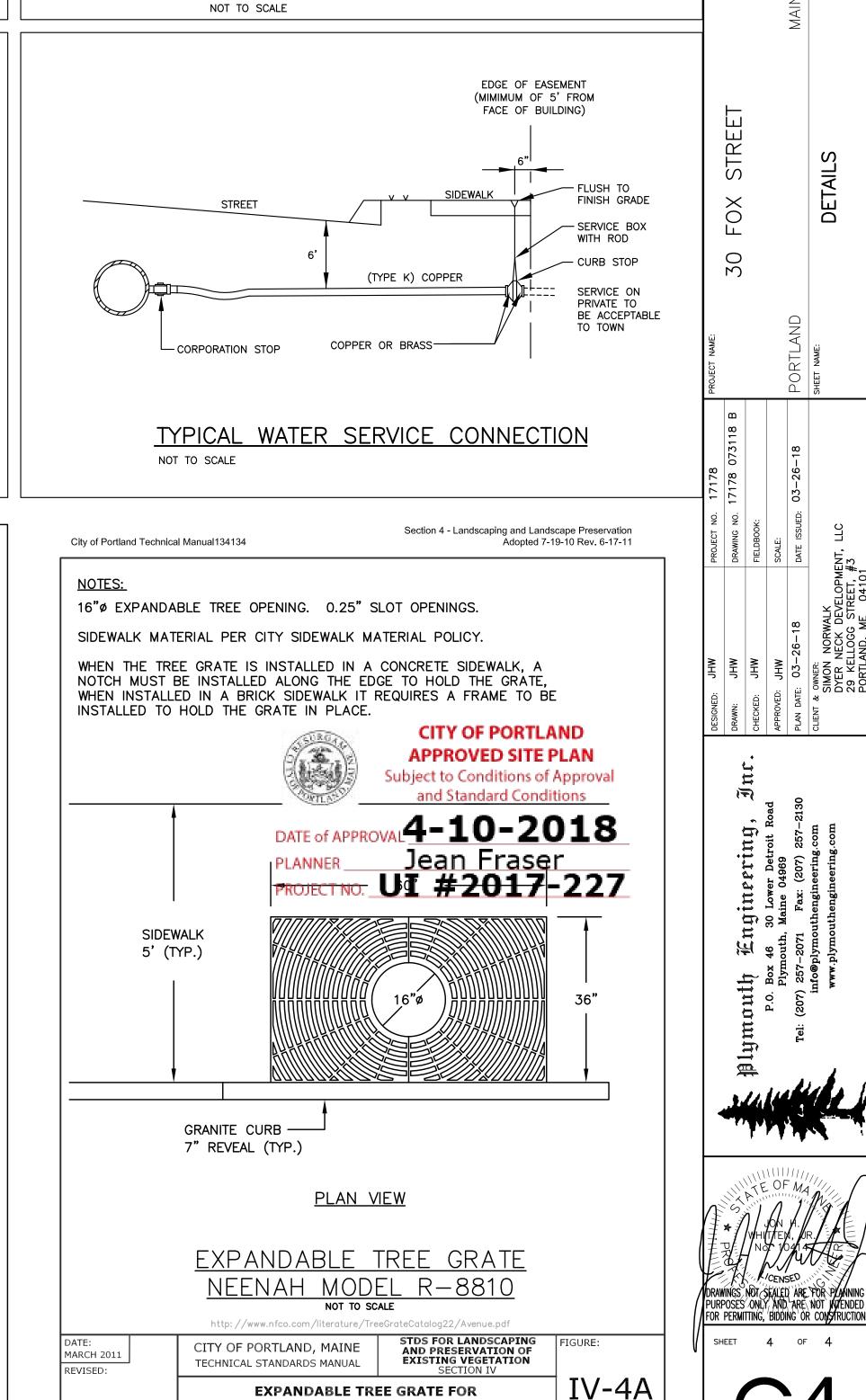
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NARROW RESIDENTIAL URBAN STREETS

LENGTH AS REQUIRED -TO BRING 3' BEYOND LP

SEWER / FOUNDATION DRAIN

**SERVICE CONNECTION** 

SEWER OR

DRAIN FLO

PVC SDR-

- STANDARD WYE

—— 6" PVC SDR-35

TEMPORARY

CAP OR PLUG

LATERAL

JHW JHW HW

17

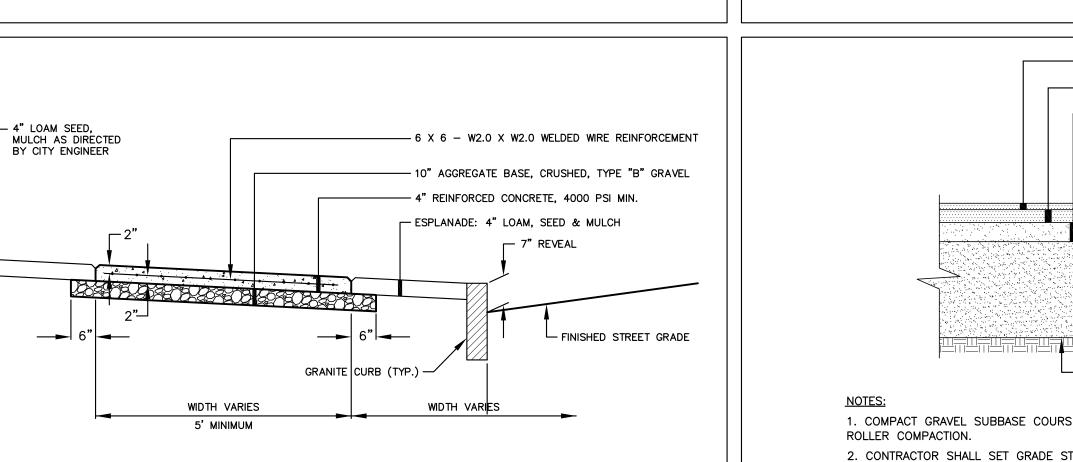
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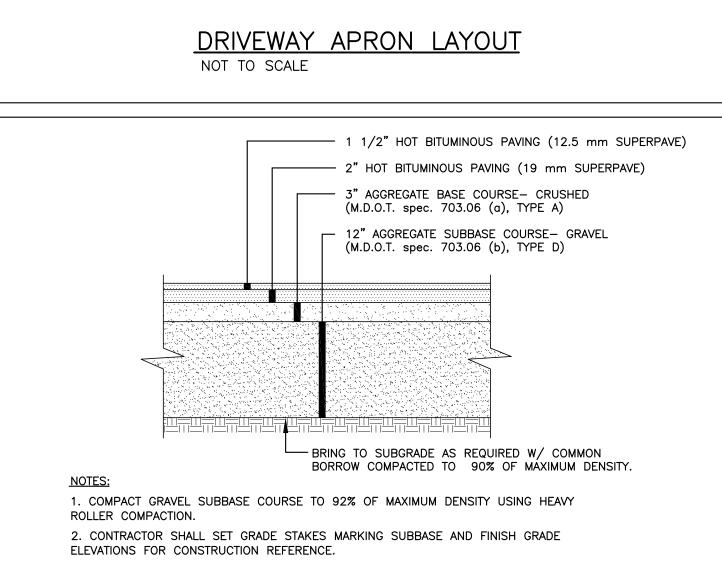
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CENSED





RIGHT OF WAY

BITUMINOUS, BRICK OR

CONCRETE DRIVEWAY

**VARIES** 

SIDEWALK

6' MINIMUM 2' FLARE (TYP.)

TIPDOWN

SIDEWALK

-1' BITUMINOUS STRIP FOR

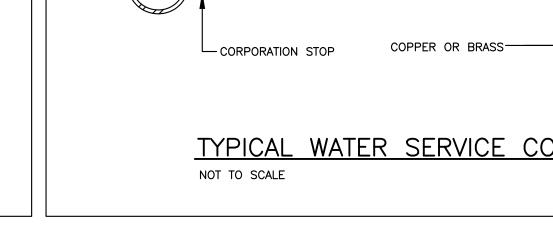
6' MINIMUM

GRANITE CURB

TIPDOWN

BRICK AND CONCRETE APRONS

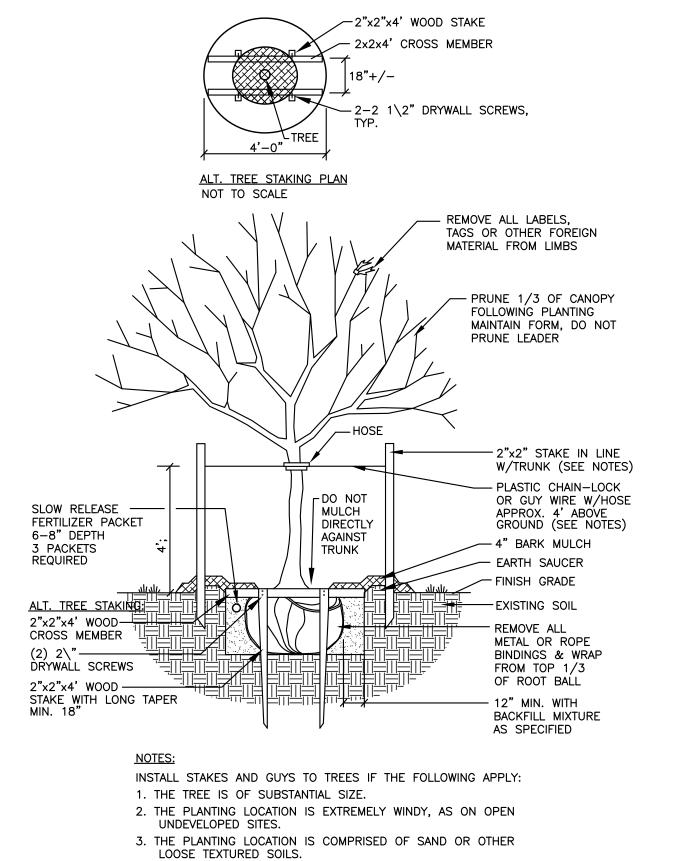
ESPLANADE



1.INSTALL BACKFLOW VALVE WITH RUBBER SEAL IN EACH FOUNDATION

2. IF SUMP PUMP IS UTILIZED INSTALL CHECK VALVE AT SUMP

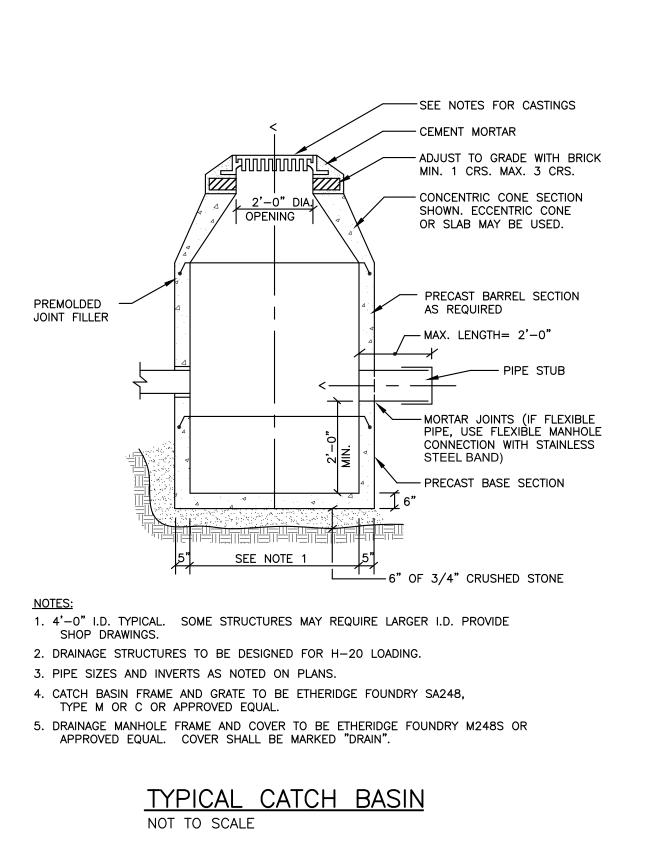
DRAIN SERVICE.

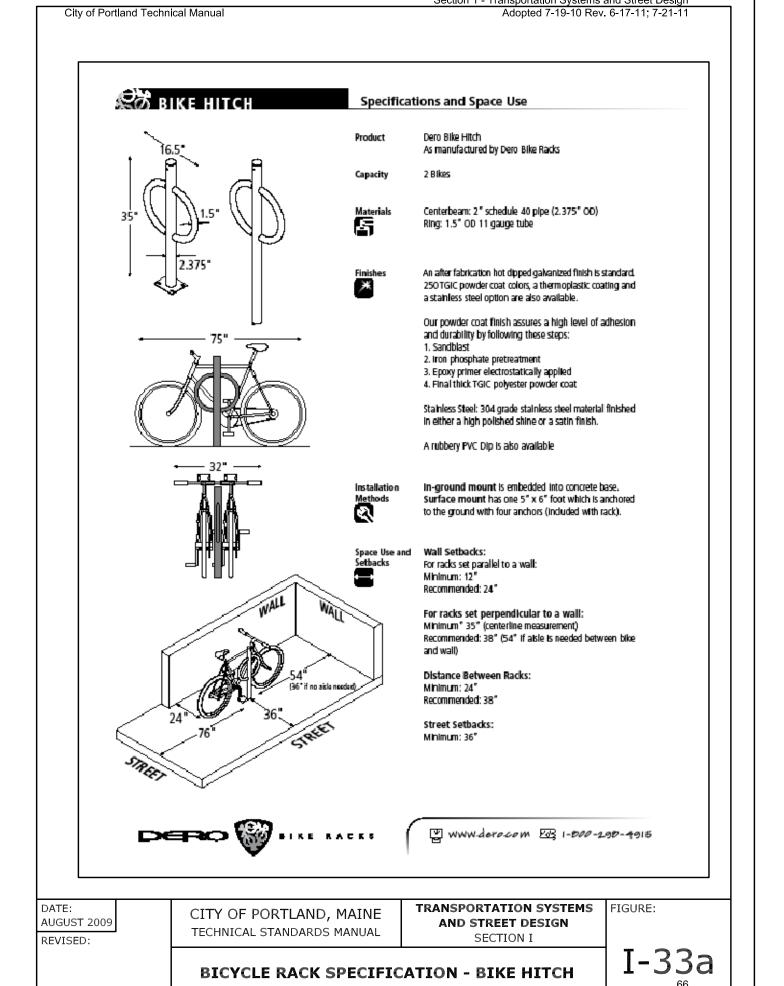


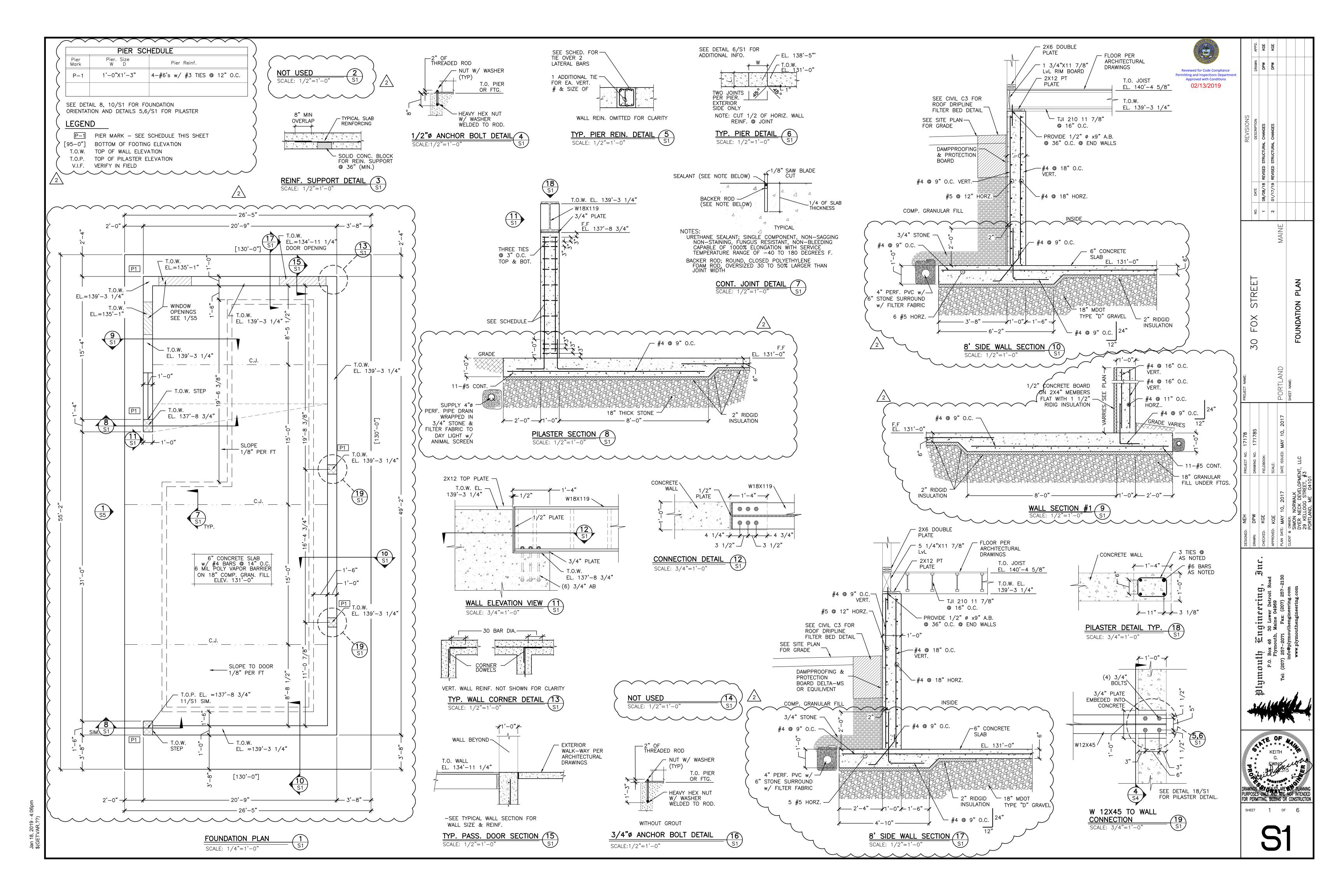
4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE

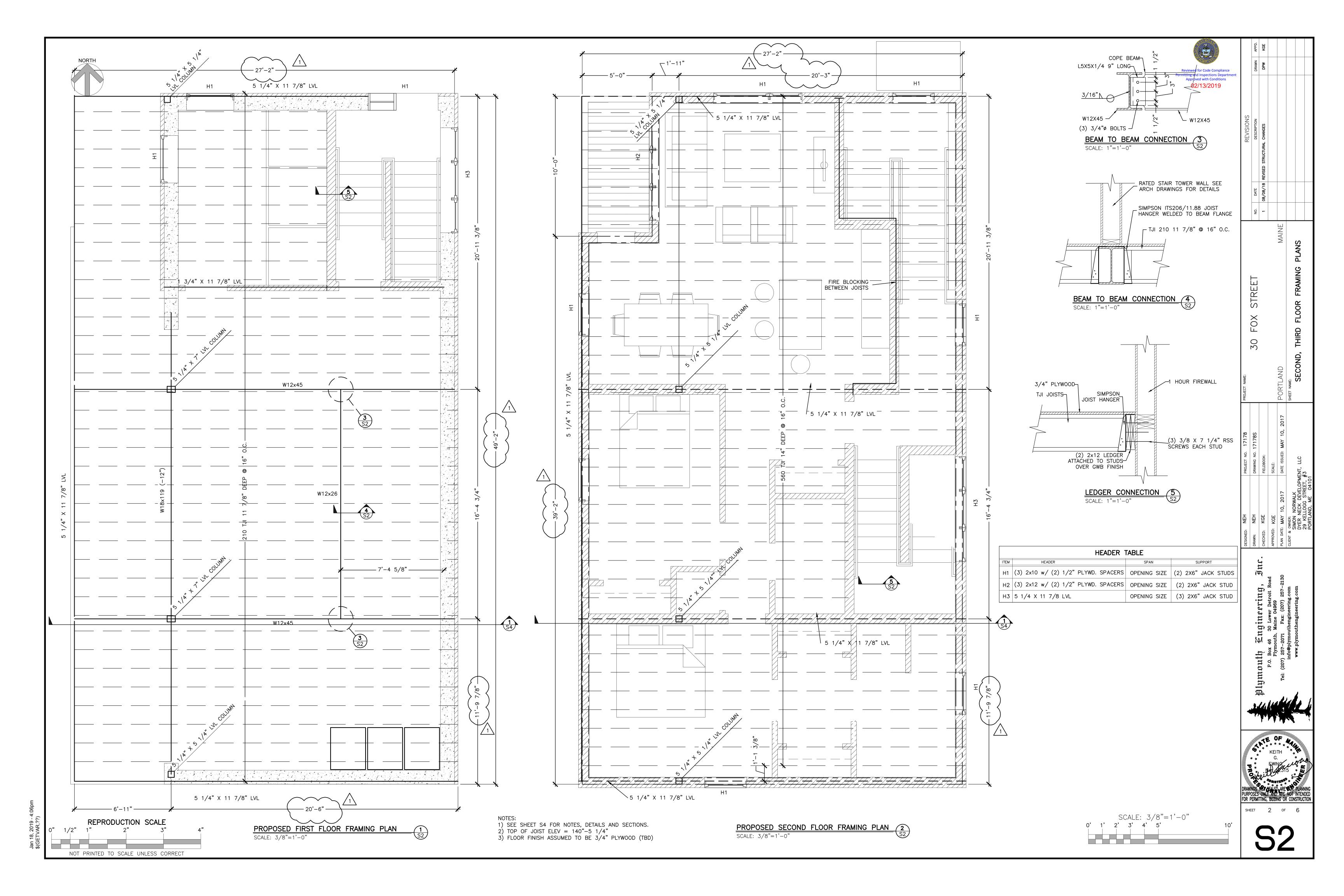
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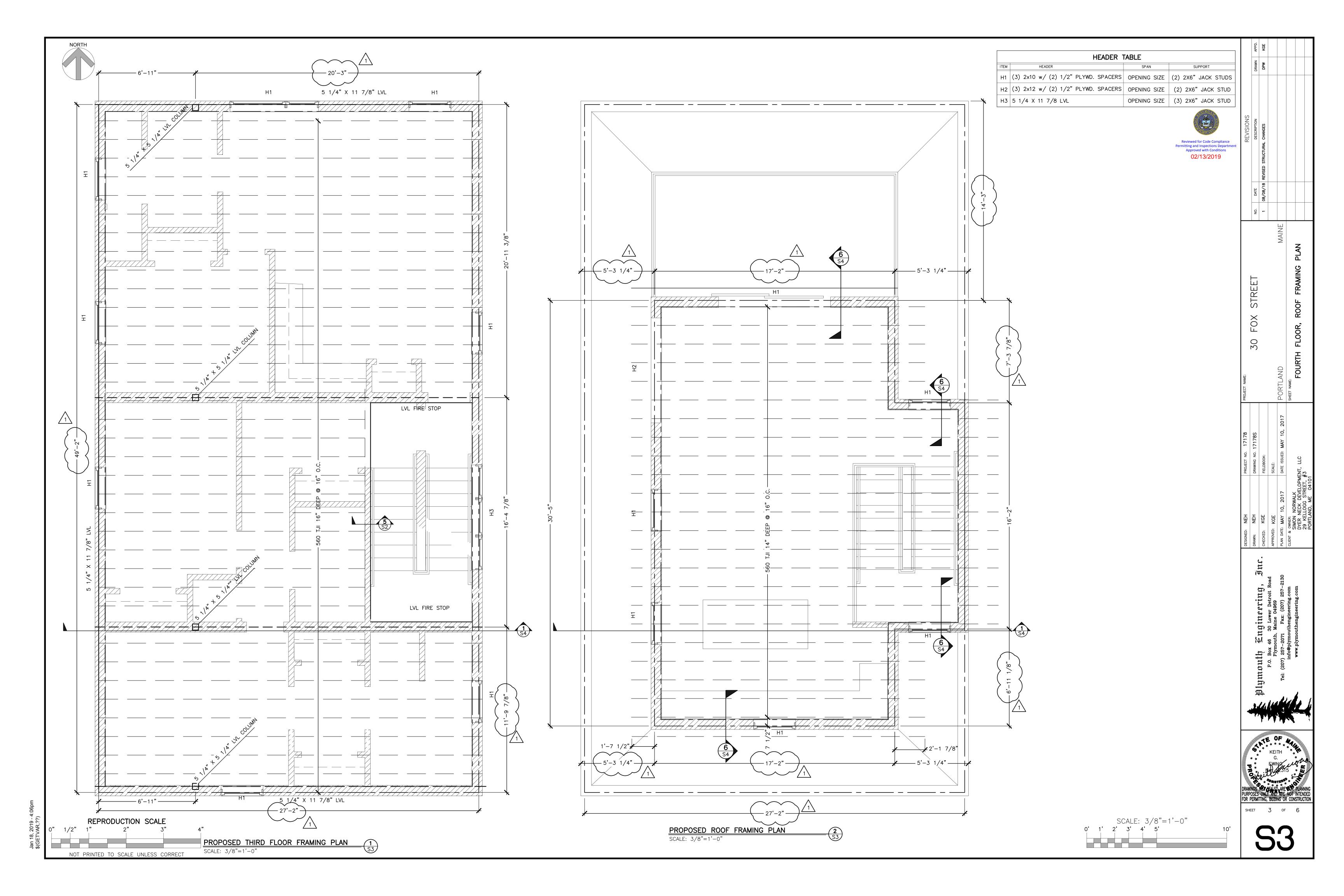
DECIDUOUS TREES 2" TO 4" CALIPER











### GENERAL NOTES:

- 1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS; CONFIRM WITH ARCHITECTURAL DRAWINGS. REPORT ANY DISCREPANCIES TO STRUCTURAL ENGINEER BEFORE PROCEEDING WITH WORK
- 2. CONSTRUCTION SHALL FOLLOW INTERNATIONAL BUILDING CODE (2015 EDITION).
- 3. STRUCTURAL SYSTEMS AND COMPONENTS DESIGN SHALL FOLLOW 2015 INTERNATIONAL BUILDING
- 4. PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE.
- 5. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL MEMBERS, WALLS, AND NON STRUCTURAL ITEMS DURING CONSTRUCTION.
- 6. ALL STRUCTURAL COMPONENTS AND SYSTEMS SHALL BE DESIGNED FOR SELF WEIGHT, SUPERIMPOSED DEAD LOADS, CONCENTRATED LOADS SHOWN ON PLANS, AND THE LIVE LOADS.
- 7. STRUCTURAL COMPONENTS AND SYSTEMS SHALL BE ERECTED AND INSPECTED FROM SHOP
- 8. ALL REFERENCED STANDARDS REFER TO LATEST EDITION.

DRAWINGS, STAMPED BY THE ENGINEER.

- 9. SEE ARCHITECTURAL DRAWINGS FOR DETAILS NOT SHOWN.
- 10. GENERAL CONTRACTOR TO COORDINATE ALL FLOOR PENETRATIONS WITH APPROPRIATE TRADES.

#### SLAB-ON-GRADE:

- 1. SLAB-ON-GRADE: AS NOTED ON DRAWINGS. ALL BUILDING SLABS ARE TO BE FOUNDED ON UNDISTURBED NATURAL GROUND, CLEAN SOUND LEDGE OR COMPACTED STRUCTURAL FILL MATERIAL CAPABLE OF SAFELY SUPPORTING A SPECIFIED DESIGN BEARING PRESSURE OF 3,000 POUNDS PER SQUARE FOOT.
- 2. PLACE SLAB CONTRACTION JOINTS AT 15 FEET MAXIMUM (UNLESS OTHERWISE NOTED). PROVIDE ISOLATION JOINTS AROUND ALL COLUMNS.
- 3. SOIL COMPACTION UNDER SLABS-ON-GRADE SHALL BE 95% OF COMPACTION.
- 4. RECOMPACT ALL SOIL DISTURBED BY PLACING OF BELOW GRADE PLUMBING, ELECTRIC, AND OTHER UTILITIES IN LAYERS NOT TO EXCEED 8" THICK.
- 5. CONCRETE SHALL BE CURED BY MAINTAINING CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A MINIMUM OF SEVEN DAYS. APPLY A HARDENER & SEALER LIKE STARSEAL BY; VEXCON OR EQUAL.
- 6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FLOOR DRAIN SETTING FOR ELEVATION AND PLUMBNESS TO ASSURE COMPLETE AREA DRAINAGE. COORDINATE LOCATIONS WITH PLUMBING DRAWINGS.
- 7. ALL EXPOSED CONCRETE SHALL BE NEATLY RUB FINISHED.
- 8. PROVIDE IN ALL SLABS ON GRADE (2) #5 BARS 3'-0" LONG AT EACH REENTRANT CORNER AND BOTH SIDES OF DOOR OPENINGS.
- 9. REINFORCING BAR MINIMUM DEVELOPMENT LENGTHS
  #3 BAR = 15 INCHES #4 BAR = 19 INCHES #5 BAR = 24 INCHES
  #6 BAR = 29 INCHES #7 BAR = 34 INCHES #8 BAR = 38 INCHES
- 10. THIS SLAB ON GRADE SYSTEM RELIES ON THE TYPE, THICKNESS AND COMPACTION OF THE GRANULAR FILL PLACED BELOW FOR STRENGTH, AS WELL AS AS HEATED INTERIOR AND PERIMETER INSULATION FOR FROST PROTECTION, THEREFORE NO ASSURANCES OR GUARANTEES CAN BE MADE AS TO THE DESIGN OF THE SYSTEM AND THE OWNER AND CONTRACTOR ASSUME FULL LIABILITY FOR ITS INSTALLATION AND USE.

#### FRAMING NOTES:

- 1. ALL ANCHOR BOLTS SHALL BE ASTM A307. ALL BOLT HOLES TO BE 1/16" LARGER THAN BOLT.
- 2. PRESSURE TREATMENT OF STRUCTURAL TIMBER SHALL MEET AWPA STANDARD P-E AND FEDERAL STANDARD TT-W-550. THE TREATING PROCESS AND RESULTS THEREOF SHALL MEET FEDERAL SPECIFICATION TT-W-571 G. AWPA COMMODITY STANDARD, AND AMERICAN WOOD PRESERVERS BUREAU STANDARDS LP-W OR AWPA STANDARD C-2.
- 3. ALL FIELD CUTS AND DRILLED HOLES IN PRESSURE—TREATED STRUCTURAL TIMBER SHALL BE GIVEN THREE LIBERAL APPLICATIONS OF PRESERVATIVE IN ACCORDANCE WITH AWPA STANDARD
- 4. ALL MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- 5. FRAMING: STRESS GROUP D, SPRUCE-PINE-FIR (S/P/F) SPECIES, GRADE NO. 2 OR BETTER, 19 PERCENT MAXIMUM MOISTURE CONTENT.

### SHEATHING FRAMING NOTES:

- 1. SHEATHING SHALL BE IDENTIFIED WITH GRADE—TRADEMARK OF APA AND MEET REQUIREMENTS OF PRODUCT STANDARD PS 1.
- 2. SHEARWALLS OVER STUDS AT 16 INCHES MAXIMUM SHALL BE A MINIMUM MEET THE REQUIREMENTS OF IBC-2009, CHAPTER 23. SHEARWALL SHEATHING SHALL BE A MINIMUM OF 5/8" APA RATED SHEATHING 32/16, EXPOSURE 1. INSTALL FACE GRAIN ACROSS SUPPORTS WITH ALL PANEL EDGES BLOCKED. NAIL AS REQUIRED BY TABLE. ADVANTEC IS NOT AN ACCEPTABLE WALL SHEATHING PRODUCT.
- 3. FLOOR SHEATHING: 1 LAYER 3/4 INCH THICK, 48 X 96 (MIN.) INCH SIZED SHEETS, TONGUE AND GROOVE EDGES WITH SPAN RATING OF 32/16, DURABILITY 1; UNSANDED.
- 4. SHEATHING CAN BE DEFINED AS PLYWOOD OR ORENTED STRAND BOARD.

### DESIGN LOADS

### OOF

DEAD LOAD: PER COMPONENTS USED: 8 PSF COLLATERAL LOAD (MECH/ELEC): 2 PSF SNOW LOAD: (BASED ON ASCE 7-05)

GROUND SNOW LOAD (Pg): 60 PSF EXPOSURE FACTOR (Ce): 1.0

SNOW LOAD IMPORTANCE FACTOR (I): 1.0

ROOF THERMAL FACTOR — (Ct): 1.0

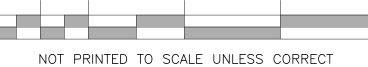
SEISMIC DATA: (BASED ON ASCE 7-05)

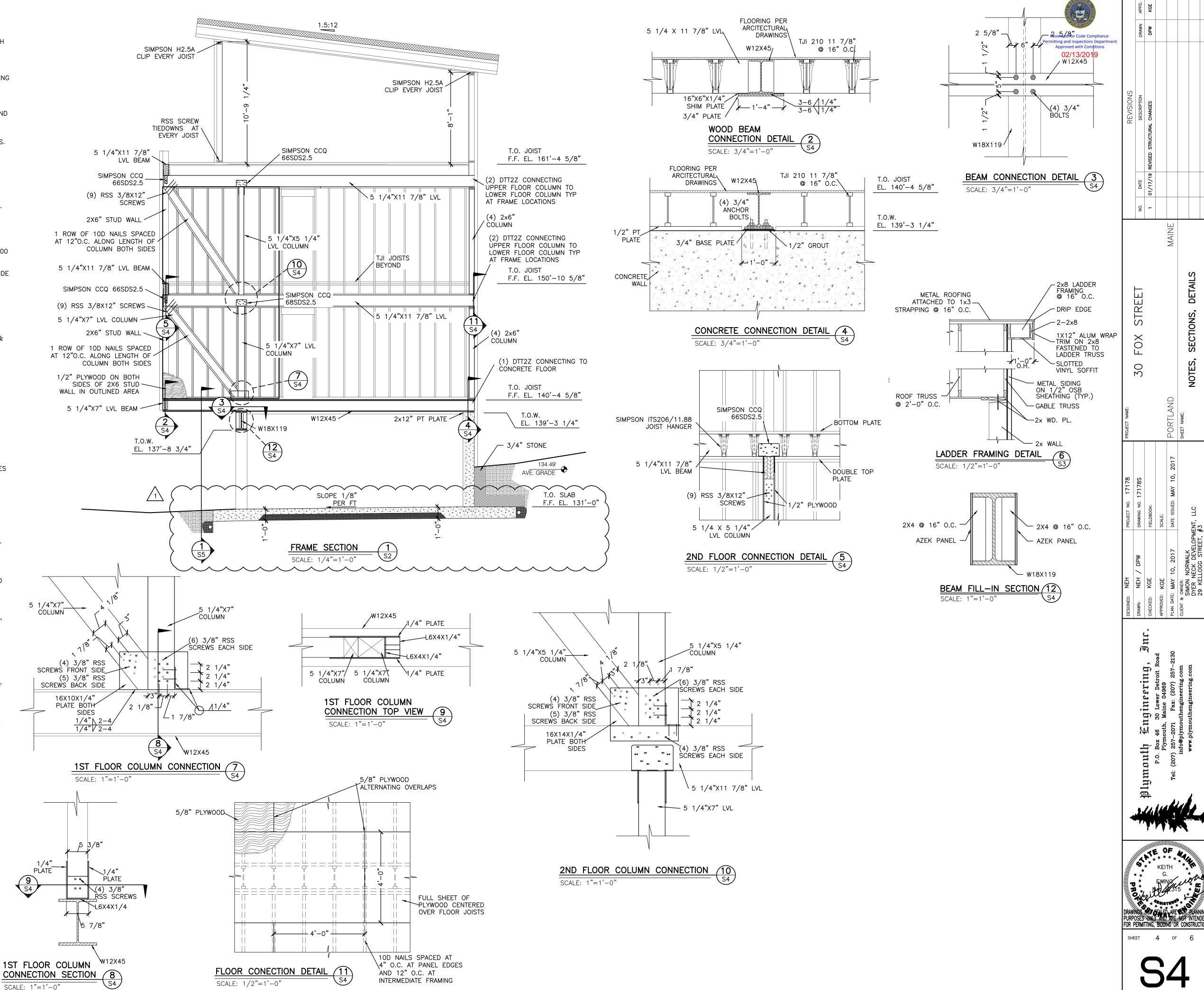
SEISMIC REVIEWED AND WIND CONTROLLED

WIND LOAD: (BASED ON ASCE 7-05)

BASIC WIND SPEED: 90 MPH
IMPORTANCE FACTOR (I): 1.0
EXPOSURE: B

### REPRODUCTION SCALE





#### FOUNDATION/CONCRETE NOTES:

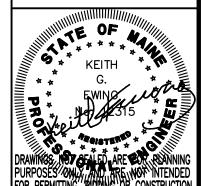
- 1. REMOVE ALL UNSUITABLE SOILS BENEATH THE BUILDING IF UNSUITABLE MATERIALS ARE FOUND.
- 2. ALL BUILDING FOOTINGS ARE TO BE FOUNDED ON UNDISTURBED NATURAL GROUND, CLEAN SOUND LEDGE OR COMPACTED STRUCTURAL FILL MATERIAL CAPABLE OF SAFELY SUPPORTING A SPECIFIED DESIGN BEARING PRESSURE OF 3000 POUNDS PER SQUARE FOOT.
- 3. ALL FOUNDATION WORK SHALL BE CARRIED OUT UNDER THE DIRECTION OF THE ENGINEER OF RECORD. IF SOFT OR UNSUITABLE IN-SITU MATERIALS ARE ENCOUNTERED THE ENGINEER OF RECORD SHALL BE NOTIFIED AND CORRECTIVE ACTION SHALL BE TAKEN AS DIRECTED. ENGINEER OF RECORD SHALL VERIFY THAT WATER TABLE DOES NOT RISE TO AN ELEVATION ABOVE THE UNDERSIDE OF FOOTINGS. OWNER TO COVER COST OF GEOTECHNICAL.
- 4. SOIL COMPACTION UNDER FOOTINGS SHALL BE TO 95% OF PERK TESTED SOIL.
- 5. CENTER ALL FOOTINGS UNDER THEIR RESPECTIVE COLUMNS OR WALLS, UNLESS OTHERWISE SHOWN ON PLANS.
- 6. CONSTRUCT FOOTINGS AT LOWER ELEVATION THAN INDICATED ON DRAWINGS IF REQUIRED BY ENGINEER TO REACH FIRM UNDISTURBED SOIL.
- 7. COMPLETE ALL PLACEMENT OF BELOW GRADE PLUMBING, ELECTRIC, AND OTHER UTILITIES BEFORE PLACEMENT OF FOUNDATIONS. ALL DISTURBED SOIL SHALL BE RECOMPACTED IN LAYERS NOT EXCEEDING 8" THICK.
- 8. CLEAR CONCRETE COVER OVER REINFORCING (TYPICAL, U.N.O.): BOTTOM OF FOOTING: 3 INCHES
- EXTERIOR OF FOUND. WALL: 2 INCHES INTERIOR OF FOUNDATION WALL: 2 INCHES
- 9. SLEEVE ALL PIPES THROUGH. SLABS AND WALLS INDIVIDUALLY, UNLESS SHOWN OTHERWISE ON DRAWINGS. WHERE PIPES OR DUCTS PENETRATE WALLS.
- 10. CONTRACTOR WILL CHECK WITH ALL TRADES TO ASSURE CORRECT LOCATION, SIZE, LINE AND ELEVATION OF ALL SLEEVES, BOND-OUTS, ETC.. REQUIRED IN CONCRETE FLOORS AND WALLS.
- 11. PROVIDE CONTRACTION JOINTS IN FOUNDATION WALL AT 20 FEET MAXIMUM SPACING.
- 12. ALL ANCHORS INSTALLED IN HARDENED CONCRETE SHALL BE A HIGH STRENGTH ADHESIVE SYSTEM BEITER THAN OR EQUAL TO HILTI HIT—HY 200 WITH 6" MINIMUM EMBEDMENT, UNLESS OTHERWISE NOTED ON DRAWINGS. CONCRETE SHALL HAVE OBTAINED A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI PRIOR TO CORING HOLES.
- 13. STRUCTURAL CONCRETE SHALL CONFORM TO ACI 301, ACI 305 AND ACI 306.1. FOUNDATIONS SHALL HAVE 3000 PSI.
- 14. CONSTRUCT AND ERECT CONCRETE FORM WORK IN ACCORDANCE WITH ACI 301 AND ACI 347
- 15. STRUCTURAL CONCRETE REINFORCEMENT SHALL CONFORM TO ACI 301 AND CRSI 63, 65, AND MANUAL OF PRACTICE. REINFORCEMENT SHALL BE ASTM A615/A615M, 60 KSI YIELD GRADE; DEFORMED BILLET STEEL BARS, PLAIN FINISH.
- 16. CONCRETE TESTING SHALL BE THE FOLLOWING IF REQUESTED BY OWNER, TAKE ONE SET OF 3 CYLINDERS FOR EVERY FIFTY CUBIC YARDS OF CONCRETE AND ONE SET OF THREE FOR ALL POURS LESS THAN FIFTY CUBIC YARDS (PER ASTM STANDARDS).
- ONE (1) SLUMP TEST: TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN. MAX SLUMP IS 5"
- ONE (1) AIR CONTENT TEST: PERFORMED FOR EACH SET OF TEST CYLINDERS TAKEN. FOUNDATION WALL AND FOOTINGS 5% + /- 1.5%
- 17. ASPHALT DAMPPROOFING SHALL BE APPLIED TO THE OUTSIDE OF THE FOUNDATION THAT EXTENDS FROM THE BASE TO 6" ABOVE GRADE. THE ASPHALT EMULSION SHALL CONFORM TO ASTM D3747 AND THE ASPHALT PRIVER SHALL CONFIRM TO ASTM D41 AND BE COMPATABLE WITH THE SUBSTRATE THIS SYSTEM SHOULD BE COVERED WITH A 1/4" THICK POLYSTYRENE FOAM SHEET



ECT NO. 17178	PROJECT NAME:				REVISIONS	
ING NO. 17178S		30 FOX STREET	o N	DATE	DESCRIPTION	DRAWN
BOOK:			-	08/08/18	08/08/18 REVISED STRUCTURAL CHANGES	DPW
ü			2	01/17/19	2 01/17/19 REVISED STRUCTURAL CHANGES	DPW
ISSUED: MAY 10, 2017	PORTLAND	MAINE	lı l			
	SHEET NAME:					
ΠC		ELEVATION				

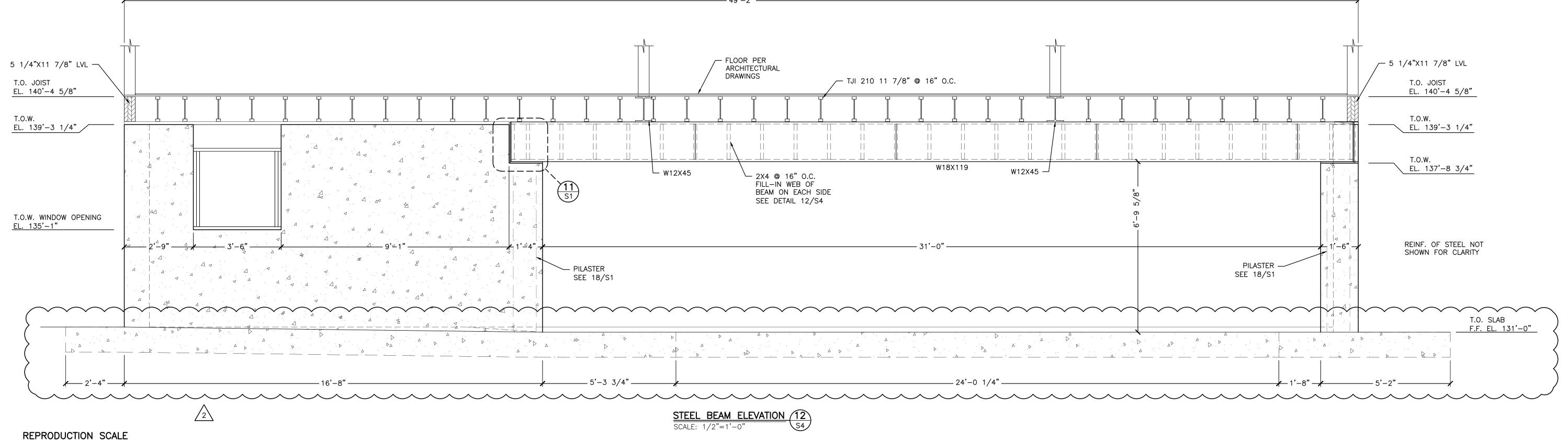
	DESIGNED:	NEH	PROJECT NO. 17178	PROJECT NAME:
	DRAWN:	NEH / DPW	DRAWING NO. 17178S	
linkktinų, viit.	CHECKED:	KGE	FIELDBOOK:	
Lower Detroit Road aine 04969	APPROVED: KGE	KGE	SCALE:	
Fax: (207) 257-2130	PLAN DATE:	PLAN DATE: MAY 10, 2017	DATE ISSUED: MAY 10, 2017	PORTLA
nengineering.com	CLIENT & OWNER:	WNER:		SHEET NAME:
nengineering.com	<u>~</u>	SIMON NORWALK DYER NECK DEVELOPMENT, LLC	AENT, LLC	
	5	29 KELLOGG STREET, #3	#3	
	ā	PORTLAND, ME 04101	_	





SHEET 5 OF 6

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ructural Schedule of Special Inspections	$+\!-\!$	Extent:				
		Continuous, Periodic, Submittal, or				Task
erification and Inspection IBC Section 1705.5	Y/N	None None	Comments	Agent	Agent Qualification	
ent Qualifications PE: Professional Engineer						
GE: Geotechnical Engineer						
EIT: Engineering-In-Training RA: Registered Architect	_			+		
TPI: Certified Third Party Inspector						
	+-			+		
1. Welding procedures specification (WPS) is available		S			PE/SE/EIT or TPI	
Manufacturer certifications for welding are available     Verify material identification	+	S C	Type and Grade	_	PE/SE/EIT or TPI PE/SE/EIT or TPI	
4. Welder Identification System		S	ID Number		PE/SE/EIT or TPI	
5. Configuration and finish of access holes 6. Fit-up of fillet welds		P P			PE/SE/EIT or TPI PE/SE/EIT or TPI	
					, ,	
Requirements During Welding IBC 1705.2.1  7. Use of Qualified Welders		S	Confirm welder qualifications		PE/SE/EIT or TPI	
8. Control and handling of welding consumables		Р	Commit werder quantications		PE/SE/EIT or TPI	
No welding over cracked tack welds     Environmental conditions	_	P P			PE/SE/EIT or TPI PE/SE/EIT or TPI	
11. Welds Cleaned		Р			PE/SE/EIT or TPI	
12. Size, Length, and location of all welds 13. Welds meet visual acceptance criteria	_	P P	Check all welds		PE/SE/EIT or TPI PE/SE/EIT or TPI	
14. K-Area		Р	Check for cracks		PE/SE/EIT or TPI	
15. Backing removed, weld tabs removed and finished, and fillet welds where required.		Р			PE/SE/EIT or TPI	
16. Repair activities		S	Perform and document		PE/SE/EIT or TPI	
17. Document acceptance or rejection of welded joint or member.	_	S			PE/SE/EIT or TPI	
Steel Bolting Section Prior to Bolting IBC 1705.2.1						
Fasteners marked in accordance with ASTM requirements     Proper fasteners selected for joint detail	_	P P			PE/SE/EIT or TPI PE/SE/EIT or TPI	
3. Connecting elements, including appropriate faying surface condition and		·			PE/SE/EIT or TPI	
hole preparation.  4. Proper Storage provided for fasteners and components	_	Р		+	PE/SE/EIT or TPI	
Steel Bolting During Bolting IBC 1705.2.1  5. Fastener assemblies are in suitable condition and positioned as required		P			PE/SE/EIT or TPI	
6. Joint brought to snug-tight condition prior to posttensioning		Р			PE/SE/EIT or TPI	
7. Fastener component not turned by the wrench prevented from rotating 8. Bolts are pretensioned in accordance with RCSSC Specification from most	_	Р		+	PE/SE/EIT or TPI	
ridged point to free edges.	$\perp$				PE/SE/EIT or TPI	
9. Document acceptance or rejection of all bolted connections	_	S			PE/SE/EIT or TPI	
Concrete Construction IBC Table 1705.3						
Rebar Inspection     Inspect anchors cast in concrete		P P			PE/SE/EIT or TPI PE/SE/EIT or TPI	
3. Verify use of required design mix		S			PE/SE/EIT or TPI	
Concreting testing; Slump, Air Content, Temp.      Inspect concrete and shotcrete placement techniques	_	S P			PE/SE/EIT or TPI PE/SE/EIT or TPI	
6. Verify concrete curing techniques		P			PE/SE/EIT or TPI	
7. Inspect Prestressed concrete for  a. Application of prestressing forces;	+	P P			PE/SE/EIT or TPI	
b. Grouting of bonded prestressing tendons		P			PE/SE/EIT or TPI	
Inspect erection of precast concrete members.  9. Verify in-situ concrete strength prior to stressing	_	P P			PE/SE/EIT or TPI PE/SE/EIT or TPI	
10. Inspect formwork		P			PE/SE/EIT or TPI	
 Wood Construction inspections IBC 1705.5	_			-		
1. High-load diaphragms where applicable		Р				
a. Verify thickness and grade of sheathing, size of framing members at panel edges, nail diameters and length, and the number of fastener lines and that		Р			PE/SE/EIT or TPI	
fastener spacing is per approved contract documents.		F			12/32/211 01 111	
2. Nailing, bolting, anchoring and other fastening of elements of the main wind/seismic force-resisting system		Р				
a. Includes connectors for: shear wall sheathing, roof/floor sheathing, drag					( (	
struts/collectors, braces, hold downs, roof and floor framing connections to exterior walls.					PE/SE/EIT or TPI	
3. Load tests for Joist hangers  a. Provide evidence of manufacture's load test in accordance with ASTM D 1761		S				
including the vertical load bearing capacity, torsional moment capacity, and					PE/SE/EIT or TPI	
deflection characteristics when there is no calculated procedure recognized by the code					, 2,32,211 01 171	
Wood Trusses Fabrication and Inspection IBC Section 1705.5  1. Fabrications Procedures	_	P				
a. Review of fabricator's written procedural and quality control manuals	_	r			PE/SE/EIT or TPI	
2. Certificate of compliance to building code official stating that the work was	1	S			PE/SE/EIT or TPI	
performed in accordance with approved construction documents.  3. Wood Truss Installation Inspection						
a. Verify wood truss spacing and bearing length requirements	of				PE/SE/EIT or TPI	
b. Verify wood structural panel sheathing for grade and thickness applied to roo	11				PE/SE/EIT or TPI	
top chord and to any floor walkway configuration					PE/SE/EIT or TPI	
c. Verify the specified blocking and permanent bracing applications per shop				+		
c. Verify the specified blocking and permanent bracing applications per shop drawing submittals.  d. verify truss hold-down applications are in place and appropriately fastened to	0				PE/SE/FIT or TPI	
c. Verify the specified blocking and permanent bracing applications per shop drawing submittals.	0				PE/SE/EIT or TPI	
c. Verify the specified blocking and permanent bracing applications per shop drawing submittals.  d. verify truss hold-down applications are in place and appropriately fastened to	0				PE/SE/EIT or TPI	
c. Verify the specified blocking and permanent bracing applications per shop drawing submittals.  d. verify truss hold-down applications are in place and appropriately fastened twall plates.  Inspections and Tests of Soils 1705.6  1. Verify Material below foundations bearing capacity	0	P			PE/SE/GE/EIT or TPI	
c. Verify the specified blocking and permanent bracing applications per shop drawing submittals.  d. verify truss hold-down applications are in place and appropriately fastened t wall plates.  Inspections and Tests of Soils 1705.6	0	P P P				

ructural Schedule of Special Inspections		Extent: Continuous, Periodic, Submittal, or				Task
erification and Inspection IBC Section 1705.5	Y/N	None	Comments	Agent	Agent Qualification	
Cast in Place Deep Foundation Elements IBC 1705.8						
1. Inspect drilling operations and maintain records of each element.		С			PE/SE/GE/EIT or TPI	
2. Verify placement locations and plumbness, confirm element diameters, bell						
diameters (if applicable), lengths, embedment into bedrock (if applicable) and		С			PE/SE/GE/EIT or TPI	
adequate end-bearing strata capacity. Record concrete or grout volumes.						
3. For concrete elements, perform tests and additional special inspection in						
accordance with 1705.3					PE/SE/GE/EIT or TPI	
decordance with 1705.5						
Course of Fire Posistant Materials IPC 1705 14						
Sprayed Fire Resistant Materials IBC 1705.14	├──	_				
1. Surface Condition		Р				
a. Prior to application confirm that surface has been prepared per the approved					RA/TIP/PE or TPI	
fire-resistance design and manufacture's instructions.	<u> </u>				,,	
2. Application		Р				
a. Prior to application confirm that the substrate meets the minimum ambient					RA/TIP/PE or TPI	
temperature per the approved fire resistance design and manufacture's					NAY HE OF IT	
3. Material Thickness and Density		Р				
a. Verify that the thickness of the SFRM to structural elements is not less than						
the thickness require by the fire-resistant design in more that 10 percent of the						
measurement, but in no case less than minimum allowable thickness required by	,				RA/TIP/PE or TPI	
1705.14						
4. Bond Strength	<del>                                     </del>	Р				
a. Verify cohesive/adhesive bond strength of the cured SFRM applied to the	<del>                                     </del>	F				
					RA/TIP/PE or TPI	
structural element is not less than 150psf and according to IBC 1705.14.6	-					
	₩					
Mastic and Intumescent Fire-Resistant Coatings IBC 1705.15						
1. Surface Preparation						
a. Inspections shall be performed in accordance with AWCI 12-B and the contract documents					RA/TIP/PE or TPI	
Fire Paristant Personal vision and Initiate 4705 47						
Fire Resistant Penetrations and Joints 1705.17						
1. Inspections of penetration firestop system conducted in accordance with		Р			RA/TIP/PE or TPI	
ASTM E 2174						
2. Inspections of fire-rated joint system conducted in accordance with ASTM E 2393		Р			RA/TIP/PE or TPI	
Smalle Countral IDC 1705-17						
Smoke Control IBC 1705.17	<del>                                     </del>		Double and distinct and the second			
Verify device locations and perform leakage testing		Р	Perform during erection of ductwork and prior to concealment		RA/TIP/PE or TPI	
2. Pressure difference testing, flow measurements and detection and control		Р	Perform prior to occupancy and		RA/TIP/PE or TPI	
verification.	<u> </u>		after sufficient completion			
	<u> </u>					
Exterior Insulation and finish systems IBC 1705.16						
Water resistive barrier coating applied over a sheathing substrate.		_	Verify that water resistive barrier			
5 11		Р	coating complies with ASTM E 2570		RA/TIP/PE or TPI	
Architectural Components IBC 1705.12.5 and 1705.12.7	<u> </u>					
1. Erection and fastening of exterior cladding and interior and exterior veneer.	<u> </u>	Р				
a. Verify appropriate materials, fasteners and attachment at commencement			Inspector Note: Inspection not			
			required if height is less than 30ft		RA/TIP/PE or TPI	
of working and at completion.			or weight is less than 5psf.			
of working and at completion.		Р	·			
of working and at completion.  2. interior and exterior nonload bearing walls						
		,	Inspector Note: Inspection not			
2. interior and exterior nonload bearing walls		·	1			
2. interior and exterior nonload bearing walls     a. Verify appropriate materials, fasteners and attachment at commencement of		·	required if height is less than		RA/TIP/PF or TPI	
2. interior and exterior nonload bearing walls     a. Verify appropriate materials, fasteners and attachment at commencement of		,	required if height is less than 30feet. Also, interior non-load		RA/TIP/PE or TPI	
2. interior and exterior nonload bearing walls     a. Verify appropriate materials, fasteners and attachment at commencement of		,	required if height is less than 30feet. Also, interior non-load bearing walls need not be inspected		RA/TIP/PE or TPI	
interior and exterior nonload bearing walls     a. Verify appropriate materials, fasteners and attachment at commencement of work and at completion.		,	required if height is less than 30feet. Also, interior non-load		RA/TIP/PE or TPI	
interior and exterior nonload bearing walls     a. Verify appropriate materials, fasteners and attachment at commencement of work and at completion.  3. Access floors		,	required if height is less than 30feet. Also, interior non-load bearing walls need not be inspected		RA/TIP/PE or TPI	
interior and exterior nonload bearing walls     a. Verify appropriate materials, fasteners and attachment at commencement of work and at completion.  3. Access floors     a. Verify that anchorage complies with approved construction documents.		,	required if height is less than 30feet. Also, interior non-load bearing walls need not be inspected			
2. interior and exterior nonload bearing walls     a. Verify appropriate materials, fasteners and attachment at commencement of work and at completion.  3. Access floors     a. Verify that anchorage complies with approved construction documents.     Inspection of post-installed anchors shall comply with approved ICC-ES reports			required if height is less than 30feet. Also, interior non-load bearing walls need not be inspected		RA/TIP/PE or TPI RA/TIP/PE or TPI	
interior and exterior nonload bearing walls     a. Verify appropriate materials, fasteners and attachment at commencement of work and at completion.  3. Access floors     a. Verify that anchorage complies with approved construction documents.			required if height is less than 30feet. Also, interior non-load bearing walls need not be inspected			



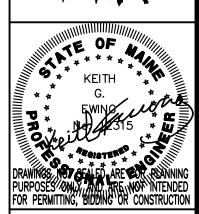
rtment	REVISIONS	DESCRIPTION						
		DATE						
		NO.						
		SO FOX STREET			PORTLAND	SHEET NAME:	SECTION AND STRUCTURAL SCHEDULE	
	PROJECT NO. 17178	DRAWING NO. 17178S	FIELDBOOK:	SCALE:	DATE ISSUED: MAY 10, 2017		AENT, LLC	C

Jumouth Engineering, II

P.O. Box 46 30 Lower Detroit Road
Plymouth, Maine 04969

Tel: (207) 257-2071 Fax: (207) 257-2130
info@plymouthengineering.com



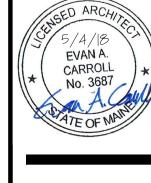


SHEET 6

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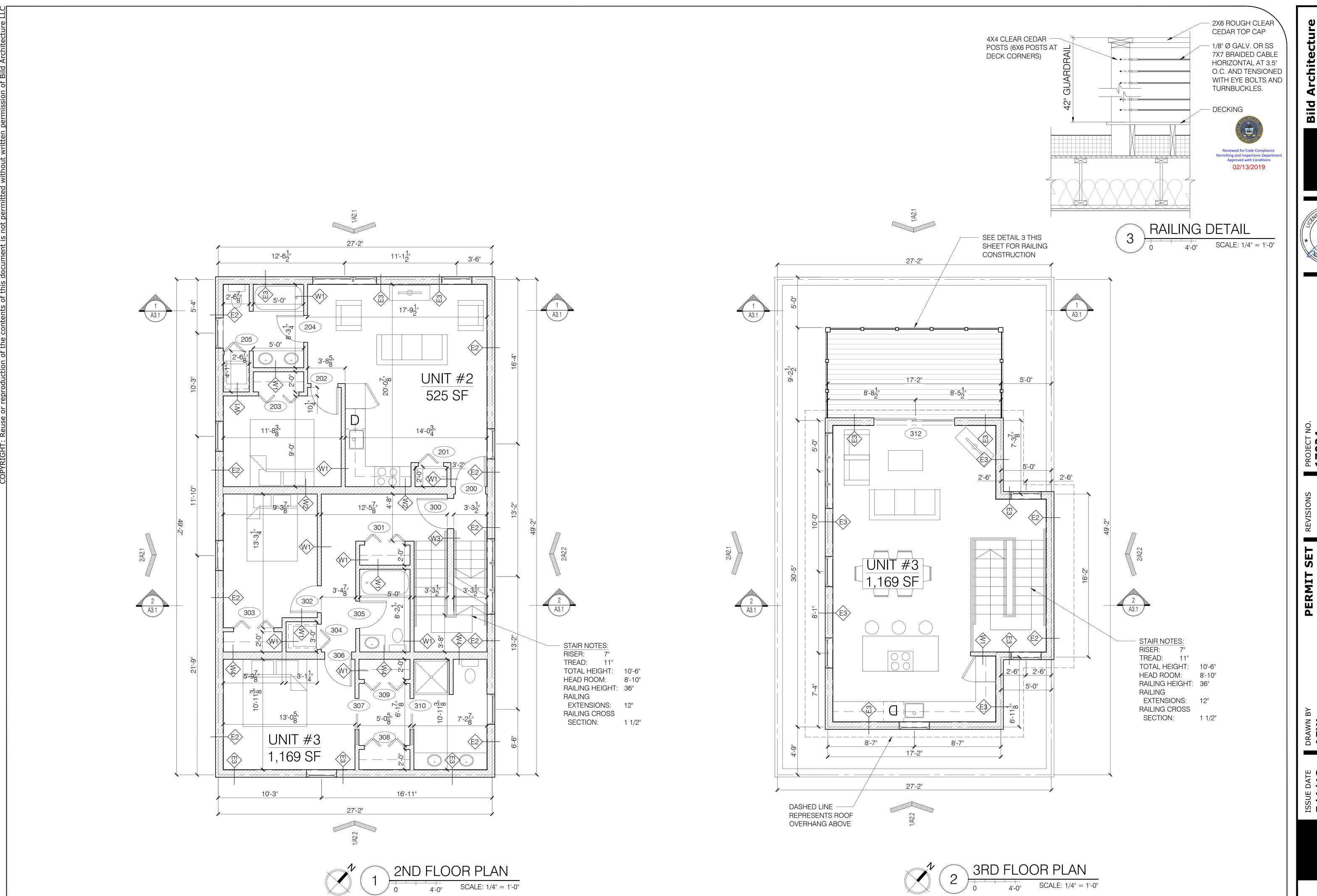
REVISIONS

1 05.18.18
2 08.02.18
3 08.14.18
4 08.29.18
5 09.06.18

PERMIT

FLR PLANS

AEW
SHEET TITLE
BASEMENT







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1 05.18.18
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4 08.29.18
5 09.06.18

3RD FLOOR PLANS

DRAWN BY **AEW**SHEET TITLE 2ND & 8

ISSUE DATE **5/4/18**SHEET SCALE 1/4" = 1'-0"

1.2

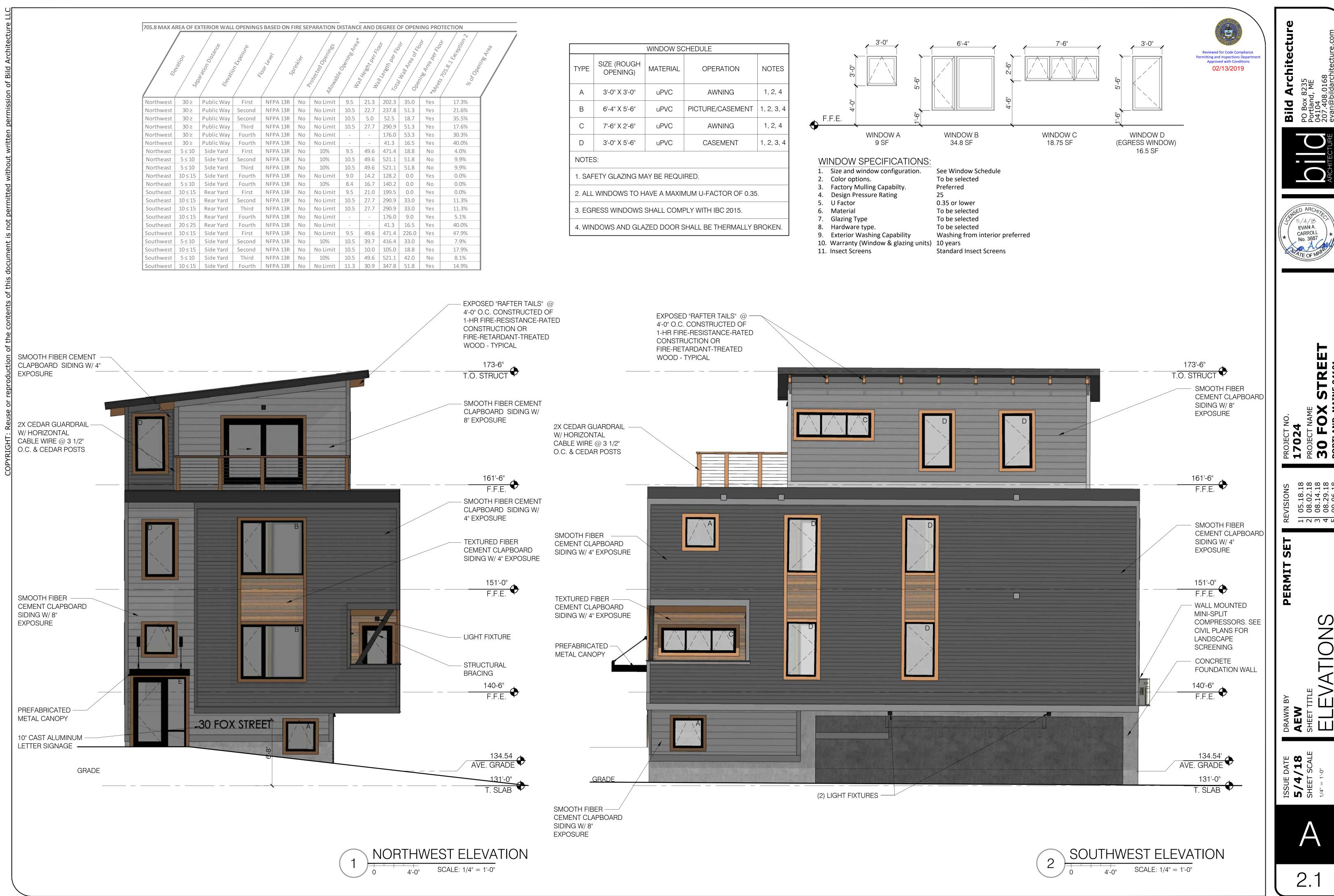
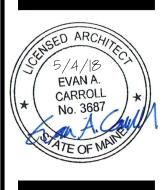


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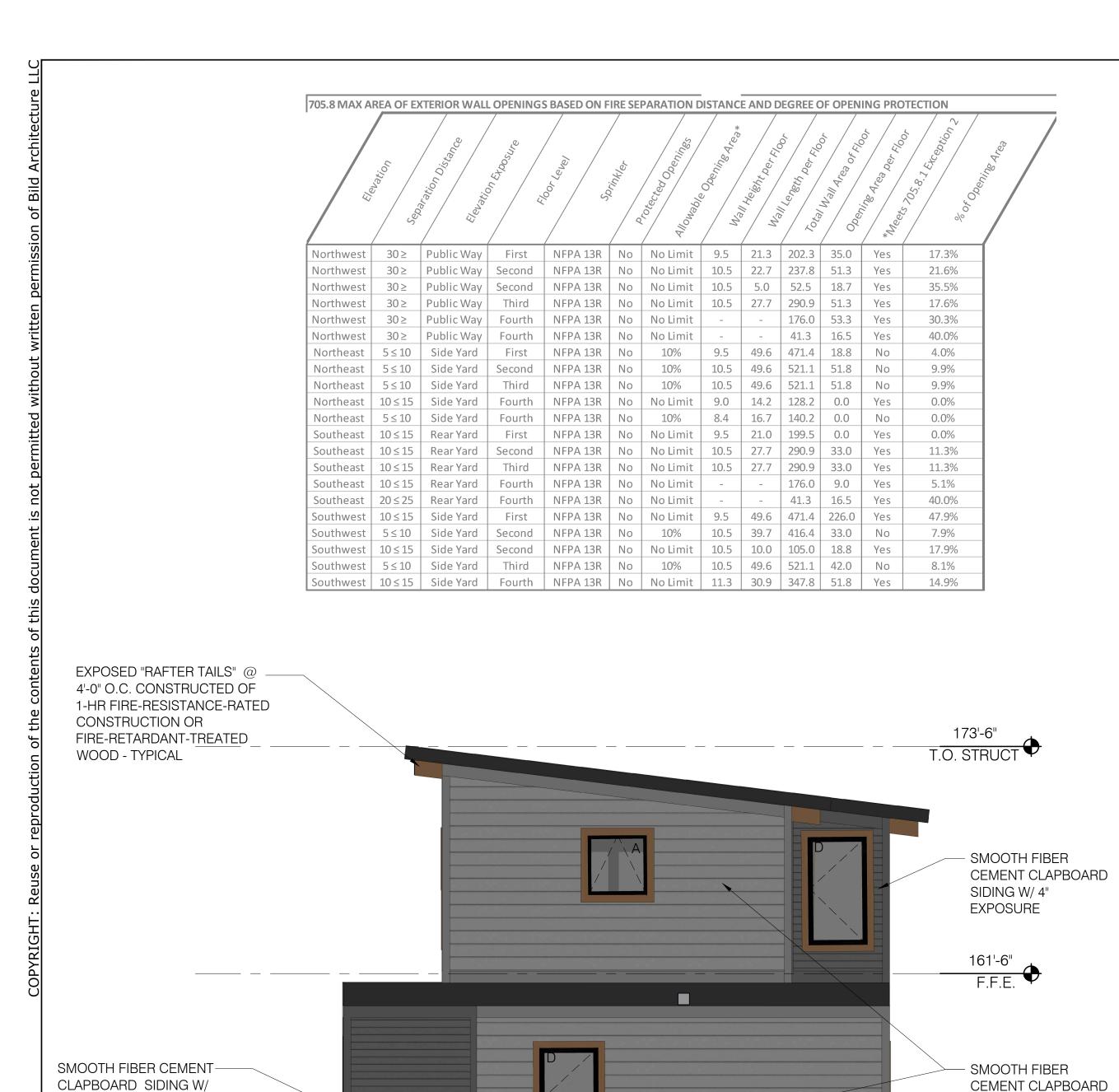


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A



4" EXPOSURE

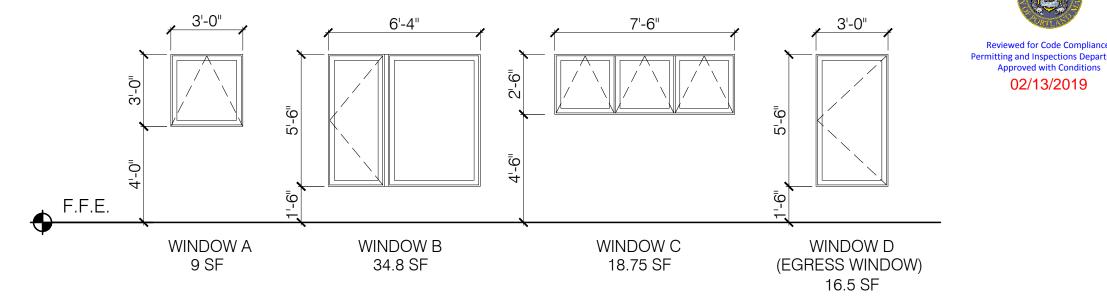
WINDOW SCHEDULE							
TYPE	SIZE (ROUGH OPENING)	MATERIAL	OPERATION	NOTES			
А	3'-0" X 3'-0"	uPVC	AWNING	1, 2, 4			
В	6'-4" X 5'-6"	uPVC	PICTURE/CASEMENT	1, 2, 3, 4			
С	7'-6" X 2'-6"	uPVC	AWNING	1, 2, 4			
D	3'-0" X 5'-6"	uPVC	CASEMENT	1, 2, 3, 4			
NOTE	S:						

1. SAFETY GLAZING MAY BE REQUIRED.

2. ALL WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.35.

3. EGRESS WINDOWS SHALL COMPLY WITH IBC 2015.

4. WINDOWS AND GLAZED DOOR SHALL BE THERMALLY BROKEN.



#### WINDOW SPECIFICATIONS:

1. Size and window configuration. See Window Schedule

2. Color options. To be selected Preferred 3. Factory Mulling Capabilty.

4. Design Pressure Rating 25 U Factor 0.35 or lower

6. Material To be selected Glazing Type To be selected 8. Hardware type. To be selected

9. Exterior Washing Capability Washing from interior preferred

10. Warranty (Window & glazing units) 10 years

11. Insect Screens Standard Insect Screens

- EXPOSED "RAFTER TAILS" @



134.54' AVE. GRADE

SIDING W/8" **EXPOSURE** 

151'-0"

(3) WALL MOUNTED

COMPRESSORS. SEE CIVIL PLANS FOR

MINI-SPLIT

LANDSCAPE

SCREENING

140'-6" F.F.E.

NORTHEAST ELEVATION SCALE: 1/4" = 1'-0"

1. ALL HEATING, VENTILATION AND AIR CONDITIONING EQUIPMENT (HVAC), AIR HANDLING UNITS (AHU), EMERGENCY GENERATORS, AND SIMILAR EQUIPMENT SHALL MEET APPLICABLE STATE AND FEDERAL EMISSIONS REQUIREMENTS AND SHALL COMPLY WITH THE FOLLOWING:

(a) BE LOCATED TO THE INTERIOR OF THE SITE, AWAY FROM ABUTTING RESIDENTIAL PROPERTIES;

(b) BE SCREENED FROM VIEW FROM ANY PUBLIC STREET AND FROM ADJACENT SITES BY STRUCTURE WALLS, EVERGREEN LANDSCAPING, FENCING, MASONRY WALL OR A COMBINATION THEREOF

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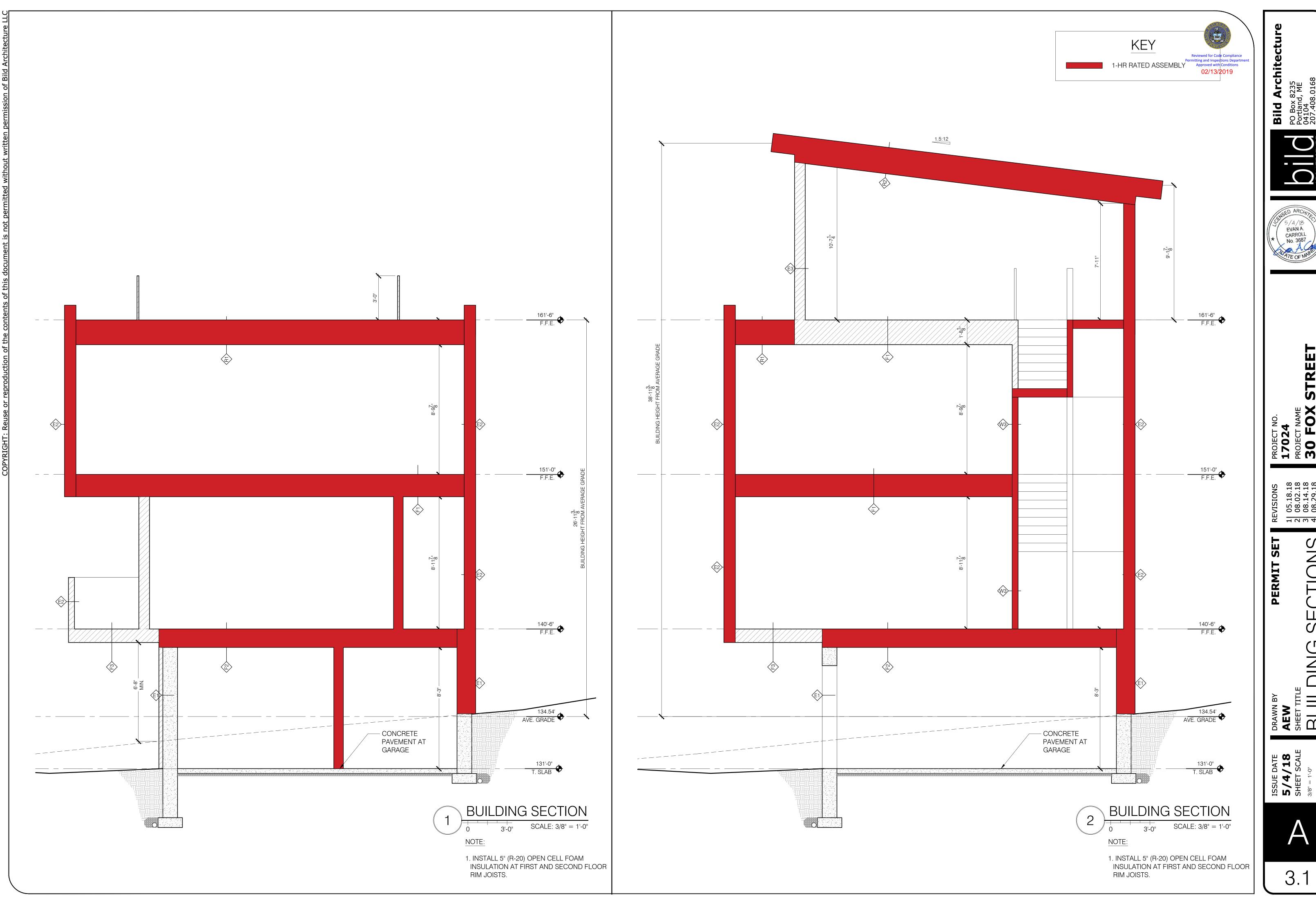
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SHEET T

ISSUE DATE

5/4/18
SHEET SCALE







REVISIONS

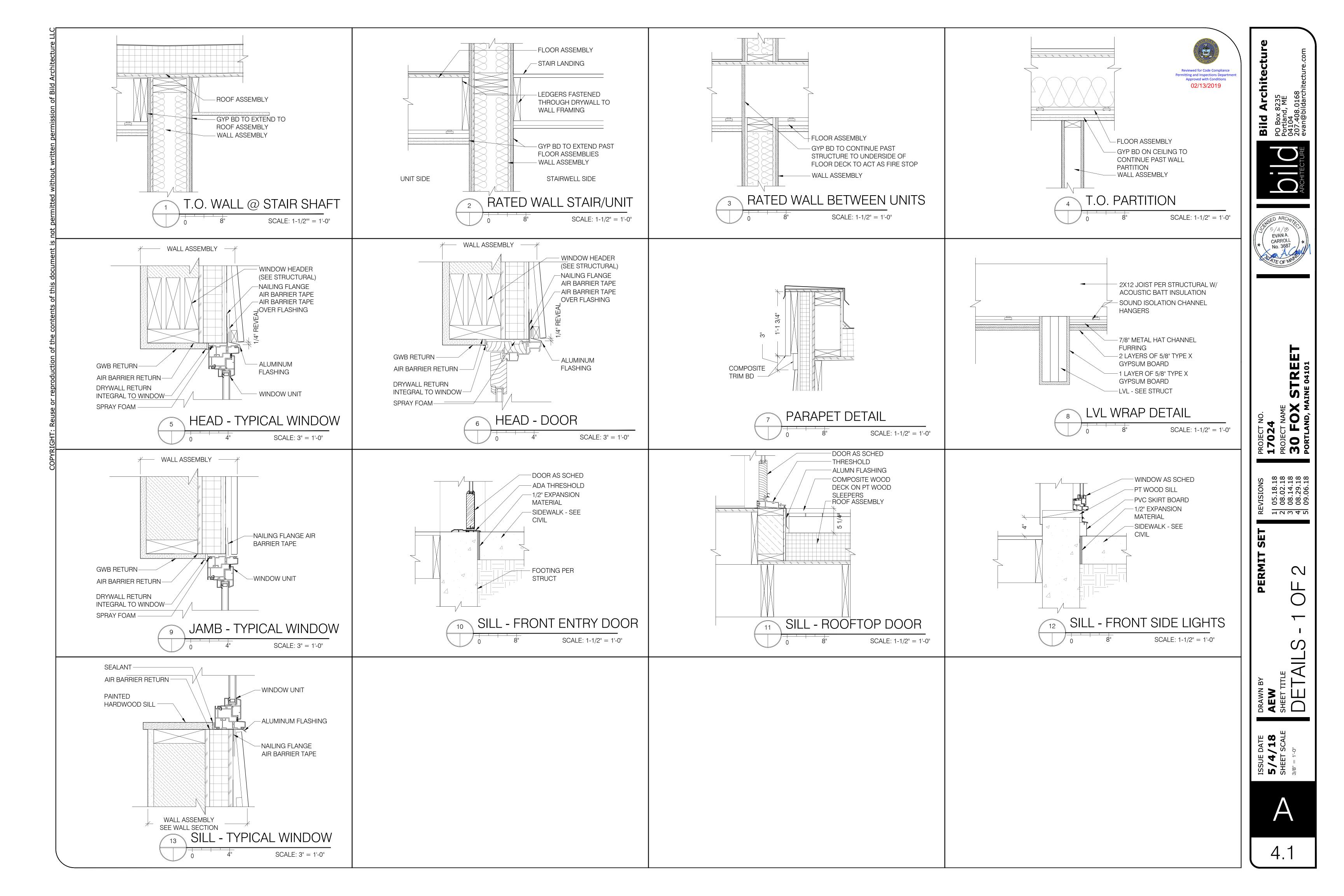
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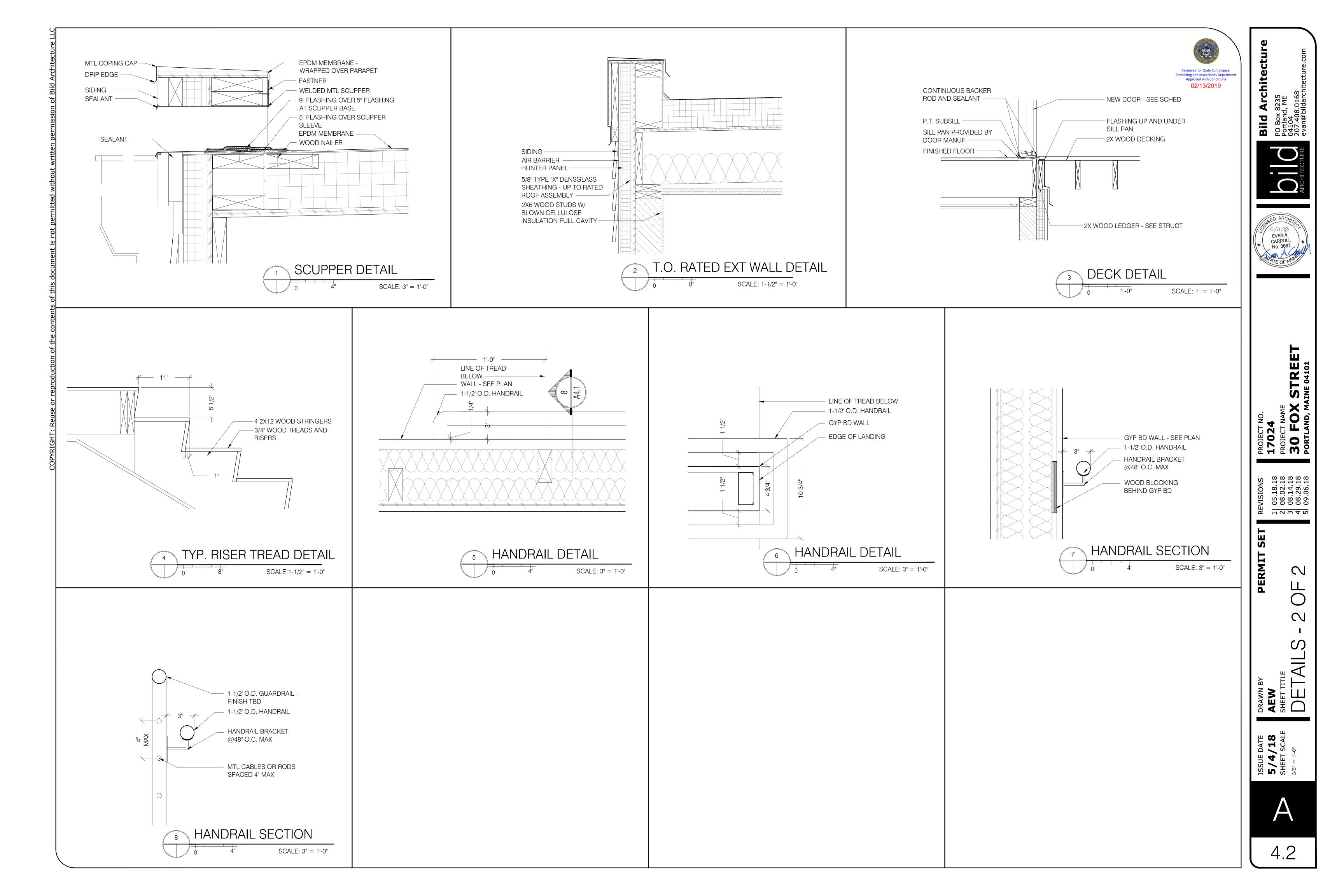
SECTIONS

AEW
SHEET TITLE

BUILDING

3.1

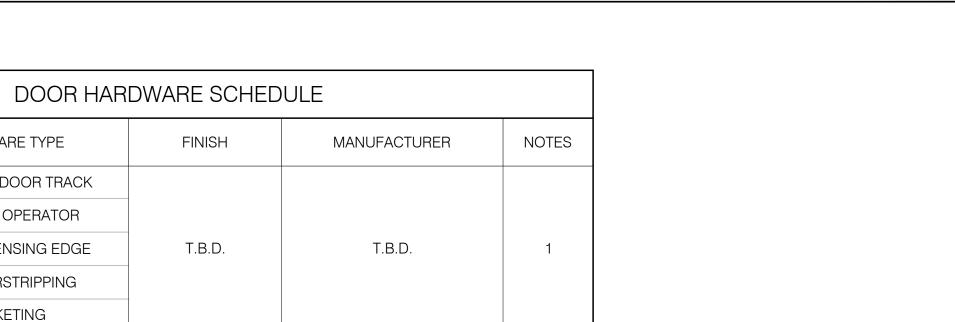




2. EXTERIOR DOOR TO BE INSULATED.

				DOOF	RSCHEDULE						
			DOORS						FRAME		
DOOR #	FROM	ТО	SIZE	DOOR MATERIAL	FINISH	DOOR TYPE	DOOR RATING	TYPE	FINISH	HARDWARE SET	NOTES
001	EXTERIOR	STAIR	3'-0" X 7'-0"	FIBERGLASS	FACTORY FINISH	FGE					1, 2
002	STAIR	COVERED PARKING	3'-0" X 6'-8"	HOLLOW METAL	FIELD FINISH	N (	90 MIN.	) нм	FIELD FINISH		1
003	COVERED PARKING	MECH / STORAGE	3'-0" X 6'-8"	HOLLOW METAL	FIELD FINISH	F	1-HR	НМ	FIELD FINISH		
100	STAIR	UNIT #1	3'-0" X 7'-0"	HOLLOW METAL	FIELD FINISH	F	1-HR	НМ	FIELD FINISH		
101	UNIT #1 ENTRY	UNIT #1 ENTRY CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
102	UNIT #1 DINING	UNIT #1 BALCONY	2'-8" X 6'-8"	uPVC	FACTORY FINISH	Р	-	uPVC	FACTORY FINISH		1, 2
103	UNIT #1 HALLWAY	UNIT #1 BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
104	UNIT #1 BEDROOM	UNIT #1 BEDROOM CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
105	UNIT #1 HALLWAY	UNIT #1 LAUNDRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
106	UNIT #1 HALLWAY	UNIT #1 BATHROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
107	UNIT #1 HALLWAY	UNIT #1 MASTER BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
108	UNIT #1 MASTER BEDROOM	UNIT #1 MASTER CLOSET	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
109	UNIT #1 MASTER CLOSET	UNIT #1 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
110	UNIT #1 MASTER CLOSET	UNIT #1 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
111	UNIT #1 MASTER CLOSET	UNIT #1 MASTER BATHROOM	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
200	STAIR	UNIT #2	3'-0" X 7'-0"	HOLLOW METAL	FIELD FINISH			НМ	FIELD FINISH		
201	UNIT #2 KITCHEN	UNIT #2 PANTRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
202	UNIT #2 LIVING	UNIT #2 BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
203	UNIT #2 BEDROOM	UNIT #2 BEDROOM CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
204	UNIT #2 LIVING	UNIT #2 BATHROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
205	UNIT #2 BATHROOM	UNIT #2 LAUNDRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
300	STAIR	UNIT #3	3'-0" X 7'-0"	HOLLOW METAL	FIELD FINISH	F	1-HR	НМ	FIELD FINISH		
301	UNIT #3 ENTRY	UNIT #3 ENTRY CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
302	UNIT #3 HALLWAY	UNIT #3 BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
303	UNIT #3 BEDROOM	UNIT #3 BEDROOM CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
304	UNIT #3 HALLWAY	UNIT #3 LAUNDRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
305	UNIT #3 HALLWAY	UNIT #3 BATHROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
306	UNIT #3 HALLWAY	UNIT #3 MASTER BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
307	UNIT #3 MASTER BEDROOM	UNIT #3 MASTER CLOSET	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
308	UNIT #3 MASTER CLOSET	UNIT #3 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
309	UNIT #3 MASTER CLOSET	UNIT #3 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
310	UNIT #3 MASTER CLOSET	UNIT #3 MASTER BATHROOM	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
312	UNIT #3 LIVING	UNIT #3 DECK	8'-0" X 6'-8"	uPVC	FACTORY FINISH	Р	-	uPVC	FACTORY FINISH		1, 2
NOTES:	1			ı	1	1	1				L

F.F.E.	3'-0" 2'-0"	3'-0"	3'-0"	2'-8"	8'-0"	VARIES 2'-6"	4'-0"
•	TYPE FGE	TYPE F	TYPE N	TYPE P	TYPE SL	TYPE RS TYPE BF	TYPE DBF





	OVERHEAD DOOR TRACK			1	
	ELECTRIC OPERATOR		T.B.D.		
А	BOTTOM-SENSING EDGE	T.B.D.			
	WEATHERSTRIPPING				
	GASKETING				
-	BIFOLD DOOR TRACK				
	TOP PIVOTS & LOCKS				
	DOOR GUIDES			1	
	BOTTOM PIVOTS AND BRACKETS				
В		T.B.D.	T.B.D.		
	TRACK STOPS				
	PANEL HINGES				
	PANEL ALIGNER				
	DOOR KNOBS				
	(3) SELF-CLOSING HINGES				
	STRIKE				
	THRESHOLD				
С	DOOR SWEEP	POLISHED / BRIGHT	T.B.D.	1, 2	
C	WALL MOUNTED DOOR STOP	CHROME		1,∠	
	ENTRY LOCKSET				
	PEEPHOLE				
	DEADBOLT				
	(3) HINGES		T.B.D.		
	STRIKE				
	THRESHOLD			1	
D	DOOR SWEEP	POLISHED / BRIGHT CHROME			
	DOOR GASKET				
	WALL MOUNTED DOOR STOP				
	KEYCODE ENTRY LOCKSET				
	(3) HINGES			1	
Е	PASSAGE LOCKSET	POLISHED / BRIGHT CHROME	T.B.D.		
	STRIKE				
	(3) HINGES		T.B.D.	1	
F	WALL MOUNTED DOOR STOP	POLISHED / BRIGHT CHROME			
	STORAGE LOCKSET				
	(3) HINGES			1	
G	STRIKE	POLISHED / BRIGHT	T.B.D.		
G	WALL MOUNTED DOOR STOP	CHROME	Ι.Θ. <i>U</i> .		
	BED & BATH LOCKSET				
 DTES:	ı			1	

HARDWARE SET

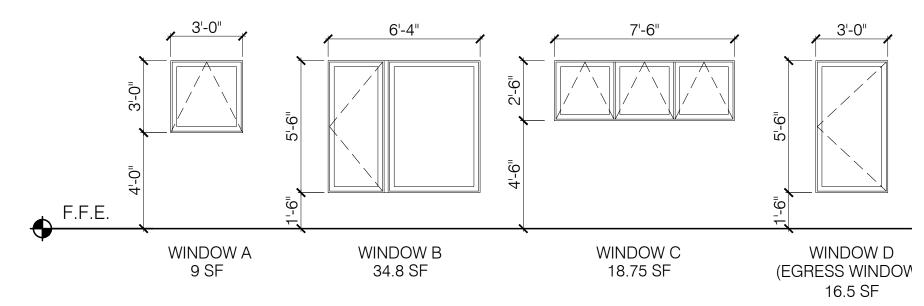
HARDWARE TYPE

2. UNIT ENTRY DOORS TO BE DEADBOLT READY.

WINDOW SCHEDULE								
TYPE	SIZE (ROUGH OPENING)	MATERIAL	OPERATION	NOTES				
А	3'-0" X 3'-0"	uPVC	AWNING	1, 2, 4				
В	6'-4" X 5'-6"	uPVC	PICTURE/CASEMENT	1, 2, 3, 4				
С	7'-6" X 2'-6"	uPVC	AWNING	1, 2, 4				
D	3'-0" X 5'-6"	uPVC	CASEMENT	1, 2, 3, 4				
NOTE	S:							
1. SAF	ETY GLAZING M.	AY BE REQUI	RED.					

2. ALL WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.35.	
3. EGRESS WINDOWS SHALL COMPLY WITH IBC 2015.	

4. WINDOWS AND GLAZED DOOR SHALL BE THERMALLY BROKEN.



### WINDOW SPECIFICATIONS:

- 1. Size and window configuration. See Window Schedule To be selected
- 2. Color options.
- Factory Mulling Capabilty.
   Design Pressure Rating
- 5. U Factor
- 6. Material
- 7. Glazing Type
- 8. Hardware type.
- 9. Exterior Washing Capability
- Washing from interior preferred 10. Warranty (Window & glazing units) 10 years

Preferred

0.35 or lower To be selected

To be selected

To be selected

25

11. Insect Screens

Standard Insect Screens





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6.1