

30 FOX STREET

PORTLAND, MAINE 04101

PERMIT SET

5/4/18

GENERAL NOTES

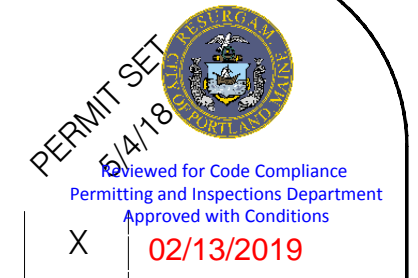
- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
 - CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS PRIOR TO PERFORMANCE OF ANY WORK.
 - CONTRACTORS AND SUBCONTRACTORS SHALL INSTALL ALL MATERIALS AS PER THE CONSTRUCTION DOCUMENTS AND THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
 - INSTALLERS MUST BE TRAINED AND EXPERIENCED IN THE APPLICATION/INSTALLATION OF THE PRODUCTS/MATERIALS THAT THEY ARE INSTALLING.
 - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN CONDITIONS AS ALLOWED BY THE MANUFACTURER.
 - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN COORDINATION WITH ALL OTHER WORK CONDUCTED ON SITE.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- ANY DEVIATIONS WHATSOEVER FROM THE DRAWINGS AND/OR SPECIFICATIONS ARE NOT ALLOWED WITHOUT THE OWNER'S WRITTEN PERMISSION. FAILURE TO PROCURE SUCH WRITTEN AUTHORIZATION PLACES ALL RESPONSIBILITY FOR THE VARIATION ON THE CONTRACTOR.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE OWNER SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. EXCEPTION: THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE SITE AND BUILDING PERMITS.
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY REGULATING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN AN APPROVED AND LEGAL MANNER.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.
- DIMENSIONS SHOWN ON DRAWINGS ARE TAKEN FROM FACE OF GYPSUM WALLBOARD UNLESS OTHERWISE NOTED
- COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.
- ELECTRICAL WORK TO BE DESIGNED, PERMITTED AND INSTALLED BY CONTRACTOR.
- EXISTING ELECTRICAL SYSTEM TO BE PRESERVED TO THE MAXIMUM EXTENT ALLOWABLE BY CODE.
- PLUMBING WORK TO BE DESIGNED, PERMITTED AND INSTALLED BY CONTRACTOR.
- HVAC WORK TO BE DESIGNED, PERMITTED AND INSTALLED BY CONTRACTOR.

ABBREVIATIONS

AV	AIR/VAPOR
AFF	ABOVE FINISH FLOOR
B.O.	BOTTOM OF
CONC.	CONCRETE
E	EXISTING
ELEVS.	ELEVATIONS
FFE	FINISH FLOOR ELEVATION
FRP	FIBERGLASS REINFORCED PANELS
GWB	GYPSUM WALL BOARD
GYP BD	GYPSUM WALL BOARD
INSUL	INSULATION
O.C.	ON CENTER
P&S	BRACKET W/ CLOTHES POLE & SHELF
PT	PRESSURE TREATED/PAINTED
RCP	REFLECTED CEILING PLAN
SAT	SUSPENDED ACOUSTICAL TILE
SIM	SIMILAR
STRUCT	STRUCTURAL DRAWINGS OR STRUCTURAL ENGINEER
T.B.D.	TO BE DETERMINED
T.O.	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITE TILE

DRAWING LIST

G1.1	COVER SHEET	X
G1.2	CONSTRUCTION ASSEMBLIES - SHEET 1 OF 2	X
G1.3	CONSTRUCTION ASSEMBLIES - SHEET 2 OF 2	X
LS1.0	CODE SUMMARY	X
LS1.1	LIFE SAFETY PLANS	X
C1	SITE PLAN	X
C2	GRADING AND UTILITY PLAN	X
C3	EROSION & SEDIMENTATION CONTROL DETAILS	X
C4	DETAILS	X
S1	FOUNDATION PLAN	X
S2	SECOND, THIRD FLOOR FRAMING PLANS	X
S3	FOURTH FLOOR, ROOF FRAMING PLAN	X
S4	NOTES, SECTIONS, DETAILS	X
S5	ELEVATION	X
S6	SECTION AND STRUCTURAL SCHEDULES	X
A1.1	BASEMENT & FIRST FLOOR PLANS	X
A1.2	2ND & 3RD FLOOR PLANS	X
A2.1	ELEVATIONS	X
A2.2	ELEVATIONS	X
A3.1	BUILDING SECTIONS	X
A4.1	DETAILS - SHEET 1 OF 2	X
A4.2	DETAILS - SHEET 2 OF 2	X
A6.1	SCHEDULES	X



PROJECT CONTACTS

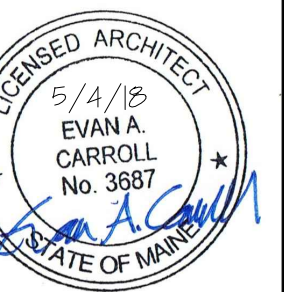
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PROJECT NO.
17024
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REVISONS	1	2	3	4	5
1	05.18.18	08.02.18	08.14.18	08.29.18	09.06.18

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AEW
SHEET TITLE
COVER SHEET

ISSUE DATE
5/4/18
SHEET SCALE
N.T.S.

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SLAB ASSEMBLY TYPES

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> SEE FINISH SCHEDULE FOR FLOOR FINISH 4" CONCRETE SLAB REINFORCED PER STRUCTURAL DRAWINGS. 6 MIL POLY VAPOR BARRIER 2" RIGID INSULATION 6" CRUSHED STONE 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
S1		N/A	N/A	N/A	R-10

EXTERIOR WALL TYPES

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> LP SMART SIDING - SMOOTH FINISH - CLAPBOARD 1X FURRING @ 16" O.C. OR RAINSCREEN DRAINAGE MAT 1-1/2" INSULATED ZIP SHEATHING WITH INTEGRAL AIR BARRIER (R6.6) 5/8" TYPE "X" DENSGLASS SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. CONCRETE FOUNDATION WALL - SEE STRUCTURAL 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
E1		1-HR (BOTH SIDES)	U344	N/A	6.6

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> LP SMART SIDING - SMOOTH FINISH - CLAPBOARD 1X FURRING @ 16" O.C. OR RAINSCREEN DRAINAGE MAT 1-1/2" INSULATED ZIP SHEATHING WITH INTEGRAL AIR BARRIER (R6.6) 5/8" TYPE "X" DENSGLASS SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. 2X6 WOOD STUDS W/ DENSE PACKED BLOWN CELLULOSE INSULATION FULL CAVITY (R-20) MEMBRAN™ SMART VAPOR RETARDER OR APPROVED EQUAL 5/8" TYPE X GYPSUM BOARD 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
E2		1-HR (BOTH SIDES)	U344	N/A	20 + 6.6 ci

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> LP SMART SIDING - SMOOTH FINISH - CLAPBOARD 1X FURRING @ 16" O.C. OR RAINSCREEN DRAINAGE MAT 1-1/2" INSULATED ZIP SHEATHING WITH INTEGRAL AIR BARRIER (R6.6) 15/32" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. 2X6 WOOD STUDS W/ DENSE PACKED BLOWN CELLULOSE INSULATION FULL CAVITY (R-20) MEMBRAN™ SMART VAPOR RETARDER OR APPROVED EQUAL 5/8" GYPSUM BOARD - PAINTED 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
E3		N/A	N/A	N/A	20 + 6.6 ci

INTERIOR WALL TYPES

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> 5/8" GYPSUM BOARD - PAINTED 2X4 STUDS @ 16" O.C. 5/8" GYPSUM BOARD - PAINTED <p>NOTE: PROVIDE MOISTURE RESISTANT GWB AT BATHROOMS AND KITCHENS.</p>			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
W1		N/A	N/A	N/A	N/A

GRAPHIC DESCRIPTION		DESCRIPTION			
		<p>SHEARWALL & UNIT SEPARATION ASSEMBLY</p> <ul style="list-style-type: none"> (1) LAYER 5/8" PAINTED TYPE X GWB SEALED TO UNDERSIDE OF DECK. 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY (1) LAYER 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. 2X6 STUDS @ 16" O/C U.N.O. 6" UNFACED FIBERGLASS BATTS (R-19) (1) LAYER 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY (1) LAYER 5/8" PAINTED TYPE X GWB SEALED TO UNDERSIDE OF DECK. 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
W2		1-HR	U340	54	19

GRAPHIC DESCRIPTION		DESCRIPTION			
		<p>UNIT SEPARATION ASSEMBLY</p> <ul style="list-style-type: none"> (1) LAYER 5/8" PAINTED TYPE X GWB SEALED TO UNDERSIDE OF DECK. 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY 2X6 WOOD TOP AND BOTTOM PLATES TO UNDERSIDE OF DECK. REFER TO STRUCTURAL DWGS FOR STUD SIZE, SPACING, AND ALIGNMENT REQUIREMENTS. (2X4 STAGGERED @ 12" C/C U.N.O.) (2) LAYERS OF R-11 UNFACED FIBERGLASS BATTS 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY (1) LAYER 5/8" PAINTED TYPE X GWB SEALED TO UNDERSIDE OF DECK. <p>PROVIDE 2X FIRE BLOCKING AT CEILING LEVEL OR ALTERNATIVE METHOD APPROVED BY IBC 2015.</p>			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
W3		1-HR	U395	54	22

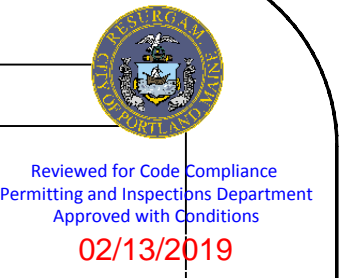
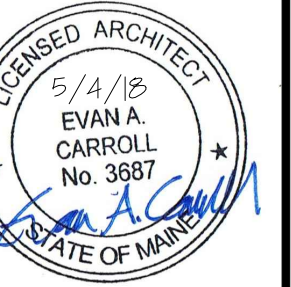


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G
 1.2

INTERIOR WALL TYPES - CONT.

GRAPHIC DESCRIPTION		DESCRIPTION			
		SHEARWALL ASSEMBLY <ul style="list-style-type: none"> (1) LAYER 5/8" PAINTED GWB 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY (1) LAYER 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. 2X6 STUDS @ 16" O/C U.N.O. 6" UNFACED FIBERGLASS BATTS (R-19) (1) LAYER 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY (1) LAYER 5/8" PAINTED GWB 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
W4		N/A	N/A	N/A	19

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> 5/8" TYPE "X" GYPSUM BOARD FASTENED IN ACCORDANCE WITH UL ASSEMBLY. 2X4 WOOD STUDS @ 16" O.C. FRICTION FIT BETWEEN STUDS R-19 UNFACED FIBERGLASS INSULATION BATTS MEASURING 3-1/2" THK. 5/8" TYPE "X" GYPSUM BOARD FASTENED IN ACCORDANCE WITH UL ASSEMBLY. <p>NOTES:</p> <ul style="list-style-type: none"> PROVIDE MOISTURE RESISTANT GWB AT BATHROOMS. A BEAD OF ACOUSTICAL SEALANT SHALL BE APPLIED AROUND THE PARTITION PERIMETER FOR SOUND CONTROL. SEAL AROUND WINDOW AND DOOR JAMBS W/ LOW PRESSURE FOAM AND/OR LATEX CAULK. 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
W5		1-HR	U305	56	N/A

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> (2) LAYER 5/8" TYPE X GWB SEALED TO UNDERSIDE OF DECK. 2X6 WOOD TOP AND BOTTOM PLATES TO UNDERSIDE OF DECK. REFER TO STRUCTURAL DWGS FOR STUD SIZE, SPACING, AND ALIGNMENT REQUIREMENTS. (2X4 STAGGERED @ 12" C/C U.N.O.) CONTINUOUS SOUND ATTENUATION BATTS. (2) LAYER 5/8" TYPE X GWB SEALED TO UNDERSIDE OF DECK 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
W6		2-HR	U301	NA	NA

ROOF ASSEMBLY TYPES

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> ADHERED MEMBRANE ROOFING SYSTEM 5/8" ZIP SYSTEM SHEATHING (AIR BARRIER) TJI JOISTS PER STRUCTURAL 5.5" MINERAL WOOL BATT INSULATION (R-23) 7.25" MINERAL WOOL BATT INSULATION (R-30) 7/8" METAL HAT CHANNEL FURRING 5/8" TYPE X GYPSUM BOARD - PAINTED FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4" FROM EXT WALL AROUND PERIMETER OF ROOF - SEE ROOF PLAN FOR LOCATION 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
R1		1-HR	SIM L528 & L513	N/A	53

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> ADHERED MEMBRANE ROOFING SYSTEM 5/8" ZIP SYSTEM SHEATHING (AIR BARRIER) TJI JOISTS PER STRUCTURAL 5.5" MINERAL WOOL BATT INSULATION (R-23) 7.25" MINERAL WOOL BATT INSULATION (R-30) 7/8" METAL HAT CHANNEL FURRING 5/8" TYPE X GYPSUM BOARD - PAINTED FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4" FROM EXT WALL AROUND PERIMETER OF ROOF - SEE ROOF PLAN FOR LOCATION 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
R2		1-HR	SIM L528 & L513	N/A	53

FLOOR/CEILING ASSEMBLY TYPES

GRAPHIC DESCRIPTION		DESCRIPTION				
		<ul style="list-style-type: none"> SEE FINISH SCHEDULE FOR FLOOR FINISH 1/2" HOMASOTE 3/4" PLYWOOD T&G SUB-FLOOR TJI JOISTS PER STRUCTURAL 10" UNFACED FIBERGLASS BATT INSULATION (R-30) SOUND ISOLATION CHANNEL HANGERS 7/8" METAL HAT CHANNEL FURRING 5/8" TYPE X GYPSUM BOARD - PAINTED 				
		TYPE	FIRE RATING	UL NUMBER	IIC RATING	STC RATING
F1		1-HR	L509	50	58	R-30

GRAPHIC DESCRIPTION		DESCRIPTION				
		<ul style="list-style-type: none"> SEE FINISH SCHEDULE FOR FLOOR FINISH SUBFLOOR - 23/32" PLYWOOD T&G SUB-FLOOR W/ TAPED JOINTS (AIR BARRIER) 10.25" OPEN CELL SPRAY FOAM INSULATION (R-40) TJI JOISTS PER STRUCTURAL (3) LAYERS 5/8" TYPE X GYPSUM BOARD MIN. 25 MSG HAT SHAPED RESILIENT CHANNELS @ 24" O.C. PERPENDICULAR TO STRUCTURAL FRAMING 5/8" TYPE X GYPSUM BOARD - PAINTED <p>NOTE: BOX OUT AND SPRAY FOAM AROUND DHW & HHW PIPING</p>				
		TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
F2		2-HR	L556	N/A	40	

GRAPHIC DESCRIPTION		DESCRIPTION				
		<ul style="list-style-type: none"> SEE FINISH SCHEDULE FOR FLOOR FINISH 3/4" PLYWOOD T&G SUB-FLOOR W/ TAPED JOINTS (AIR BARRIER) 10.25" OPEN CELL SPRAY FOAM INSULATION (R-40) TJI JOISTS PER STRUCTURAL 7/8" METAL HAT CHANNEL FURRING EXTERIOR SOFFIT BOARD <p>NOTE: BOX OUT AND SPRAY FOAM AROUND DHW & HHW PIPING</p>				
		TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
F3		N/A	N/A	N/A	40	

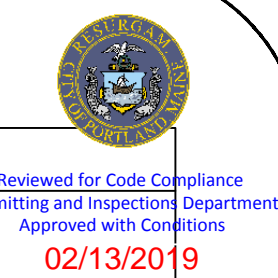
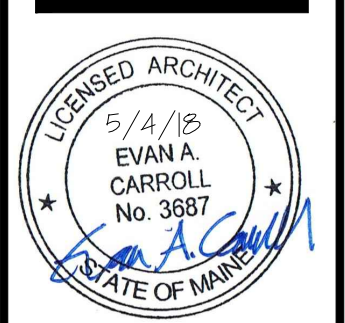


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Code Summary

Building Area Information

Building Footprint: 1,038 SF
 R-2 Gross: 3,060 SF
 Parking Gross: 901 SF
 Building Gross: 3,961 SF

IBC Code Overview

Use: R-2 & U (Separated Occupancies)
 Construction: Type VB
 Sprinkler: NFPA 13R
 Occupancy: 16 Occupants

NFPA Code Overview

Use: New Residential Apartment Building & New Storage
 Construction: No minimum requirement
 Sprinkler: NFPA 13R
 Occupancy: 18 Occupants

IBC 2015 - Detail Code Review

310.4 Use and Occupancy Classification:
 Residential Group R-2 (Apartments)
 312.1 Utility and Misc. Group U (Private Garages)

406.3.1 Private car storage can be up to 1,000sf (and be considered Group U)
 406.3.2 Clear Height: 7ft min.
 406.3.3 Floor surface of concrete or asphalt, Slope floor to drain or garage door
 406.3.4.1 Garages beneath habitable rooms shall be separated by not less than 5/8" type X gyp bd and 1/2" gyp bd applied to structures supporting the separation from habitable rooms above the garage.
 406.3.6 Automatic garage door openings shall be listed in accordance with UL 325.
 406.6.2 A mechanical ventilation system shall be provided per IMC.
 420.2 Fire Partitions Separating Dwelling Units (708)
 420.3 Floor Assemblies Separating Dwelling Units (711)

504.3	R	S13R	VB	60' tall
504.4	R-2	S13R	VB	3 stories
506.2	R-2	S13R	VB	7,000sf

508.4 U R-2 Sprinkled (NFPA 13R) 2-hr

508.4.4.1 1 hour separation in sprinkled building by fire barriers & horz assemblies (or by 707 and 711)

601 Type VB - No rating required by construction type
 602 Separation distance 5' ≤ X < 10' 1 hour exterior wall rating required
 10' ≤ X < 30' 0

705.2.2 Projections (including balconies) may be of any material
 705.5 X ≤ 10' Rated for exposure on both sides
 705.8 5' ≤ X < 10' Unprotected, Non-Sprinkled 10% openings allowed
 10' ≤ X < 15' Unprotected, Non-Sprinkled 15% openings allowed
 15' ≤ X < 20' Unprotected, Non-Sprinkled 25% openings allowed

705.8.1 Exception 2: Buildings whose exterior bearing walls, exterior nonbearing walls and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

705.11.5.1 The roof sheathing or deck is constructed of approved noncombustible materials or of fire-retardant-treated wood for a distance of 4 feet.

707.3.1 Fire Barrier required for shaft enclosure.
 707.5 Fire barriers: From TOP of floor to bottom of decking above (cont. thru concealed)
 707.5.1 Fire Barrier supporting construction shall have same rating
 713.1 Shaft enclosures shall be constructed of fire barriers and horizontal assemblies
 713.2 Shaft enclosure is required stair
 713.4 Shaft Enclosure: 1 hour when connecting less than four stories

708.1 Fire partitions required to separate dwelling units
 708.3 1 hr fire partition rating required between dwelling units
 708.4 Fire partition continuity: from TOP of floor to bottom of decking above or to bottom of ceiling assembly (with fireblocking or draftstopping)

711.2.4.3 1 hr horizontal assembly rating required between dwelling units
 713.4 Supporting construction of horz assembly between units not required to be rated in VB

714 All Rated vertical and horizontal assemblies shall be complete assemblies in that any penetrations shall be treated as in accordance with this section.

715 All Rated vertical and horizontal assemblies shall be complete assemblies in that any joints shall be treated as in accordance with this section.

716 All Rated vertical and horizontal assemblies shall be complete assemblies in that any openings shall be treated as in accordance with this section.

716.5 Doors in 1-hour stair shaft shall have a rating of 1 hour
 717 All Rated vertical and horizontal assemblies shall be complete assemblies in that any ducts and air transfers shall be treated as in accordance with this section.

717.6.2 Ducts and air transfer openings penetrating a rated ceiling membrane must be installed with a listed ceiling radiation damper
 718 Fire blocking and draft-stopping shall be installed in concealed spaces in accordance with this section.

803.11 R-2: Exit enclosures, corridors, rooms and enclosed spaces required to have Class C finishes.
 901.6.1 Automatic sprinkler system shall be monitored by a supervising station (NFPA 72)
 901.6.2 Fire alarm system shall be monitored by a supervising station
 903.2.8 Sprinkler System is required for Group R
 903.3.1.2 NFPA 13R is permitted

906.1 In Group R-2, portable fire extinguishers having a min rating of 1-A:10-B-C.
 907.2.9.1 No manual pull station fire alarm system is required as dwelling units are located less than three units stories above the lowest level of exit discharge and 16 units.

907.2.11.2 Single or multi-station smoke alarms shall be installed:
 1. Outside of each sleeping area.
 2. Each room used for sleeping.
 3. Each story within a dwelling unit.

907.2.11.4 Smoke alarms shall be installed not less than 3 ft horizontally from door of a bathroom with a shower or tub.

907.2.11.5 Interconnected Smoke Alarms Required:
 Outside each sleeping area and in each sleeping room

1003.2 Min egress ceiling height: 7'-6"
 1003.5 Exception 1: A single step (under 7") allowed at exterior doors in R-2 that are not required to be accessible doors.

1004.1.1 Occupancy Load:
 Residential: 200 gross at 3,060 SF is 16 occupants
 Total Occupant Load: 16 occupants

1005.3.1 Stairway egress capacity factor: 0.3 inch per occupant
 1005.3.2 Other egress component capacity factor: 0.2 inch per occupant
 1006.2.1 Spaces with one exit:
 Occupancy Max Occ. Load Max Common Path
 R-2 10 125 ft (w/ sprinkler)

1006.3.2(1) Stories with one exit for R-2 occupancies:
 Story Max Dwelling Units Max Common Path
 Basement 4 125 ft
 1st-3rd stories 4 125 ft
 (above grade plane)

1008.2 Stair must be illuminated at all times
 1009.3 Sprinkler precludes need for wider stair or area of refuge
 1010.1.1 Min Door size: 32" clear (36" door)
 1010.1.5 Same floor elevation on either side of doors
 1010.1.6 Landing not less than width of door
 1010.1.8 48" plus door swing between doors in succession
 1011.2 Min stair width 36" (for occ. less than 50)
 1011.3 Min head clearance 80" (6'-8")
 1011.5.2 7" rise max. and 11" run min
 1011.7 Stair construction can be of any material permitted by construction type
 1011.12 Stairway not required to extend to roof in three-story building
 1014.6 Hailing extensions must be 12" at top of stairs and 11" at bottom.
 1015.2 Min Guard Height: 42"
 1017.2 NFPA 101 Table A7.6
 Exit Access Travel Distance: 250'
 NFPA 101 30.2.5.3.2: "Travel within a dwelling unit shall not be included when determining the common path of travel"

1020.1 Corridor fire-resistance rating: 0.5 (w/ sprinkler system)
 1020.2 Min. corridor width: 36" w/ occupancy less than 50.
 1023.8 Discharge identification signs shall comply with this section
 1024.2 Min exit passageway width: 36" for less than 50 occupants
 1024.3 Exits passageway min rating: 1-hr (or rating of connected enclosure if greater)
 1031.1 Emergency escape and rescue openings required in each sleeping room.

1207 Sound transmission between dwelling units
 Walls: STC-50 (45 field tested)
 Ceilings: IIC-50 (45 field tested)

2406.4 Safety Glazing: all hazardous locations including doors, near doors, windows, near floors, large amounts of glass, and near stairways.

IECC 2015
 103.2 Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with commercial code.

301.1 Climate Zone 6A
 303.1.1.1 Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300ft².

303.1.3 U-factors of fenestration products are determined in accordance with NFRC test procedures or taken from the default table.
 303.2 Floor insulation installed per manufacturer's instructions, and in substantial contact with the underside of the subfloor.
 303.2 Wall insulation is installed per manufacturer's instructions.
 303.3 Manufacturer manuals for mechanical and water heating equipment have been provided.

402.1.1 Element: Required: Provided:
 Fenestration U-Factor 0.35 max 0.29
 Ceiling R-Value 49 min 53
 Wood Frame R-Value 20 min or 13+5 42.35
 Floor R-Value 30 min 52
 Slab R-Value 10 min 10

402.4.2.1 Building envelope tightness verified by blower door test result of < 7 ACH at 50 Pa. This requirement may instead be met via visual inspection, in which case verification may need to occur during insulation inspection.
 402.4.4 Fenestration that is not site built is listed and labeled as meeting AAMA/WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.
 402.4.5 IC-rated recessed lighting fixtures sealed as housing/interior finish and labeled to indicate ≤ 2.0 cfm leakage at 75 Pa.
 403.1.2 Heat pump thermostat installed on heat pump.
 403.2.1 Supply ducts located completely inside the building envelope.
 403.2.2 All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are sealed.
 403.2.3 Building cavities are not used for supply ducts.
 403.3 HVAC piping conveying fluids above 105°F or chilled fluids below 55°F are insulated to ≥ R-3.
 403.4 Circulating service hot water systems have automatic or accessible manual controls. Hot water pipes are insulated.
 403.5 Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.
 403.6 Heating and cooling equipment is sized per ACCA manual S based on loads per ACCA Manual J or other approved methods.
 404.1 50% of lamps in permanent fixtures are high efficacy lamps.

NEPA 10
NFPA 10
 6.2.1.1 Each floor shall have a single (2) unit Class A Fire Extinguisher

NFPA 101
 3.3.3.2.3 Apartment Building
 Residential Occupancy - Apartment Building (Chapter 30)
 6.1.8.1.5 Storage - Enclosed Parking Structure (Chapter 42)
 6.1.13.1 2 hour separation required in nonsprinkled building (NFPA 13R system)
 6.1.14.4.3 Ordinary Hazard Contents
 6.2.2.3

7.1.3.1 Exit access corridors shall have one-hour fire resistance rating
 7.1.3.2.1 Stairs three stories or fewer shall have one-hour fire rating
 7.1.5.1 Min headroom: 7'-6"
 7.1.6.3 Cross Slope limited to 1:48
 7.2.1.2.3.2 Egress door min clear width: 32"
 7.2.1.4 Door swing and force to open shall comply with this section
 7.2.1.5 Door locks, latches and alarms shall comply with this section
 7.2.2.2.1.1 Max riser height: 7"
 Min Tread depth: 11"
 Min headroom: 6'-8"
 7.2.2.2.1.2 Min stair width: 36" (for occupancy under 50)
 7.2.2.3.2 Min landing depth: stair width
 7.2.2.4.1 Handrail height: 36"
 7.2.2.4.6 Handrail shape: 1 1/2" circular cross section
 7.2.2.4.9 Handrails shall return to wall or newel post
 7.2.2.4.10 Handrails shall extend 12" at top of stair and one tread length at bottom
 7.2.2.4.5.2 Min guard height: 42"
 7.2.2.4.5.3 Open guards shall not allow the passage of a 4" sphere
 7.2.2.5.4 Stairway identification shall comply with this section.
 7.2.6.3 Stair discharge shall have a 1-hr fire resistance rating.
 7.2.12.1.1 Sprinkler precludes need for area of refuge in stair.
 7.3.1.2 Occupancy Load
 Residential Apartment: 200 gross at 3,060 SF is 16 occupants
 Storage: 500 gross at 901 SF is 2 occupants
 Total Occupant Load: 18 occupants

7.3.4 Min Egress width: 36"
 7.4.1.1 See 30.2.4.4
 7.8 Egress illumination shall be in accordance with this section.
 7.9 Emergency Lighting shall be in accordance with this section.
 7.10 Marking for means of egress shall comply with this section.

30.1.2.3 Dwelling units allowed over parking when either:
 • Parking is sprinkled with NFPA 13 system or
 • Uses are separated with a 1-hour fire resistance rating.

30.1.6 No minimum construction requirements
 30.2.1.1 Means of Egress shall comply with Chapter 7 and Chapter 30
 30.2.4.4 Single stair permitted from building given

- Less than 3 stories
- Less than 3 units/floor
- No basement
- No distance from unit door to stair
- 1-hr rated stair
- Self-closing doors
- No corridors
- 1/2 hr rating between units

30.2.5 Common Path Limit: 50'
 30.2.5.4.2 Dead-End Limit: 50'
 30.2.6.2 Max Travel Distance within unit (sprinkled): 125'
 30.2.6.3.2 Max Travel Distance from unit door to exit (sprinkled): 200'
 30.3.4 Fire detection and alarm system shall comply with this section.
 30.3.4.5 Smoke alarms shall be installed:
 In every sleeping area
 Outside every sleeping area
 At least one on each level
 Sprinkler system NFPA 13R permitted for four or fewer stories.
 30.3.8.1.2 Corridor walls (sprinkled): 1/2 hour
 30.3.7.2 Dwelling unit separation (sprinkled): 1/2 hour

42.1.6 No minimum construction requirements
 42.2.4.1 Single means of egress allowed within common path of travel limit.
 42.2.5 Dead End Corridor: 100'
 Common Path of Travel: 100'
 42.2.6 Maximum Travel Distance: 400'

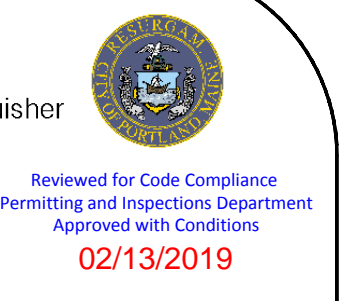
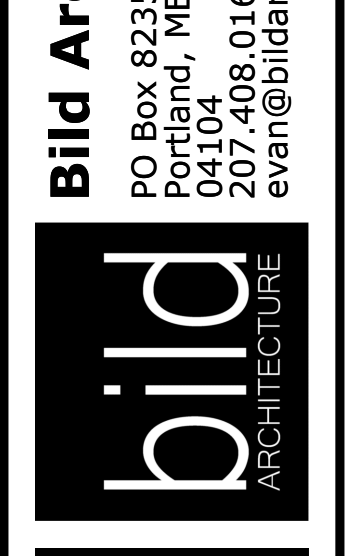


Bild Architecture
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 04104
 207.408.0168
 evan@bildarchitecture.com



PROJECT NO.
17024
PROJECT NAME
30 FOX STREET
PORTLAND, MAINE 04101

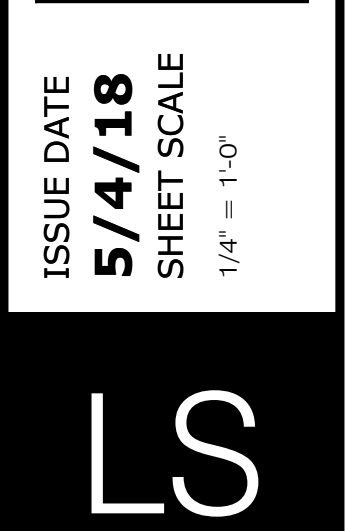
REVISIONS

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2	08.02.18	
3	08.14.18	
4	08.29.18	
5	09.06.18	

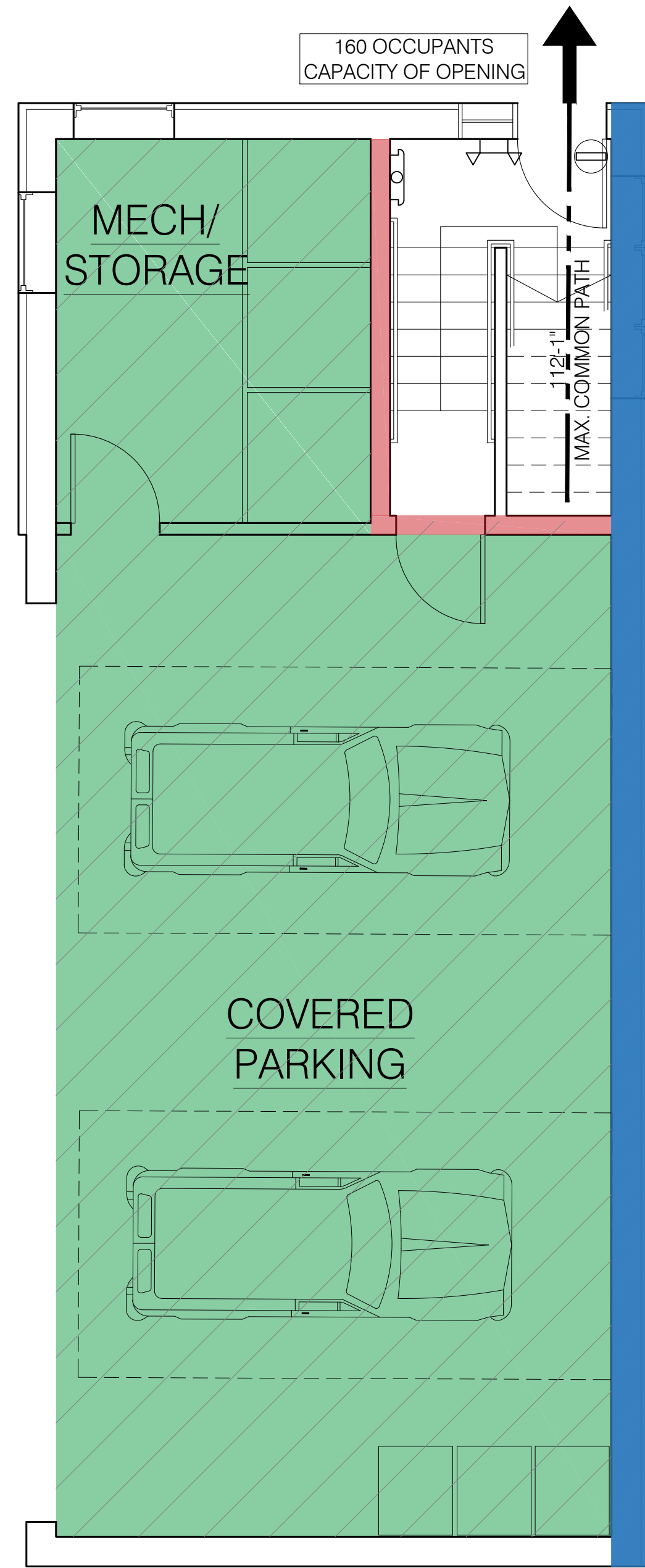
PERMIT SET

DRAWN BY
AEW
SHEET TITLE
CODE SUMMARY

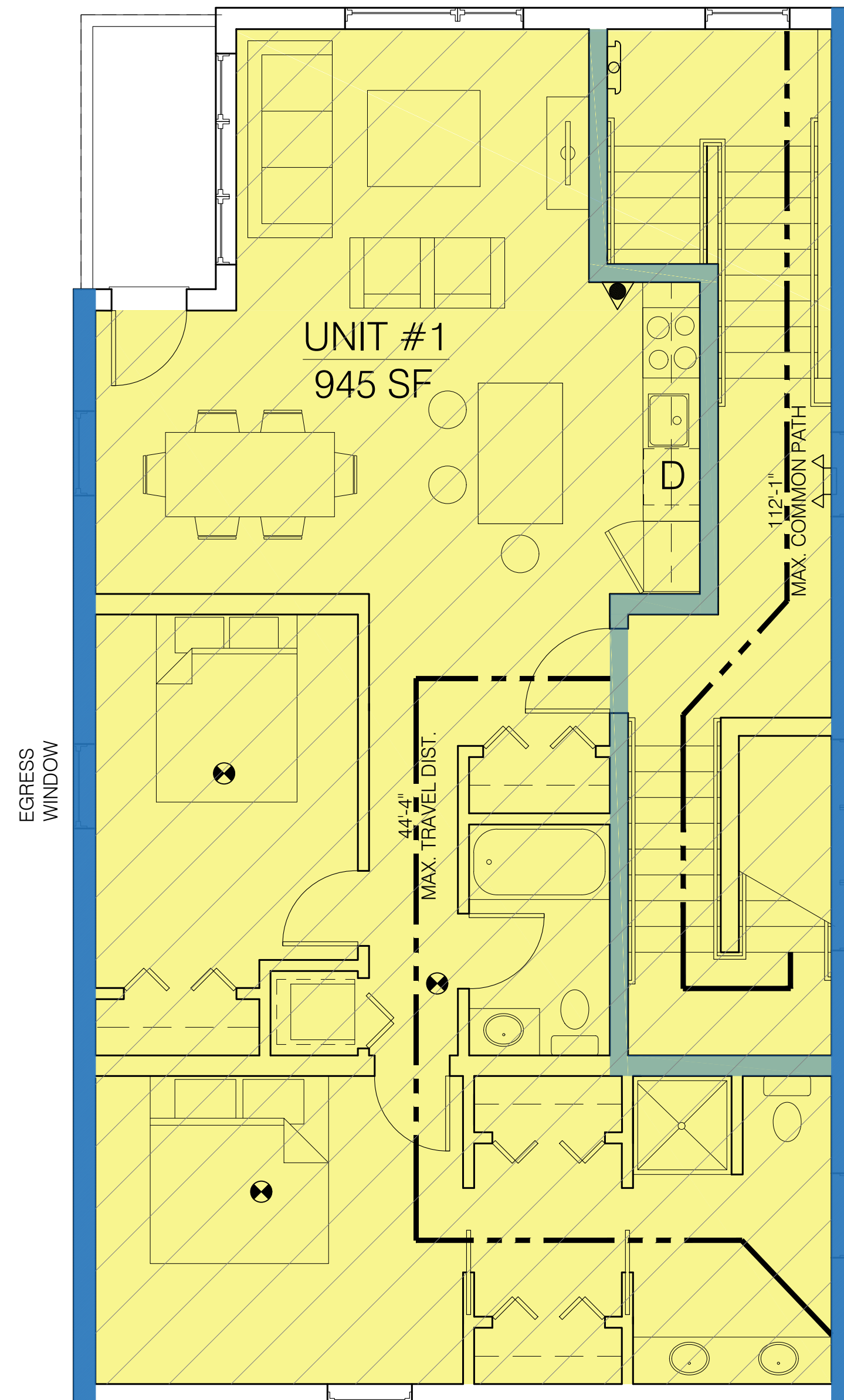
ISSUE DATE
5/4/18
SHEET SCALE
 1/4" = 1'-0"



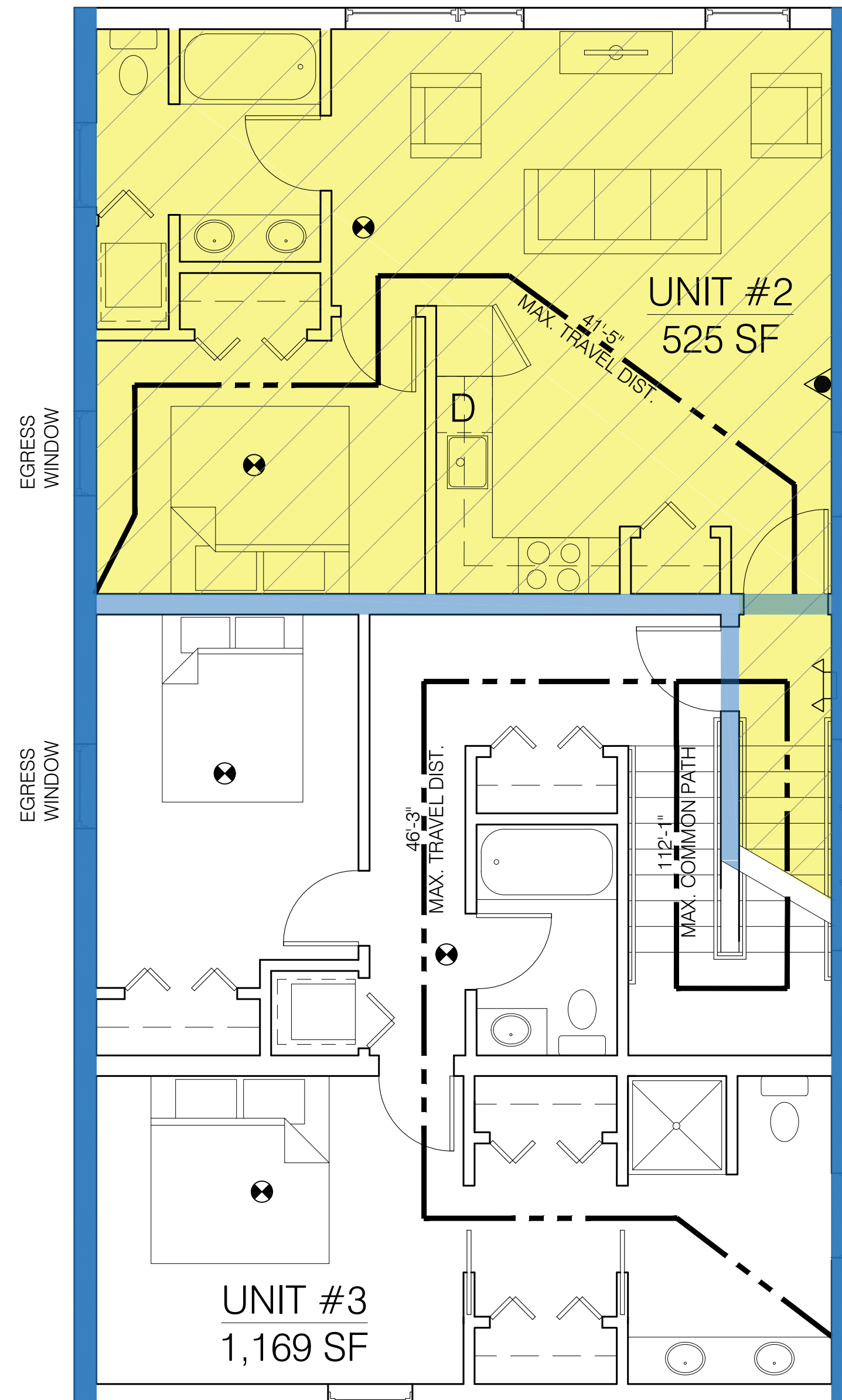
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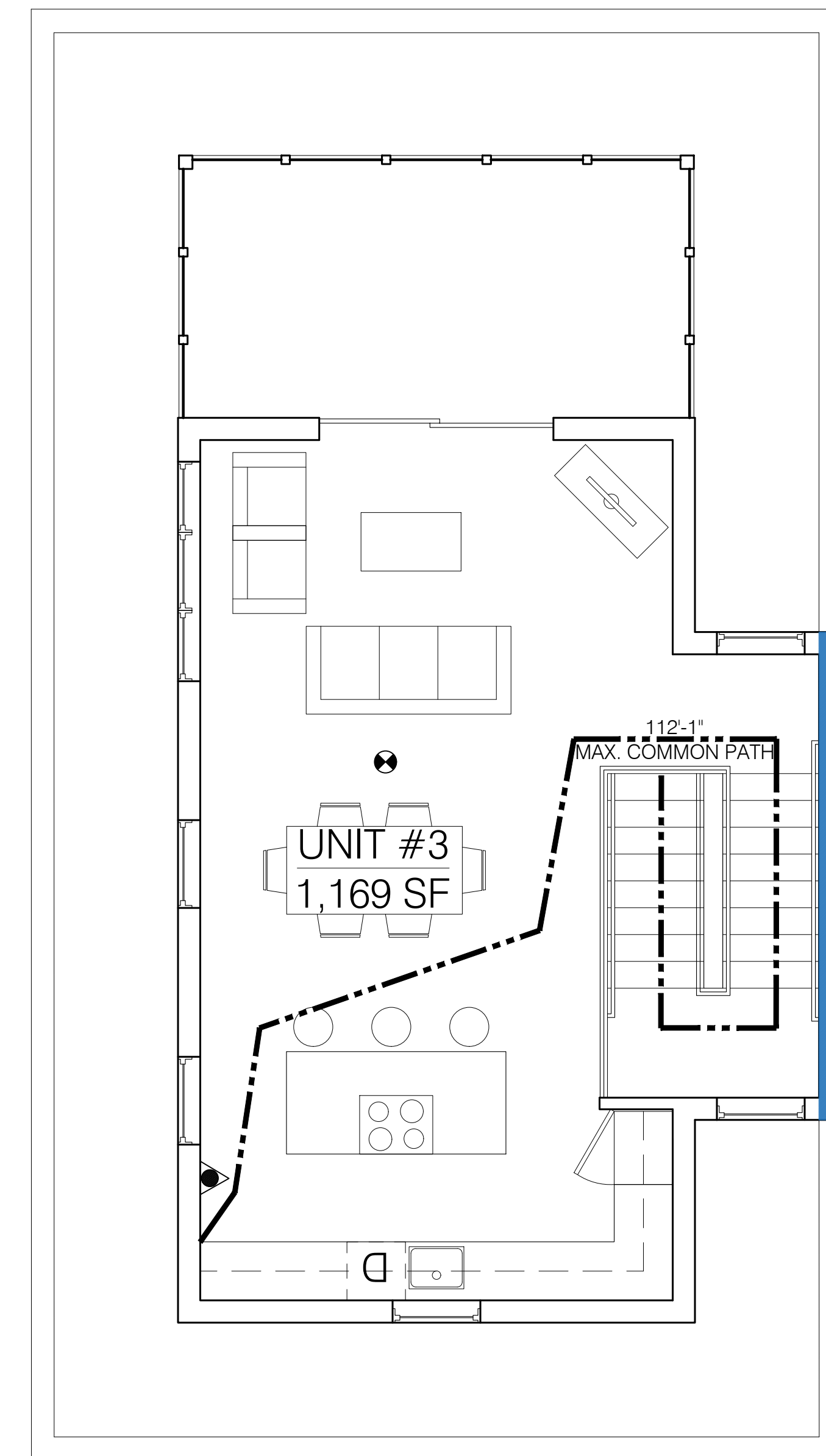
1 BASEMENT LS PLAN
SCALE: 1/4" = 1'-0"



2 1ST FLOOR LS PLAN
SCALE: 1/4" = 1'-0"



3 2ND FLOOR LS PLAN
SCALE: 1/4" = 1'-0"



4 3RD FLOOR LS PLAN
SCALE: 1/4" = 1'-0"

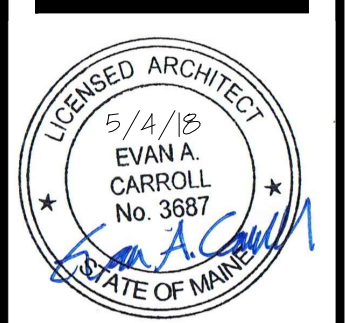
- NOTES:**
1. A NFPA 13R SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING.
 2. LOCAL CO DETECTORS SHALL BE INSTALLED PER NFPA 720.
 3. LOCAL SMOKE DETECTORS SHAL BE INSTALLED PER NFPA 101 SECTION 30.3.4.5.

KEY

- EXIT
- TRAVEL DISTANCE (DISTANCE L ~~28~~ 19 ON PATH)
- EXIT SIGN
- EMERGENCY LIGHTING
- SMOKE/CARBON MONOXIDE DETECTOR
- 1-HR RATED WALL ASSEMBLY
- 1-HR RATED CEILING ASSEMBLY
- 2-HR RATED WALL ASSEMBLY
- 2-HR RATED CEILING ASSEMBLY
- FIRE EXTINGUISHER
- PORTABLE FIRE EXTINGUISHER



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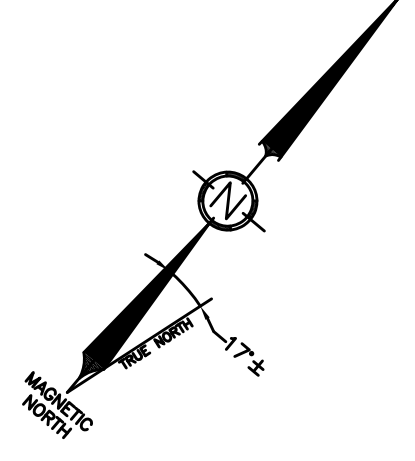
PROJECT NO.
17024
PROJECT NAME
30 FOX STREET
PORTLAND, MAINE 04101

REVISIONS

1	05.18.18
2	08.02.18
3	08.14.18
4	08.29.18
5	09.06.18

PERMIT SET
DRAWN BY
AEW
SHEET TITLE
LIFE SAFETY PLANS

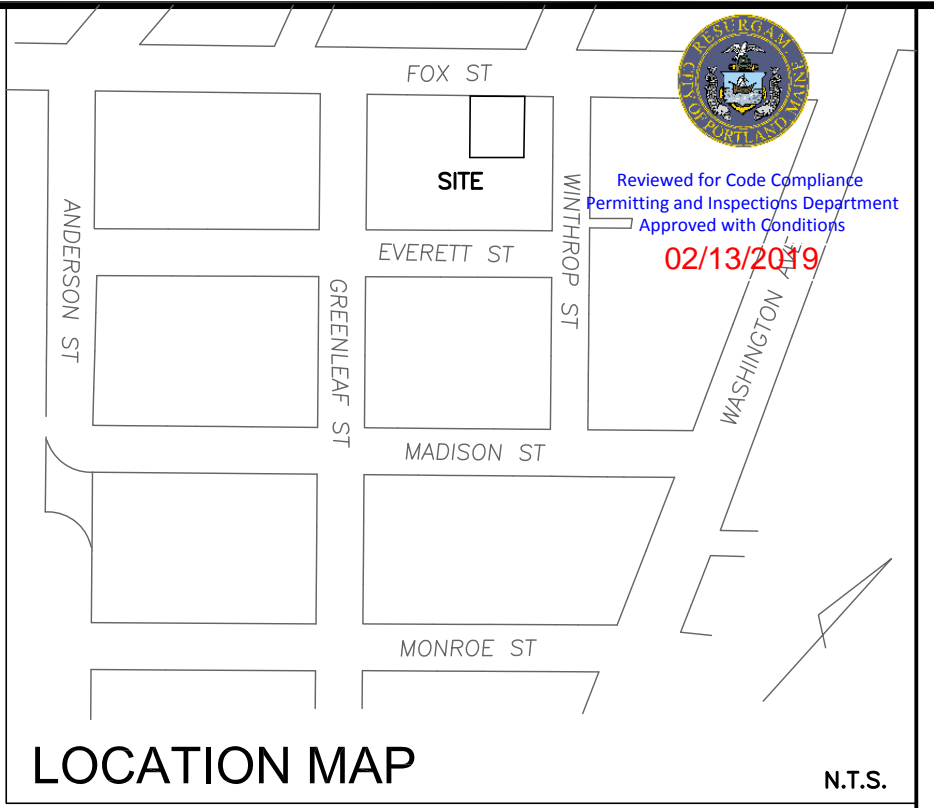
ISSUE DATE
5/4/18
SHEET SCALE
1/4" = 1'-0"



DRILL HOLE FOUND

HAMMOND STREET

FOX STREET



NO.	DATE	DESCRIPTION
1	04/20/18	ADDED NOTES PER FINAL REVIEW
2	06/08/18	REVISED FOR FINAL SIGNATURES
3	07/05/18	REVISED GAS METER AND FENCING
4	08/09/18	REVISED PER BUILDING DIMENSION CHANGE

GENERAL NOTES:

- THE APPLICANT AND RECORD OWNER IS SIMON NORWALK OF DYER NECK DEVELOPMENT, LLC, WHOSE ADDRESS IS 29 KELLOGG STREET, #3, PORTLAND, ME 04101.
- THE PROPERTY IS LOCATED AT 30 FOX STREET, PORTLAND, ME AND IS DESCRIBED AS A PORTION OF LOT 05 ON THE CITY OF PORTLAND ASSESSOR'S TAX MAP 012, BLOCK J.
- THE PURPOSE OF THIS PLAN SET IS TO PERMIT THE DEVELOPMENT OF A THREE (3) UNIT, RESIDENTIAL BUILDING. EACH OF THE THREE UNITS WILL BE OFFERED FOR SALE.
- THE SITE IS LOCATED WITHIN THE R-6 RESIDENTIAL ZONE.
- TOTAL AREA OF PARCEL: 2,394 S.F.
TOTAL LANDSCAPED AREA: 750 S.F. (31%)
EXISTING IMPERVIOUS AREA: 323 S.F.
NEW IMPERVIOUS AREA: 1,321 S.F.
- SPACE AND BULK INFORMATION FOR R-6 ZONE:

REQ'D	PROVIDED	
MIN. LOT AREA:	2,000 S.F.	2,394 S.F.
MIN. LOT AREA/DWELLING:	750 S.F.	798 S.F.
MIN. LOT WIDTH:	20 FT.	38 FT.
MIN. FRONT SETBACK:	5 FT.	5 FT.
MIN. SIDE SETBACK:	5 FT.	5 FT.
MIN. REAR SETBACK:	10 FT.	10 FT.
LANDSCAPED OPEN AREA:	20%	31%
- EXISTING CONDITIONS AND SURVEY INFORMATION BASED ON PLAN ENTITLED "BOUNDARY SURVEY OF 32 FOX STREET" PROVIDED BY OWEN HASKELL, INC., DATED JUNE 28, 2017.
- SITE ENGINEERING PROVIDED BY JON H. WHITTEN, JR., P.E. #10414 OF PLYMOUTH ENGINEERING, INC., WHOSE ADDRESS IS PO BOX 46, PLYMOUTH, ME 04969.
- ARCHITECTURAL DESIGN PROVIDED BY EVAN CARROLL, ALA OF BILD ARCHITECTURE, PORTLAND, MAINE.
- A MAXIMUM OF ONLY TWO VEHICLES SHALL BE ALLOWED ON THE SITE AT ONE TIME.
- BACKING MANEUVERS ONTO FOX STREET SHALL BE PROHIBITED.
- THERE WILL BE NO GARAGE DOORS OR COLUMNS LOCATED WITHIN THE PARKING CIRCULATION AREA.
- THIS PLAN SHALL REFERENCE THE CONDOMINIUM DOCUMENTS FOR "30 FOX CONDOMINIUM" TO BE RECORDED UPON SIGNATURE OF THIS PLAN.
- THIS PLAN SHALL REFERENCE THE STORMWATER DRAINAGE SYSTEM MAINTENANCE AGREEMENT RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK PAGE ON 2018.

PROJECT NAME: 30 FOX STREET
CITY: PORTLAND
STATE: MAINE
SHEET NAME: AMENDED SITE LAYOUT PLAN

PROJECT NO. 17178
DRAWING NO. 17178_073118 B
FIELDBOOK:
SCALE:
DATE ISSUED: 03-26-18
CLIENT: SIMON NORWALK OF DYER NECK DEVELOPMENT, LLC
29 KELLOGG STREET, #3
PORTLAND, ME 04101

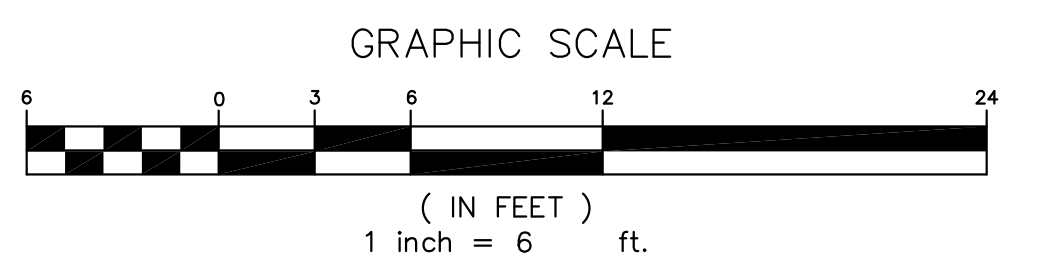
Plymouth Engineering, Inc.
P.O. Box 46
30 Lower Detroit Road
Plymouth, Maine 04969
Tel: (207) 287-2071 Fax: (207) 287-2130
info@plymouthengineering.com
www.plymouthengineering.com



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval
and Standard Conditions

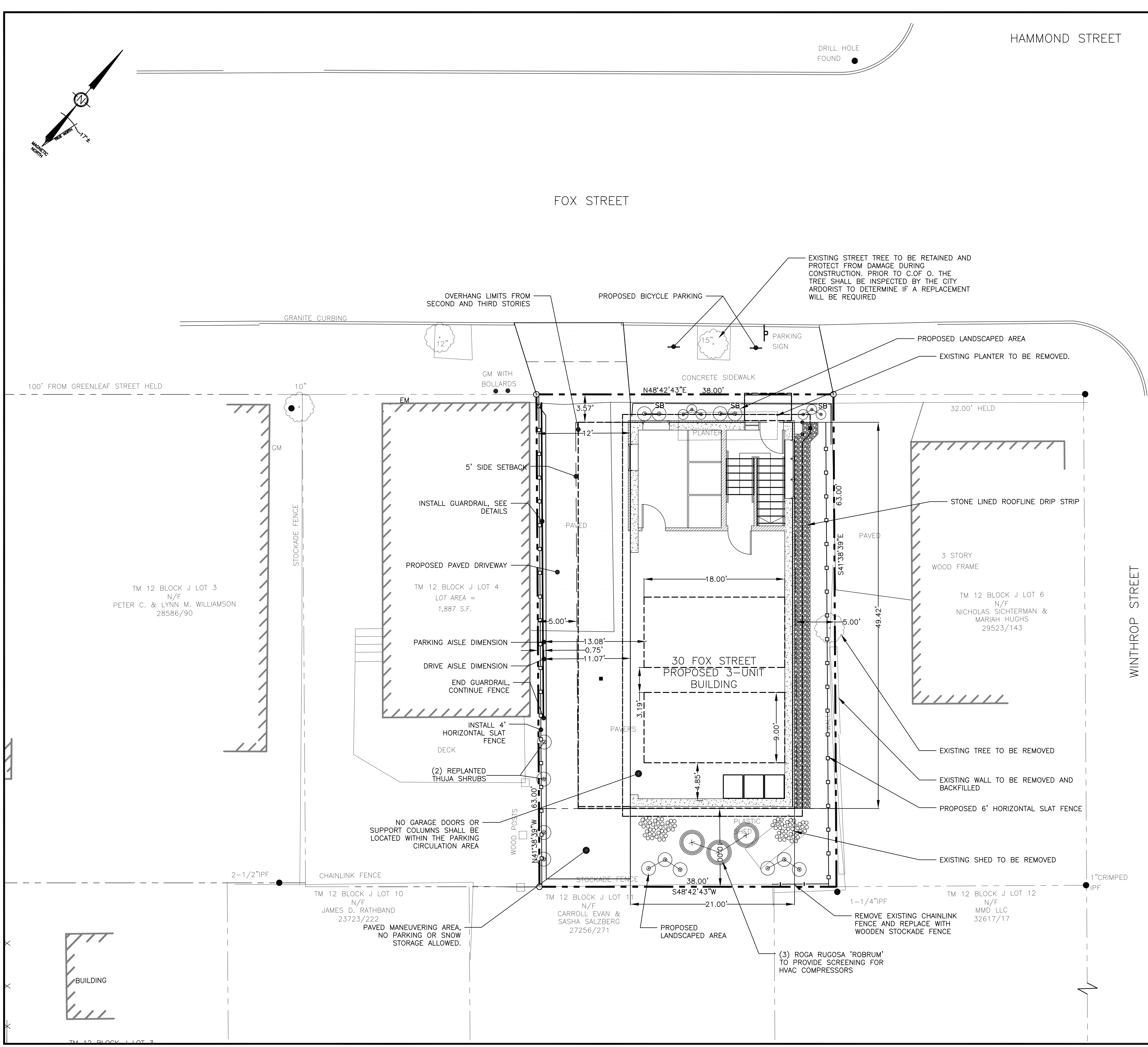
DATE of APPROVAL **4-10-2018**
PLANNER **Jean Fraser**
PROJECT NO. **UI #2017-227**

STATE OF MAINE
JON H. WHITTEN, JR.
P.E.
LICENSED PROFESSIONAL ENGINEER
DRAWINGS NOT SEALED ARE FOR PLANNING PURPOSES ONLY AND ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION



SHEET 1 OF 4
C1

Aug 09, 2018 - 10:33am J:\2017\17178 - 32 Fox St. - Portland Bldg Arch\J. Drawings\CIVIL\17178_73118 B.dwg



TM 12 BLOCK J LOT 3
N/F
PETER C. & LYNN M. WILLIAMSON
28586/90

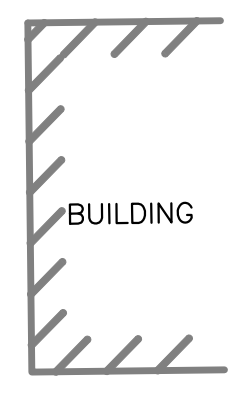
TM 12 BLOCK J LOT 4
LOT AREA =
1,887 S.F.

TM 12 BLOCK J LOT 6
N/F
NICHOLAS SICHTERMAN &
MARIAH HUGHES
29523/143

TM 12 BLOCK J LOT 10
N/F
JAMES D. RATHBAND
23723/222

TM 12 BLOCK J LOT 11
N/F
CARROLL EVAN &
SASHA SALZBERG
27256/271

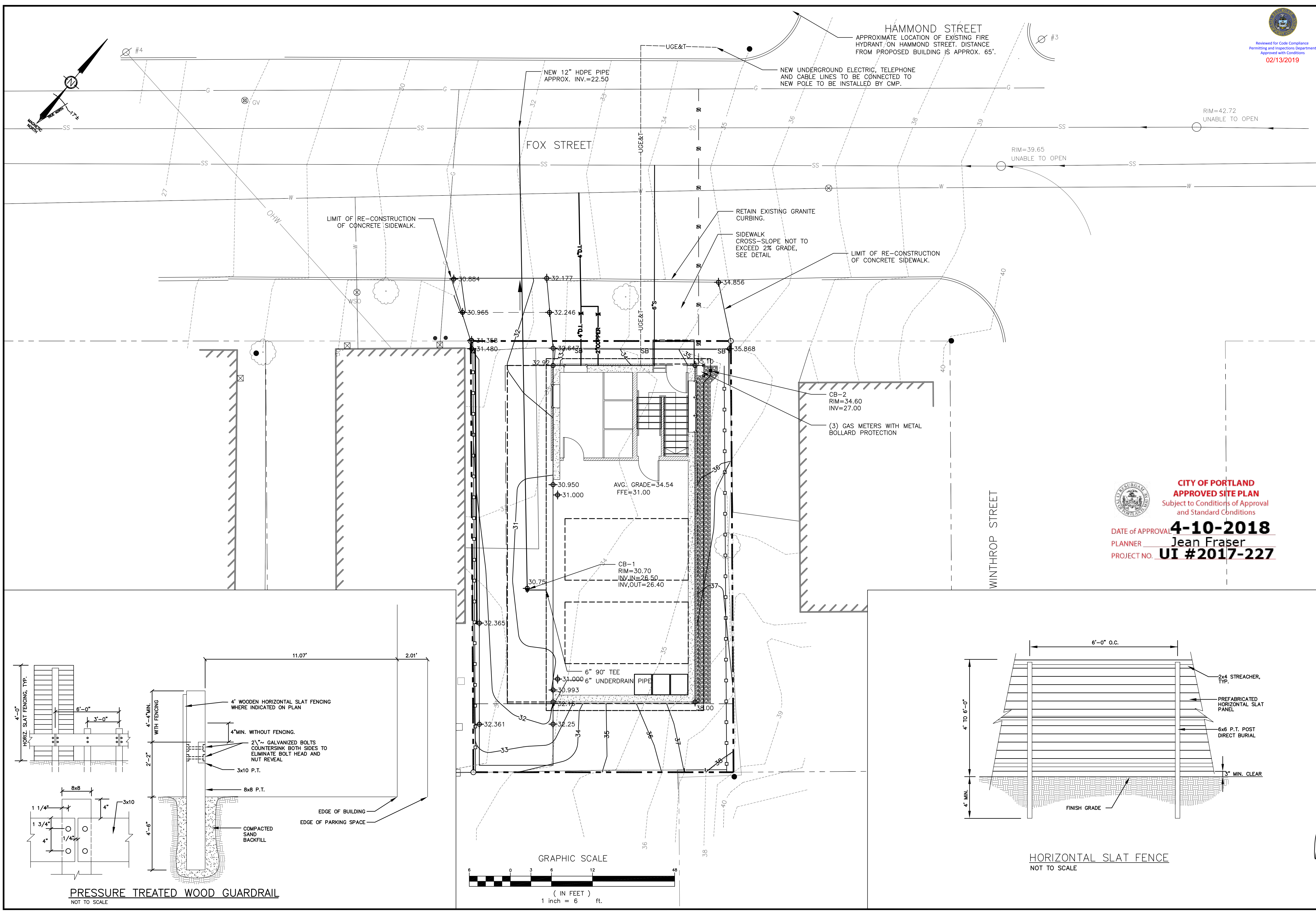
TM 12 BLOCK J LOT 12
N/F
MMD LLC
32617/17



TM 12 BLOCK J LOT 3



Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
02/13/2019



NO.	DATE	DESCRIPTION
1	04/20/18	ADDED NOTES PER FINAL REVIEW
2	06/08/18	REVISED FOR FINAL SIGNATURES
3	07/05/18	REVISED GAS METER AND FENCING
4	08/09/18	REVISED PER BUILDING DIMENSION CHANGE

PROJECT NAME: 30 FOX STREET
 PORTLAND
 MAINE
 SHEET NAME: GRADING & UTILITY PLAN

PROJECT NO. 17178
 DRAWING NO. 17178 073118 B
 FIELDBOOK:
 SCALE: 1"=6'
 DATE ISSUED: 03-26-18
 CITY OF PORTLAND
 PLANNER: Jean Fraser
 PROJECT NO. UI #2017-227

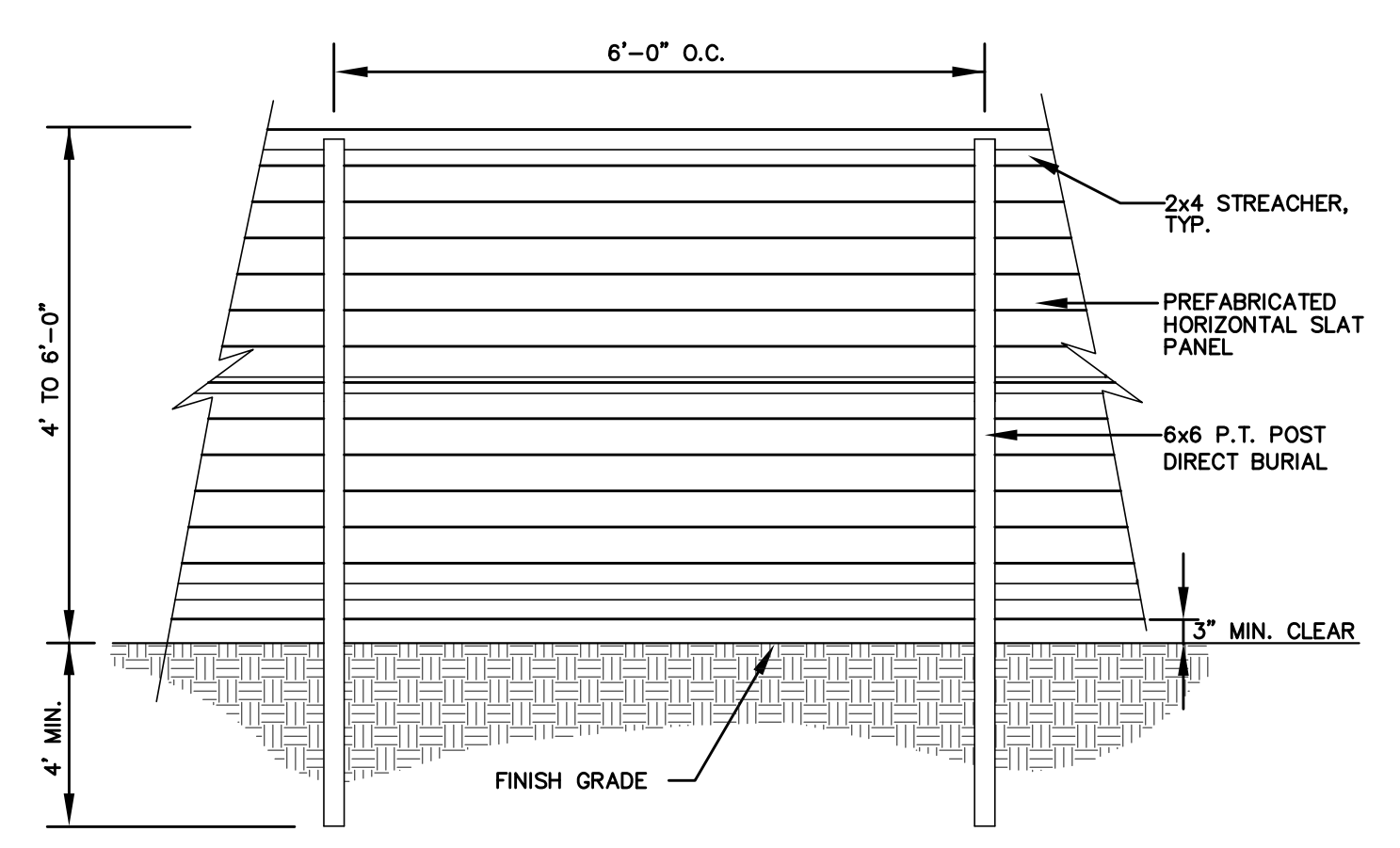
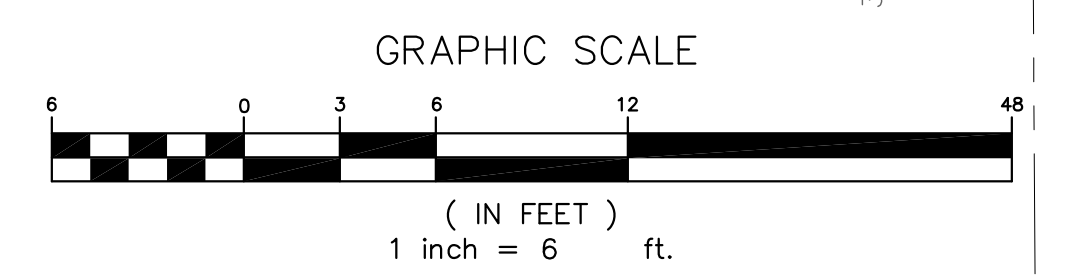
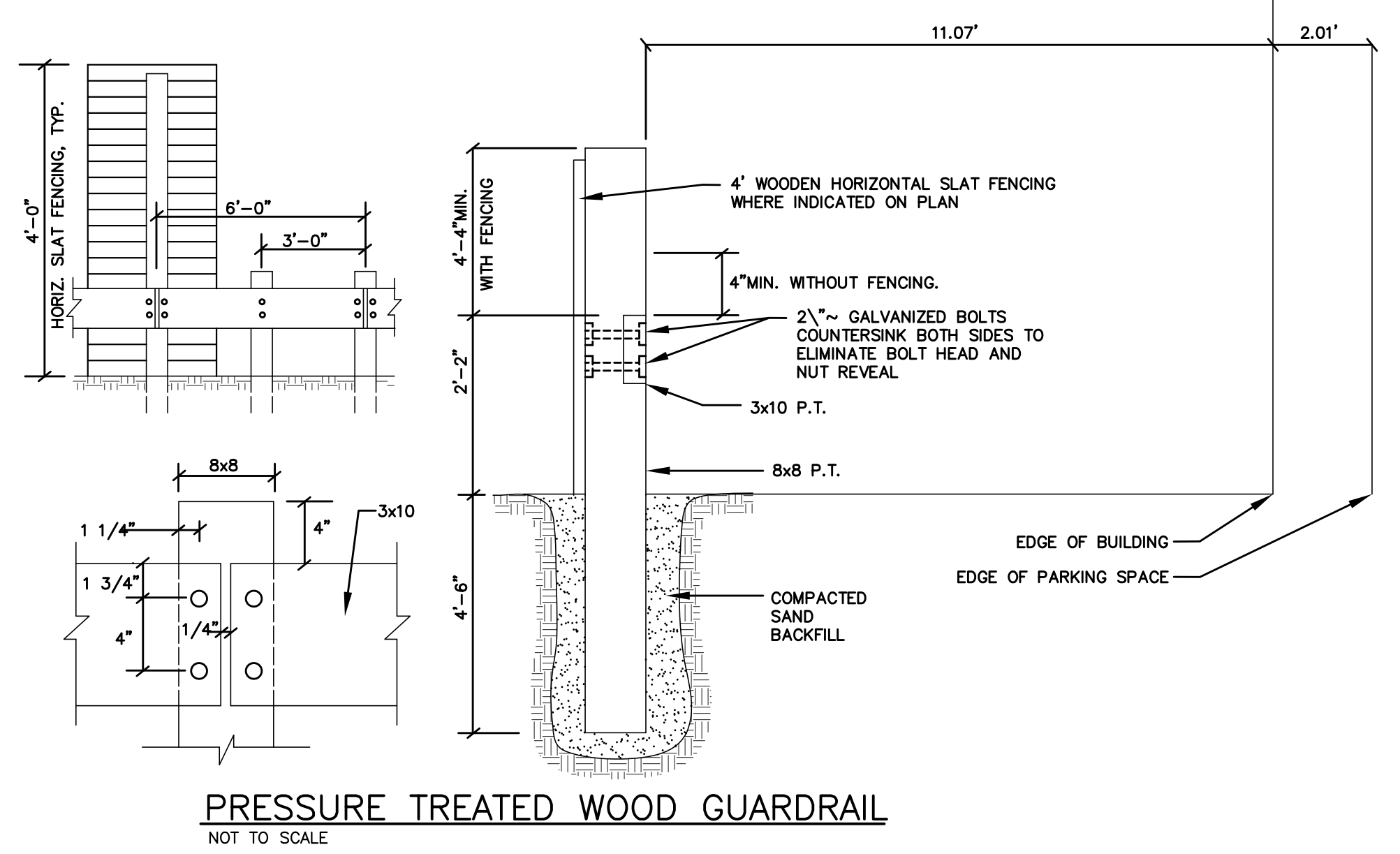


CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Conditions of Approval
 and Standard Conditions
 DATE OF APPROVAL: **4-10-2018**
 PLANNER: **Jean Fraser**
 PROJECT NO. **UI #2017-227**

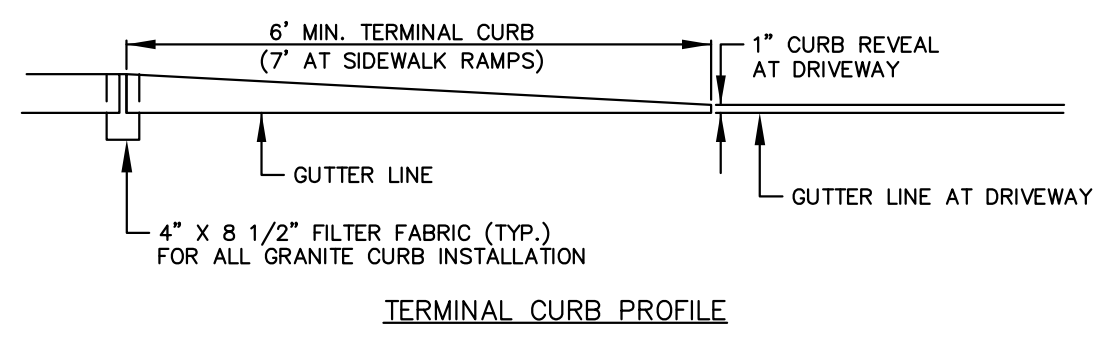
Plymouth Engineering, Inc.
 P.O. Box 46
 30 Lower Detroit Road
 Plymouth, Maine 04659
 Tel: (207) 287-2071 Fax: (207) 287-2130
 info@plymouthengineering.com
 www.plymouthengineering.com

STATE OF MAINE
 REGISTERED PROFESSIONAL ENGINEER
 License No. 10000
 SHEET 2 OF 4

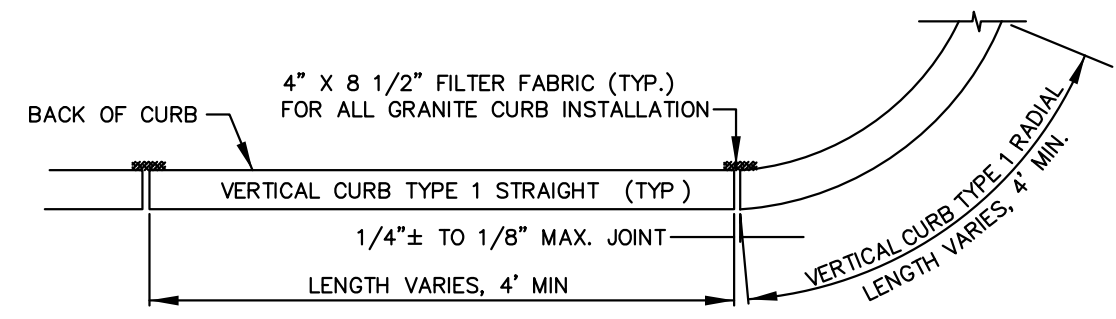
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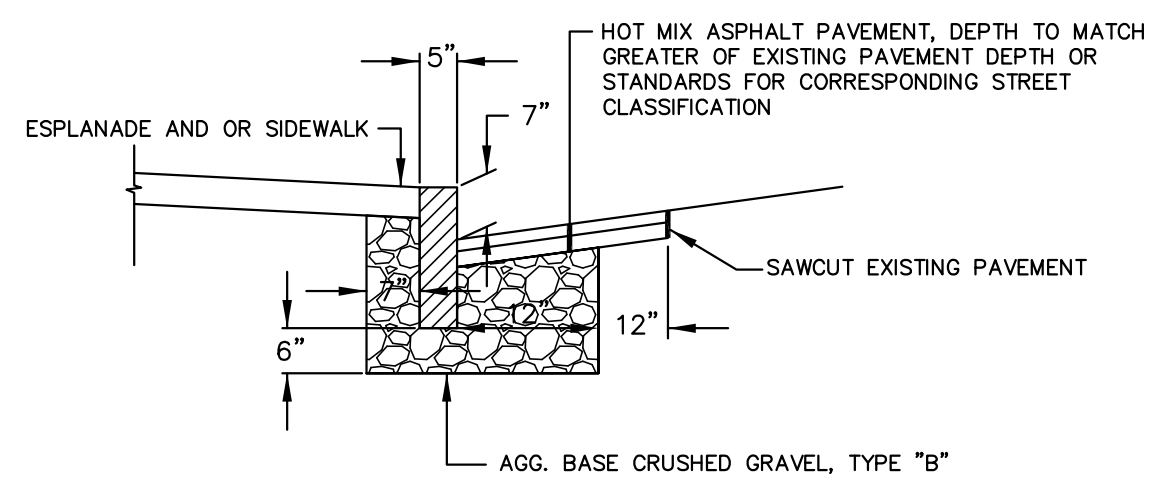
Aug 09, 2018 - 10:33am
 J:\2017\17178 - 32 Fox St. - Portland Bldg Arch\J. Drawings\CIVIL\17178 73118 B.dwg



TERMINAL CURB PROFILE

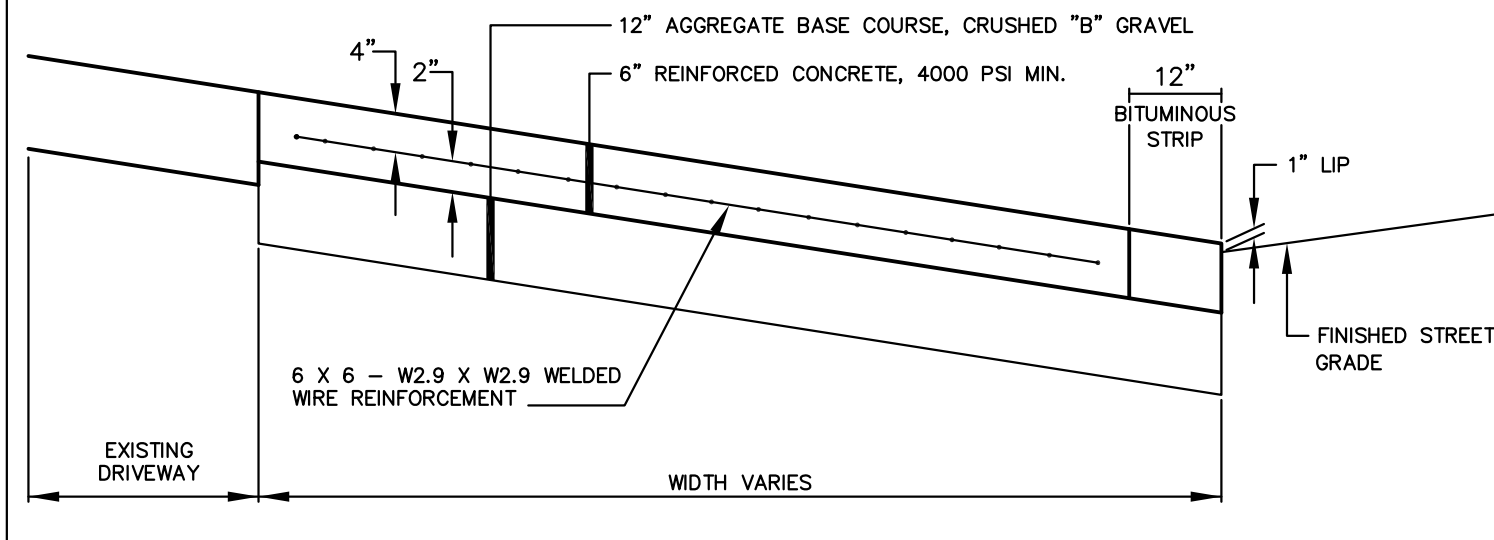


VERTICAL GRANITE CURB PLAN VIEW



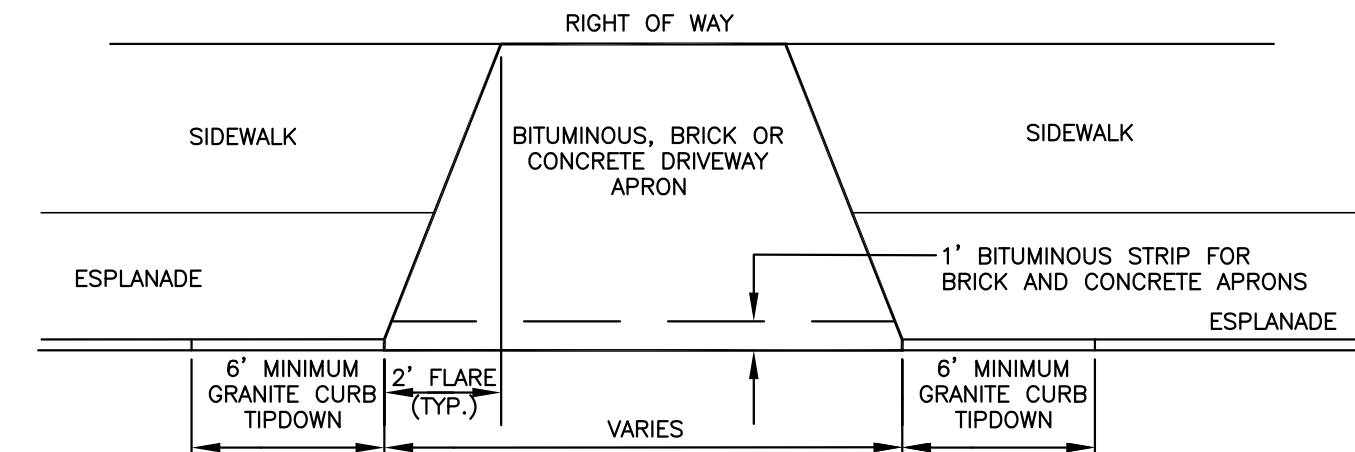
VERTICAL GRANITE CURB CROSS SECTION

VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREETS
NOT TO SCALE

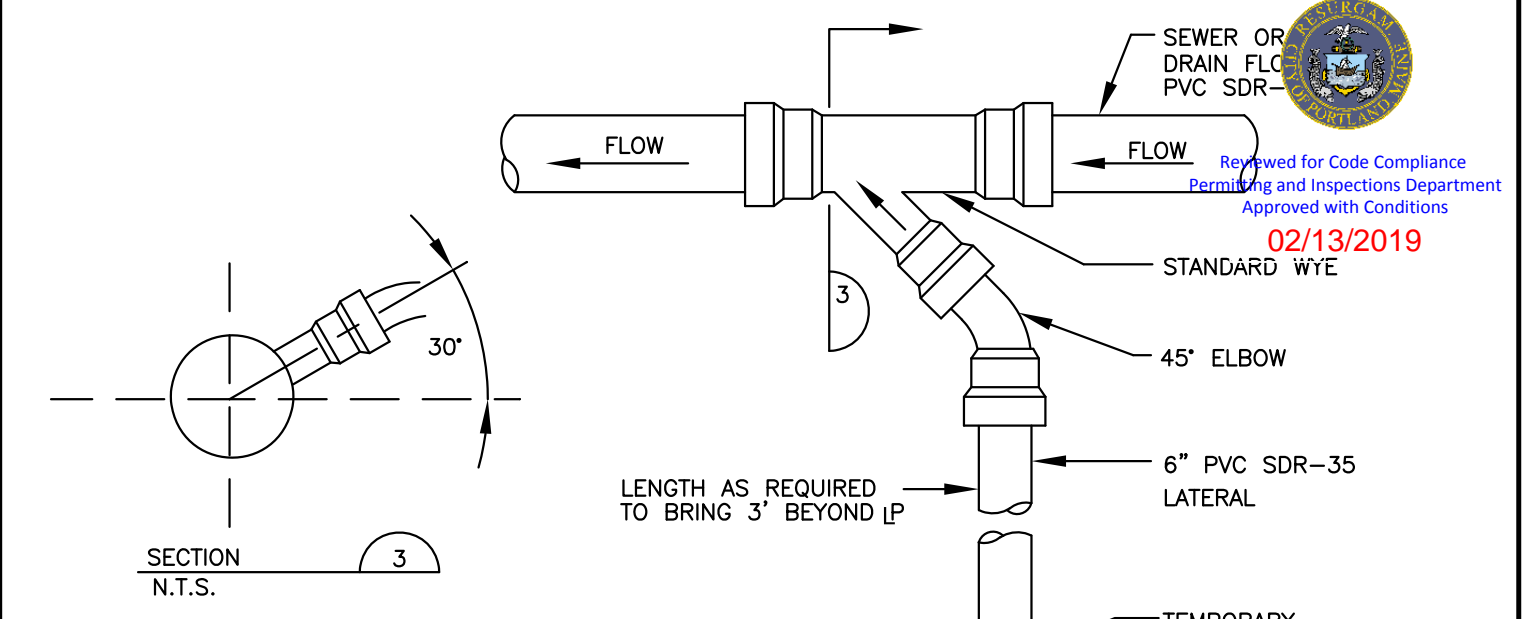


REINFORCED CONCRETE DRIVEWAY APRON
NOT TO SCALE

NOTE:
MATCH GRADE OF EXISTING DRIVEWAY AT R.O.W. LINE, EXCEPT WHEN DIRECTED OTHERWISE BY CITY ENGINEER.

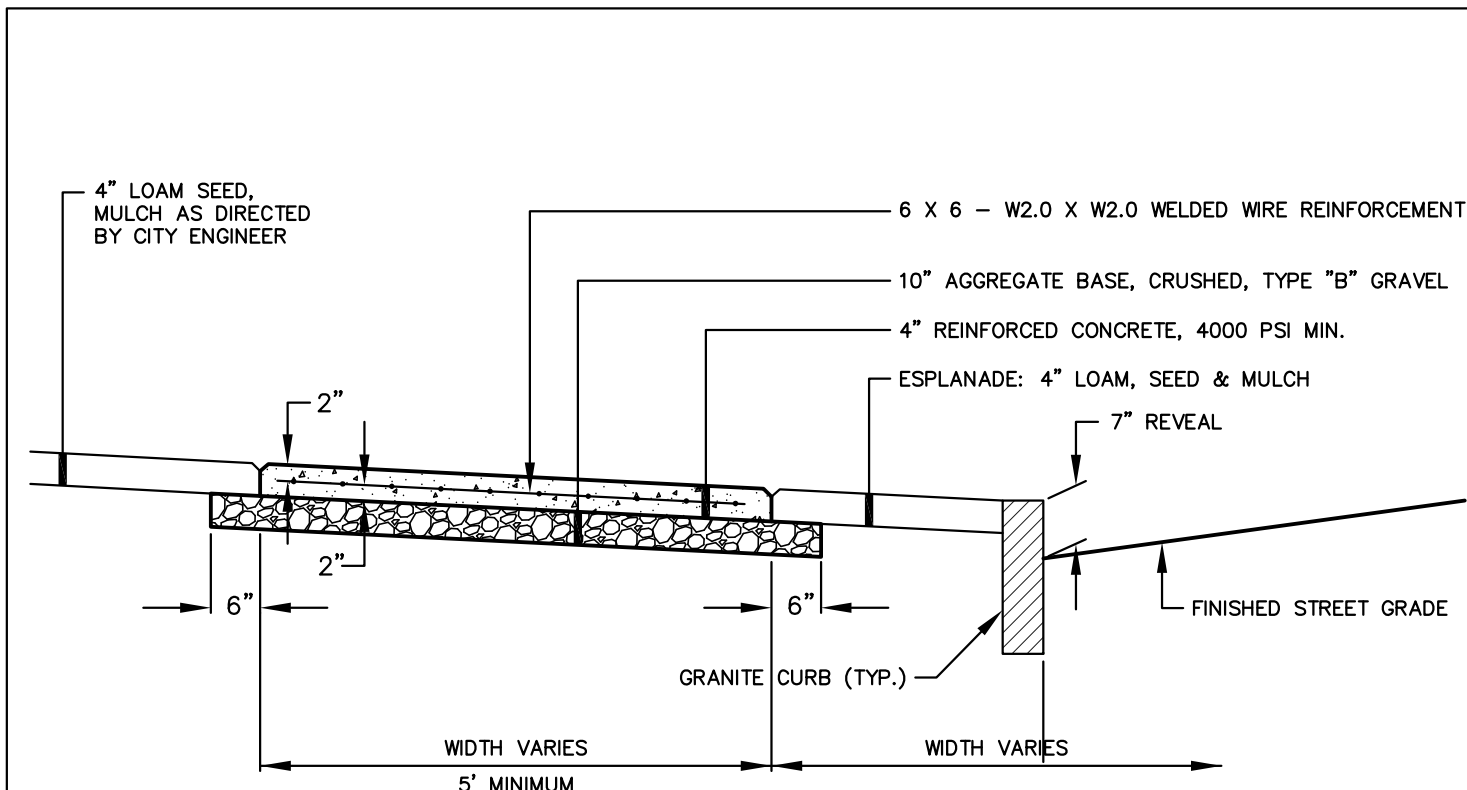


DRIVEWAY APRON LAYOUT
NOT TO SCALE

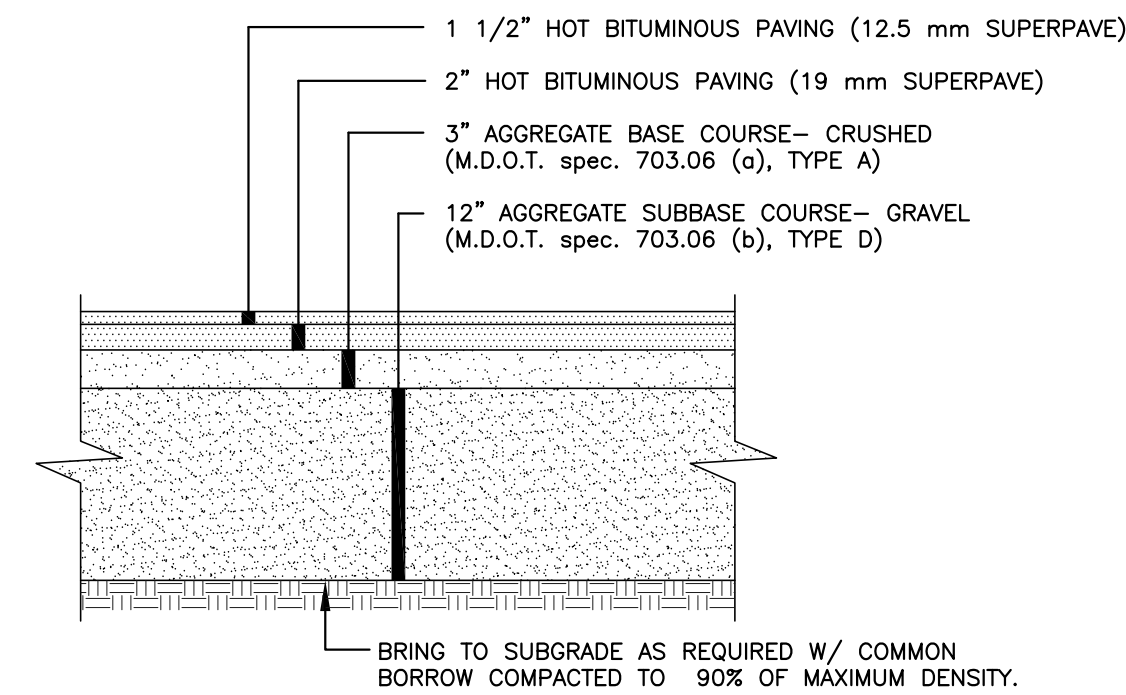


NOTES:
1. INSTALL BACKFLOW VALVE WITH RUBBER SEAL IN EACH FOUNDATION DRAIN SERVICE.
2. IF SUMP PUMP IS UTILIZED INSTALL CHECK VALVE AT SUMP PUMP.

SEWER / FOUNDATION DRAIN SERVICE CONNECTION
NOT TO SCALE

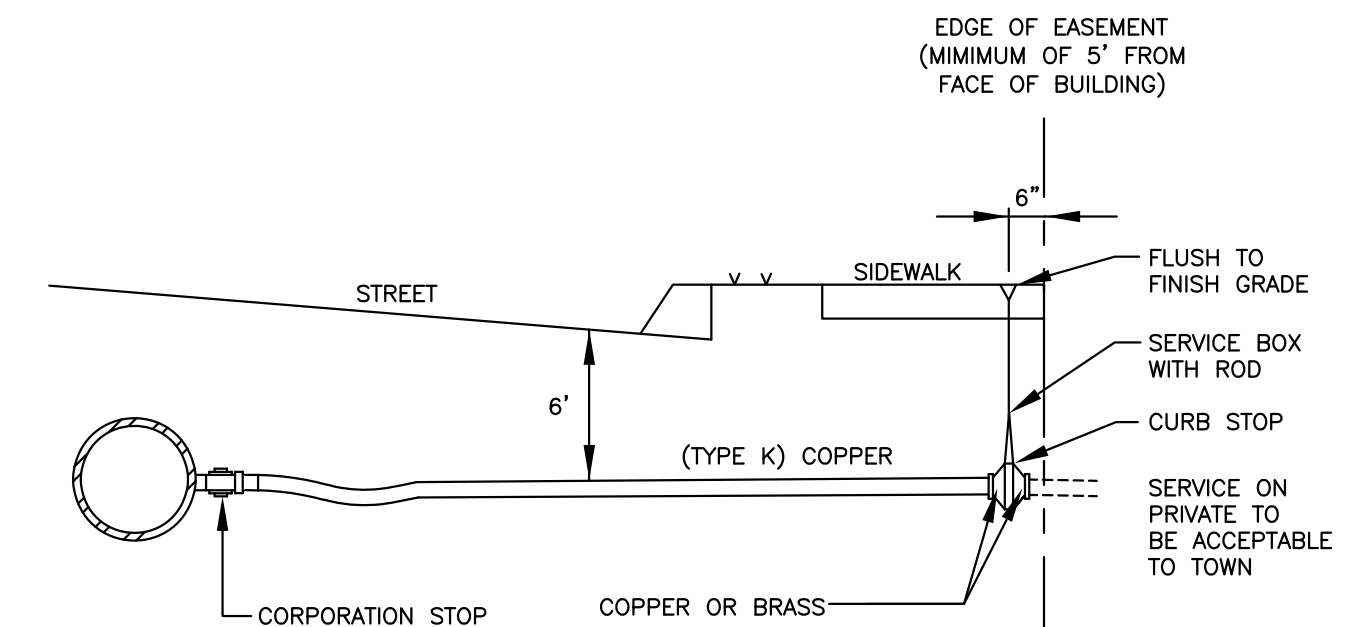


REINFORCED CONCRETE SIDEWALK
NOT TO SCALE

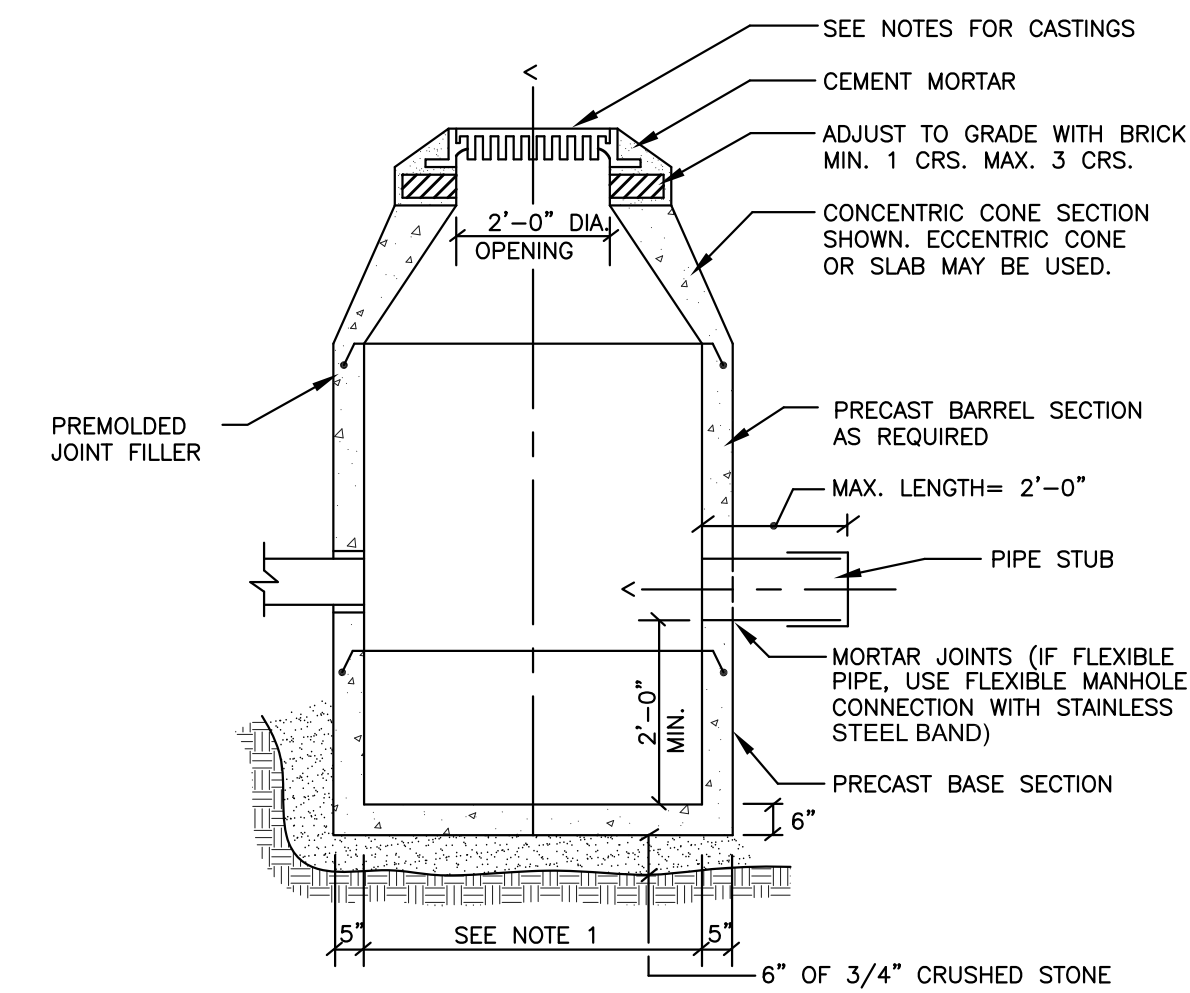


NOTES:
1. COMPACT GRAVEL SUBBASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

TYPICAL DRIVEWAY/PARKING AREA SECTION
NOT TO SCALE

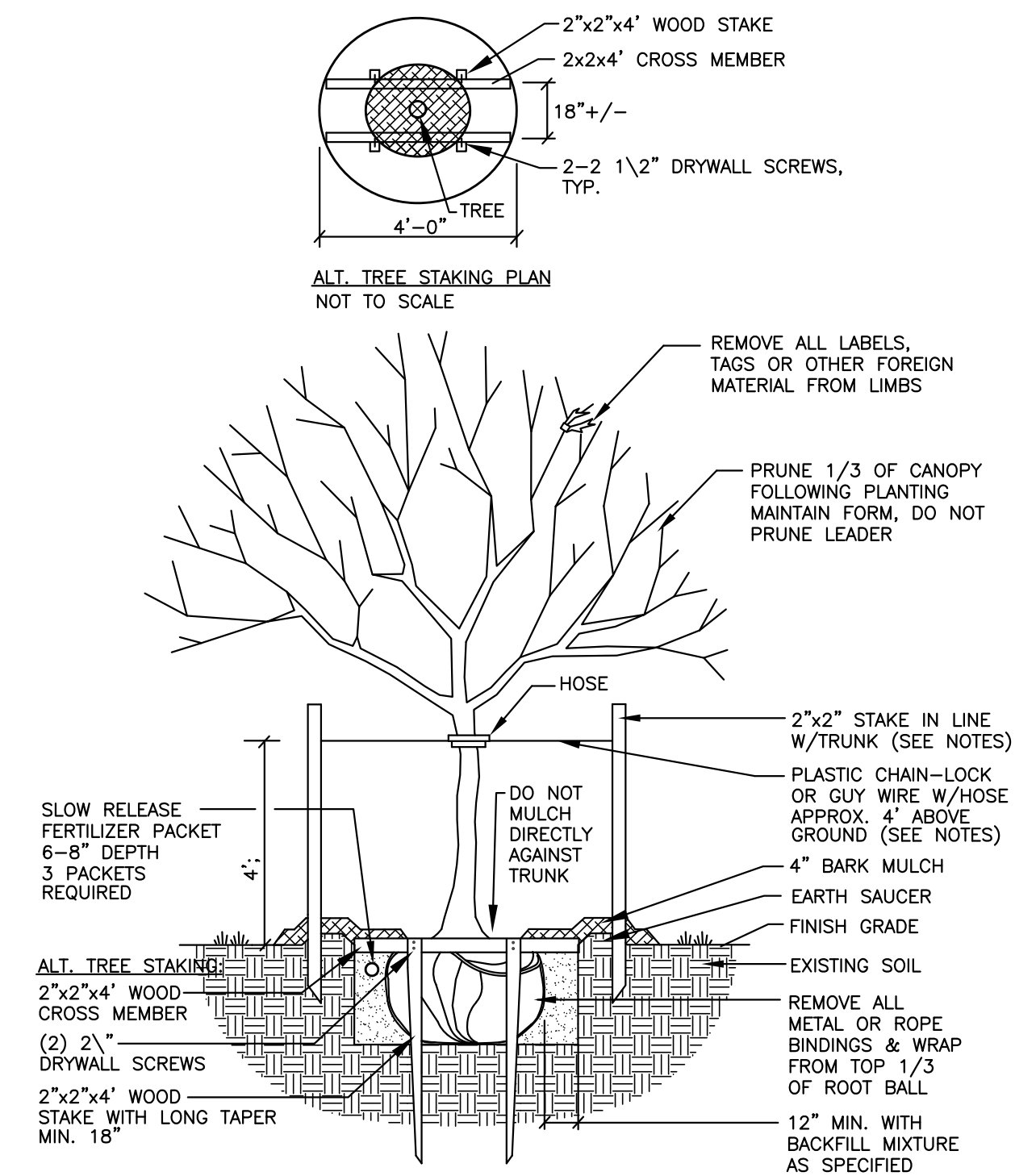


TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



NOTES:
1. 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
4. CATCH BASIN FRAME AND GRATE TO BE ETHERIDGE FOUNDRY SA248, TYPE M OR C OR APPROVED EQUAL.
5. DRAINAGE MANHOLE FRAME AND COVER TO BE ETHERIDGE FOUNDRY M248S OR APPROVED EQUAL. COVER SHALL BE MARKED "DRAIN".

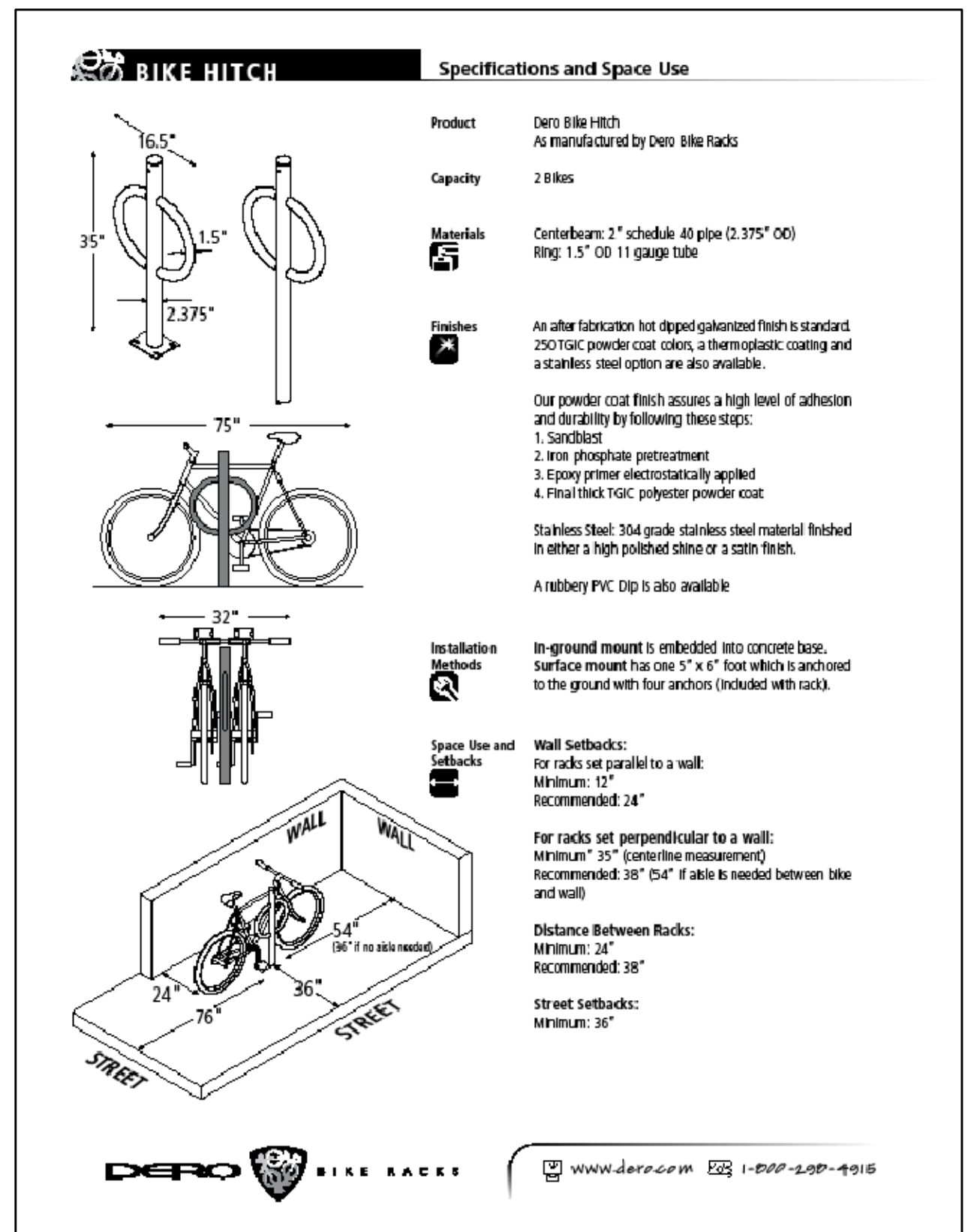
TYPICAL CATCH BASIN
NOT TO SCALE



NOTES:
INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
1. THE TREE IS OF SUBSTANTIAL SIZE.
2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

DECIDUOUS TREES 2" TO 4" CALIPER
NOT TO SCALE

Section 1 - Transportation Systems and Street Design
City of Portland Technical Manual
Adopted 7-19-10 Rev. 6-17-11; 7-21-11



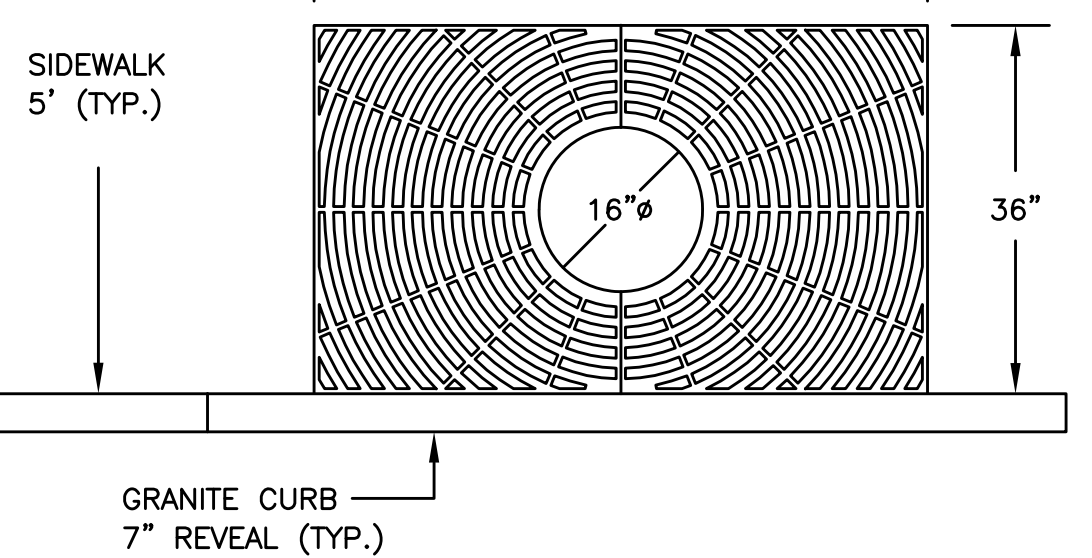
DATE: AUGUST 2009
REVISED:
CITY OF PORTLAND, MAINE TECHNICAL STANDARDS MANUAL
TRANSPORTATION SYSTEMS AND STREET DESIGN SECTION I
BICYCLE RACK SPECIFICATION - BIKE HITCH
FIGURE: I-33a
66

Section 4 - Landscaping and Landscape Preservation
City of Portland Technical Manual 134134
Adopted 7-19-10 Rev. 6-17-11

NOTES:
16" EXPANDABLE TREE OPENING. 0.25" SLOT OPENINGS.
SIDEWALK MATERIAL PER CITY SIDEWALK MATERIAL POLICY.
WHEN THE TREE GRATE IS INSTALLED IN A CONCRETE SIDEWALK, A NOTCH MUST BE INSTALLED ALONG THE EDGE TO HOLD THE GRATE, WHEN INSTALLED IN A BRICK SIDEWALK IT REQUIRES A FRAME TO BE INSTALLED TO HOLD THE GRATE IN PLACE.

CITY OF PORTLAND APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions

DATE OF APPROVAL: 4-10-2018
PLANNER: Jean Fraser
PROJECT NO: UI #2017-227



EXPANDABLE TREE GRATE NEENAH MODEL R-8810
NOT TO SCALE

DATE: MARCH 2011
REVISED:
CITY OF PORTLAND, MAINE TECHNICAL STANDARDS MANUAL
STDS FOR LANDSCAPING AND PRESERVATION OF EXISTING VEGETATION SECTION IV
EXPANDABLE TREE GRATE FOR NARROW RESIDENTIAL URBAN STREETS
FIGURE: IV-4A
134

NO.	DATE	DESCRIPTION
1	04/20/18	ADDED NOTES PER FINAL REVIEW
2	06/08/18	REVISED FOR FINAL SIGNATURES
3	07/05/18	REVISED GAS METER AND FENCING
4	08/09/18	REVISED PER BUILDING DIMENSION CHANGE

PROJECT NAME: 30 FOX STREET
PROJECT NO: 17178
DRAWING NO: 17178 073118 B
FIELDBOOK:
SCALE:
DATE ISSUED: 03-26-18
CITY OF PORTLAND
SHEET NAME: PORTLAND
SHEET NO: 4

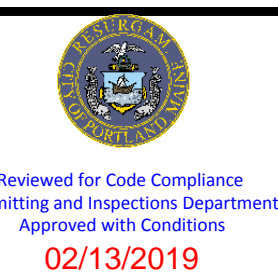
REVISIONS

PLANNING ENGINEERING, INC.
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Portland, Maine 04869
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info@plymouthengineering.com
www.plymouthengineering.com

STATE OF MAINE
PLANNING ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEER
NO. 10000
JANUARY 2018

DRRAWINGS NOT SEALED ARE FOR PLANNING PURPOSES ONLY AND ARE NOT APPROVED FOR PERMITTING, BIDDING OR CONSTRUCTION
SHEET 4 OF 4

C4

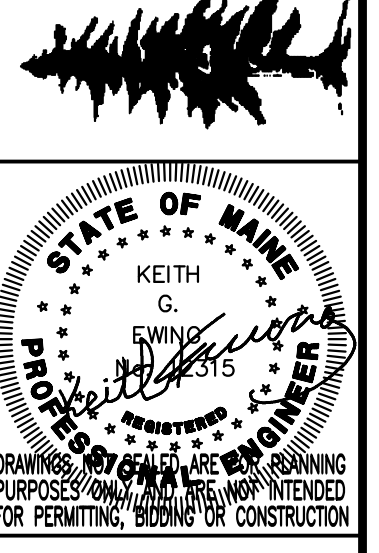


NO.	DATE	DESCRIPTION
1	08/09/18	REVISED STRUCTURAL CHANGES
2	01/17/19	REVISED STRUCTURAL CHANGES

PROJECT NAME: 30 FOX STREET
 PORTLAND, MAINE
 SHEET NAME: FOUNDATION PLAN

RECORDED: NESH
 DRAWN: DFV
 CHECKED: KGE
 APPROVED: KGE
 PROJECT NO: 1717B
 DRAWING NO: 1717BS
 FIELD NO: 1717BS
 SCALE: 1/2"=1'-0"
 DATE ISSUED: MAY 10, 2017

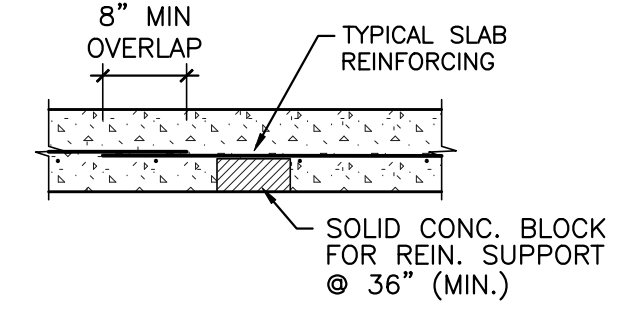
PLUMBOOTH Engineering, Inc.
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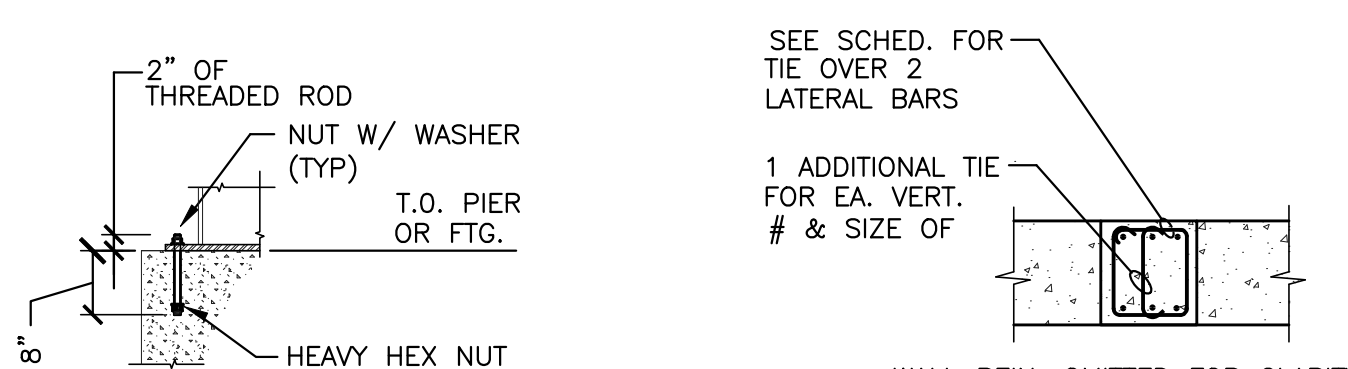
PIER SCHEDULE		
Pier Mark	Pier Size W x D	Pier Reinf.
P-1	1'-0"x1'-3"	4-#6's w/ #3 TIES @ 12" O.C.

SEE DETAIL 8, 10/S1 FOR FOUNDATION ORIENTATION AND DETAILS 5,6/S1 FOR PILASTER
LEGEND
 [P-1] PIER MARK - SEE SCHEDULE THIS SHEET
 [95'-0"] BOTTOM OF FOOTING ELEVATION
 T.O.W. TOP OF WALL ELEVATION
 T.O.P. TOP OF PILASTER ELEVATION
 V.I.F. VERIFY IN FIELD

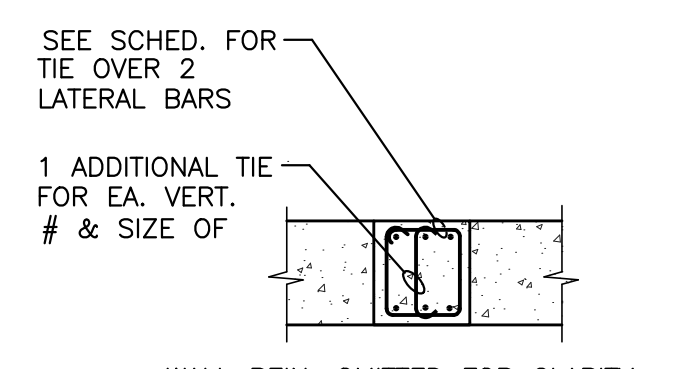
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 SCALE: 1/2"=1'-0"



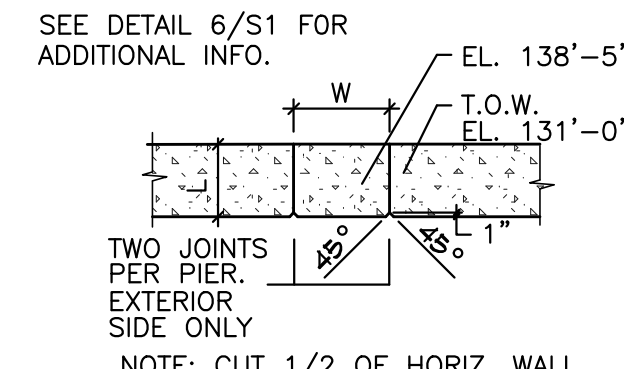
REINF. SUPPORT DETAIL 3
 SCALE: 1/2"=1'-0"



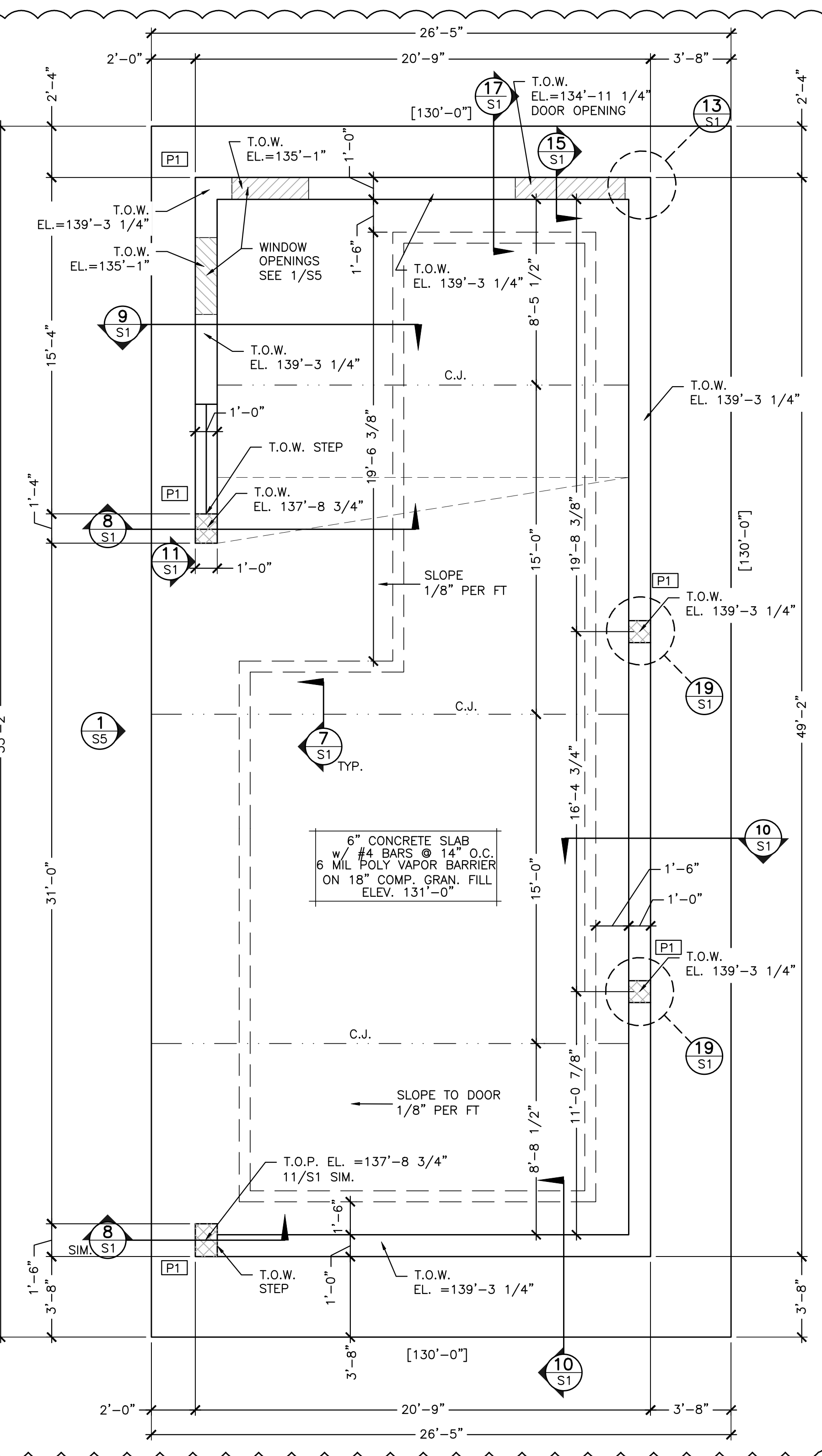
1/2" ANCHOR BOLT DETAIL 4
 SCALE: 1/2"=1'-0"



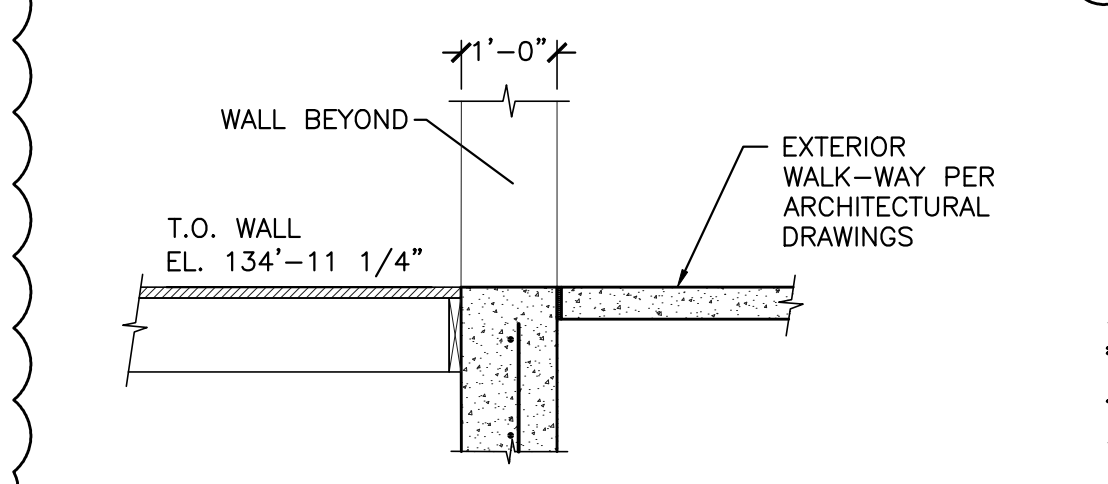
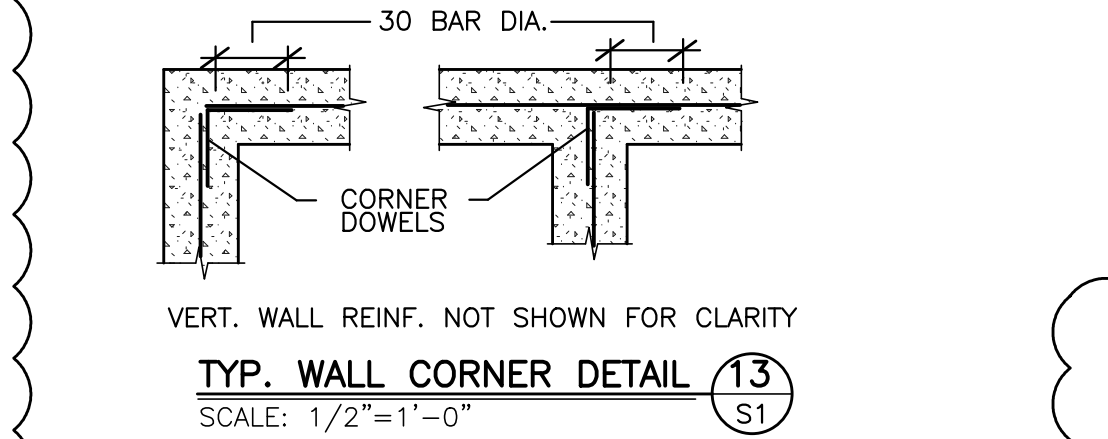
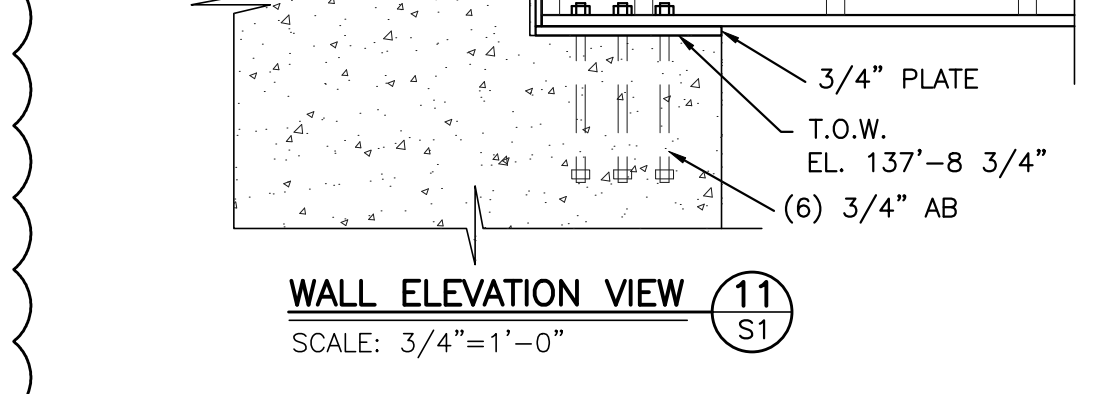
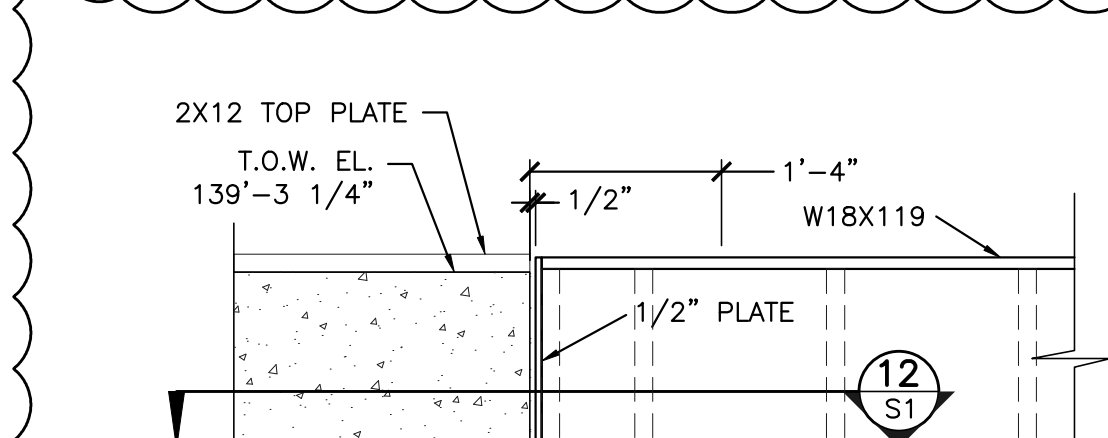
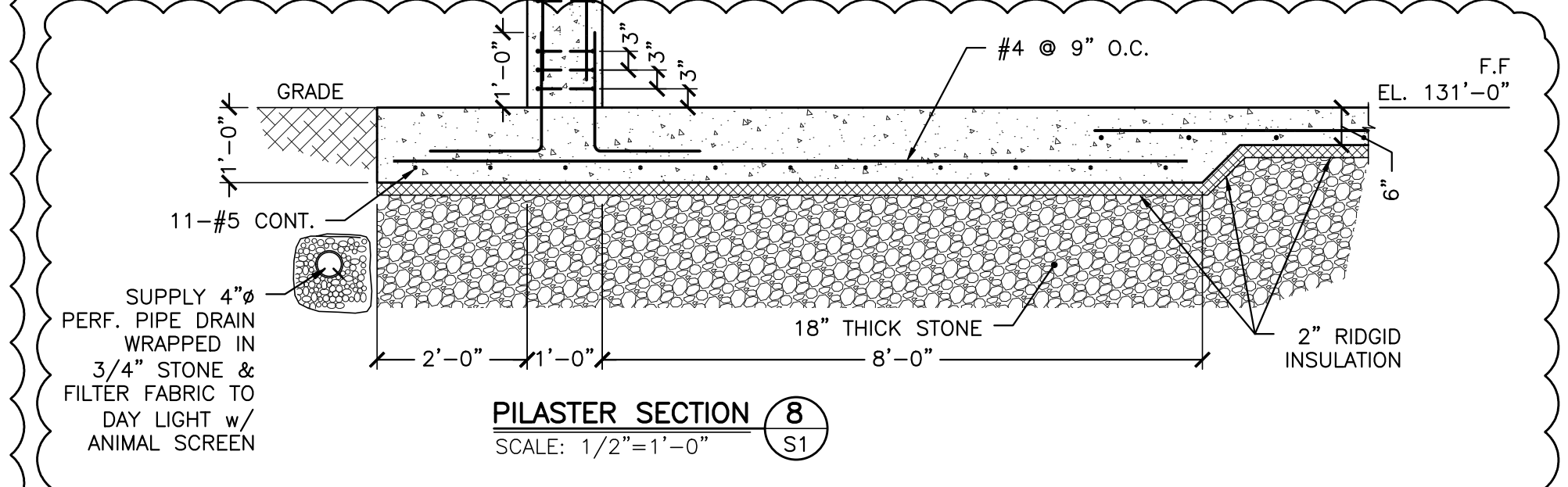
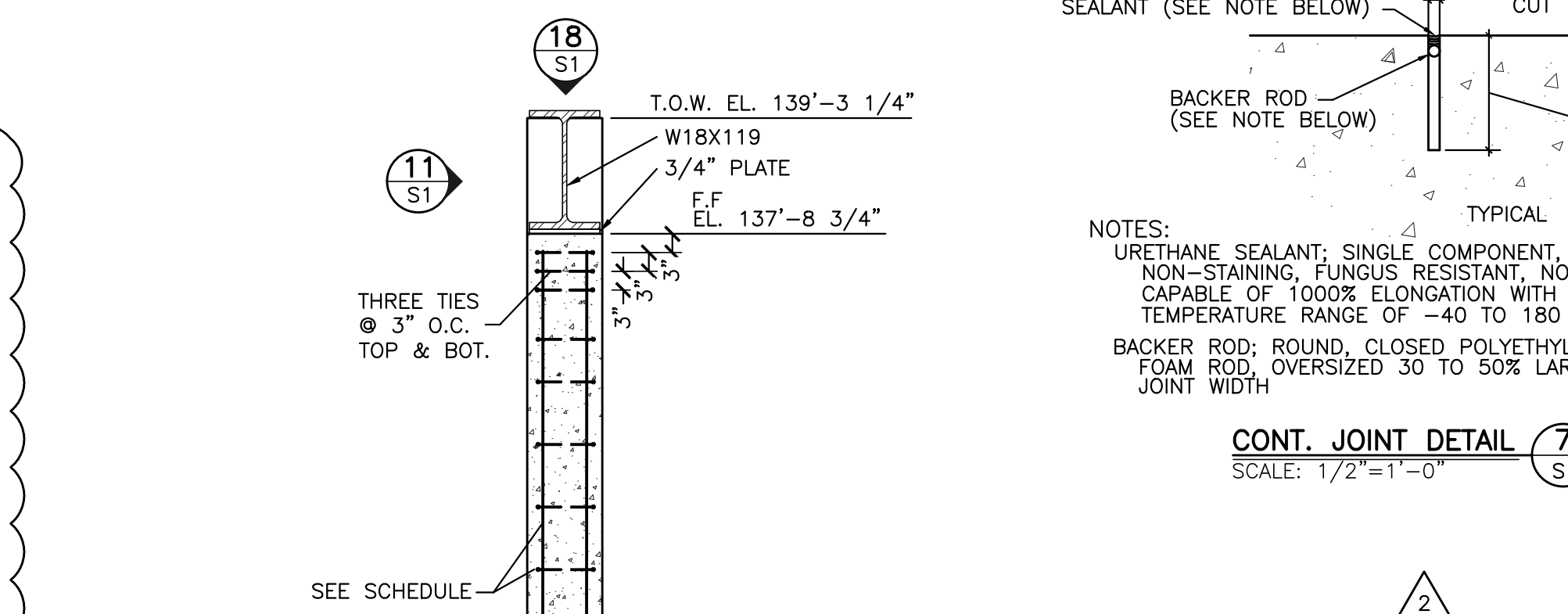
TYP. PIER REIN. DETAIL 5
 SCALE: 1/2"=1'-0"



TYP. PIER DETAIL 6
 SCALE: 1/2"=1'-0"

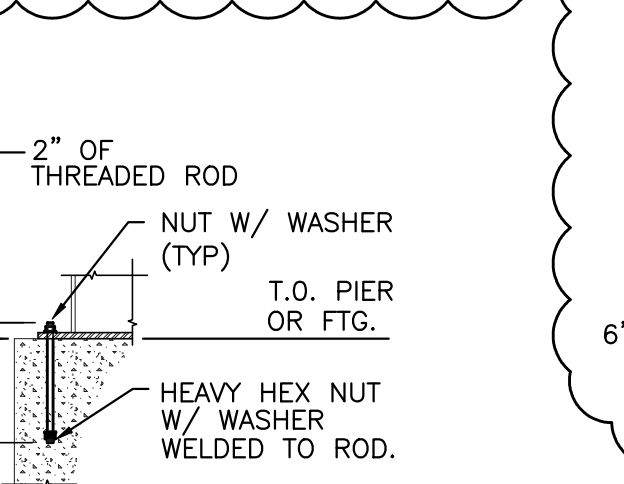


FOUNDATION PLAN 1
 SCALE: 1/4"=1'-0"

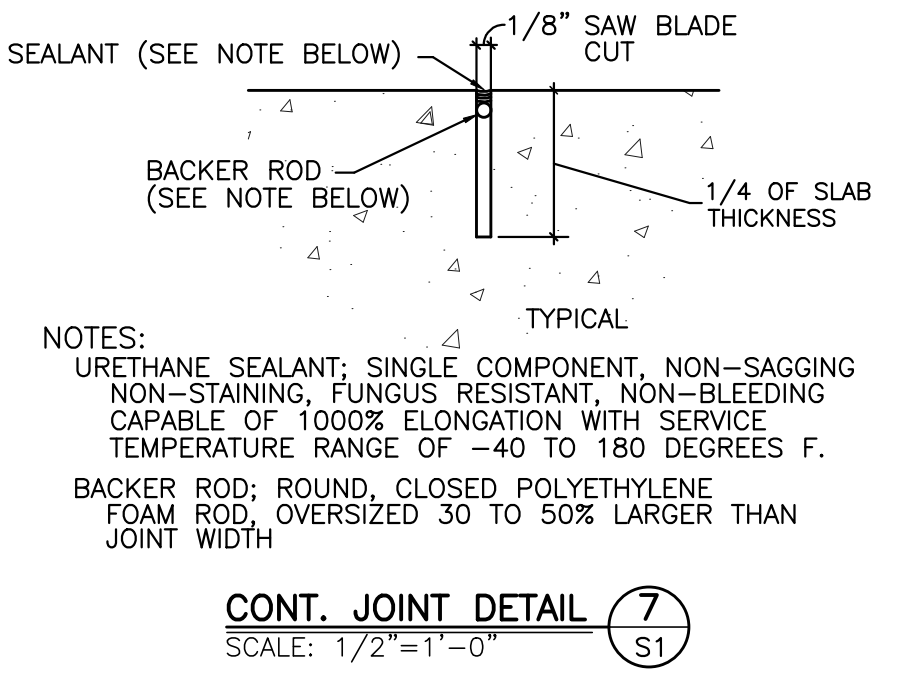


TYP. PASS. DOOR SECTION 15
 SCALE: 1/2"=1'-0"

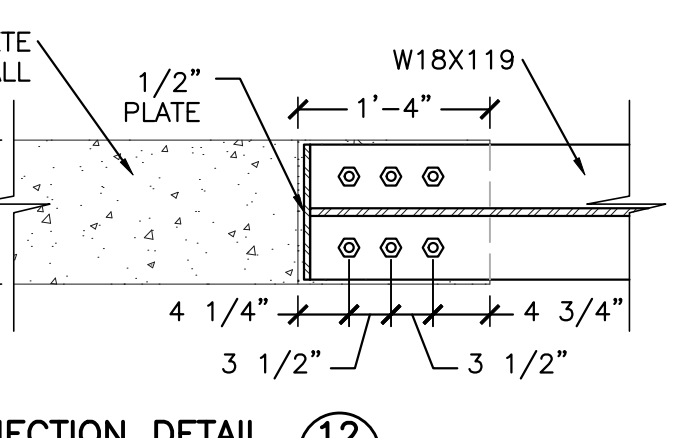
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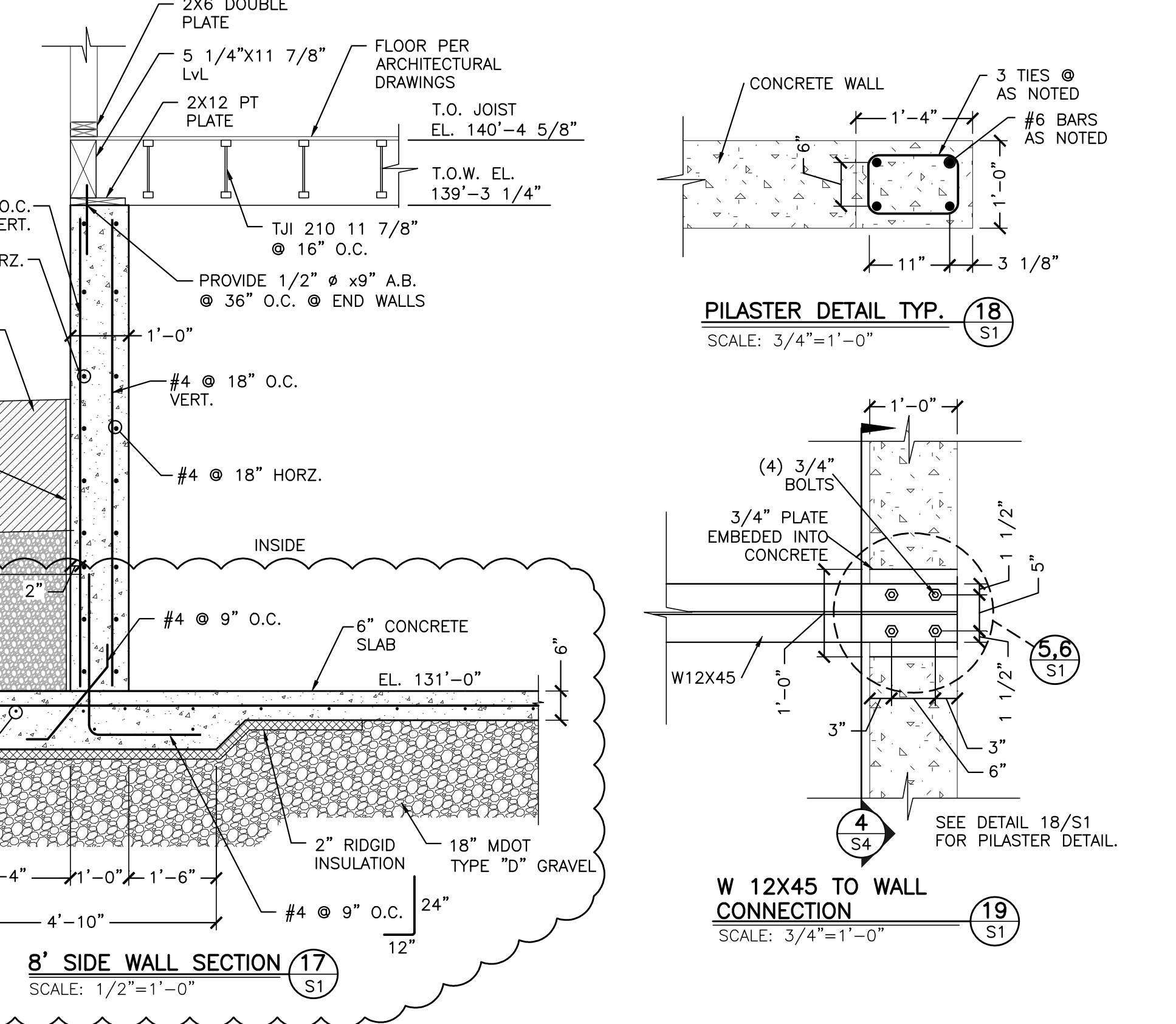
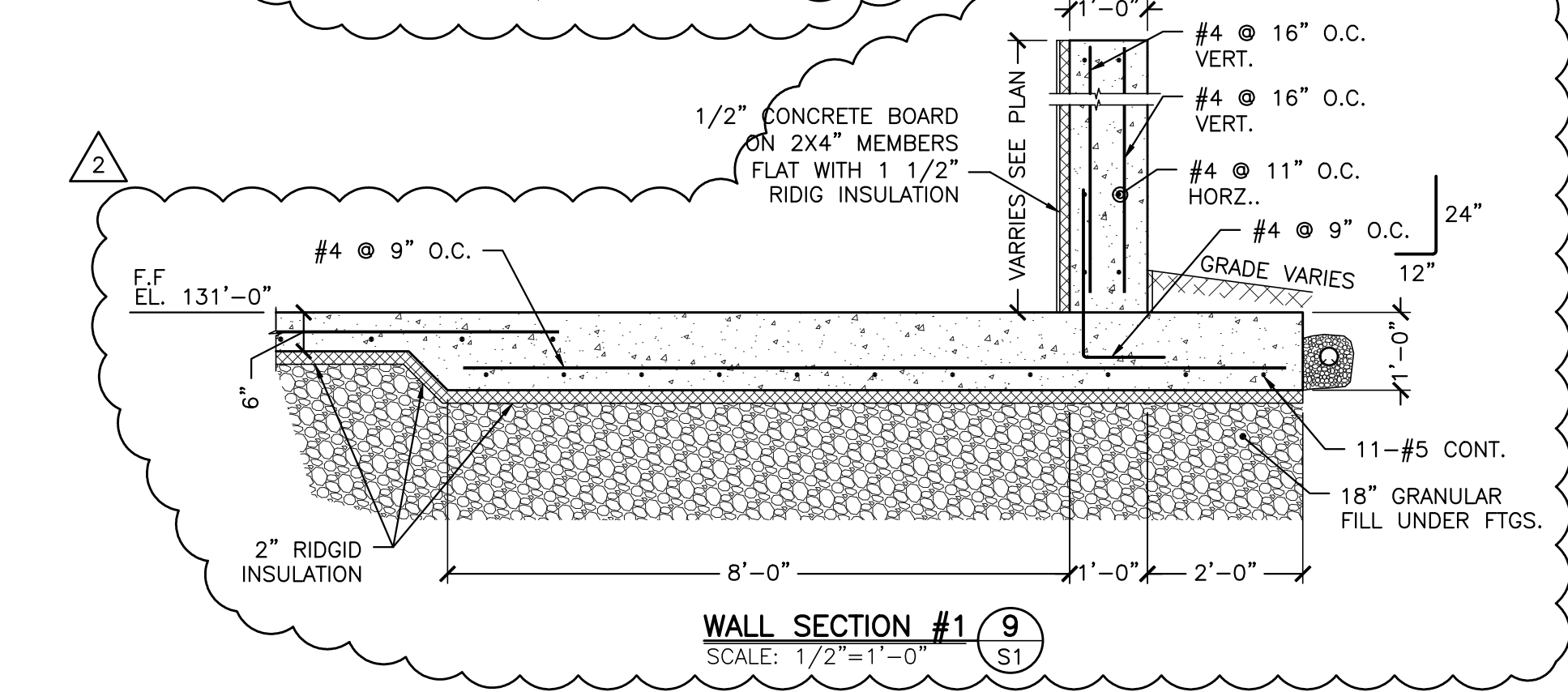
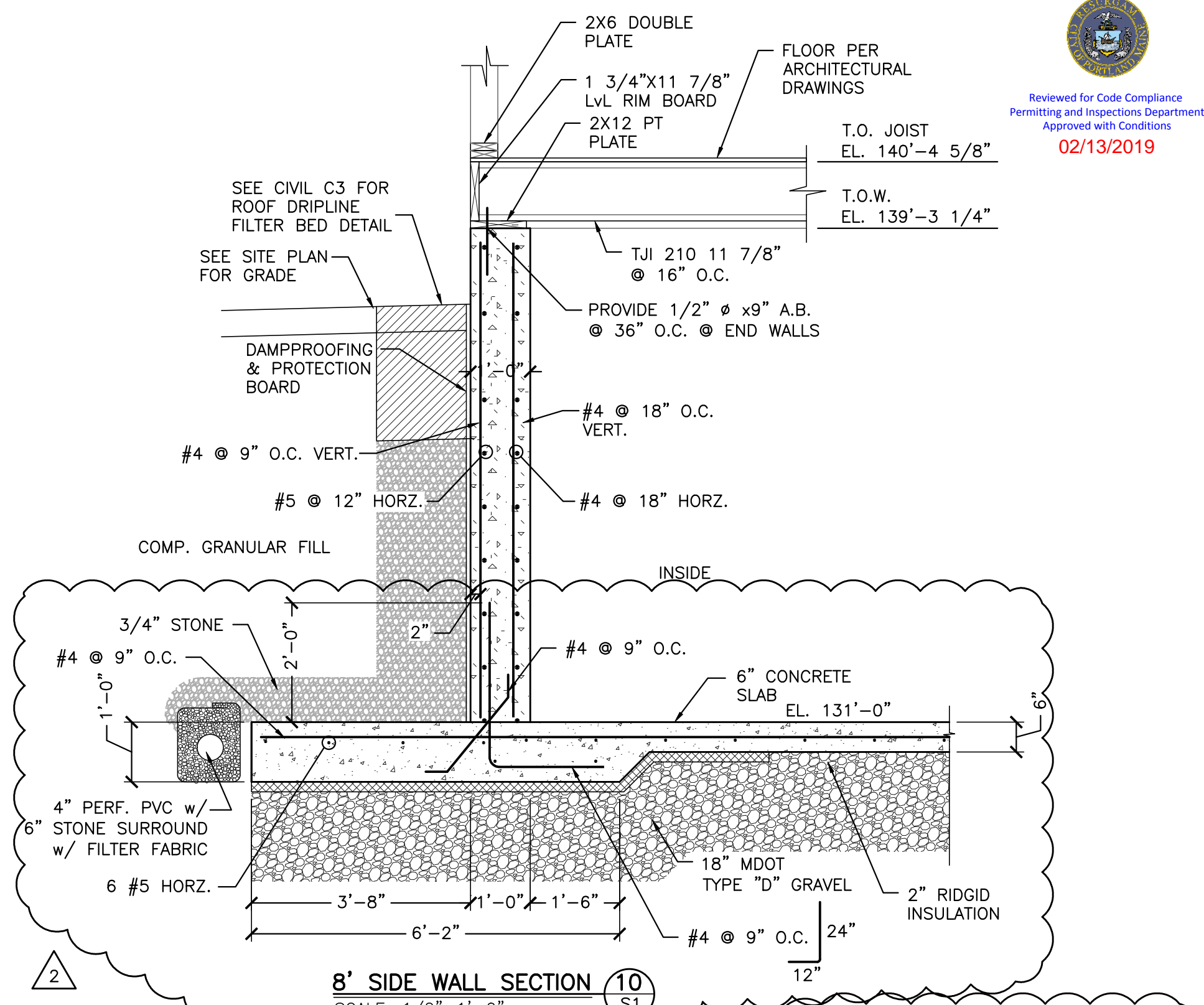
3/4" ANCHOR BOLT DETAIL 16
 SCALE: 1/2"=1'-0"



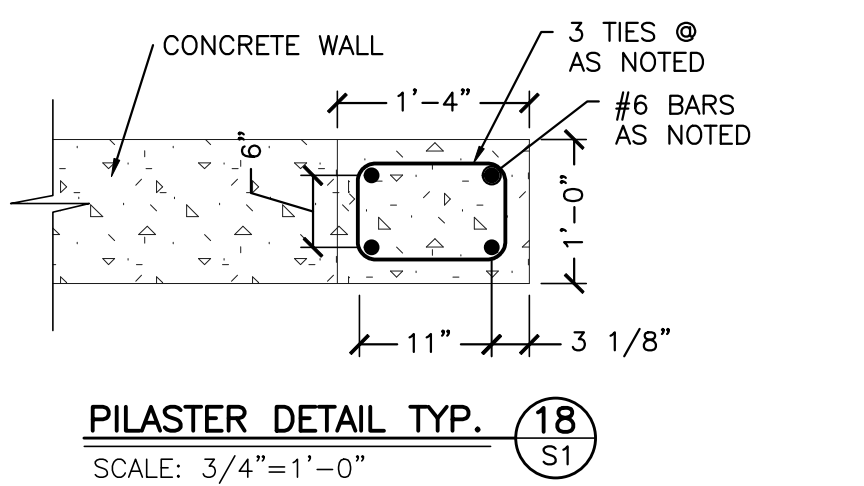
CONT. JOINT DETAIL 7
 SCALE: 1/2"=1'-0"



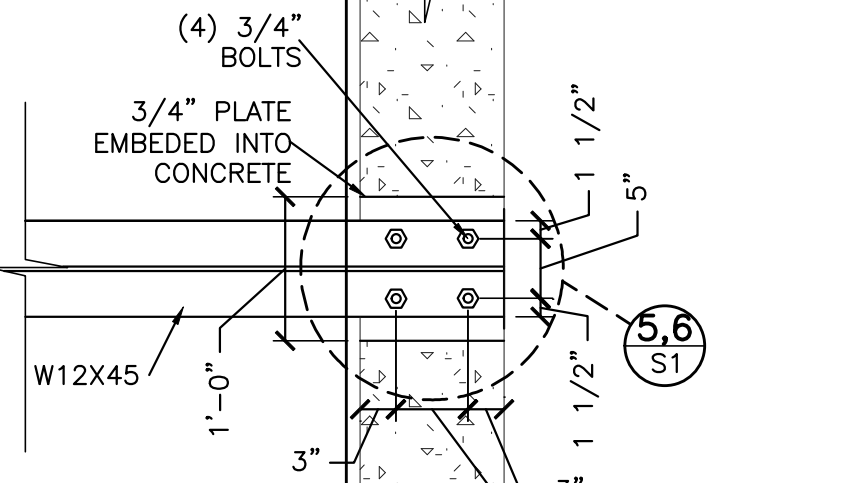
CONNECTION DETAIL 12
 SCALE: 3/4"=1'-0"



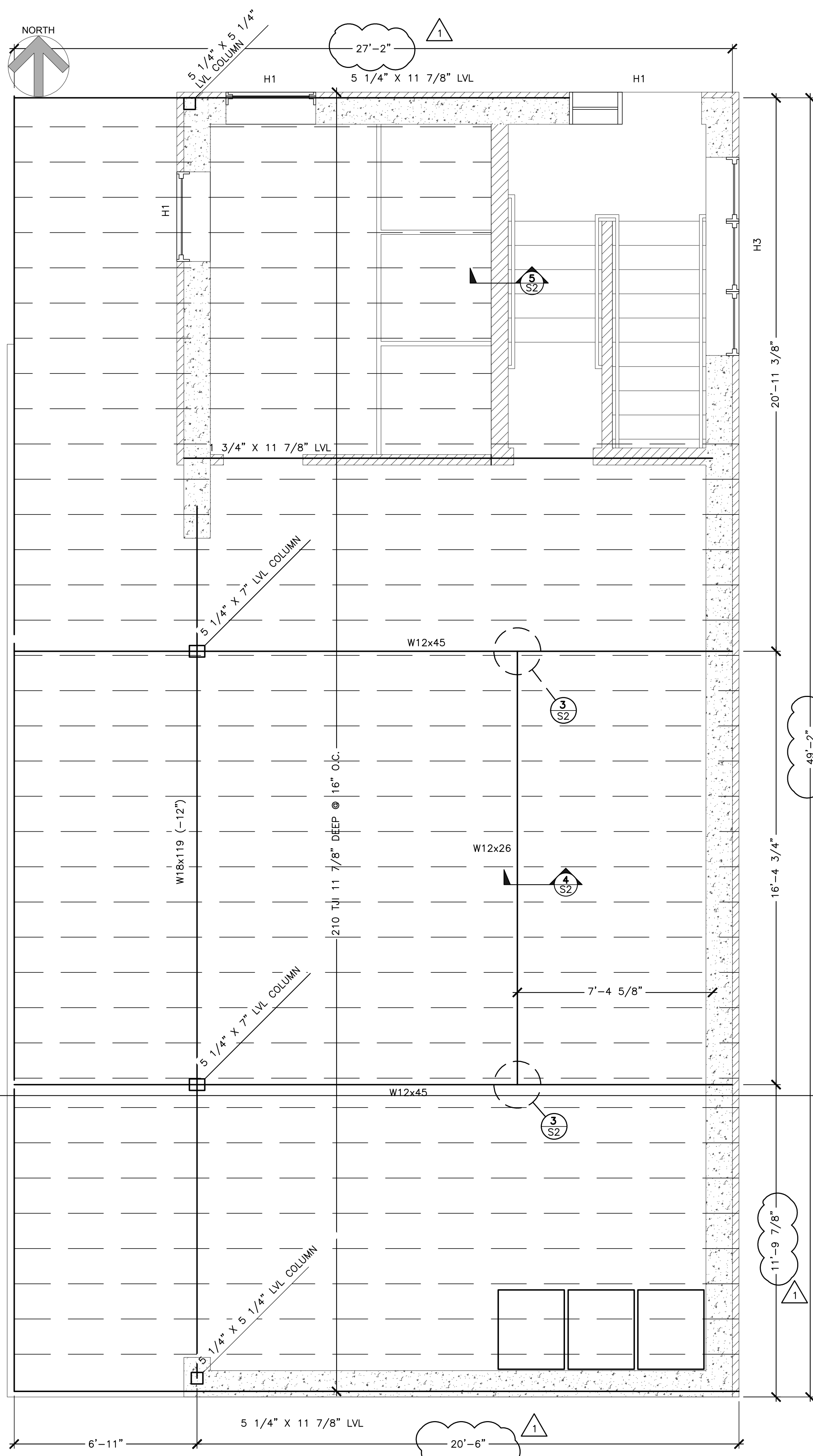
8" SIDE WALL SECTION 17
 SCALE: 1/2"=1'-0"



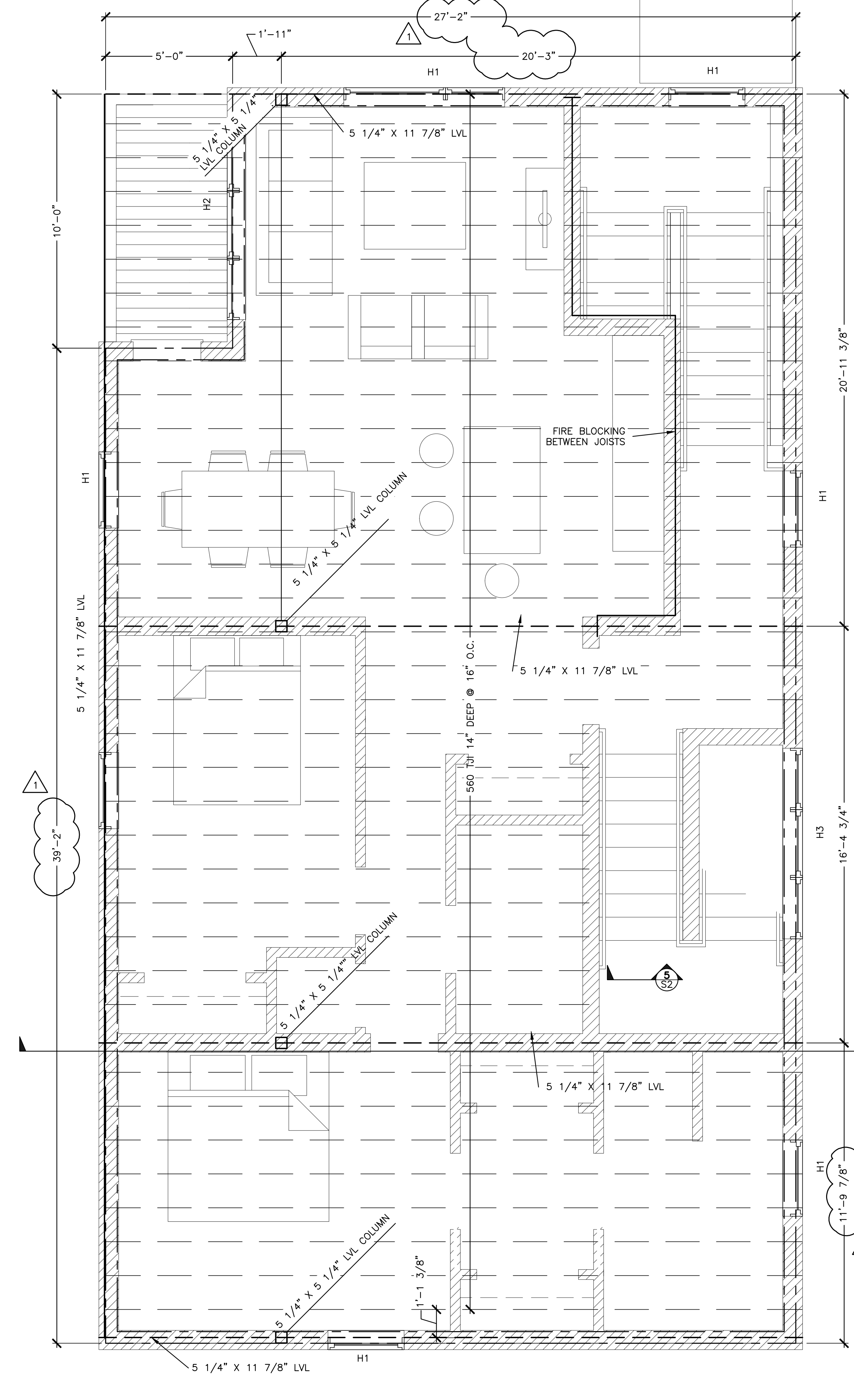
PILASTER DETAIL TYP. 18
 SCALE: 3/4"=1'-0"



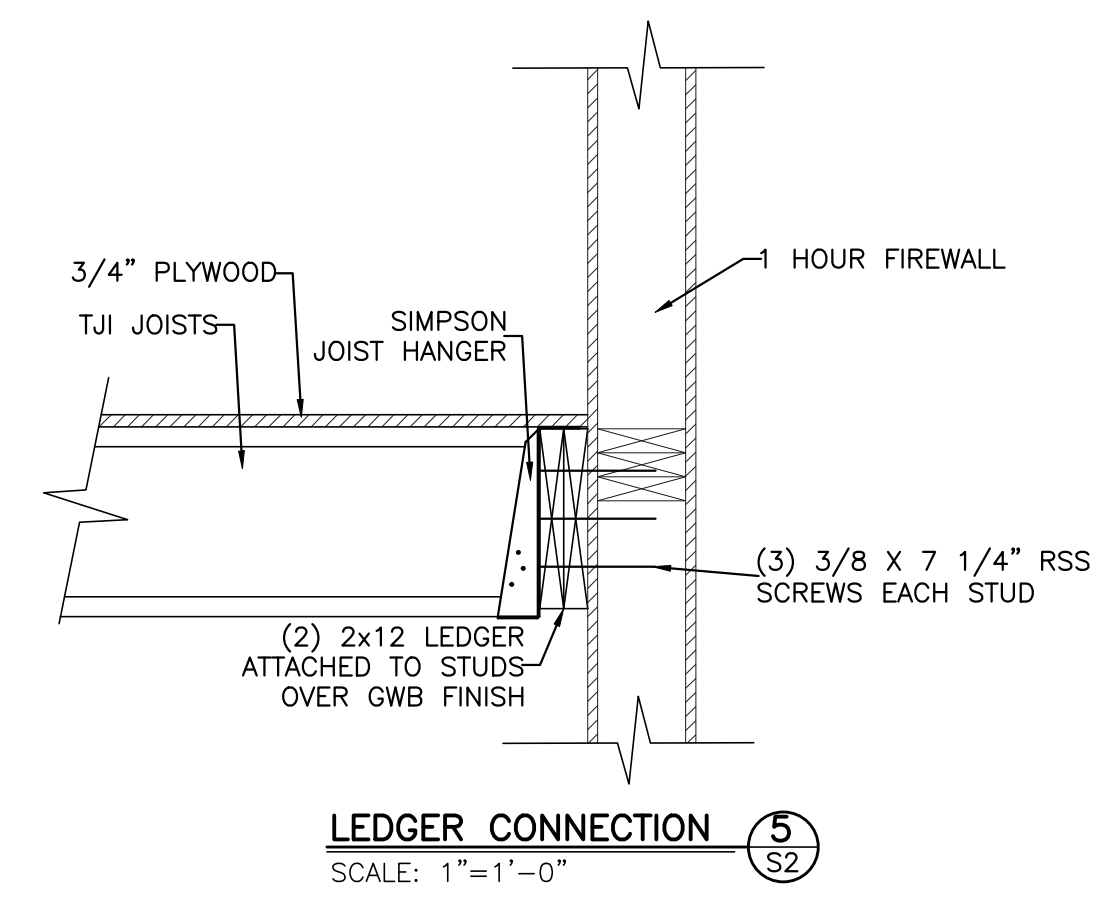
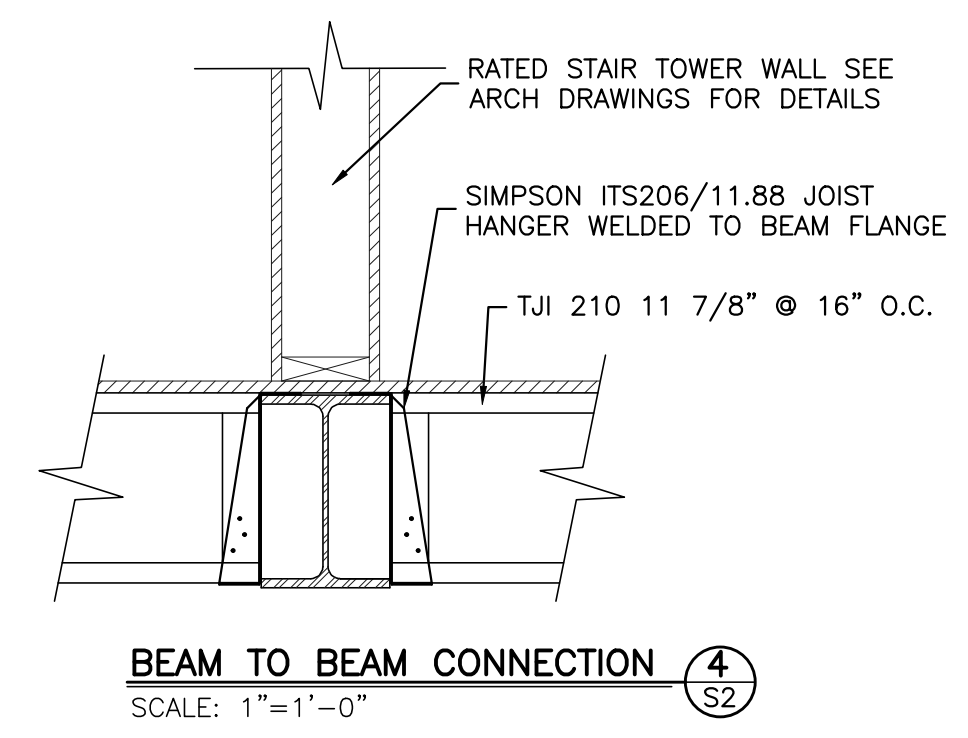
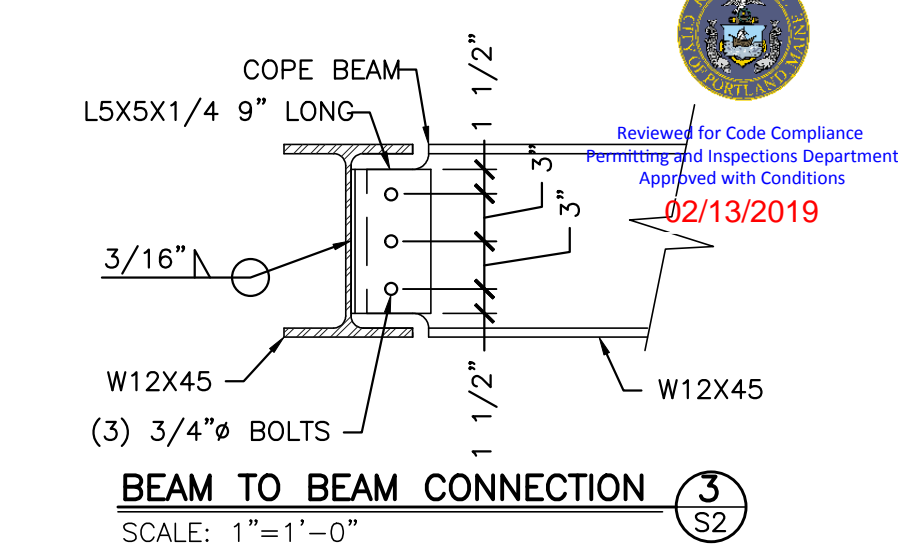
W 12X45 TO WALL CONNECTION 19
 SCALE: 3/4"=1'-0"



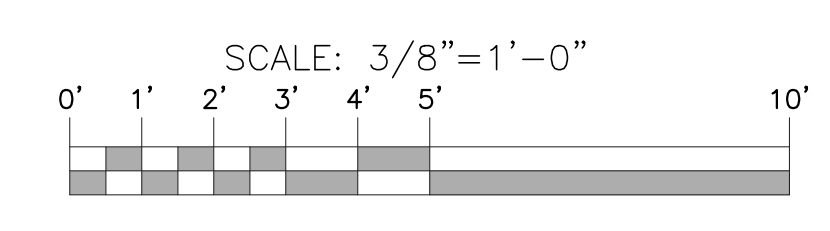
PROPOSED FIRST FLOOR FRAMING PLAN (1)
SCALE: 3/8"=1'-0"



PROPOSED SECOND FLOOR FRAMING PLAN (2)
SCALE: 3/8"=1'-0"

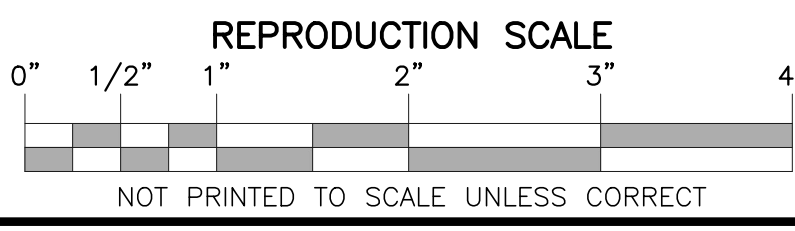


ITEM	HEADER	SPAN	SUPPORT
H1	(3) 2x10 w/ (2) 1/2" PLYWD. SPACERS	OPENING SIZE	(2) 2X6" JACK STUDS
H2	(3) 2x12 w/ (2) 1/2" PLYWD. SPACERS	OPENING SIZE	(2) 2X6" JACK STUD
H3	5 1/4" X 11 7/8" LVL	OPENING SIZE	(3) 2X6" JACK STUD



NOTES:
1) SEE SHEET S4 FOR NOTES, DETAILS AND SECTIONS.
2) TOP OF JOIST ELEV = 140'-5 1/4"
3) FLOOR FINISH ASSUMED TO BE 3/4" PLYWOOD (TBD)

Jan 18, 2019 - 4:06pm
SGETYAR.77



REVISIONS

NO.	DATE	DESCRIPTION
1	08/08/18	REVISED STRUCTURAL CHANGES

PROJECT NAME: 30 FOX STREET
PROJECT NO.: 17178
DRAWING NO.: 17178S
FIELDBOOK:
SCALE:
DATE ISSUED: MAY 10, 2017
CLIENT: JIMMY MORSE WALK DIVER NECK DEVELOPMENT, LLC
28 KELLOGG STREET, #3 PORTLAND, ME 04101

MAINE
PORTLAND
SECOND, THIRD FLOOR FRAMING PLANS

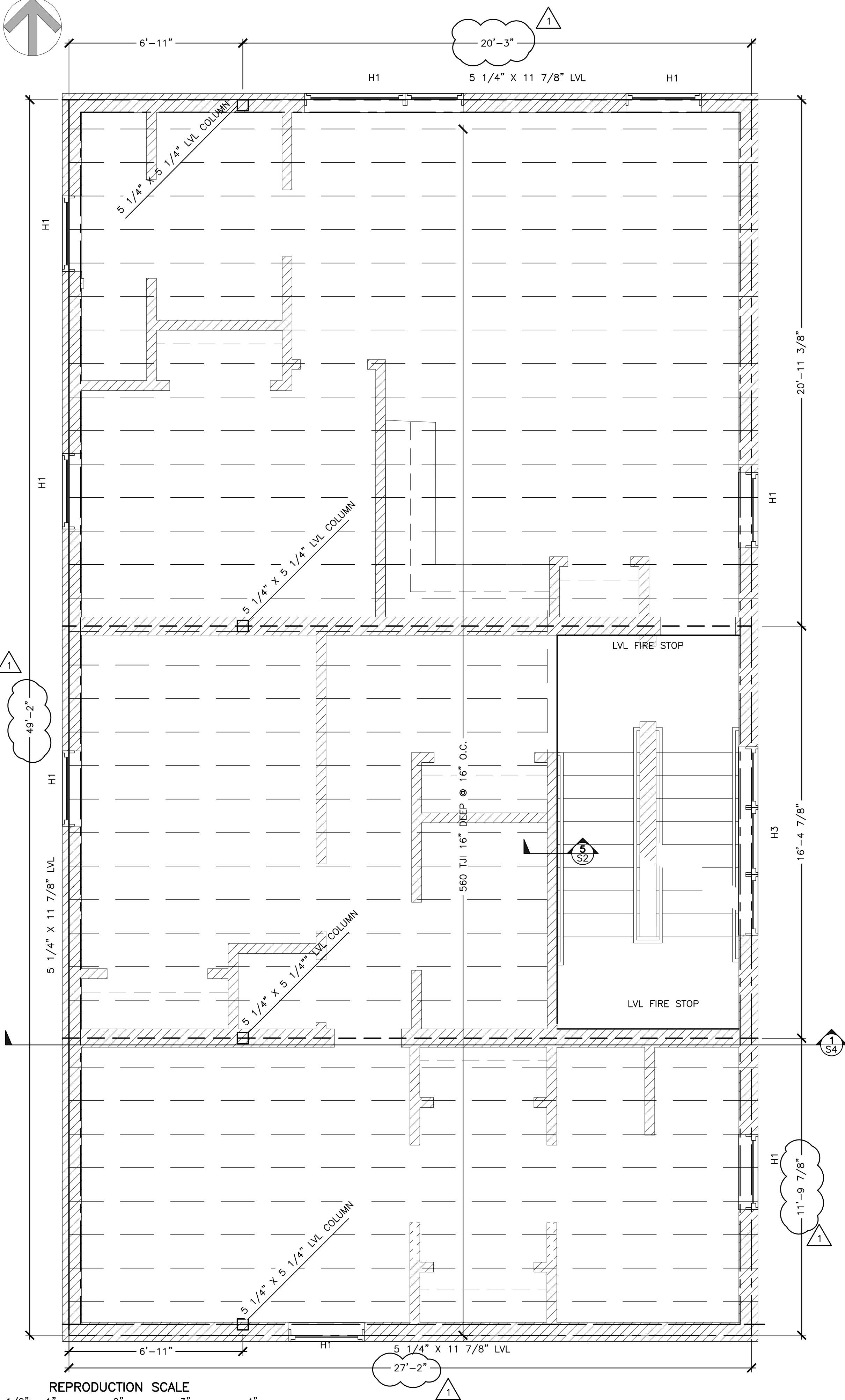
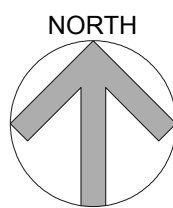
Plymouth Engineering, Inc.
P.O. Box 46 30 Lower Detroit Road
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Tel: (207) 287-2071 Fax: (207) 287-2130
info@plymouthengineering.com
www.plymouthengineering.com

STATE OF MAINE
KEITH G. SWANN
REGISTERED PROFESSIONAL ENGINEER
NO. 1315
EXPIRES 12/31/2020

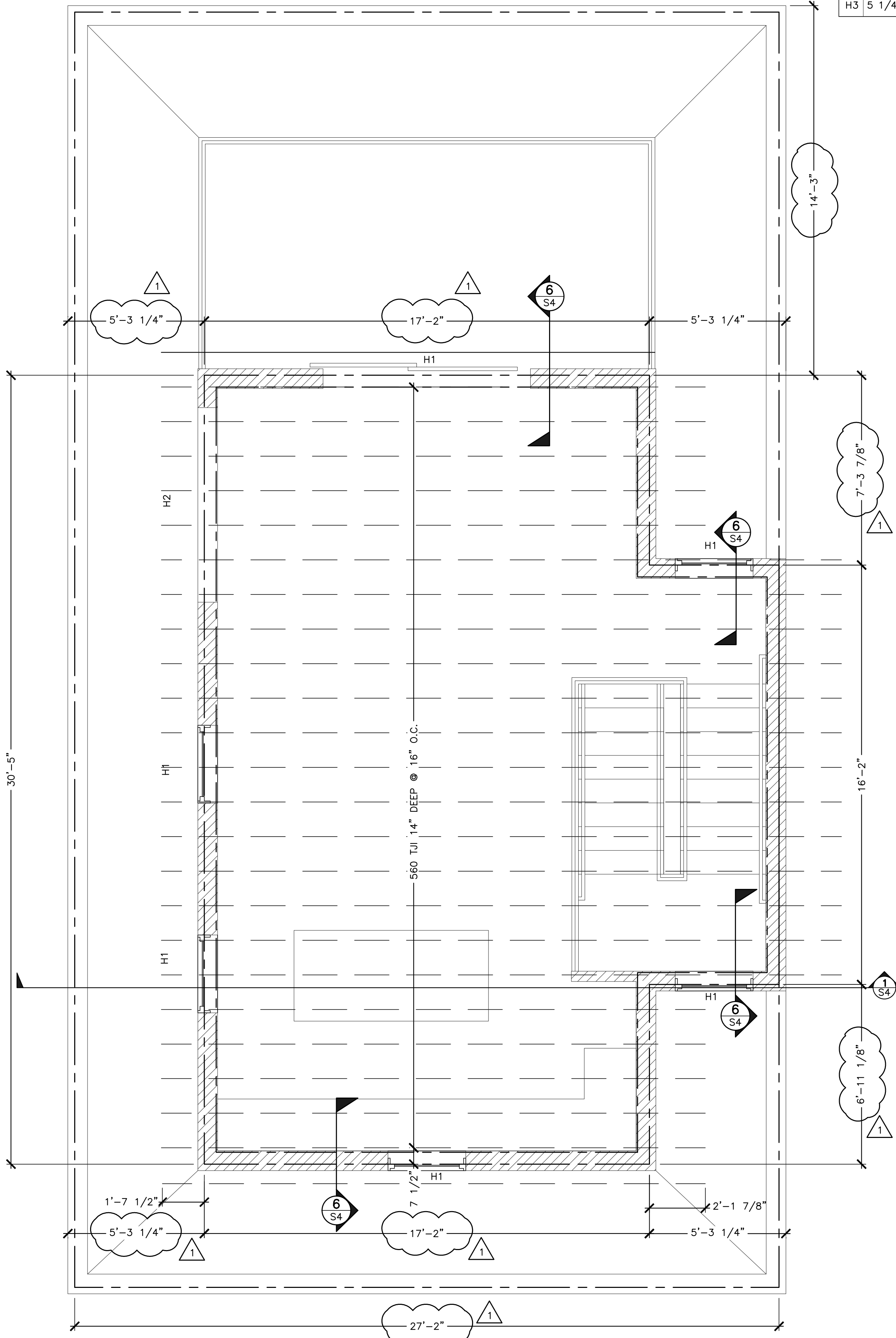
DRAWINGS AND SPECIFICATIONS ARE PREPARED FOR PERMITTING, BIDDING OR CONSTRUCTION PURPOSES ONLY. THEY ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION.

SHEET 2 OF 6

S2



REPRODUCTION SCALE
 0" 1/2" 1" 2" 3" 4"
 NOT PRINTED TO SCALE UNLESS CORRECT
PROPOSED THIRD FLOOR FRAMING PLAN (1) S3
 SCALE: 3/8"=1'-0"



PROPOSED ROOF FRAMING PLAN (2) S3
 SCALE: 3/8"=1'-0"

HEADER TABLE			
ITEM	HEADER	SPAN	SUPPORT
H1	(3) 2x10 w/ (2) 1/2" PLYWD. SPACERS	OPENING SIZE	(2) 2X6" JACK STUDS
H2	(3) 2x12 w/ (2) 1/2" PLYWD. SPACERS	OPENING SIZE	(2) 2X6" JACK STUD
H3	5 1/4 X 11 7/8 LVL	OPENING SIZE	(3) 2X6" JACK STUD

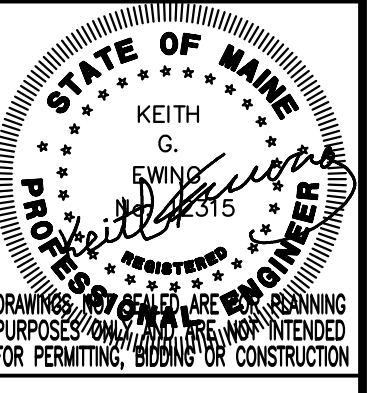


REVISIONS	
NO.	DESCRIPTION
1	08/08/18 REVISED STRUCTURAL CHANGES

PROJECT NAME: 30 FOX STREET
 PORTLAND, MAINE
FOURTH FLOOR, ROOF FRAMING PLAN

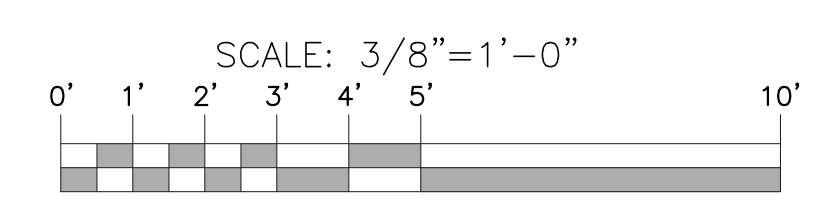
DESIGNED: NEH	PROJECT NO: 17178
DRAWN: NEH	DRAWING NO: 17178S
CHECKED: KGE	FIELDBOOK:
APPROVED: KGE	SCALE:
PLAN DATE: MAY 10, 2017	DATE ISSUED: MAY 10, 2017
CLIENT: CHIRAN MOORWALK, DYER NECK DEVELOPMENT, LLC, 28 KELLOGG STREET, #3, PORTLAND, ME 04101	

Plymouth Engineering, Inc.
 P.O. Box 46 30 Lower Detroit Road
 Plymouth, Maine 04989
 Tel: (207) 257-2071 Fax: (207) 257-2130
 info@plymouthengineering.com
 www.plymouthengineering.com



DRINKING WATER SYSTEMS ARE NOT PERMITTED FOR PERMITTING, BIDDING OR CONSTRUCTION
 SHEET 3 OF 6
S3

Jan 18, 2019 - 4:06pm
 \$IGETVAR.77)



GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS; CONFIRM WITH ARCHITECTURAL DRAWINGS. REPORT ANY DISCREPANCIES TO STRUCTURAL ENGINEER BEFORE PROCEEDING WITH WORK.
- CONSTRUCTION SHALL FOLLOW INTERNATIONAL BUILDING CODE (2015 EDITION).
- STRUCTURAL SYSTEMS AND COMPONENTS DESIGN SHALL FOLLOW 2015 INTERNATIONAL BUILDING CODE.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL MEMBERS, WALLS, AND NON STRUCTURAL ITEMS DURING CONSTRUCTION.
- ALL STRUCTURAL COMPONENTS AND SYSTEMS SHALL BE DESIGNED FOR SELF WEIGHT, SUPERIMPOSED DEAD LOADS, CONCENTRATED LOADS SHOWN ON PLANS, AND THE LIVE LOADS.
- STRUCTURAL COMPONENTS AND SYSTEMS SHALL BE ERECTED AND INSPECTED FROM SHOP DRAWINGS, STAMPED BY THE ENGINEER.
- ALL REFERENCED STANDARDS REFER TO LATEST EDITION.
- SEE ARCHITECTURAL DRAWINGS FOR DETAILS NOT SHOWN.
- GENERAL CONTRACTOR TO COORDINATE ALL FLOOR PENETRATIONS WITH APPROPRIATE TRADES.

SLAB-ON-GRADE:

- SLAB-ON-GRADE: AS NOTED ON DRAWINGS. ALL BUILDING SLABS ARE TO BE FOUNDED ON UNDISTURBED NATURAL GROUND, CLEAN SOUND LEDGE OR COMPACTED STRUCTURAL FILL MATERIAL CAPABLE OF SAFELY SUPPORTING A SPECIFIED DESIGN BEARING PRESSURE OF 3,000 POUNDS PER SQUARE FOOT.
- PLACE SLAB CONTRACTION JOINTS AT 15 FEET MAXIMUM (UNLESS OTHERWISE NOTED). PROVIDE ISOLATION JOINTS AROUND ALL COLUMNS.
- SOIL COMPACTION UNDER SLABS-ON-GRADE SHALL BE 95% OF COMPACTION.
- RECOMPACT ALL SOIL DISTURBED BY PLACING OF BELOW GRADE PLUMBING, ELECTRIC, AND OTHER UTILITIES IN LAYERS NOT TO EXCEED 8" THICK.
- CONCRETE SHALL BE CURED BY MAINTAINING CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A MINIMUM OF SEVEN DAYS. APPLY A HARDENER & SEALER LIKE STARSEAL BY; VEXCON OR EQUAL.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FLOOR DRAIN SETTING FOR ELEVATION AND PLUMBNESS TO ASSURE COMPLETE AREA DRAINAGE. COORDINATE LOCATIONS WITH PLUMBING DRAWINGS.
- ALL EXPOSED CONCRETE SHALL BE NEATLY RUB FINISHED.
- PROVIDE IN ALL SLABS ON GRADE (2) #5 BARS 3'-0" LONG AT EACH REENTRANT CORNER AND BOTH SIDES OF DOOR OPENINGS.
- REINFORCING BAR MINIMUM DEVELOPMENT LENGTHS
 #3 BAR = 15 INCHES #4 BAR = 19 INCHES #5 BAR = 24 INCHES
 #6 BAR = 29 INCHES #7 BAR = 34 INCHES #8 BAR = 38 INCHES
- THIS SLAB ON GRADE SYSTEM RELIES ON THE TYPE, THICKNESS AND COMPACTION OF THE GRANULAR FILL PLACED BELOW FOR STRENGTH, AS WELL AS AS HEATED INTERIOR AND PERIMETER INSULATION FOR FROST PROTECTION, THEREFORE NO ASSURANCES OR GUARANTEES CAN BE MADE AS TO THE DESIGN OF THE SYSTEM AND THE OWNER AND CONTRACTOR ASSUME FULL LIABILITY FOR ITS INSTALLATION AND USE.

FRAMING NOTES:

- ALL ANCHOR BOLTS SHALL BE ASTM A307. ALL BOLT HOLES TO BE 1/16" LARGER THAN BOLT.
- PRESSURE TREATMENT OF STRUCTURAL TIMBER SHALL MEET AWPA STANDARD P-E AND FEDERAL STANDARD TT-W-550. THE TREATING PROCESS AND RESULTS THEREOF SHALL MEET FEDERAL SPECIFICATION TT-W-571 G. AWPA COMMODITY STANDARD, AND AMERICAN WOOD PRESERVERS BUREAU STANDARDS LP-W OR AWPA STANDARD C-2.
- ALL FIELD CUTS AND DRILLED HOLES IN PRESSURE-TREATED STRUCTURAL TIMBER SHALL BE GIVEN THREE LIBERAL APPLICATIONS OF PRESERVATIVE IN ACCORDANCE WITH AWPA STANDARD M-4.
- ALL MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- FRAMING: STRESS GROUP D, SPRUCE-PINE-FIR (S/P/F) SPECIES, GRADE NO. 2 OR BETTER, 19 PERCENT MAXIMUM MOISTURE CONTENT.

SHEATHING FRAMING NOTES:

- SHEATHING SHALL BE IDENTIFIED WITH GRADE-TRADEMARK OF APA AND MEET REQUIREMENTS OF PRODUCT STANDARD PS 1.
- SHEARWALLS OVER STUDS AT 16 INCHES MAXIMUM SHALL BE A MINIMUM MEET THE REQUIREMENTS OF IBC-2009, CHAPTER 23. SHEARWALL SHEATHING SHALL BE A MINIMUM OF 5/8" APA RATED SHEATHING 32/16, EXPOSURE 1. INSTALL FACE GRAIN ACROSS SUPPORTS WITH ALL PANEL EDGES BLOCKED. NAIL AS REQUIRED BY TABLE. ADVANTEC IS NOT AN ACCEPTABLE WALL SHEATHING PRODUCT.
- FLOOR SHEATHING: 1 LAYER 3/4 INCH THICK, 48 X 96 (MIN.) INCH SIZED SHEETS, TONGUE AND GROOVE EDGES WITH SPAN RATING OF 32/16, DURABILITY 1; UNSANDED.
- SHEATHING CAN BE DEFINED AS PLYWOOD OR ORIENTED STRAND BOARD.

DESIGN LOADS

ROOF

DEAD LOAD: PER COMPONENTS USED: 8 PSF
 COLLATERAL LOAD (MECH/ELEC): 2 PSF

SNOW LOAD: (BASED ON ASCE 7-05)

GROUND SNOW LOAD (Pg): 60 PSF
 EXPOSURE FACTOR (Ce): 1.0
 SNOW LOAD IMPORTANCE FACTOR (I): 1.0
 ROOF THERMAL FACTOR - (Ct): 1.0

SEISMIC DATA: (BASED ON ASCE 7-05)

SEISMIC REVIEWED AND WIND CONTROLLED

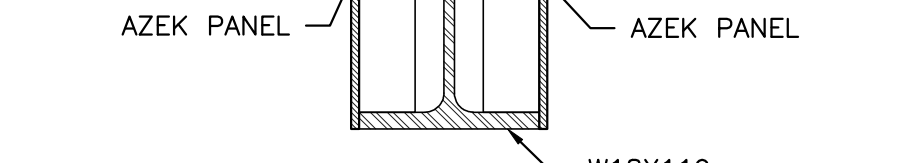
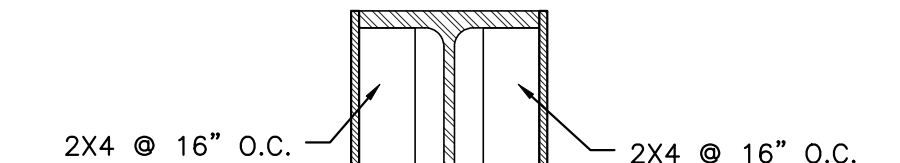
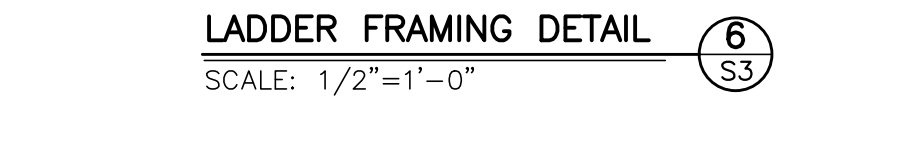
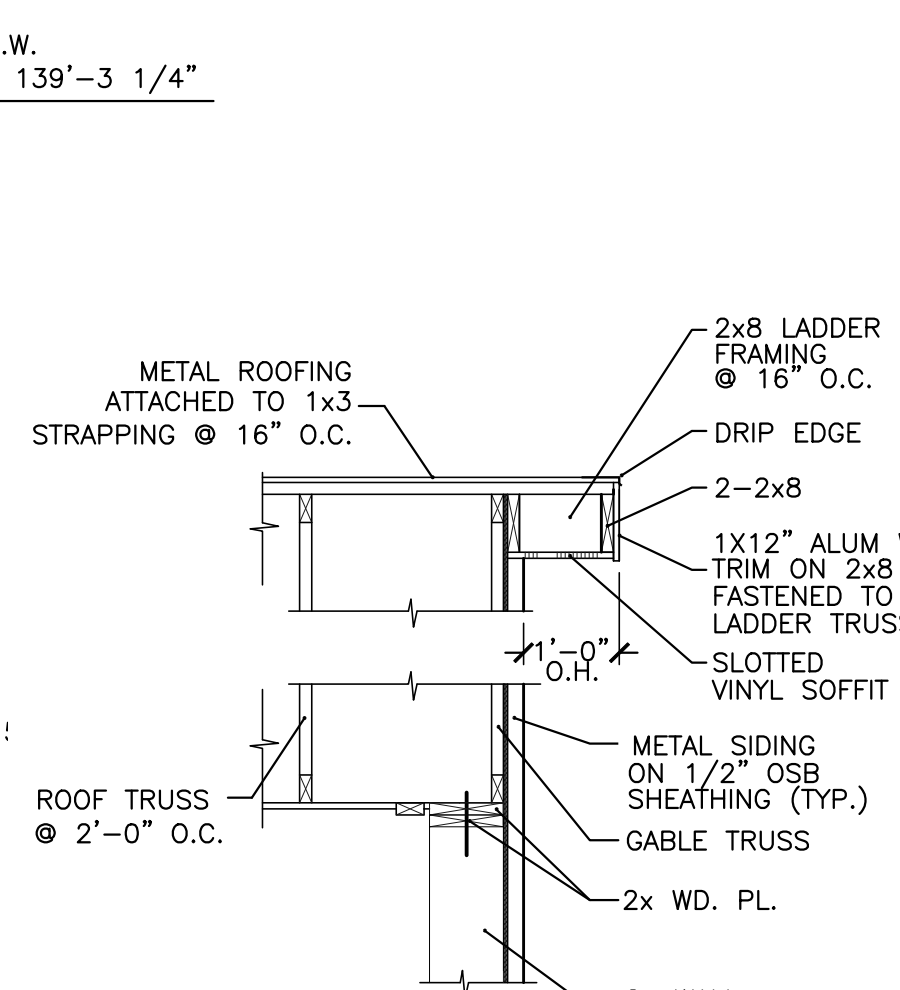
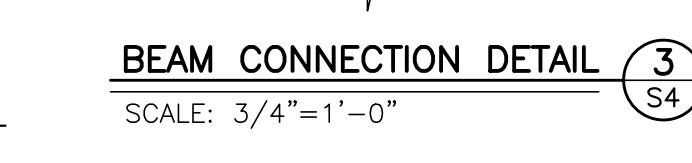
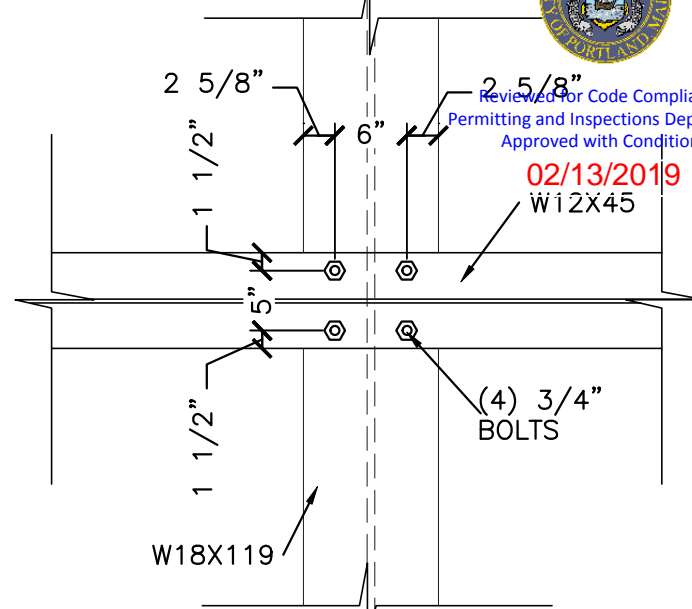
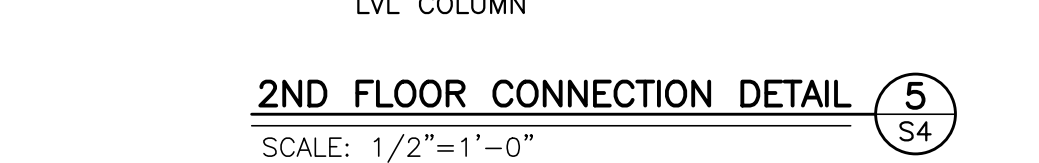
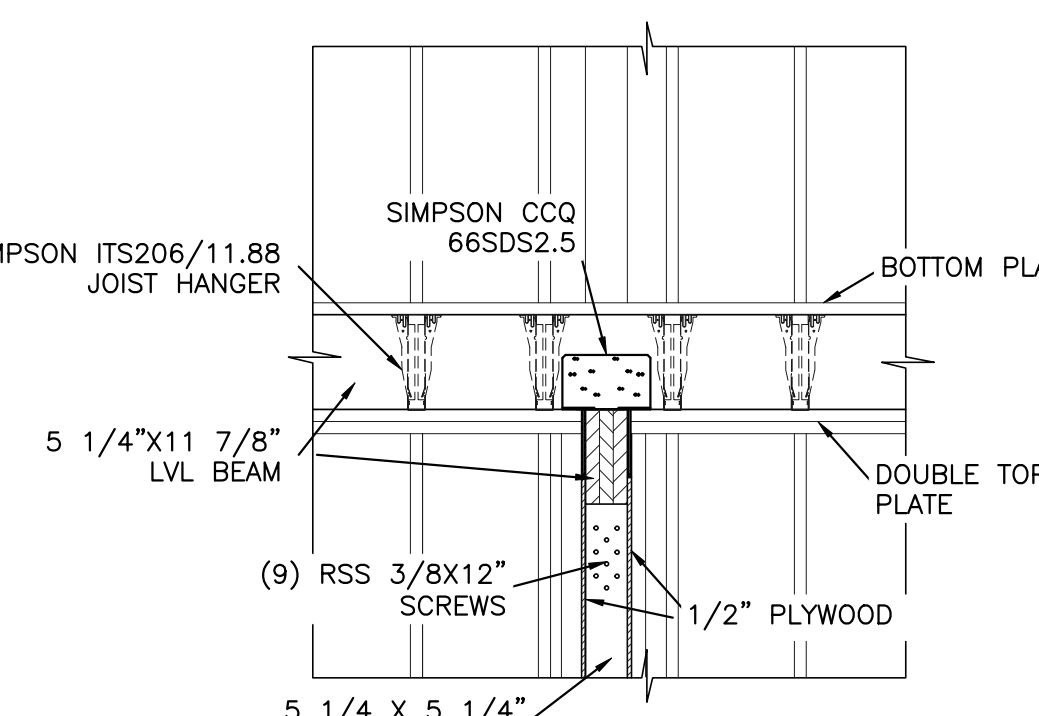
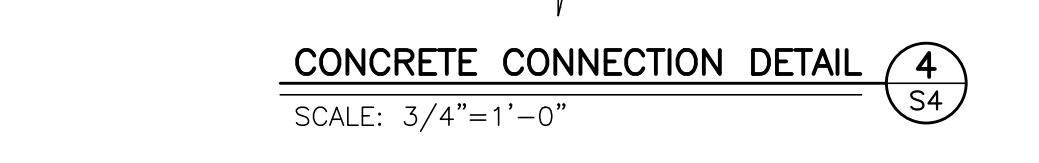
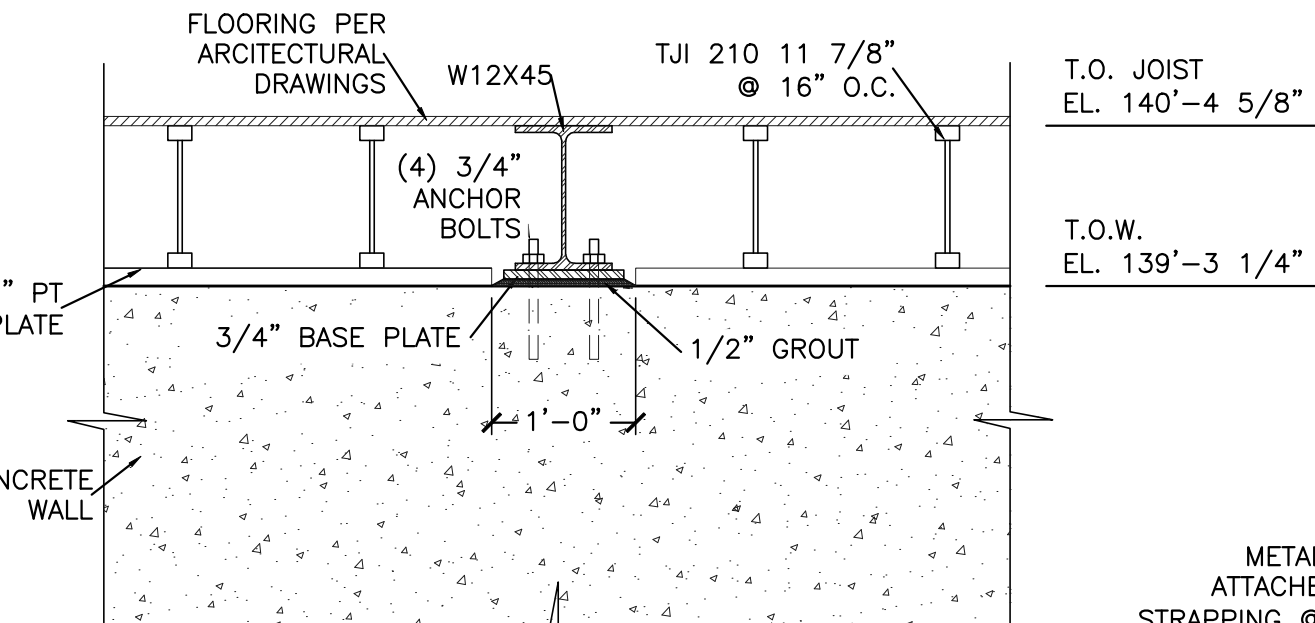
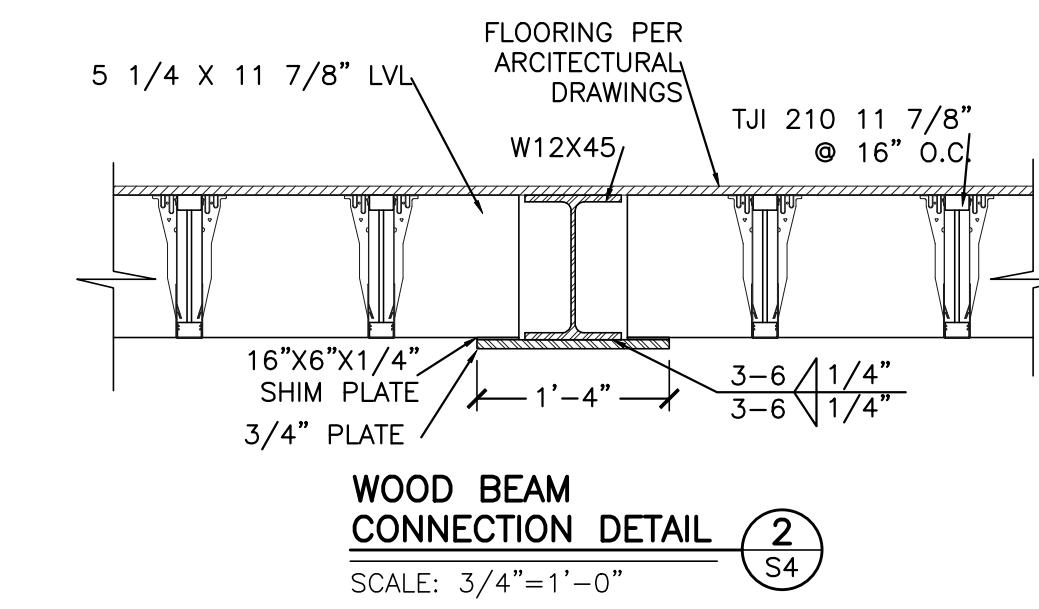
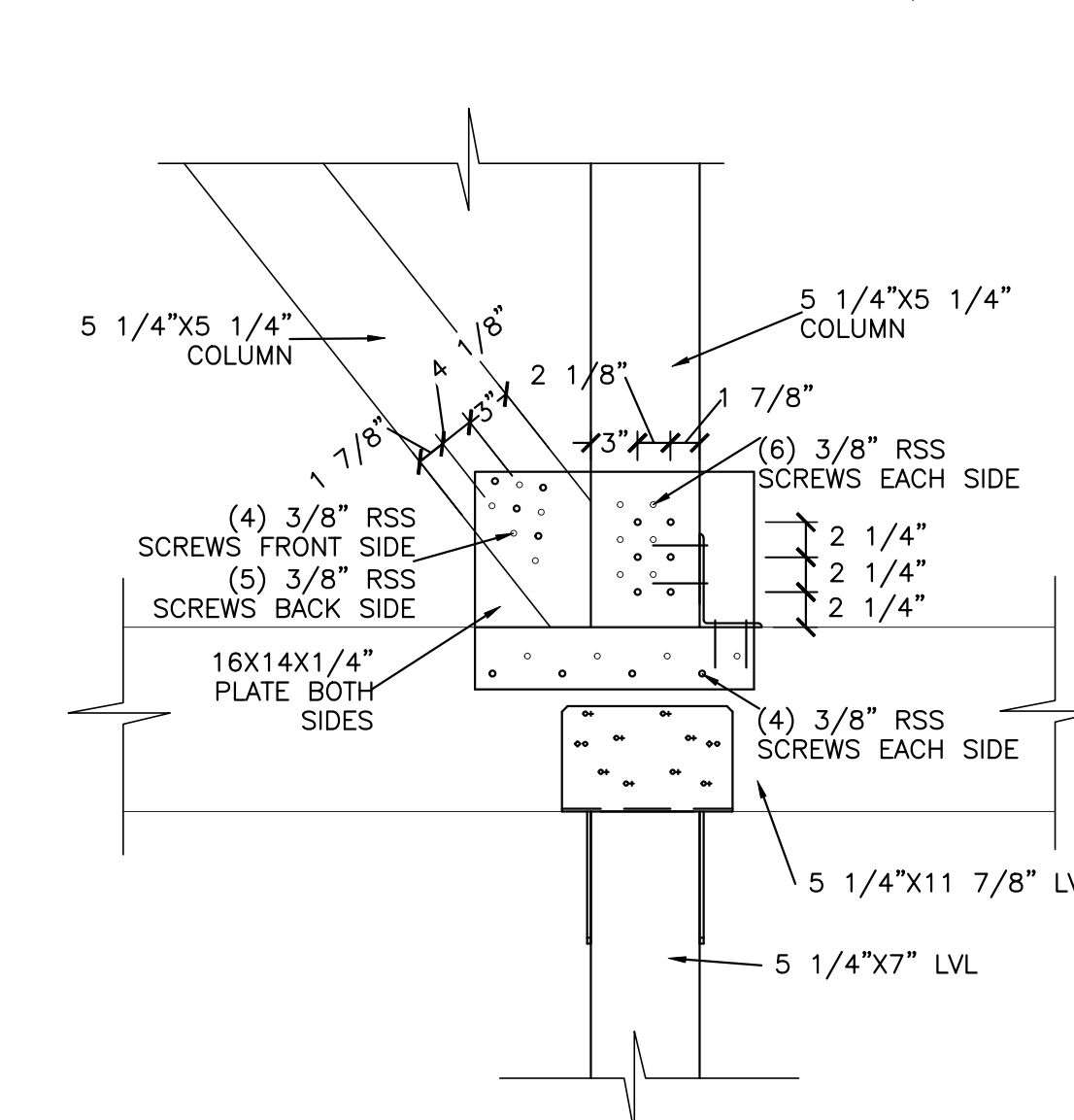
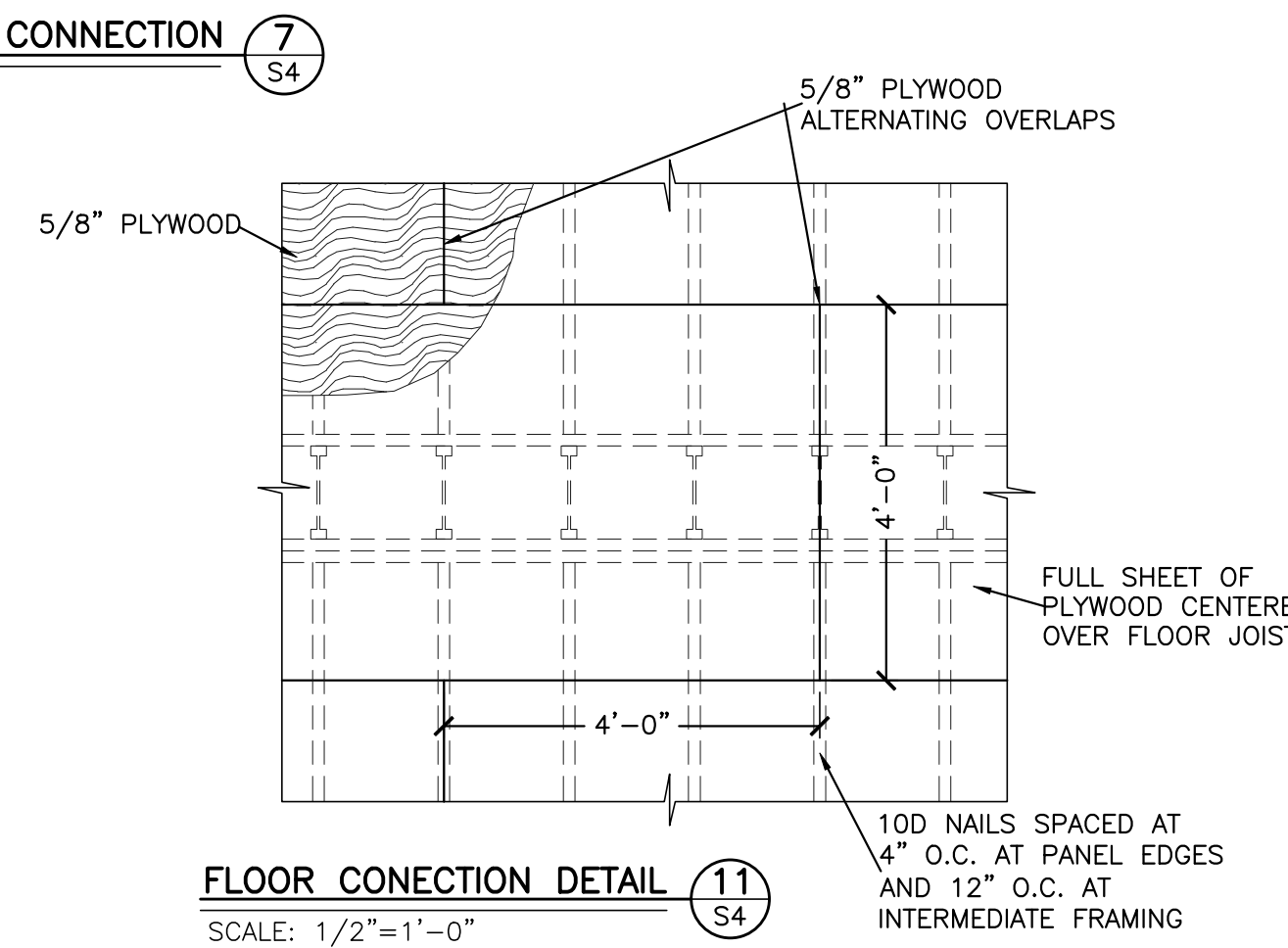
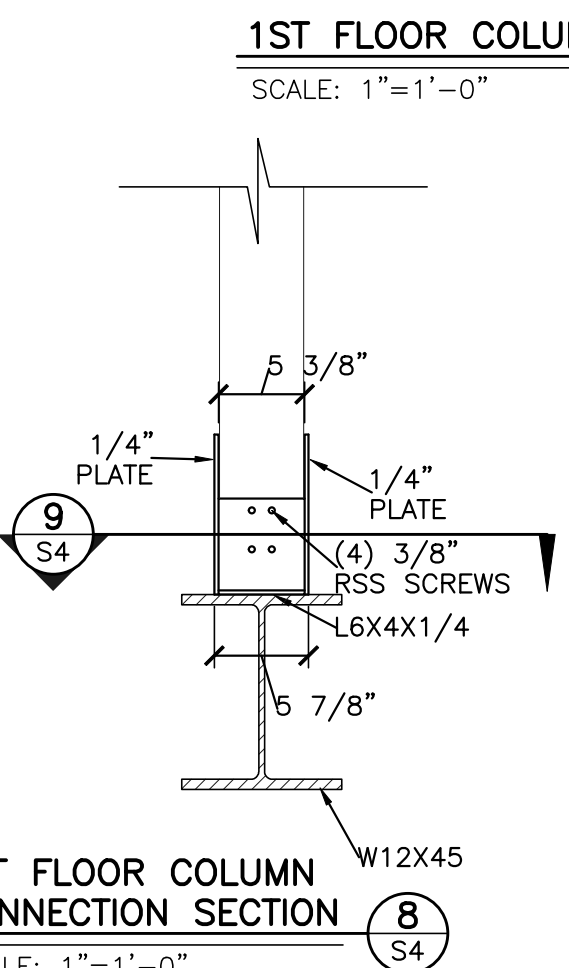
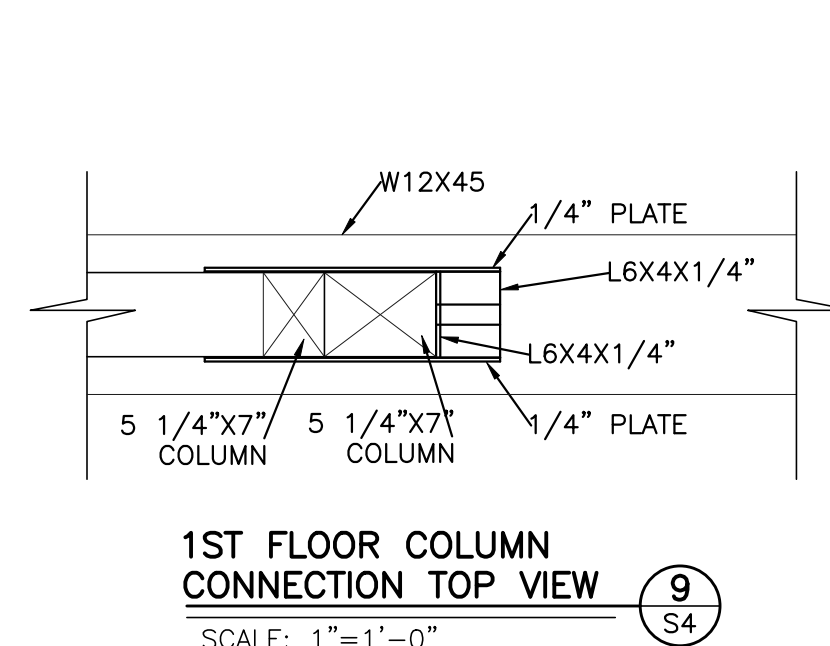
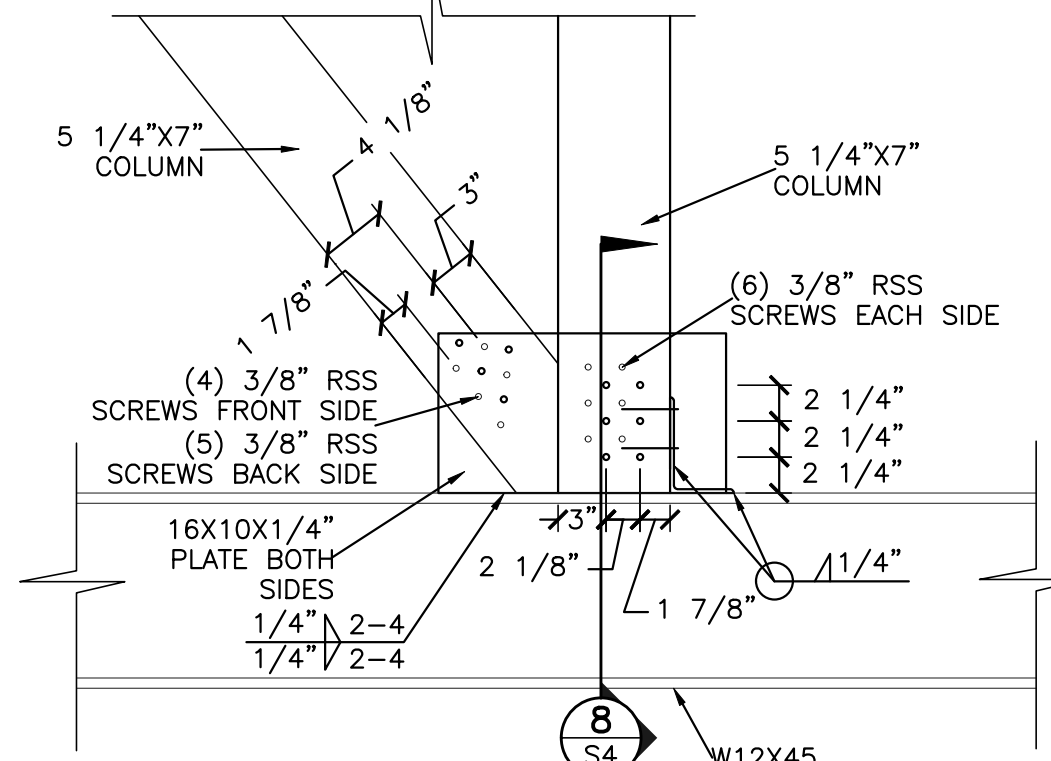
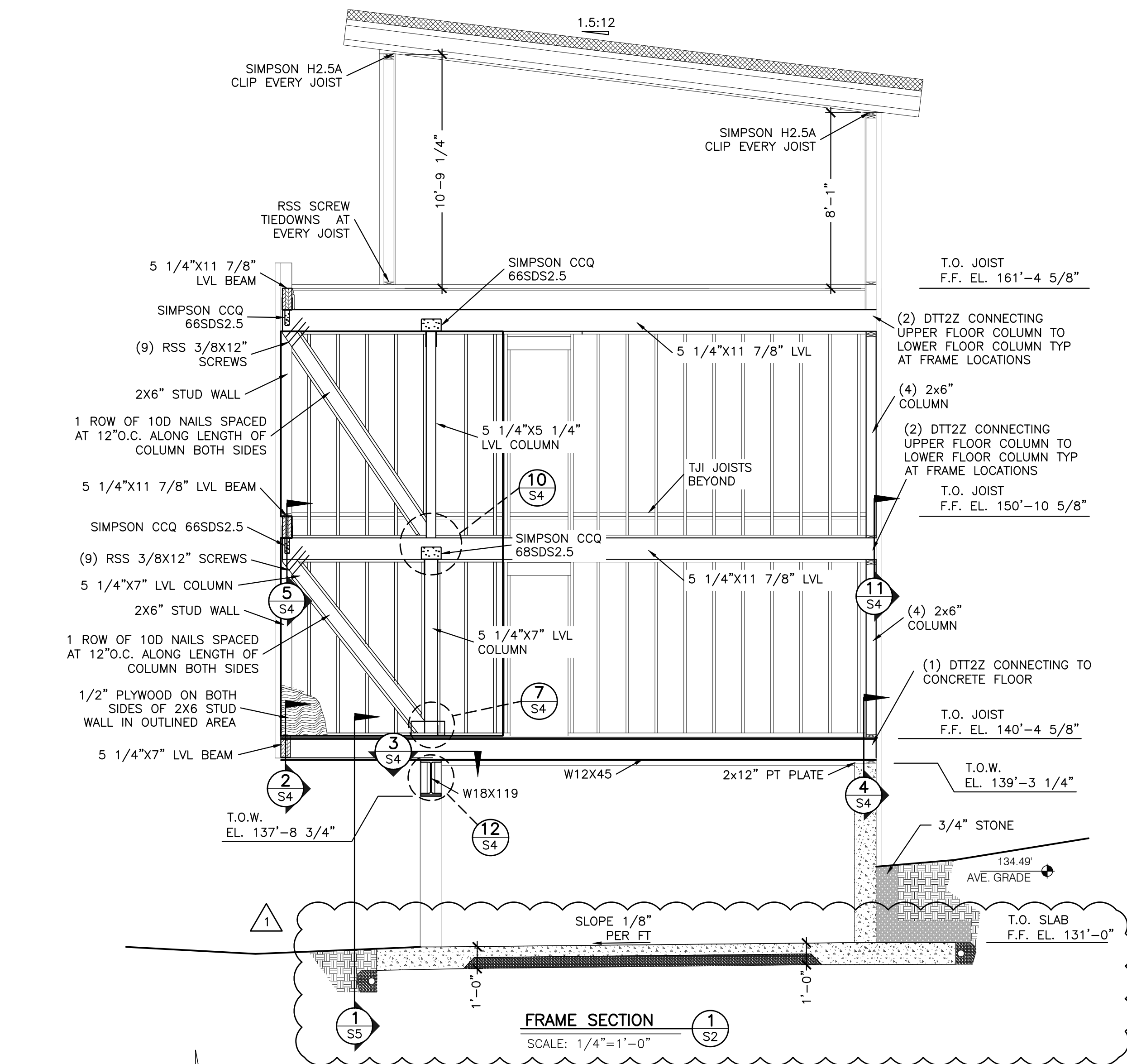
WIND LOAD: (BASED ON ASCE 7-05)

BASIC WIND SPEED: 90 MPH
 IMPORTANCE FACTOR (I): 1.0
 EXPOSURE: B

REPRODUCTION SCALE



NOT PRINTED TO SCALE UNLESS CORRECT

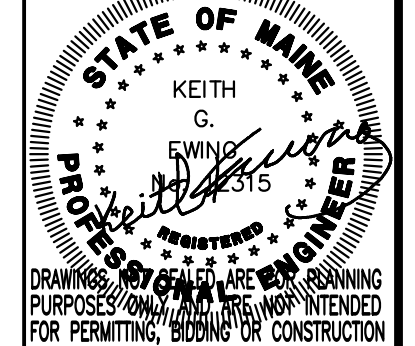


NO.	DATE	DESCRIPTION
1	01/17/19	REVISED STRUCTURAL CHANGES

PROJECT NAME: 30 FOX STREET
 PORTLAND, MAINE
 SHEET NO: S4

PROJECT NO: 17178
 DRAWING NO: 17178S
 CHECKED: KGE
 APPROVED: KGE
 PLAN DATE: MAY 10, 2017
 DATE ISSUED: MAY 10, 2017
 CLIENT: GIBSON NORWALK DYER NECK DEVELOPMENT, LLC
 28 KELLOGG STREET, #3
 PORTLAND, ME 04101

Plymouth Engineering, Inc.
 P.O. Box 46 30 Lower Detroit Road
 Plymouth, Maine 04989
 Tel: (207) 287-2071 Fax: (207) 287-2130
 info@plymouthengineering.com
 www.plymouthengineering.com



DRAWINGS AND SEALS ARE FOR PERMITS ONLY AND ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

Jan 18, 2019 - 4:06pm
 \$IGETVAR.77

FOUNDATION/CONCRETE NOTES:

- REMOVE ALL UNSUITABLE SOILS BENEATH THE BUILDING IF UNSUITABLE MATERIALS ARE FOUND.
- ALL BUILDING FOOTINGS ARE TO BE FOUNDED ON UNDISTURBED NATURAL GROUND, CLEAN SOUND LEDGE OR COMPACTED STRUCTURAL FILL MATERIAL CAPABLE OF SAFELY SUPPORTING A SPECIFIED DESIGN BEARING PRESSURE OF 3000 POUNDS PER SQUARE FOOT.
- ALL FOUNDATION WORK SHALL BE CARRIED OUT UNDER THE DIRECTION OF THE ENGINEER OF RECORD. IF SOFT OR UNSUITABLE IN-SITU MATERIALS ARE ENCOUNTERED THE ENGINEER OF RECORD SHALL BE NOTIFIED AND CORRECTIVE ACTION SHALL BE TAKEN AS DIRECTED. ENGINEER OF RECORD SHALL VERIFY THAT WATER TABLE DOES NOT RISE TO AN ELEVATION ABOVE THE UNDERSIDE OF FOOTINGS. - OWNER TO COVER COST OF GEOTECHNICAL.
- SOIL COMPACTION UNDER FOOTINGS SHALL BE TO 95% OF PERK TESTED SOIL.
- CENTER ALL FOOTINGS UNDER THEIR RESPECTIVE COLUMNS OR WALLS, UNLESS OTHERWISE SHOWN ON PLANS.
- CONSTRUCT FOOTINGS AT LOWER ELEVATION THAN INDICATED ON DRAWINGS IF REQUIRED BY ENGINEER TO REACH FIRM UNDISTURBED SOIL.
- COMPLETE ALL PLACEMENT OF BELOW GRADE PLUMBING, ELECTRIC, AND OTHER UTILITIES BEFORE PLACEMENT OF FOUNDATIONS. ALL DISTURBED SOIL SHALL BE RECOMPACTED IN LAYERS NOT EXCEEDING 8" THICK.
- CLEAR CONCRETE COVER OVER REINFORCING (TYPICAL, U.N.O.):
BOTTOM OF FOOTING: 3 INCHES
EXTERIOR OF FOUND. WALL: 2 INCHES
INTERIOR OF FOUNDATION WALL: 2 INCHES
- SLEEVE ALL PIPES THROUGH. SLABS AND WALLS INDIVIDUALLY, UNLESS SHOWN OTHERWISE ON DRAWINGS. WHERE PIPES OR DUCTS PENETRATE WALLS.
- CONTRACTOR WILL CHECK WITH ALL TRADES TO ASSURE CORRECT LOCATION, SIZE, LINE AND ELEVATION OF ALL SLEEVES, BOND-OUTS, ETC.. REQUIRED IN CONCRETE FLOORS AND WALLS.
- PROVIDE CONTRACTION JOINTS IN FOUNDATION WALL AT 20 FEET MAXIMUM SPACING.
- ALL ANCHORS INSTALLED IN HARDENED CONCRETE SHALL BE A HIGH STRENGTH ADHESIVE SYSTEM BETTER THAN OR EQUAL TO HILTI HIT-HY 200 WITH 6" MINIMUM EMBEDMENT, UNLESS OTHERWISE NOTED ON DRAWINGS. CONCRETE SHALL HAVE OBTAINED A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI PRIOR TO CORING HOLES.
- STRUCTURAL CONCRETE SHALL CONFORM TO ACI 301, ACI 305 AND ACI 306.1. FOUNDATIONS SHALL HAVE 3000 PSI.
- CONSTRUCT AND ERECT CONCRETE FORM WORK IN ACCORDANCE WITH ACI 301 AND ACI 347
- STRUCTURAL CONCRETE REINFORCEMENT SHALL CONFORM TO ACI 301 AND CRSI 63, 65, AND MANUAL OF PRACTICE. REINFORCEMENT SHALL BE ASTM A615/A615M, 60 KSI YIELD GRADE; DEFORMED BILLET STEEL BARS, PLAIN FINISH.
- CONCRETE TESTING SHALL BE THE FOLLOWING IF REQUESTED BY OWNER. TAKE ONE SET OF 3 CYLINDERS FOR EVERY FIFTY CUBIC YARDS OF CONCRETE AND ONE SET OF THREE FOR ALL POURS LESS THAN FIFTY CUBIC YARDS (PER ASTM STANDARDS).
ONE (1) SLUMP TEST: TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN. MAX SLUMP IS 5"
ONE (1) AIR CONTENT TEST: PERFORMED FOR EACH SET OF TEST CYLINDERS TAKEN.
FOUNDATION WALL AND FOOTINGS 5% + /- 1.5%
- ASPHALT DAMPPROOFING SHALL BE APPLIED TO THE OUTSIDE OF THE FOUNDATION THAT EXTENDS FROM THE BASE TO 6" ABOVE GRADE. THE ASPHALT EMULSION SHALL CONFORM TO ASTM D3747 AND THE ASPHALT PRIMER SHALL CONFIRM TO ASTM D41 AND BE COMPATABLE WITH THE SUBSTRATE. THIS SYSTEM SHOULD BE COVERED WITH A 1/4" THICK POLYSTYRENE FOAM SHEET

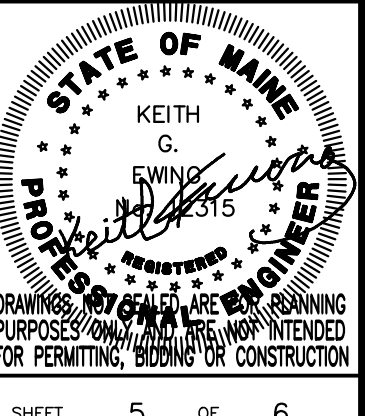


REVISIONS	
NO.	DESCRIPTION
1	08/09/18 REVISED STRUCTURAL CHANGES
2	01/17/19 REVISED STRUCTURAL CHANGES

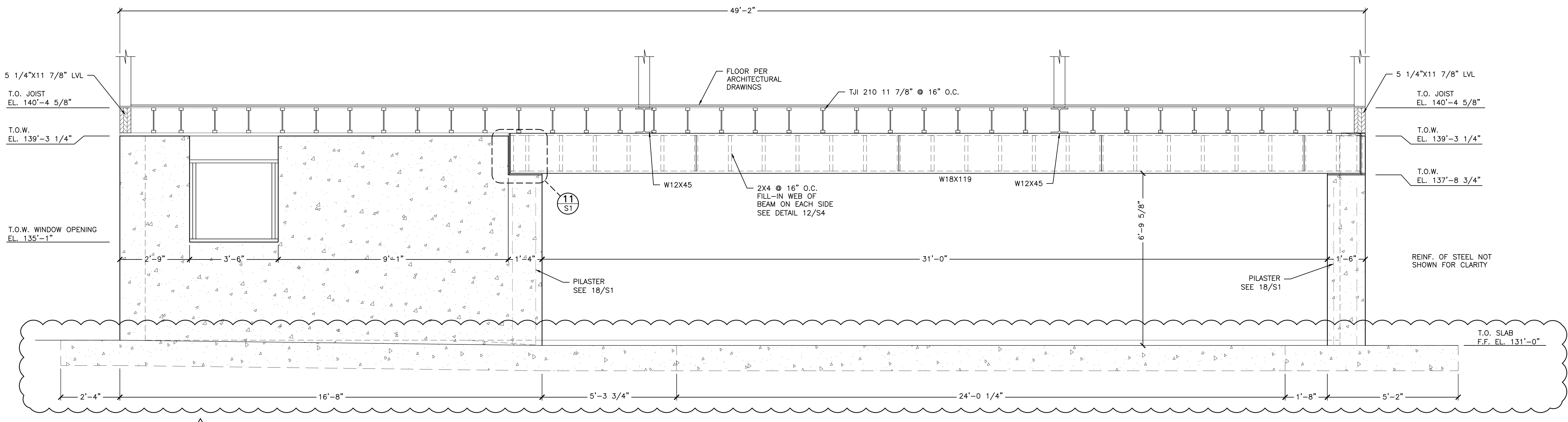
PROJECT NAME: 30 FOX STREET
 PORTLAND, MAINE
 SHEET NAME: ELEVATION

PROJECT NO: 17178
 DRAWING NO: 17178S
 FIELD NO:
 SCALE:
 DATE ISSUED: MAY 10, 2017
 CLIENT: DYER NECK DEVELOPMENT, LLC
 28 KELLOGG STREET, #3
 PORTLAND, ME 04101

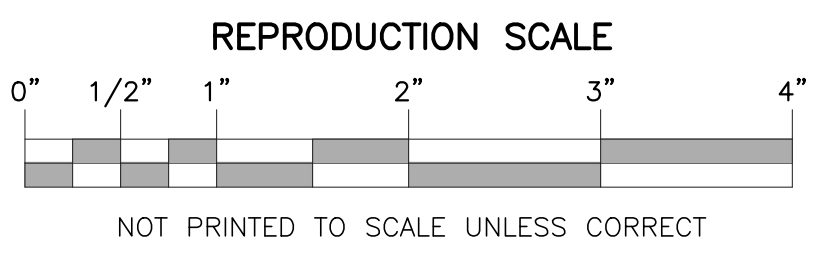
Plymouth Engineering, Inc.
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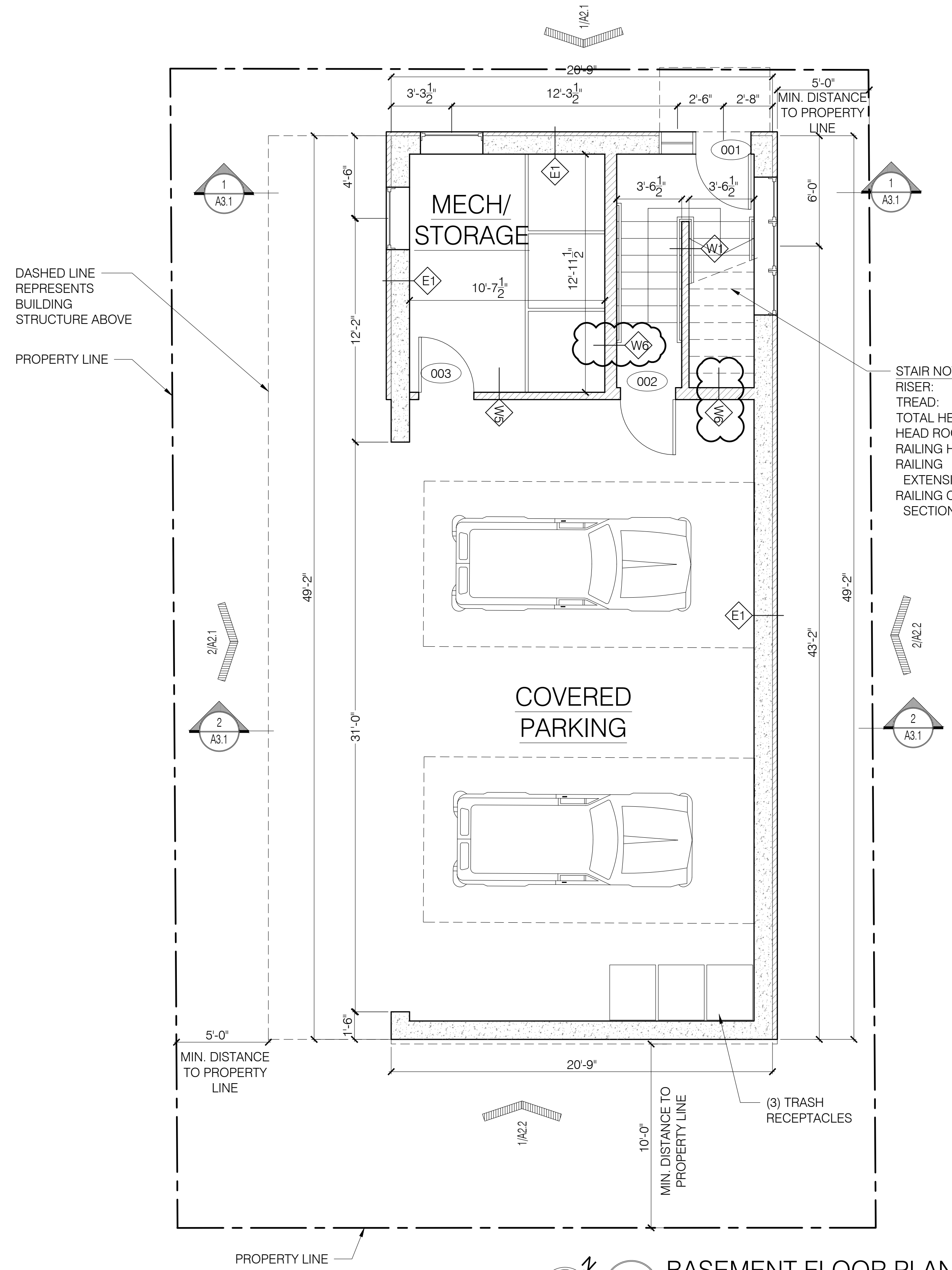
SHEET 5 OF 6
S5



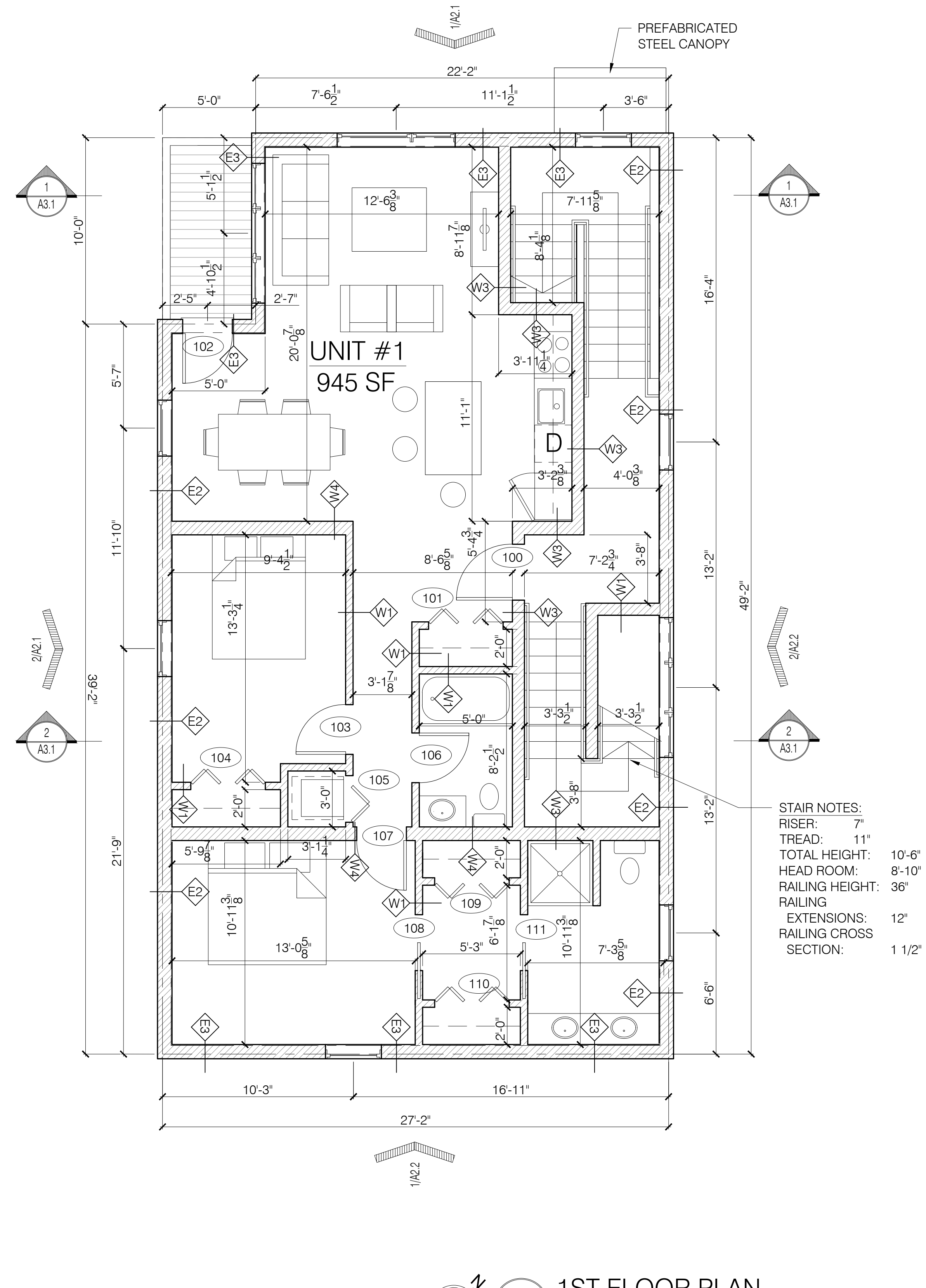
STEEL BEAM ELEVATION 12
 SCALE: 1/2"=1'-0"



Jan 18, 2019 - 4:07pm
 \$IGETVAR.77)



1 BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

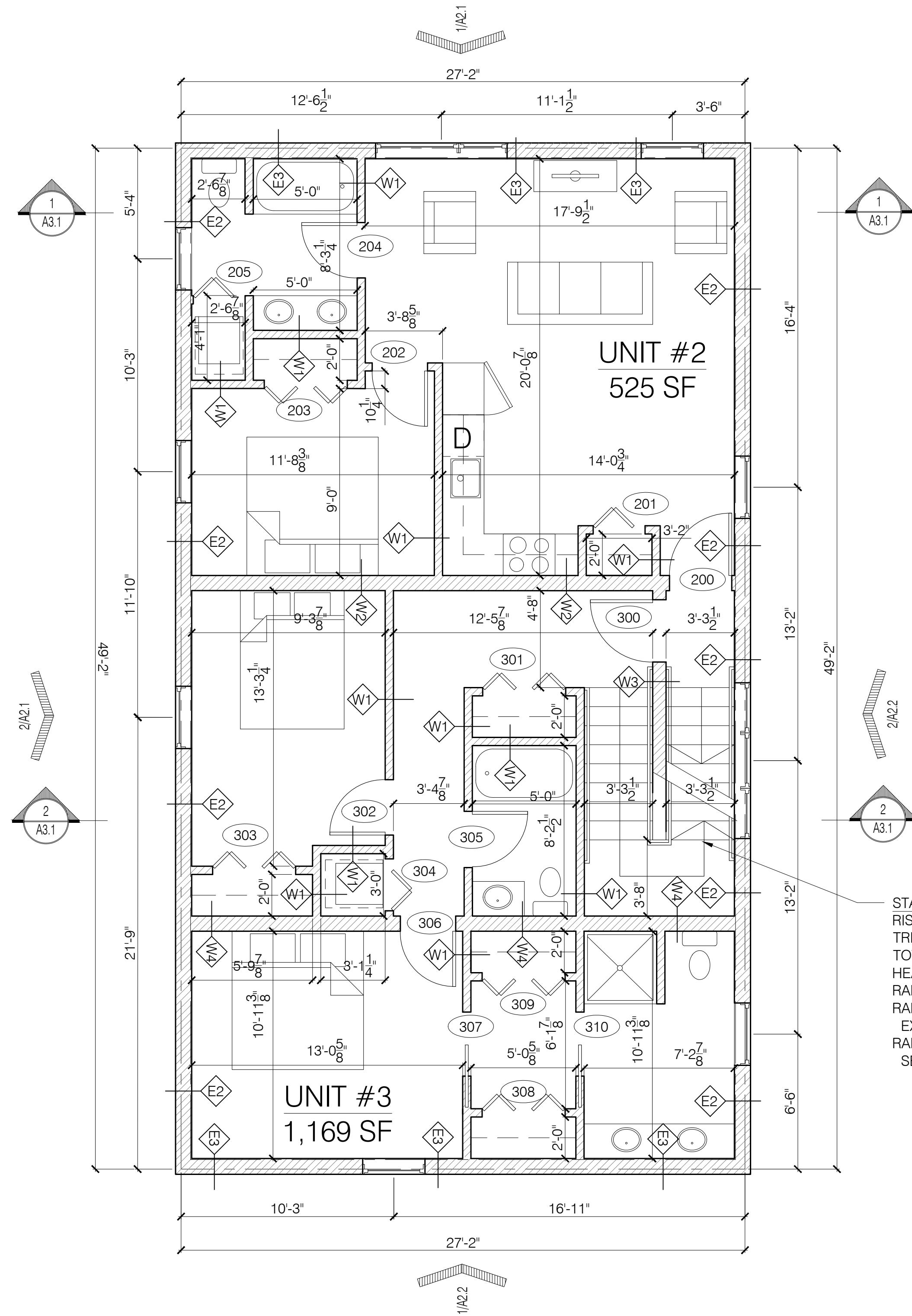


2 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

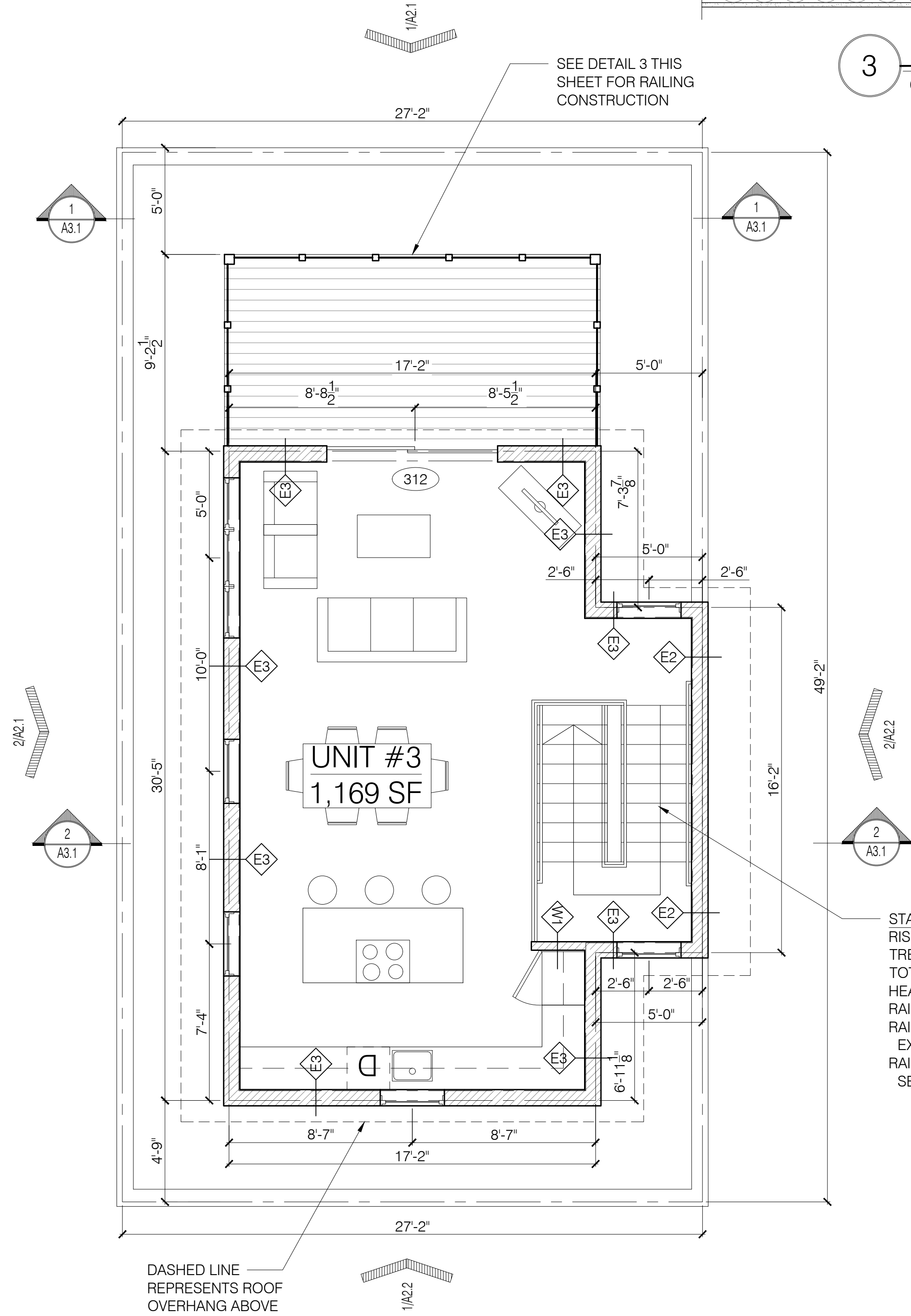


PERMIT SET

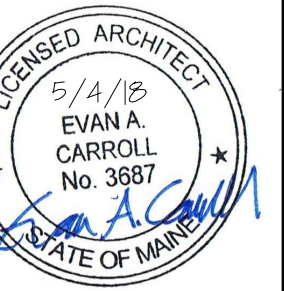
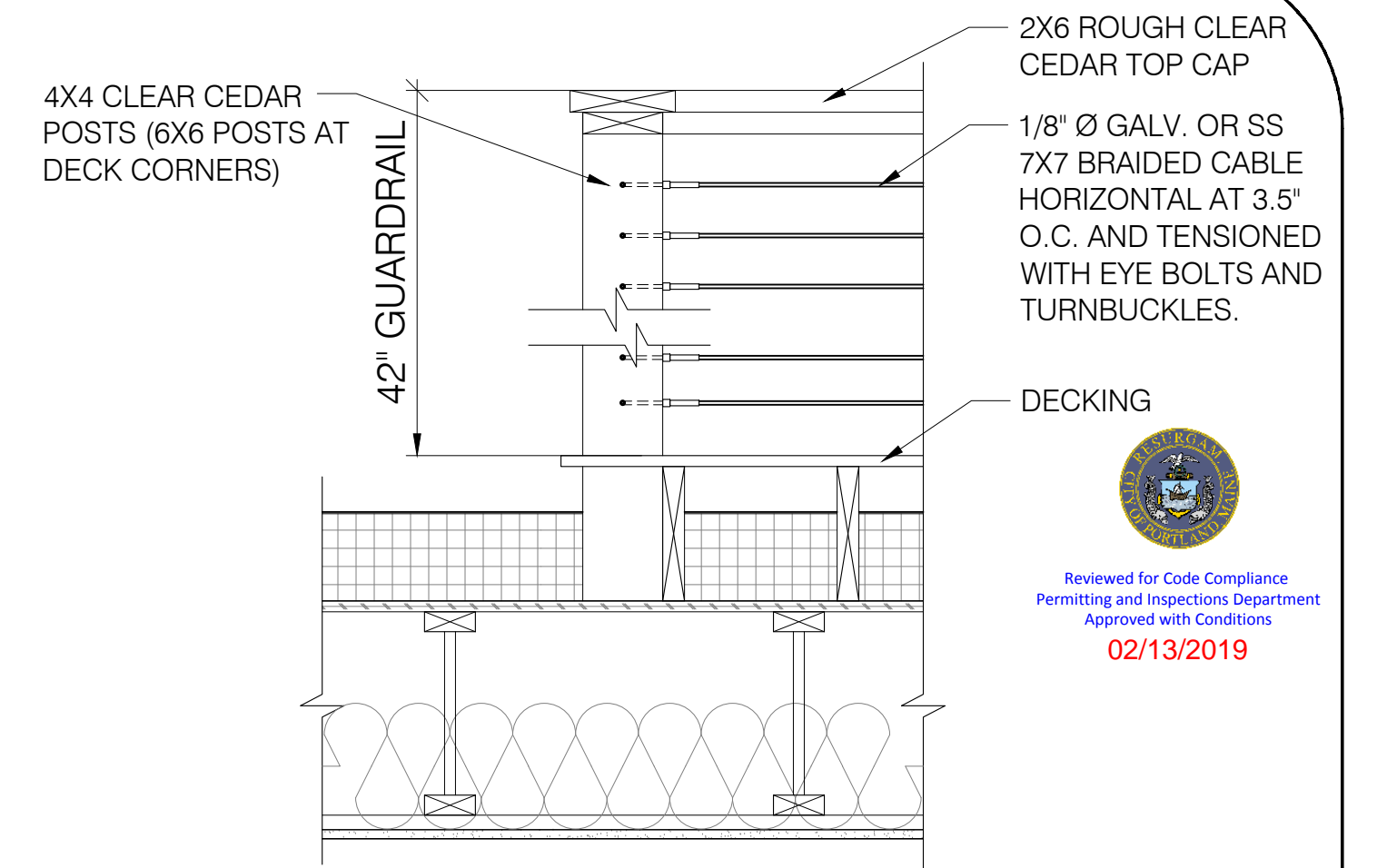
REVISIONS	DATE
1	05.18.18
2	08.02.18
3	08.14.18
4	08.29.18
5	09.06.18



1 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"



PERMIT SET

REVISIONS	DATE	DESCRIPTION
1	05.18.18	
2	08.02.18	
3	08.14.18	
4	08.29.18	
5	09.06.18	

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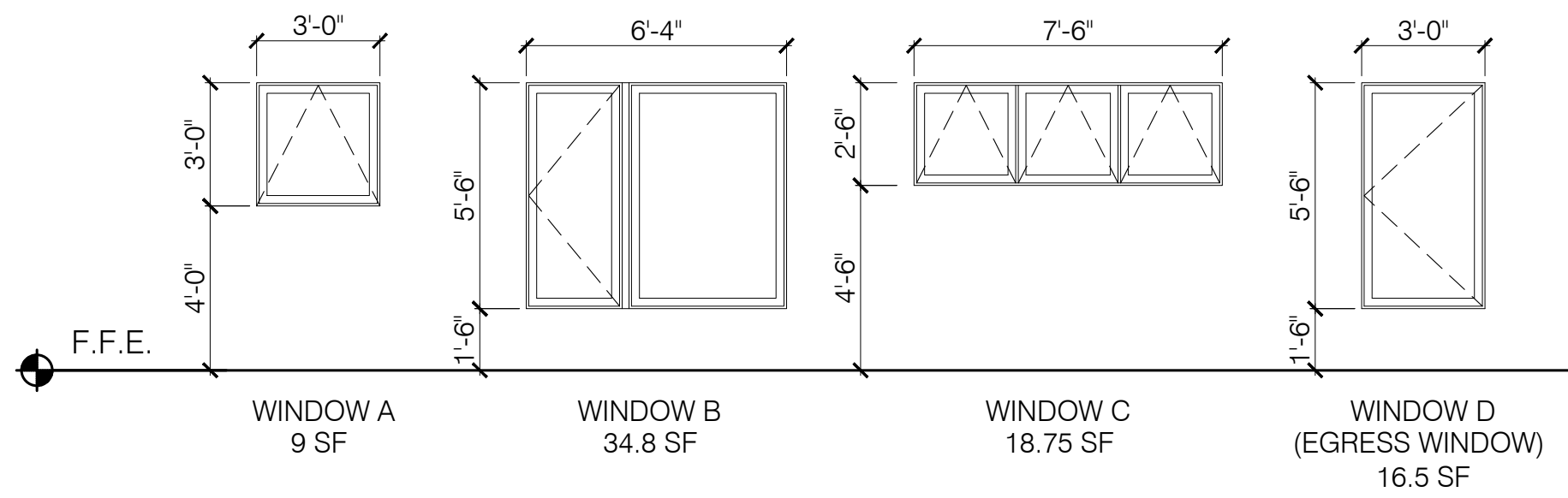
705.8 MAX AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION

Elevation	Separation Distance	Elevation Exposure	Floor Level	Sprinkler	Protected Openings	Allowable Opening Area*	Wall Height per Floor	Wall Length per Floor	Total Wall Area of Floor	Opening Area per Floor	% of Opening Area	
Northwest	30≥	Public Way	First	NFPA 13R	No	No Limit	9.5	21.3	202.3	35.0	Yes	17.3%
Northwest	30≥	Public Way	Second	NFPA 13R	No	No Limit	10.5	22.7	237.8	51.3	Yes	21.6%
Northwest	30≥	Public Way	Third	NFPA 13R	No	No Limit	10.5	5.0	52.5	18.7	Yes	35.5%
Northwest	30≥	Public Way	Fourth	NFPA 13R	No	No Limit	10.5	27.7	290.9	51.3	Yes	17.6%
Northwest	30≥	Public Way	Fourth	NFPA 13R	No	No Limit	-	-	176.0	53.3	Yes	30.3%
Northwest	30≥	Public Way	Fourth	NFPA 13R	No	No Limit	-	-	41.3	16.5	Yes	40.0%
Northeast	5 ≤ 10	Side Yard	First	NFPA 13R	No	10%	9.5	49.6	471.4	18.8	No	4.0%
Northeast	5 ≤ 10	Side Yard	Second	NFPA 13R	No	10%	10.5	49.6	521.1	51.8	No	9.9%
Northeast	5 ≤ 10	Side Yard	Third	NFPA 13R	No	10%	10.5	49.6	521.1	51.8	No	9.9%
Northeast	10 ≤ 15	Side Yard	Fourth	NFPA 13R	No	No Limit	9.0	14.2	128.2	0.0	Yes	0.0%
Northeast	5 ≤ 10	Side Yard	Fourth	NFPA 13R	No	10%	8.4	16.7	140.2	0.0	No	0.0%
Southeast	10 ≤ 15	Rear Yard	First	NFPA 13R	No	No Limit	9.5	21.0	199.5	0.0	Yes	0.0%
Southeast	10 ≤ 15	Rear Yard	Second	NFPA 13R	No	No Limit	10.5	27.7	290.9	33.0	Yes	11.3%
Southeast	10 ≤ 15	Rear Yard	Third	NFPA 13R	No	No Limit	10.5	27.7	290.9	33.0	Yes	11.3%
Southeast	10 ≤ 15	Rear Yard	Fourth	NFPA 13R	No	No Limit	-	-	176.0	9.0	Yes	5.1%
Southeast	20 ≤ 25	Rear Yard	Fourth	NFPA 13R	No	No Limit	-	-	41.3	16.5	Yes	40.0%
Southwest	10 ≤ 15	Side Yard	First	NFPA 13R	No	No Limit	9.5	49.6	471.4	226.0	Yes	47.9%
Southwest	5 ≤ 10	Side Yard	Second	NFPA 13R	No	10%	10.5	39.7	416.4	33.0	No	7.9%
Southwest	10 ≤ 15	Side Yard	Second	NFPA 13R	No	No Limit	10.5	10.0	105.0	18.8	Yes	17.9%
Southwest	5 ≤ 10	Side Yard	Third	NFPA 13R	No	10%	10.5	49.6	521.1	42.0	No	8.1%
Southwest	10 ≤ 15	Side Yard	Fourth	NFPA 13R	No	No Limit	11.3	30.9	347.8	51.8	Yes	14.9%

WINDOW SCHEDULE				
TYPE	SIZE (ROUGH OPENING)	MATERIAL	OPERATION	NOTES
A	3'-0" X 3'-0"	uPVC	AWNING	1, 2, 4
B	6'-4" X 5'-6"	uPVC	PICTURE/CASEMENT	1, 2, 3, 4
C	7'-6" X 2'-6"	uPVC	AWNING	1, 2, 4
D	3'-0" X 5'-6"	uPVC	CASEMENT	1, 2, 3, 4

NOTES:

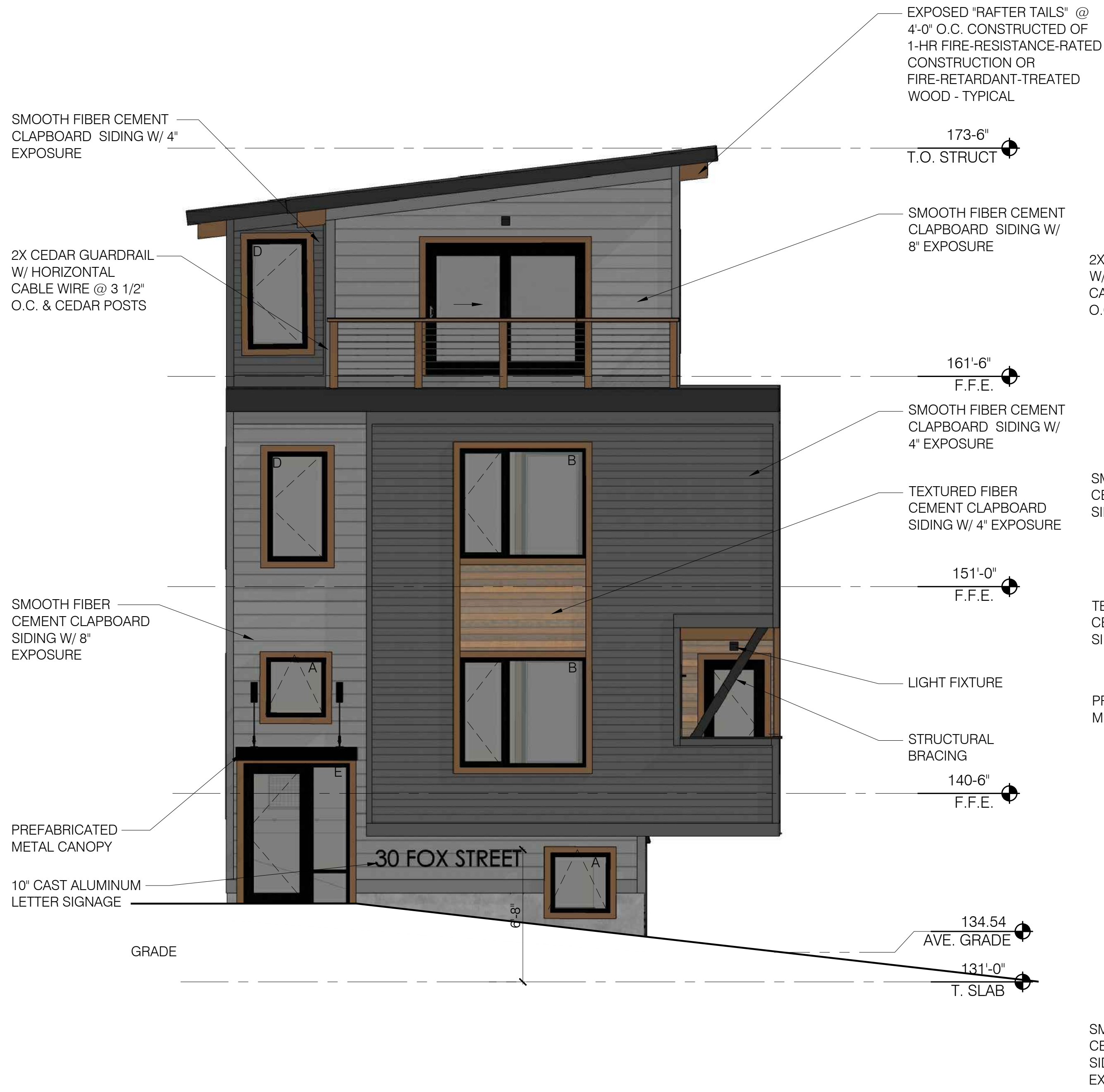
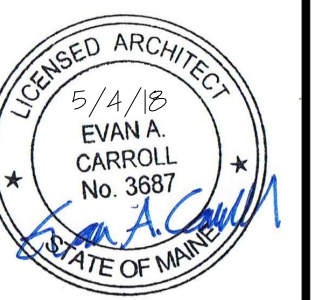
- SAFETY GLAZING MAY BE REQUIRED.
- ALL WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.35.
- EGRESS WINDOWS SHALL COMPLY WITH IBC 2015.
- WINDOWS AND GLAZED DOOR SHALL BE THERMALLY BROKEN.



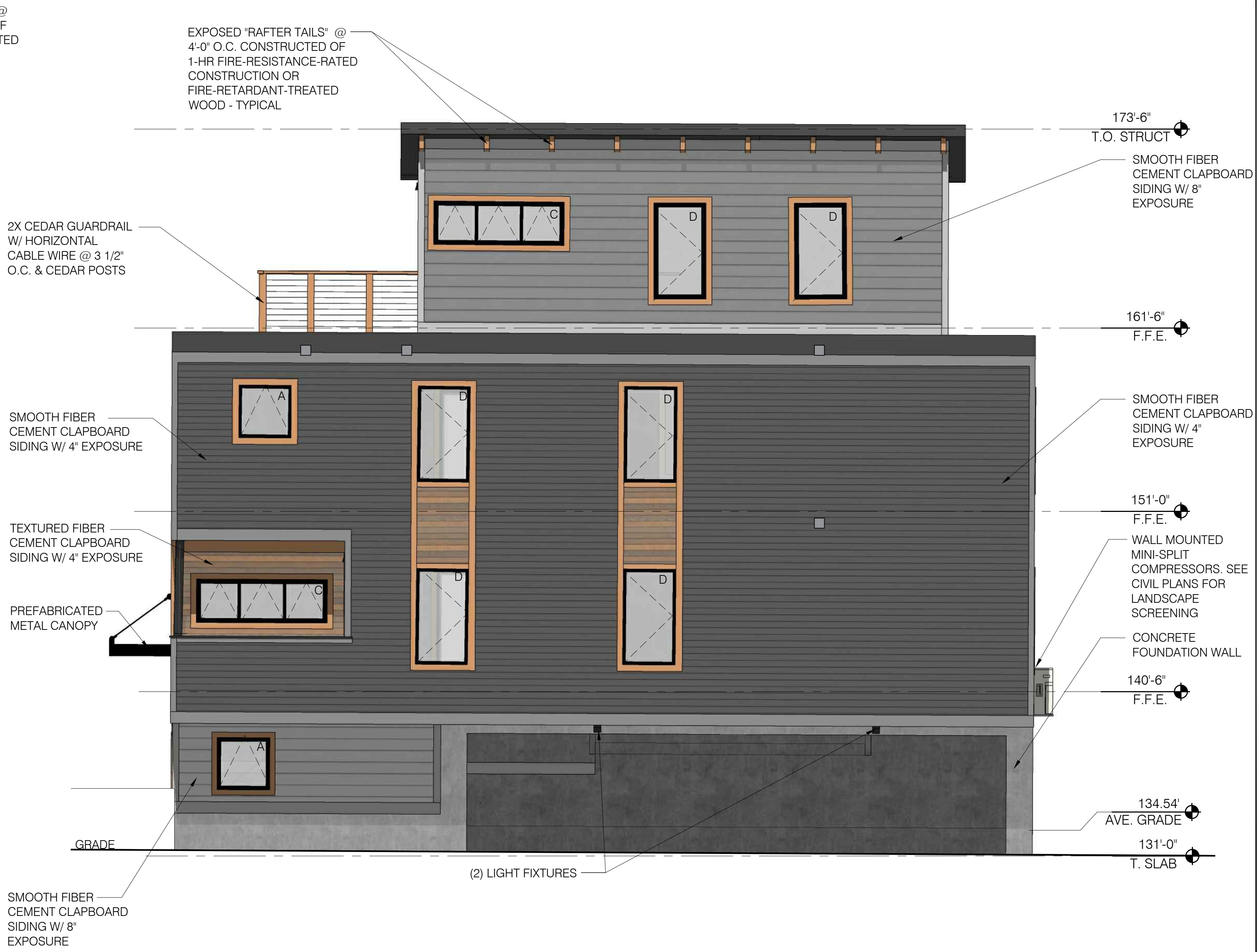
- WINDOW SPECIFICATIONS:**
- Size and window configuration. See Window Schedule
 - Color options. To be selected
 - Factory Mulling Capability. Preferred
 - Design Pressure Rating. 25
 - U Factor. 0.35 or lower
 - Material. To be selected
 - Glazing Type. To be selected
 - Hardware type. To be selected
 - Exterior Washing Capability. Washing from interior preferred
 - Warranty (Window & glazing units). 10 years
 - Insect Screens. Standard Insect Screens



Bild Architecture
 PO Box 8235
 Portland, ME
 04104
 207.408.0168
 evan@bildarchitecture.com



1 NORTHWEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 SOUTHWEST ELEVATION
 SCALE: 1/4" = 1'-0"

PROJECT NO.
17024
 PROJECT NAME
30 FOX STREET
 PORTLAND, MAINE 04101

REVISIONS

1	05.18.18	
2	08.02.18	
3	08.14.18	
4	08.29.18	
5	09.06.18	

PERMIT SET

DRAWN BY
AEW
 SHEET TITLE
ELEVATIONS

ISSUE DATE
5/4/18
 SHEET SCALE
 1/4" = 1'-0"

A
 2.1

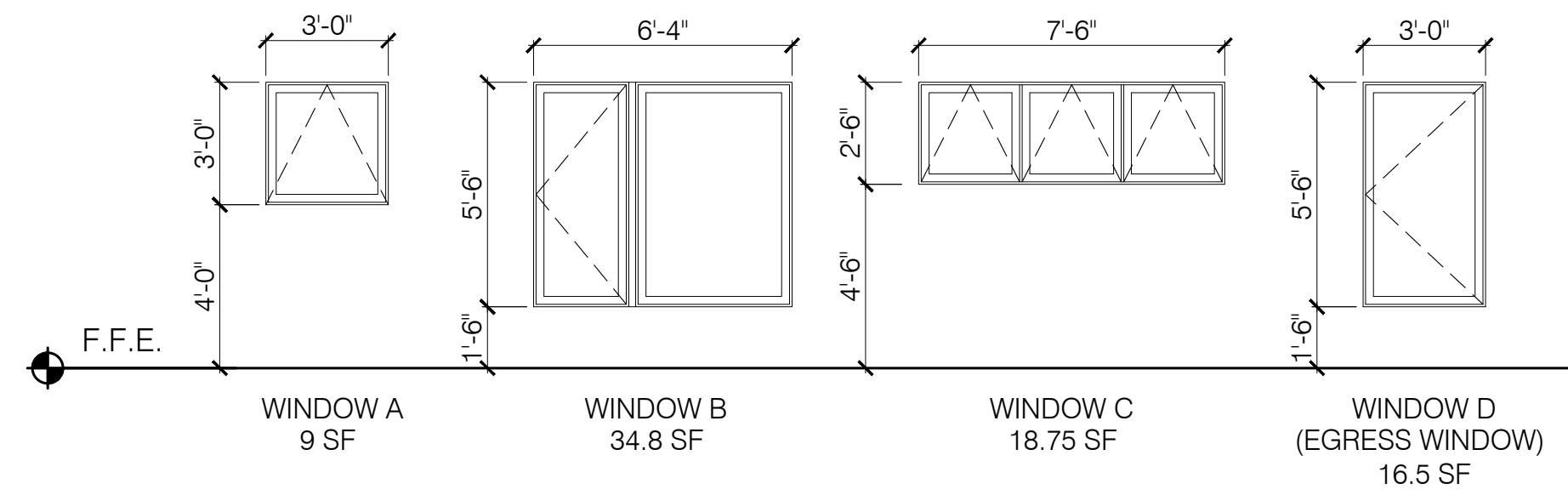
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705.8 MAX AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION													
Elevation	Separation Distance	Elevation Exposure	Floor Level	Sprinkler	Protected Openings	Allowable Opening Area*	Wall Height per Floor	Wall Length per Floor	Total Wall Area of Floor	Opening Area per Floor	*Notes: 705.8.1 Exception 2	% of Opening Area	
Northwest	30 ≥	Public Way	First	NFPA 13R	No	No Limit	9.5	21.3	202.3	35.0	Yes	17.3%	
Northwest	30 ≥	Public Way	Second	NFPA 13R	No	No Limit	10.5	22.7	237.8	51.3	Yes	21.6%	
Northwest	30 ≥	Public Way	Second	NFPA 13R	No	No Limit	10.5	5.0	52.5	18.7	Yes	35.5%	
Northwest	30 ≥	Public Way	Third	NFPA 13R	No	No Limit	10.5	27.7	290.9	51.3	Yes	17.6%	
Northwest	30 ≥	Public Way	Fourth	NFPA 13R	No	No Limit	-	-	176.0	53.3	Yes	30.3%	
Northwest	30 ≥	Public Way	Fourth	NFPA 13R	No	No Limit	-	-	41.3	16.5	Yes	40.0%	
Northeast	5 ≤ 10	Side Yard	First	NFPA 13R	No	10%	9.5	49.6	471.4	18.8	No	4.0%	
Northeast	5 ≤ 10	Side Yard	Second	NFPA 13R	No	10%	10.5	49.6	521.1	51.8	No	9.9%	
Northeast	5 ≤ 10	Side Yard	Third	NFPA 13R	No	10%	10.5	49.6	521.1	51.8	No	9.9%	
Northeast	10 ≤ 15	Side Yard	Fourth	NFPA 13R	No	No Limit	9.0	14.2	128.2	0.0	Yes	0.0%	
Northeast	5 ≤ 10	Side Yard	Fourth	NFPA 13R	No	10%	8.4	16.7	140.2	0.0	No	0.0%	
Southeast	10 ≤ 15	Rear Yard	First	NFPA 13R	No	No Limit	9.5	21.0	199.5	0.0	Yes	0.0%	
Southeast	10 ≤ 15	Rear Yard	Second	NFPA 13R	No	No Limit	10.5	27.7	290.9	33.0	Yes	11.3%	
Southeast	10 ≤ 15	Rear Yard	Third	NFPA 13R	No	No Limit	10.5	27.7	290.9	33.0	Yes	11.3%	
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Southeast	20 ≤ 25	Rear Yard	Fourth	NFPA 13R	No	No Limit	-	-	41.3	16.5	Yes	40.0%	
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Southwest	10 ≤ 15	Side Yard	Fourth	NFPA 13R	No	No Limit	11.3	30.9	347.8	51.8	Yes	14.9%	

WINDOW SCHEDULE				
TYPE	SIZE (ROUGH OPENING)	MATERIAL	OPERATION	NOTES
A	3'-0" X 3'-0"	uPVC	AWNING	1, 2, 4
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C	7'-6" X 2'-6"	uPVC	AWNING	1, 2, 4
D	3'-0" X 5'-6"	uPVC	CASEMENT	1, 2, 3, 4

NOTES:

- SAFETY GLAZING MAY BE REQUIRED.
- ALL WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.35.
- EGRESS WINDOWS SHALL COMPLY WITH IBC 2015.
- WINDOWS AND GLAZED DOOR SHALL BE THERMALLY BROKEN.



- WINDOW SPECIFICATIONS:**
- Size and window configuration. See Window Schedule
 - Color options. To be selected
 - Factory Mulling Capability. Preferred
 - Design Pressure Rating. 25
 - U Factor. 0.35 or lower
 - Material. To be selected
 - Glazing Type. To be selected
 - Hardware type. To be selected
 - Exterior Washing Capability. Washing from interior preferred
 - Warranty (Window & glazing units). 10 years
 - Insect Screens. Standard Insect Screens



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 evan@bildarchitecture.com



PROJECT NO.
17024
 PROJECT NAME
30 FOX STREET
 PORTLAND, MAINE 04101

REVISIONS	DATE	DESCRIPTION
1	05.18.18	
2	08.02.18	
3	08.14.18	
4	08.29.18	
5	09.06.18	

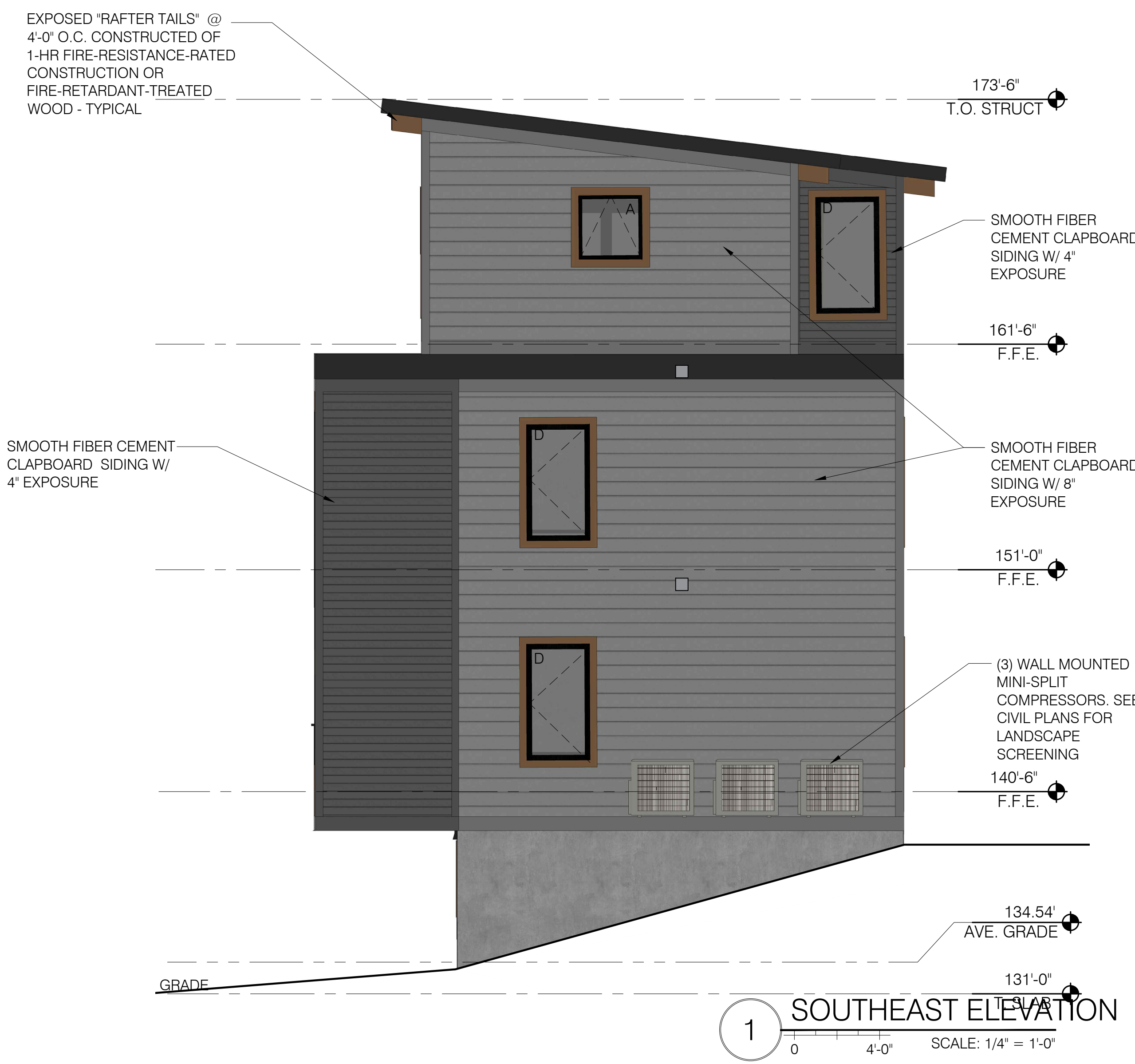
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DRAWN BY
AEW
 SHEET TITLE
ELEVATIONS

ISSUE DATE
5/4/18
 SHEET SCALE
 1/4" = 1'-0"

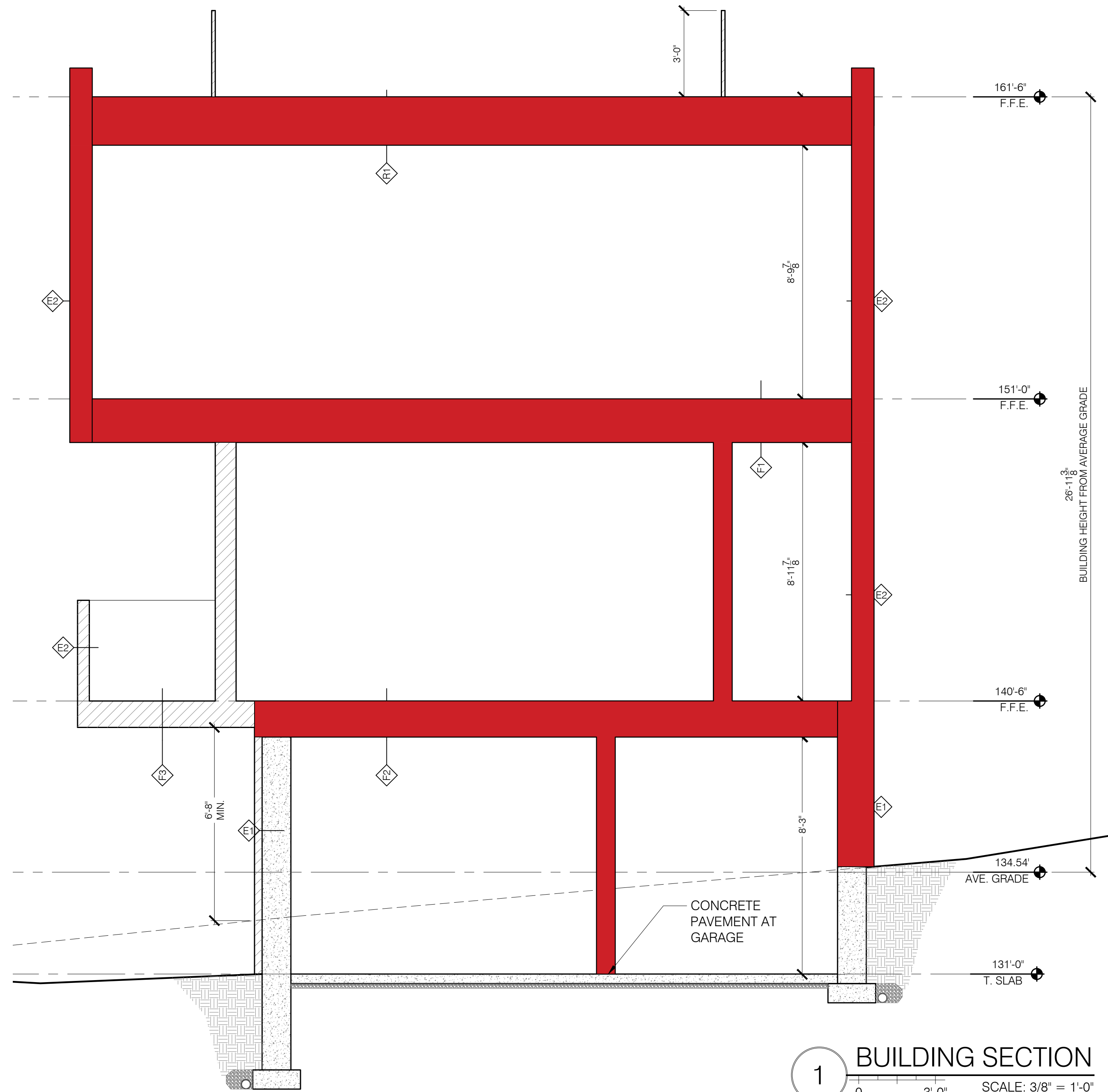
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2.2



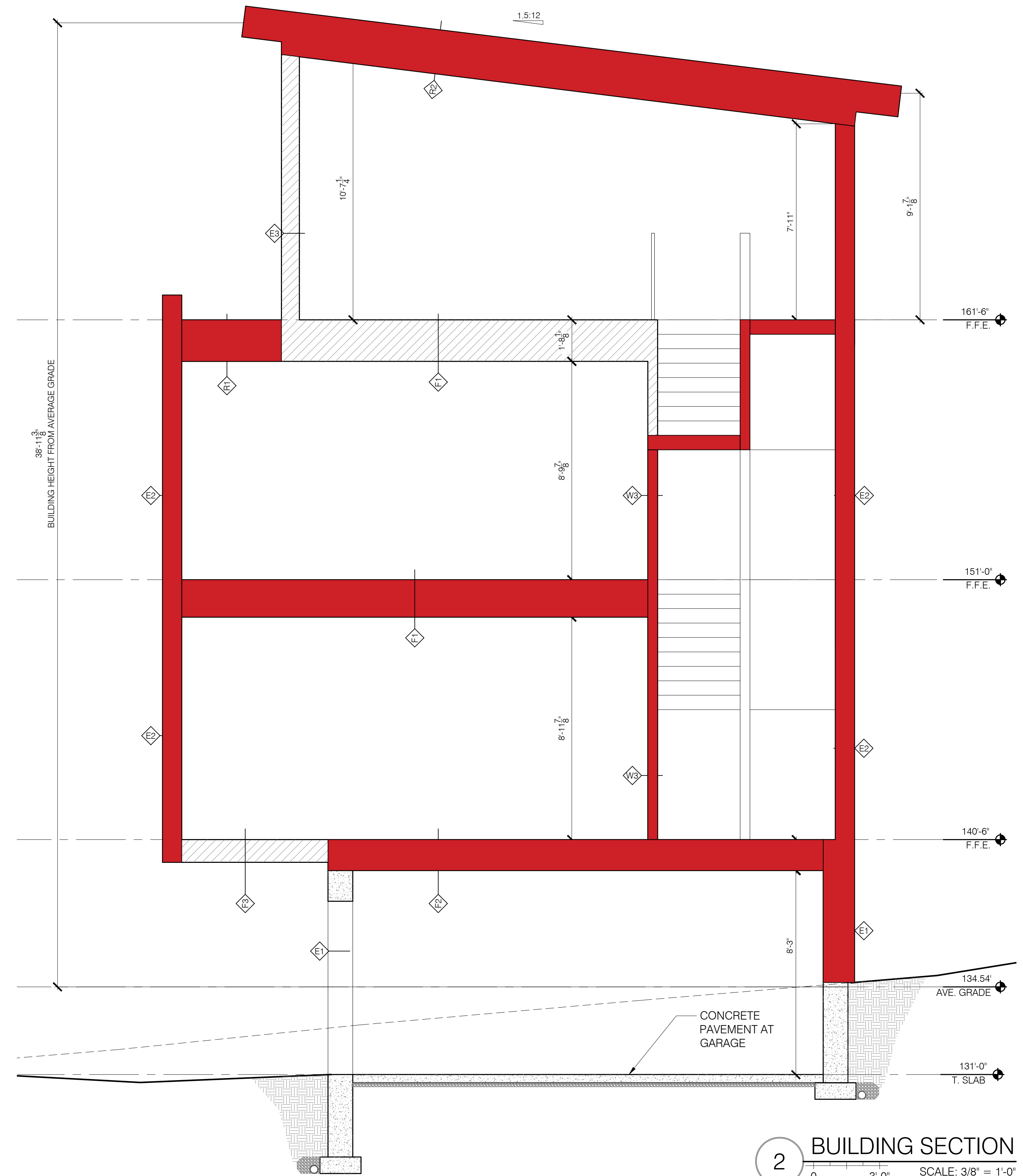
NOTE:

- ALL HEATING, VENTILATION AND AIR CONDITIONING EQUIPMENT (HVAC), AIR HANDLING UNITS (AHU), EMERGENCY GENERATORS, AND SIMILAR EQUIPMENT SHALL MEET APPLICABLE STATE AND FEDERAL EMISSIONS REQUIREMENTS AND SHALL COMPLY WITH THE FOLLOWING:
 - BE LOCATED TO THE INTERIOR OF THE SITE, AWAY FROM ABUTTING RESIDENTIAL PROPERTIES;
 - BE SCREENED FROM VIEW FROM ANY PUBLIC STREET AND FROM ADJACENT SITES BY STRUCTURE WALLS, EVERGREEN LANDSCAPING, FENCING, MASONRY WALL OR A COMBINATION THEREOF



1 BUILDING SECTION
 0 3'-0" SCALE: 3/8" = 1'-0"

NOTE:
 1. INSTALL 5" (R-20) OPEN CELL FOAM INSULATION AT FIRST AND SECOND FLOOR RIM JOISTS.



2 BUILDING SECTION
 0 3'-0" SCALE: 3/8" = 1'-0"

NOTE:
 1. INSTALL 5" (R-20) OPEN CELL FOAM INSULATION AT FIRST AND SECOND FLOOR RIM JOISTS.

KEY
 1-HR RATED ASSEMBLY

Reviewed for Code Compliance
 Permitting and Inspections Department
 02/13/2019

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 evan@bildarchitecture.com

EVAN A. CARROLL
 LICENSED ARCHITECT
 No. 3987
 STATE OF MAINE

PROJECT NO.
17024

PROJECT NAME
30 FOX STREET
 PORTLAND, MAINE 04101

REVISIONS

1	05.18.18
2	08.02.18
3	08.14.18
4	08.29.18
5	09.06.18

PERMIT SET

ISSUE DATE
5/4/18

DRAWN BY
AEW

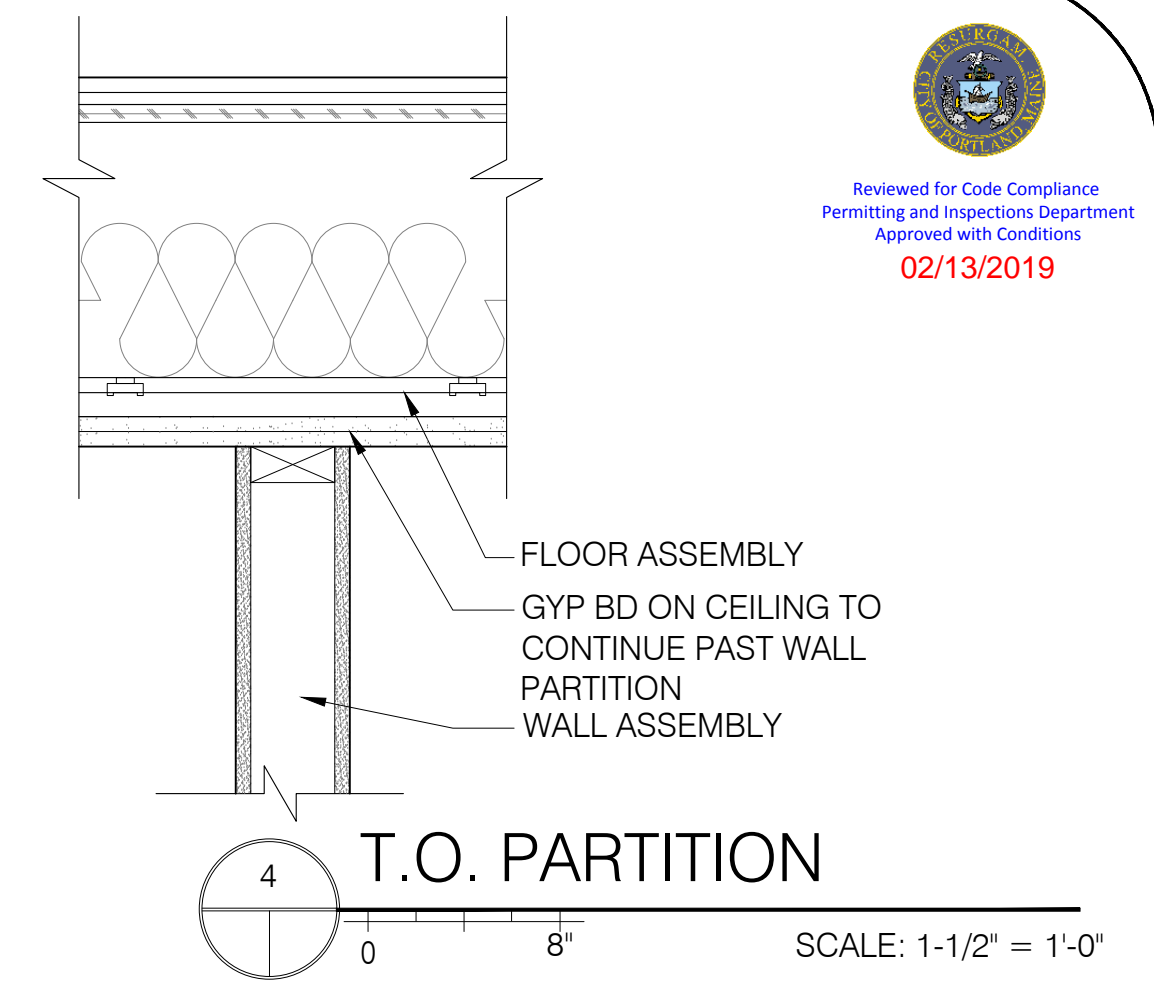
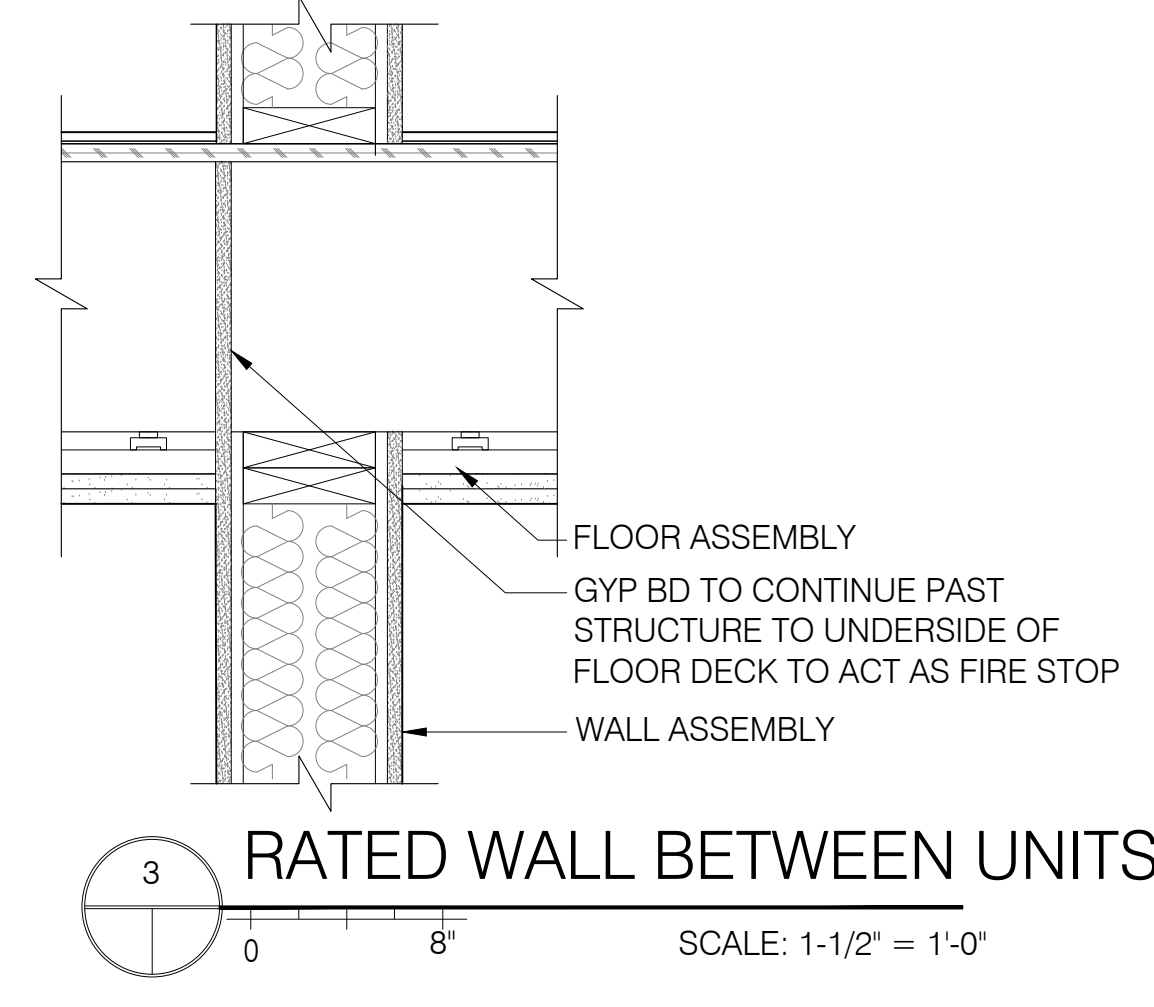
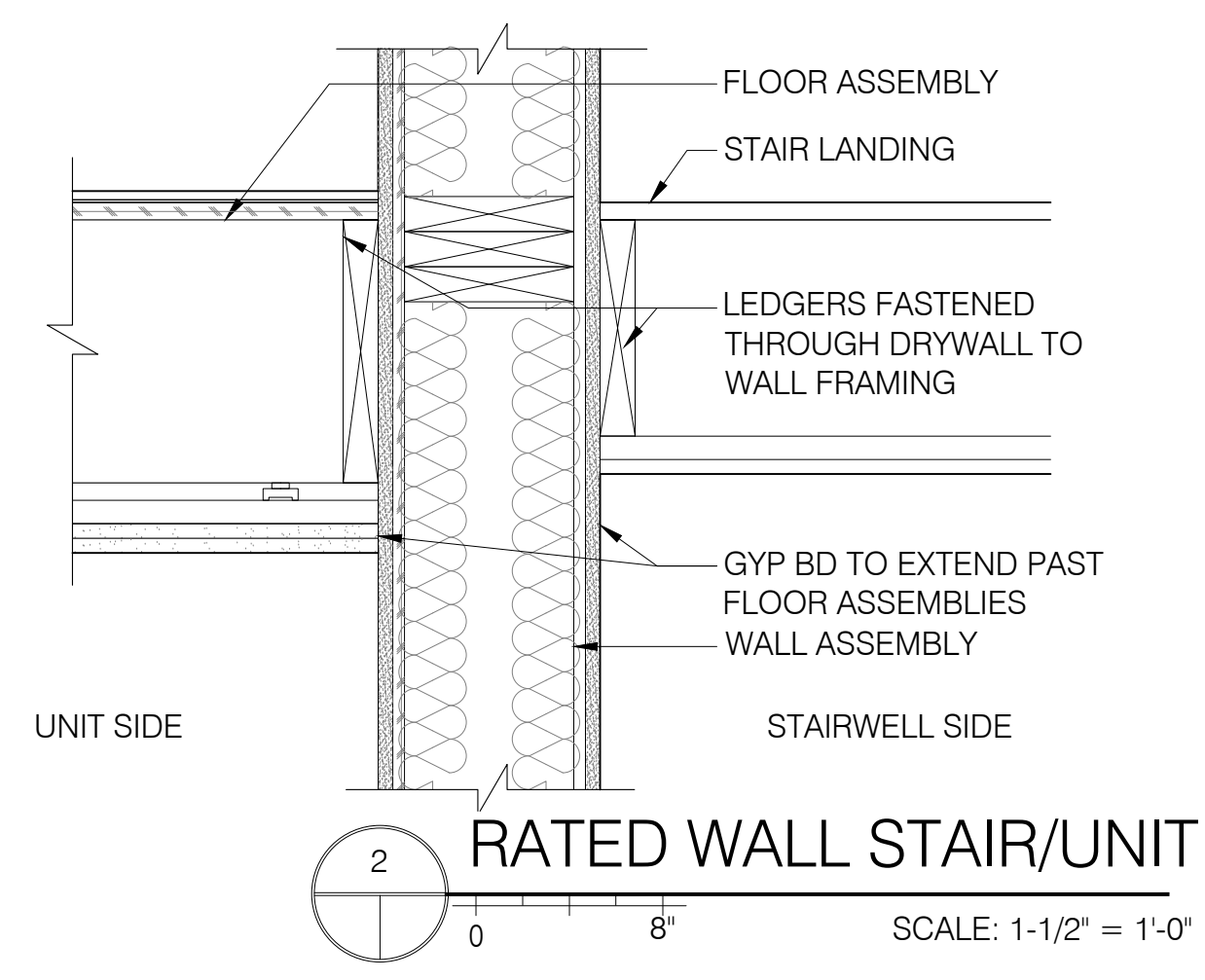
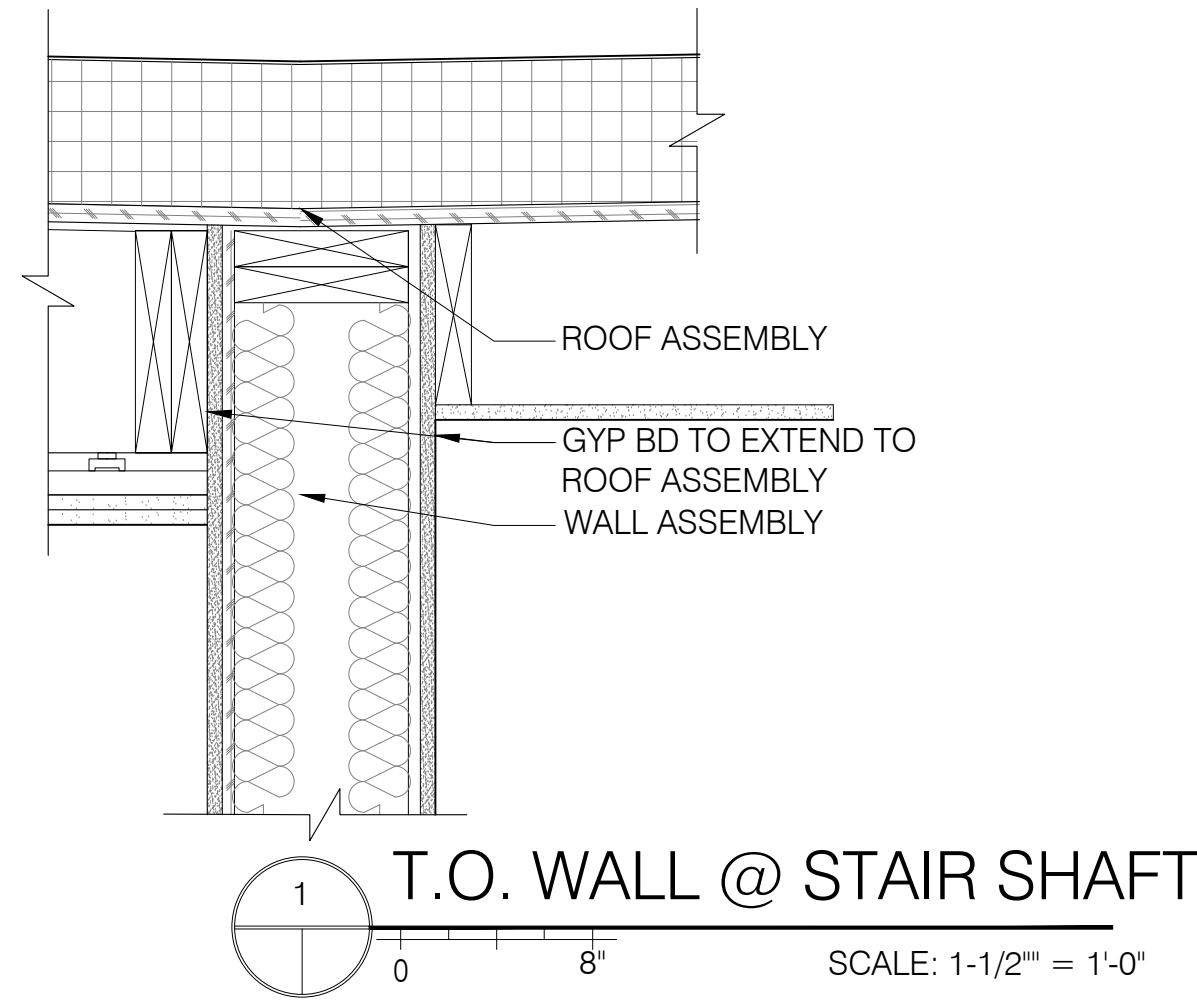
SHEET TITLE
BUILDING SECTIONS

SHEET SCALE
 3/8" = 1'-0"

A

3.1

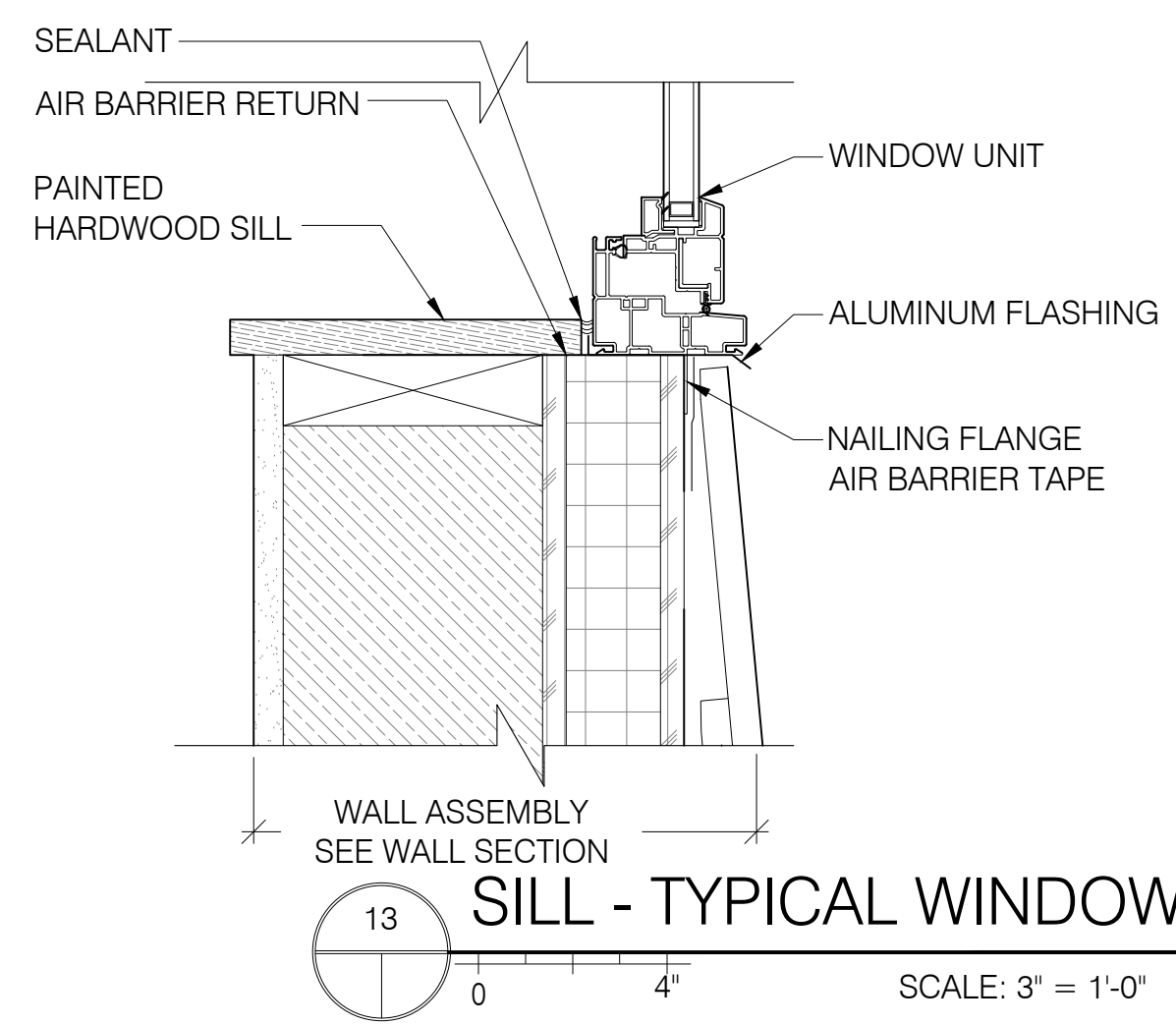
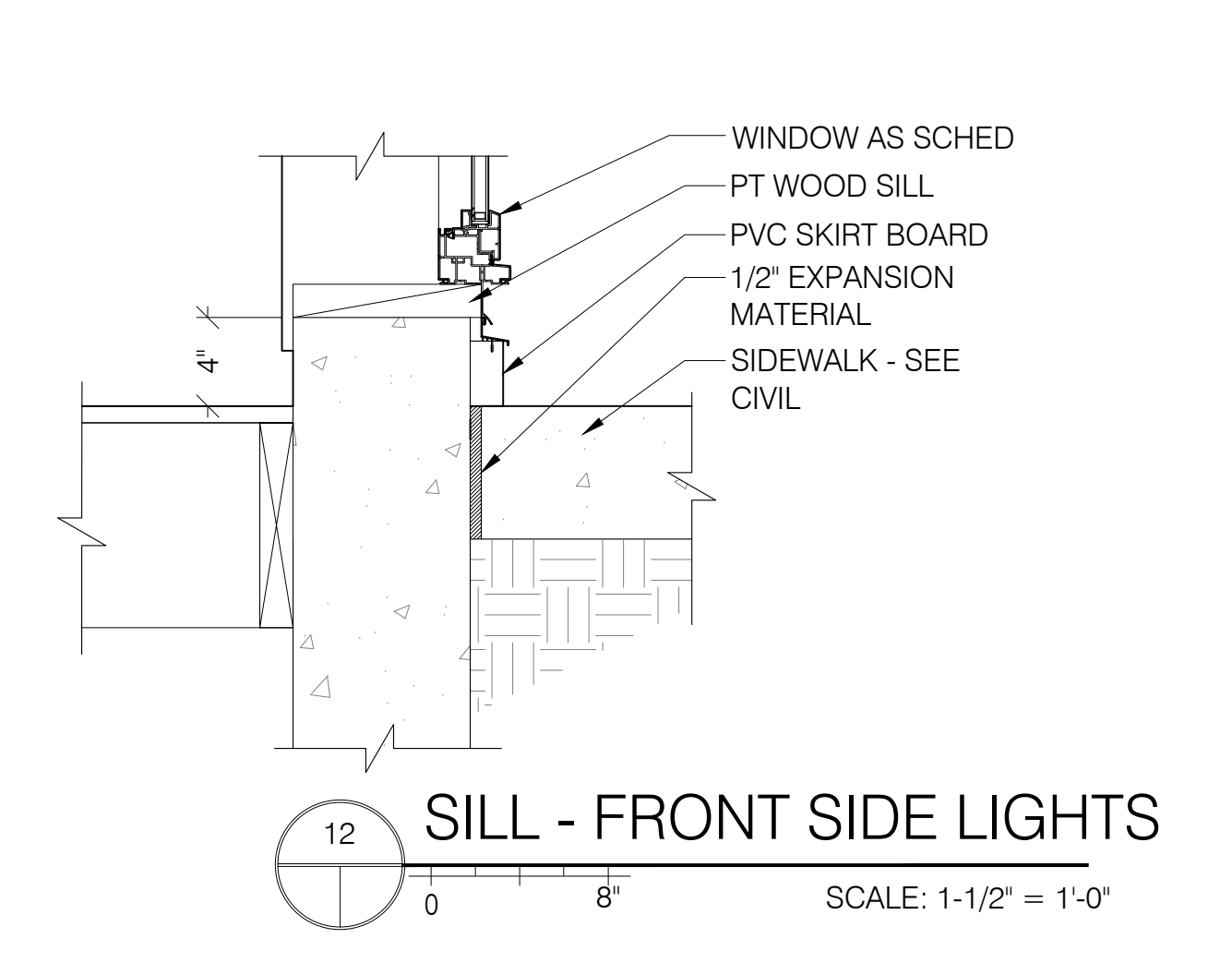
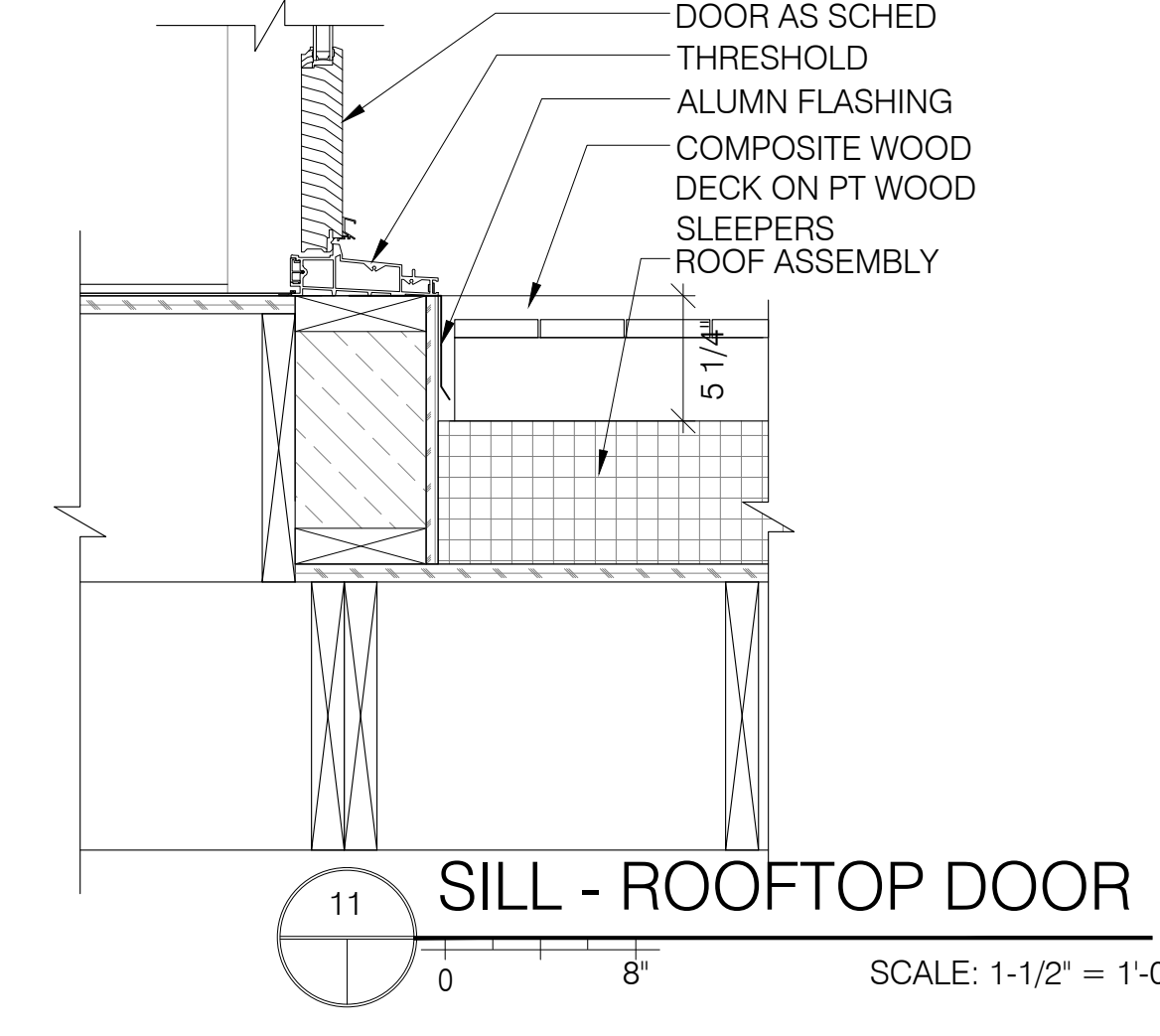
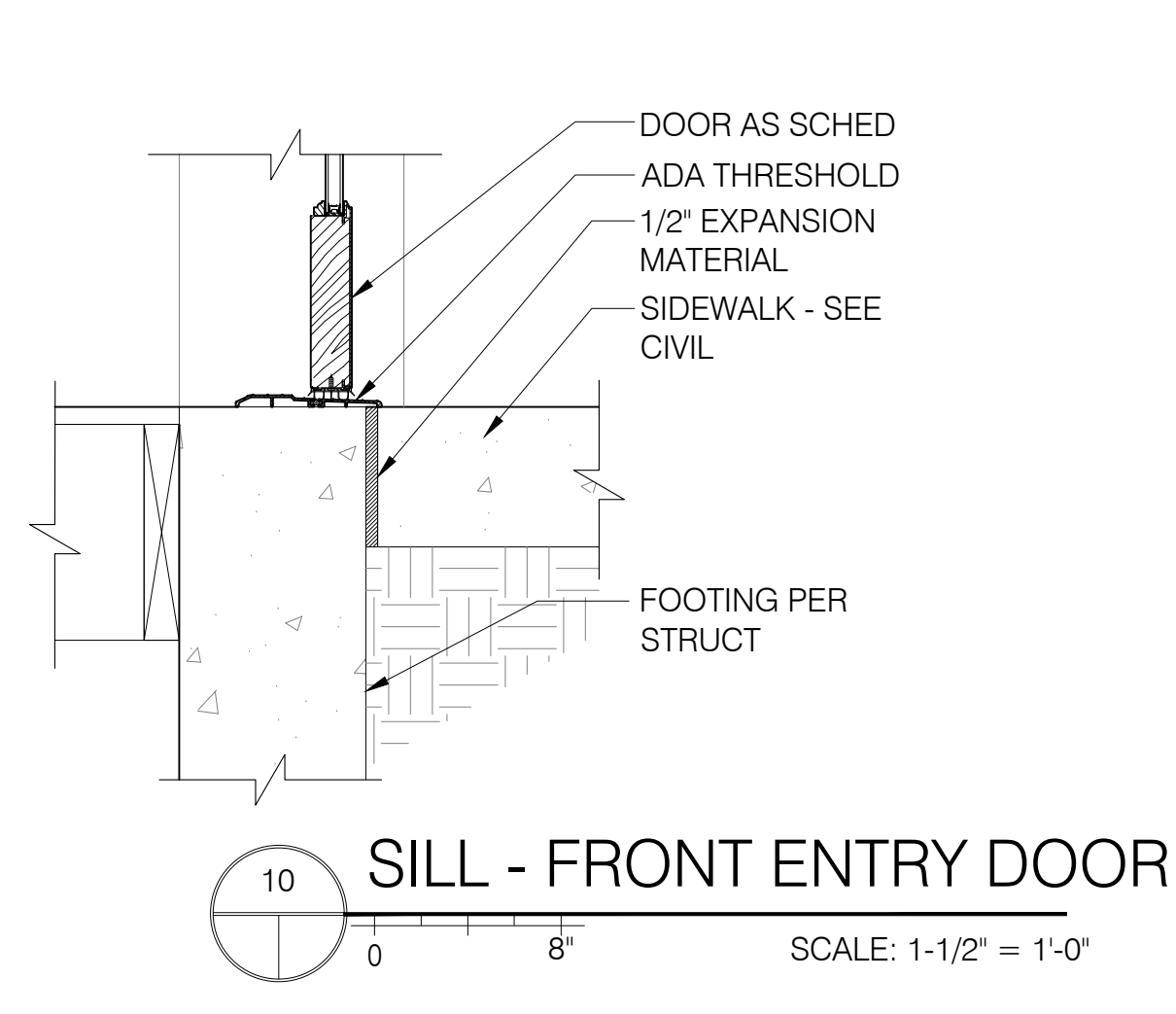
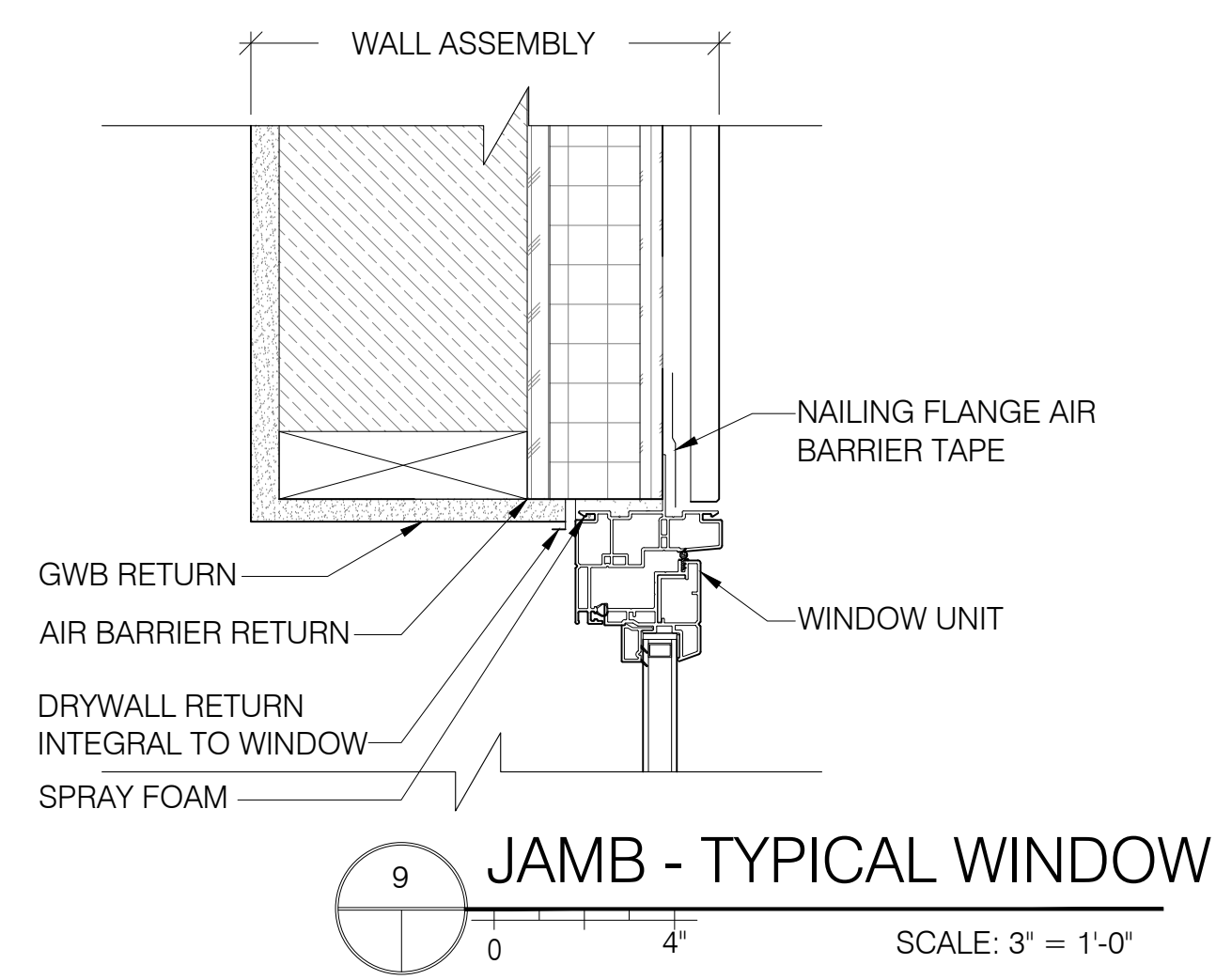
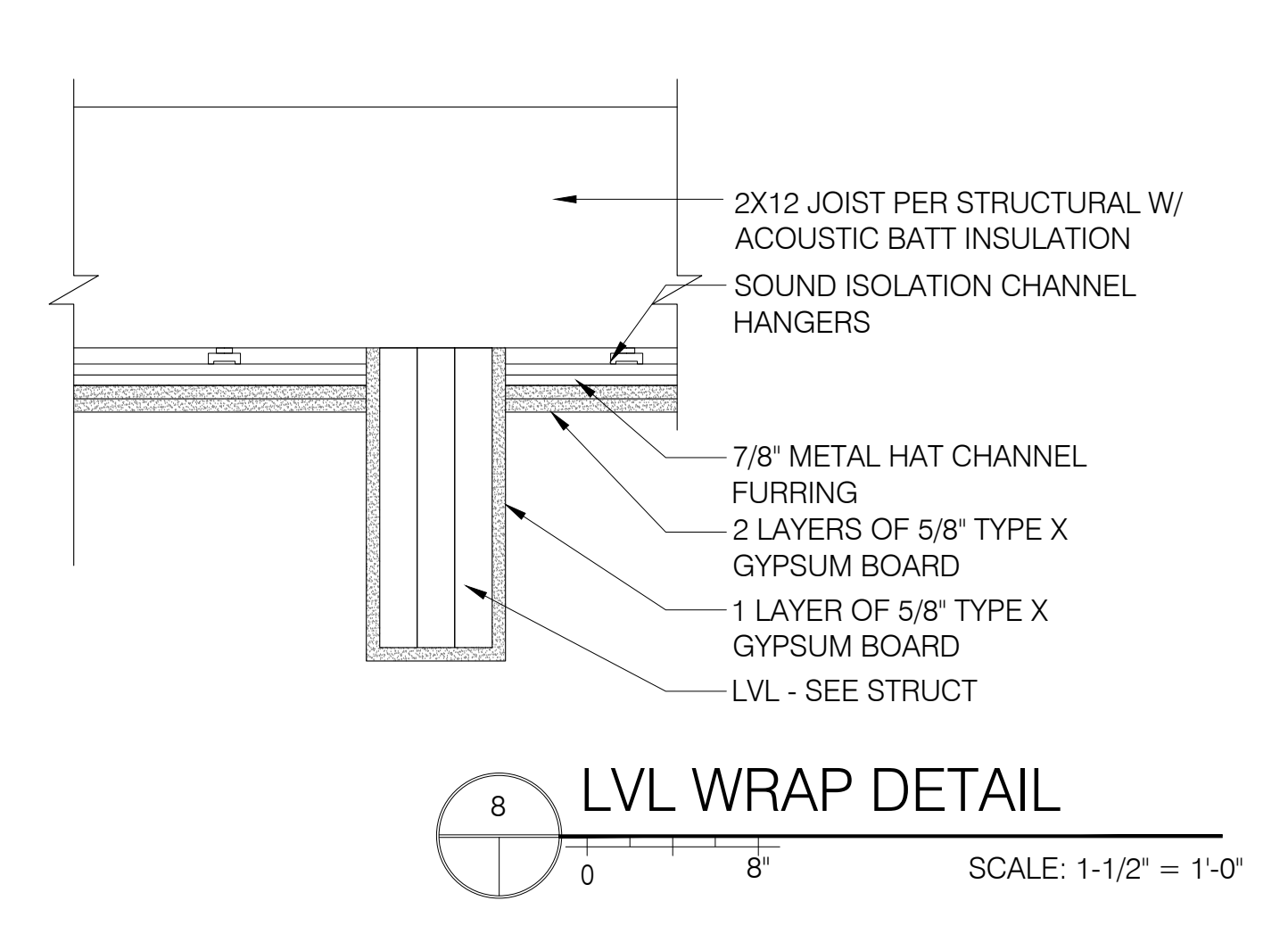
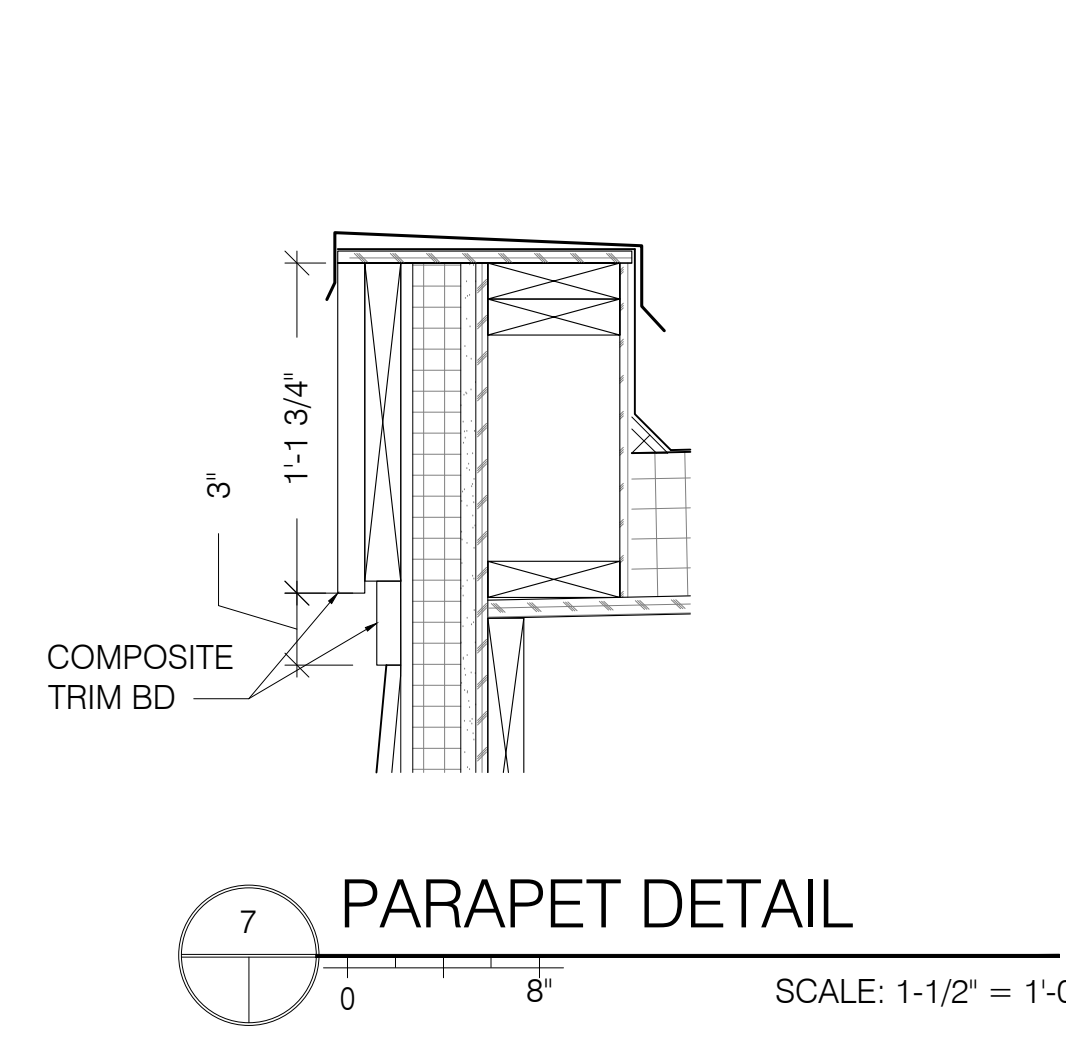
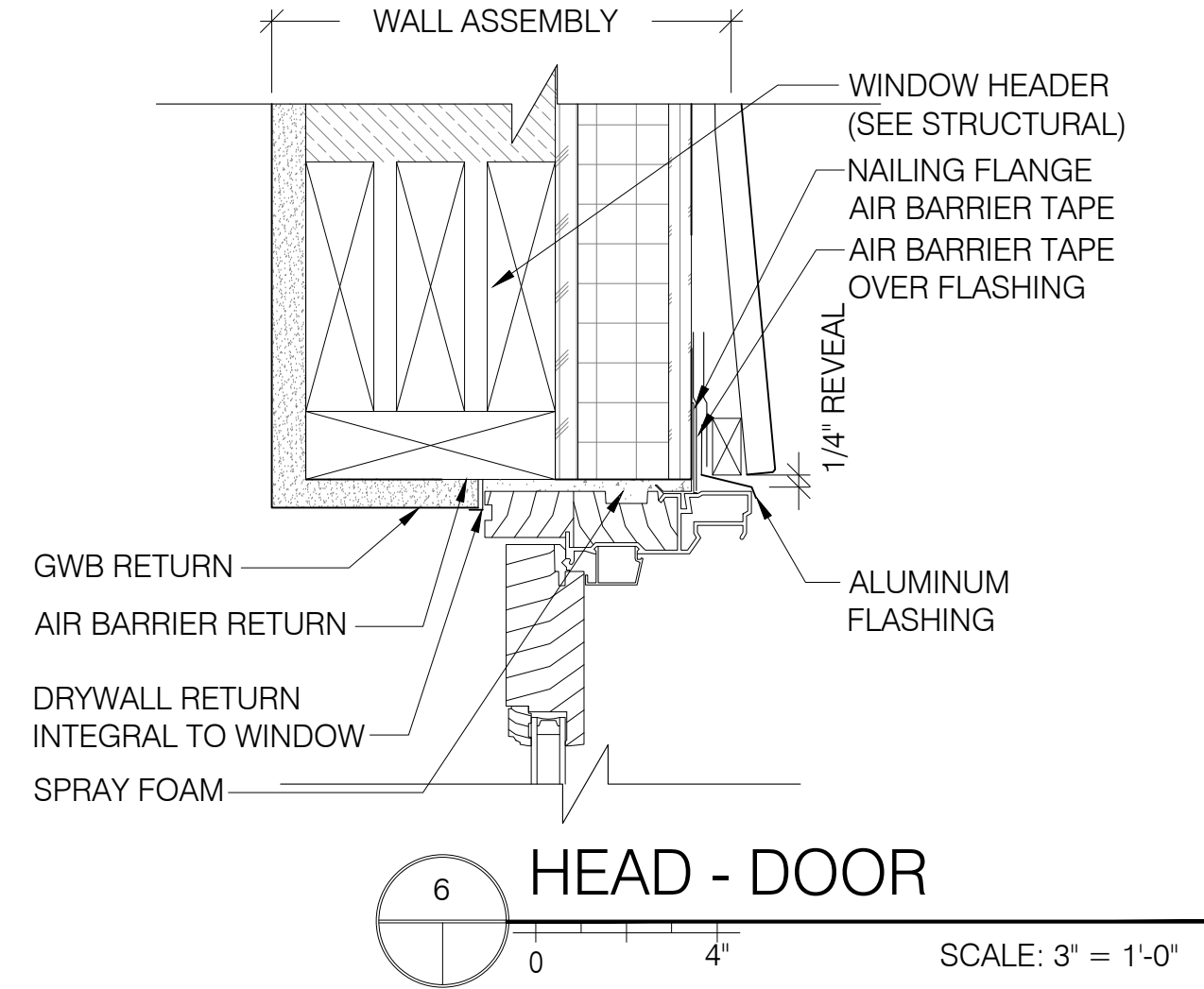
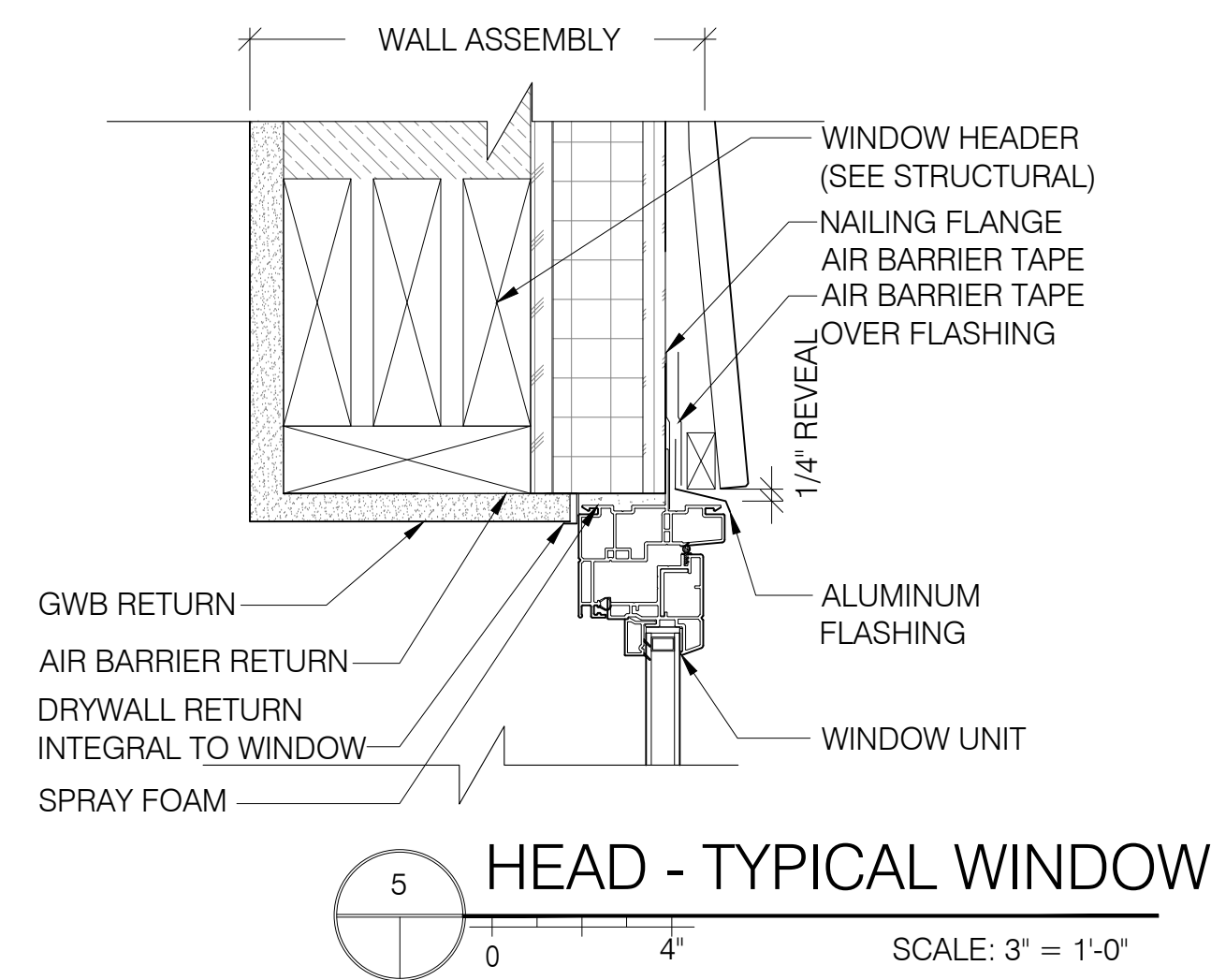
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Permitting and Inspections Department
02/13/2019

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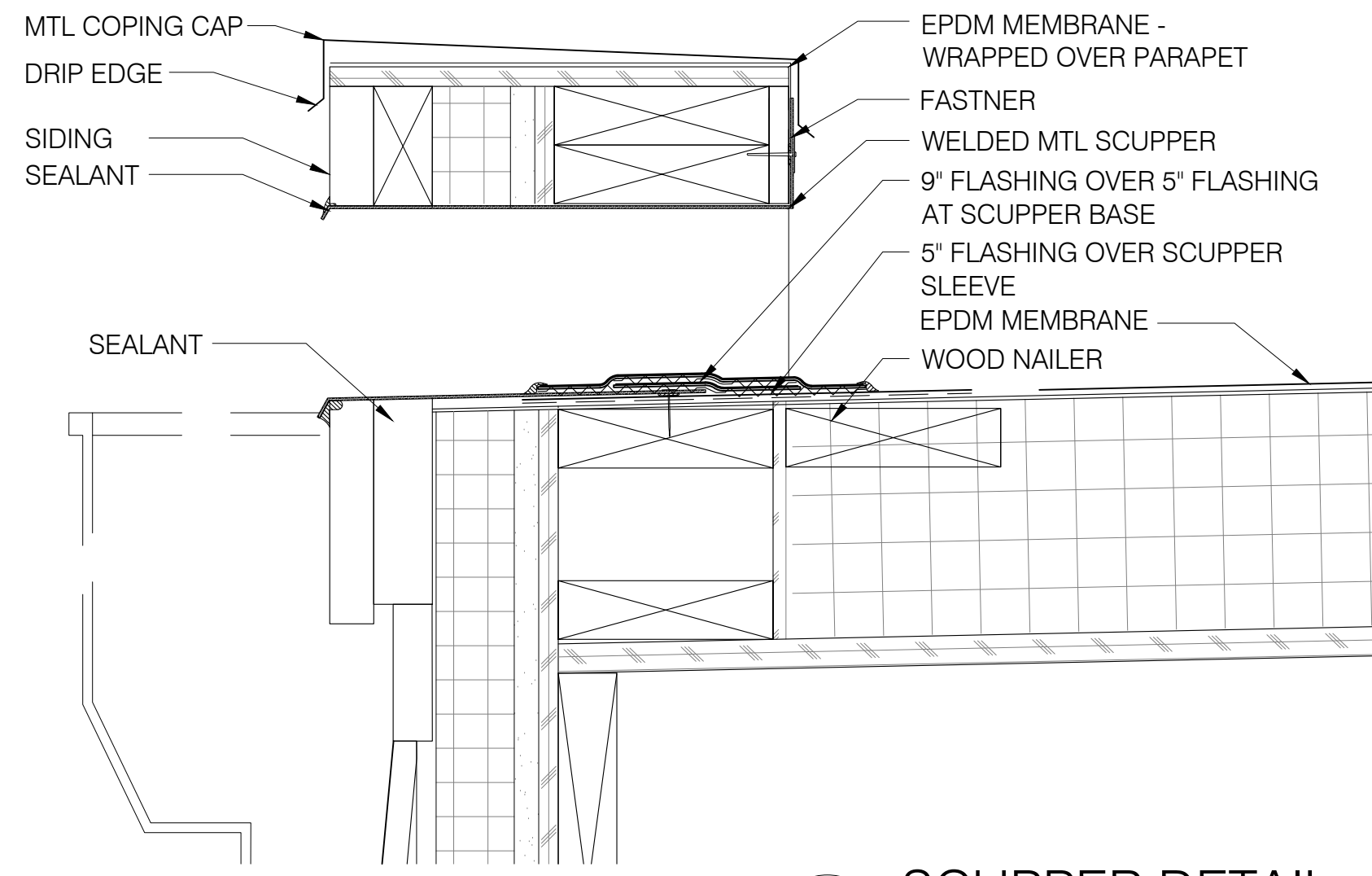
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3/8" = 1'-0"

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SHEET TITLE
DETAILS - 1 OF 2

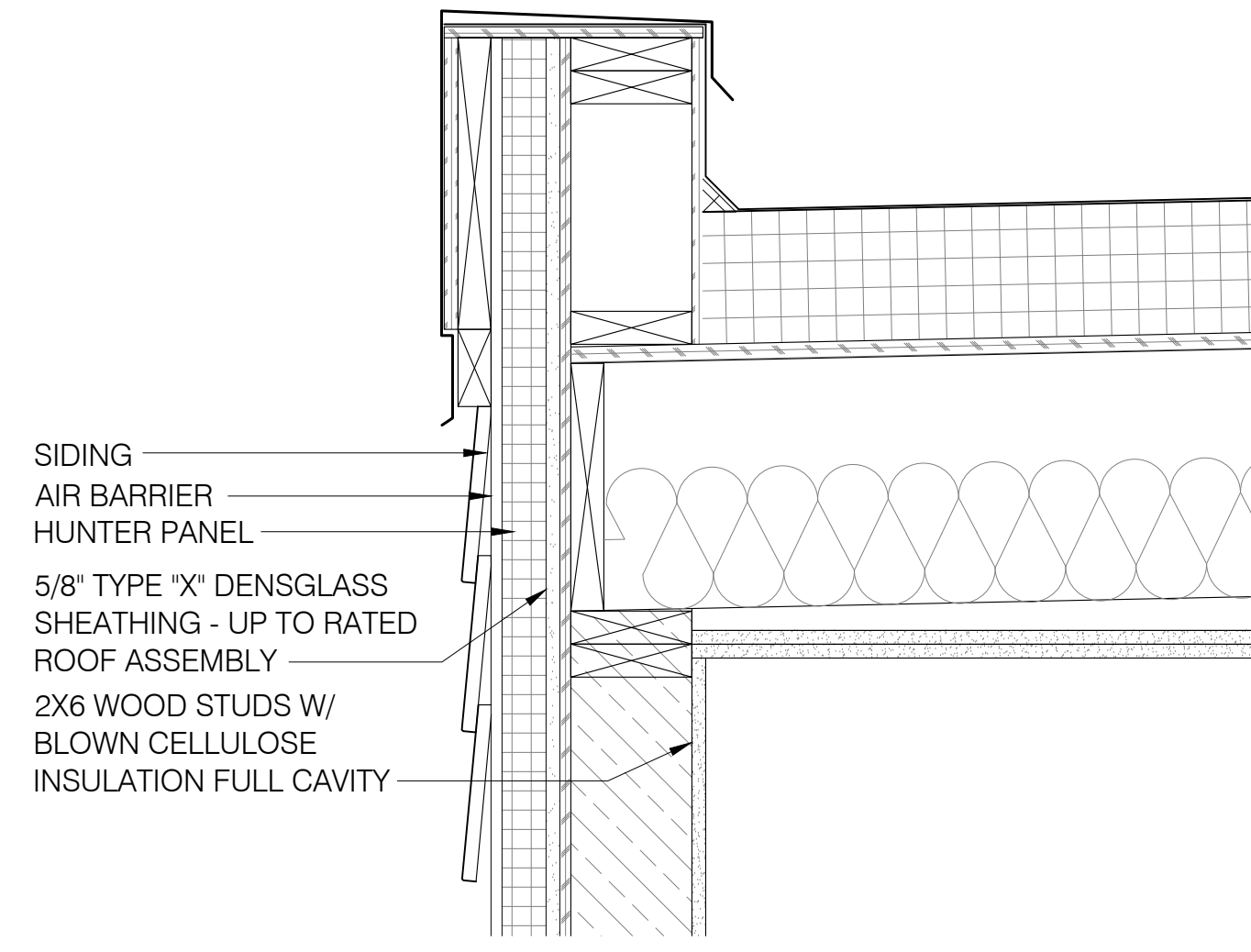
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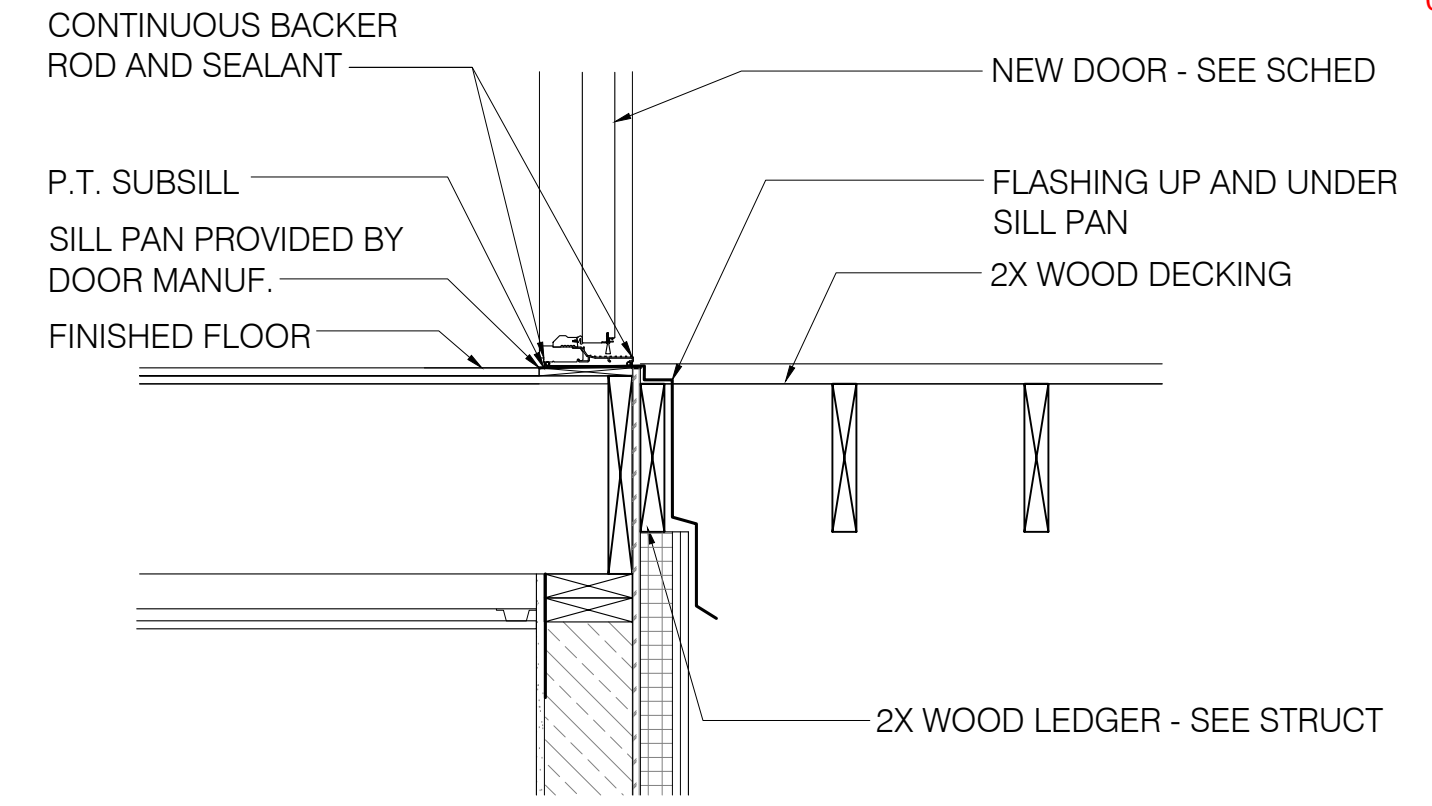
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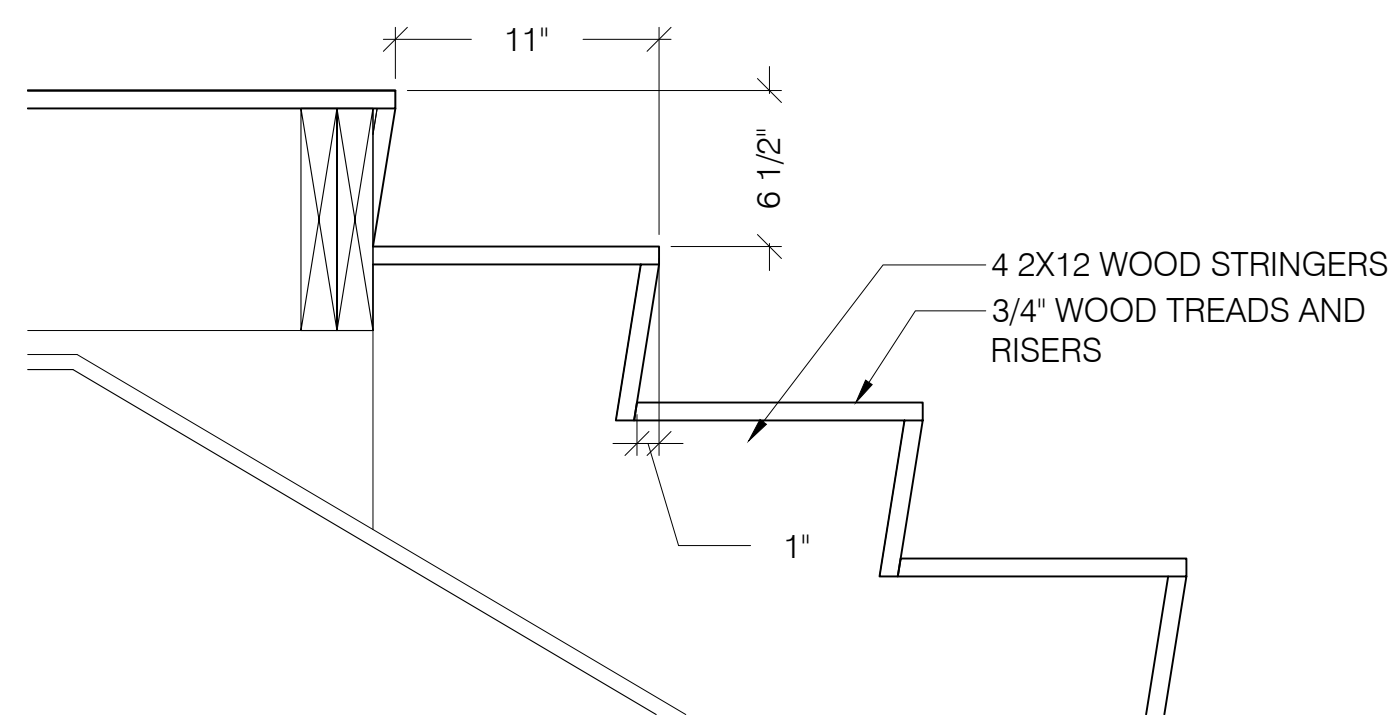
1 SCUPPER DETAIL
SCALE: 3" = 1'-0"



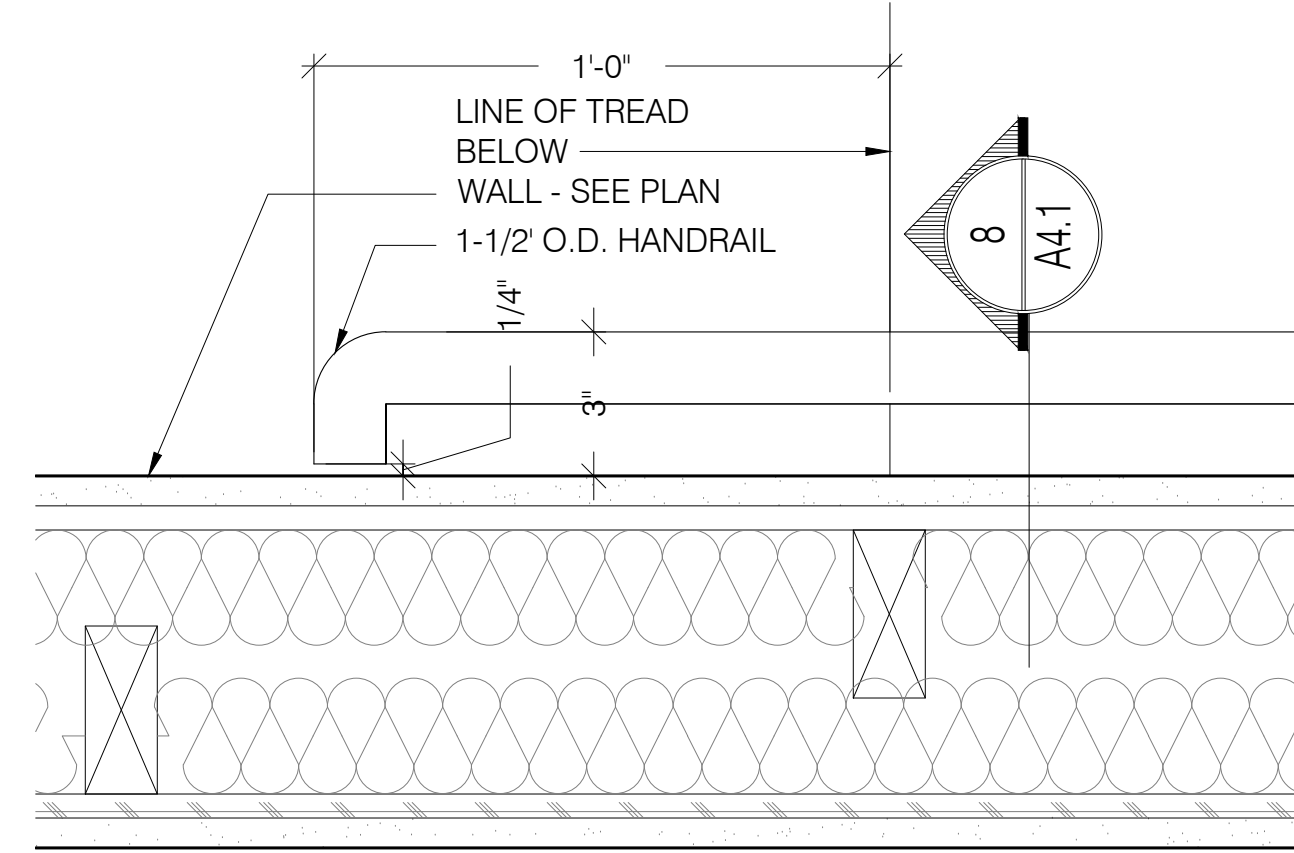
2 T.O. RATED EXT WALL DETAIL
SCALE: 1-1/2" = 1'-0"



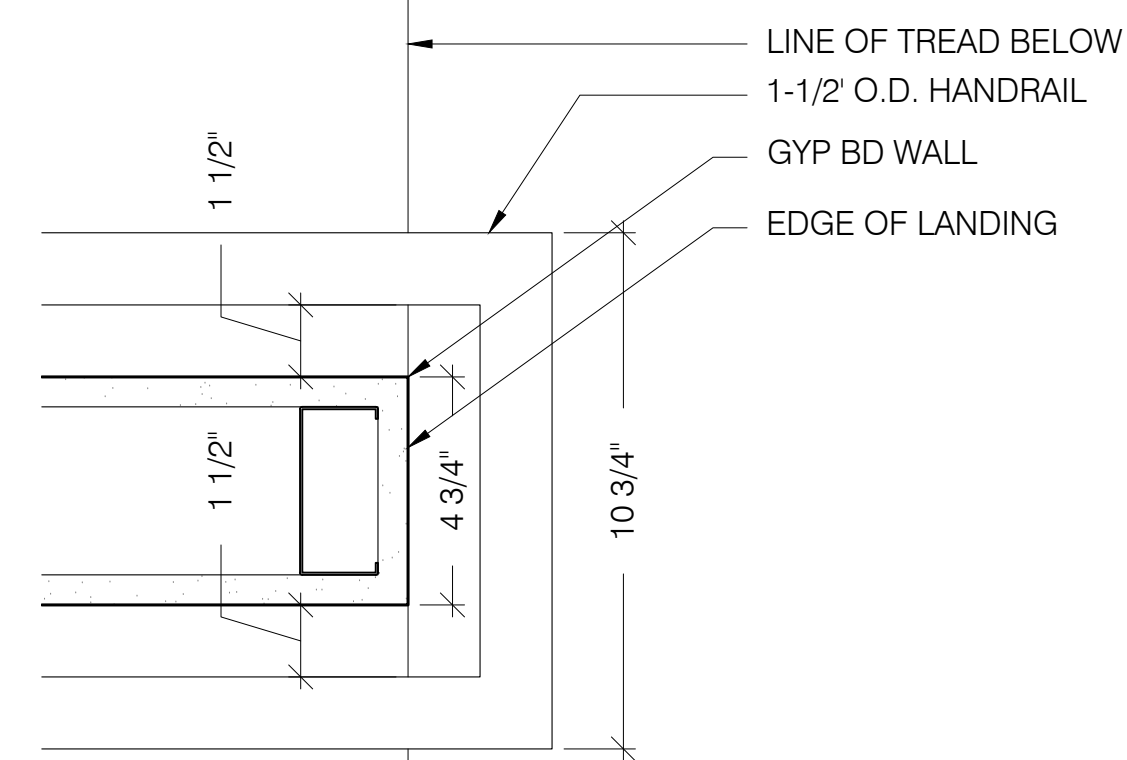
3 DECK DETAIL
SCALE: 1" = 1'-0"



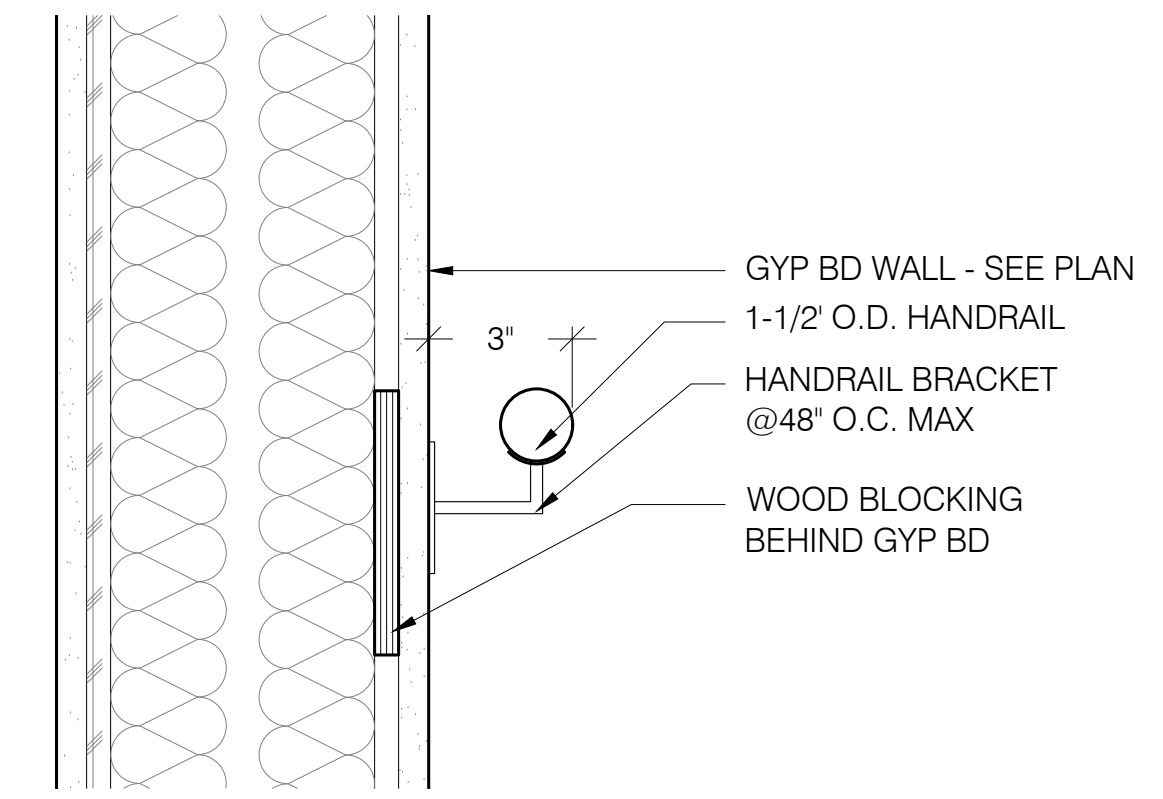
4 TYP. RISER TREAD DETAIL
SCALE: 1-1/2" = 1'-0"



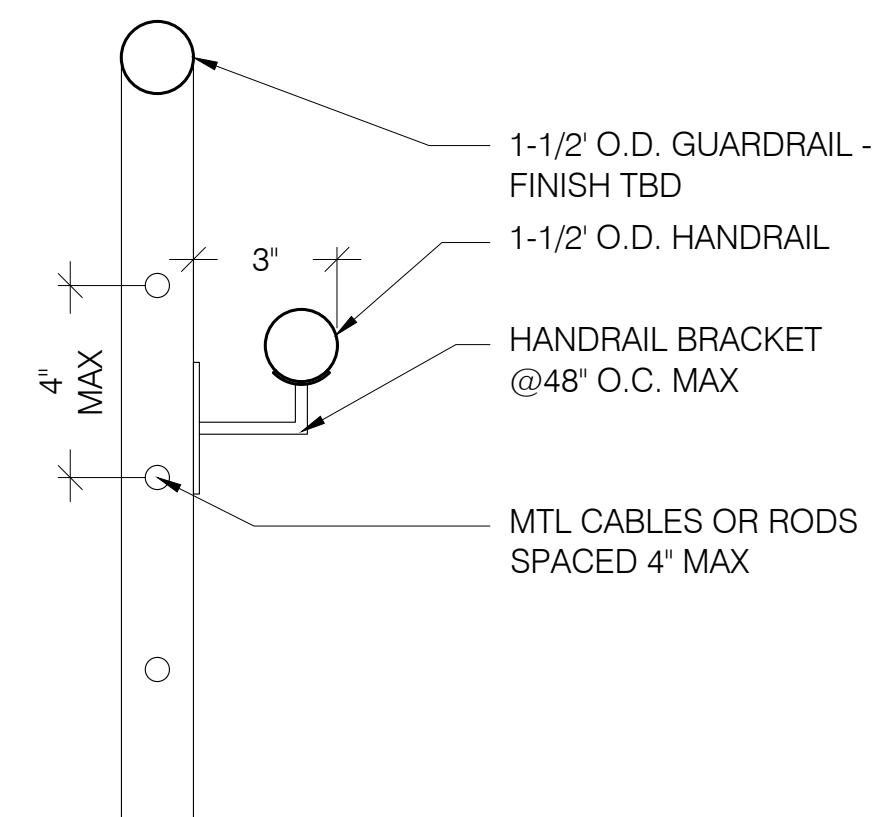
5 HANDRAIL DETAIL
SCALE: 3" = 1'-0"



6 HANDRAIL DETAIL
SCALE: 3" = 1'-0"



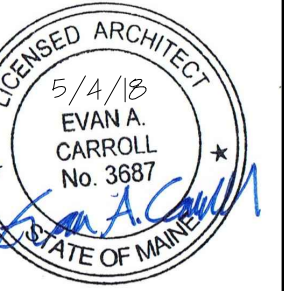
7 HANDRAIL SECTION
SCALE: 3" = 1'-0"



8 HANDRAIL SECTION
SCALE: 3" = 1'-0"



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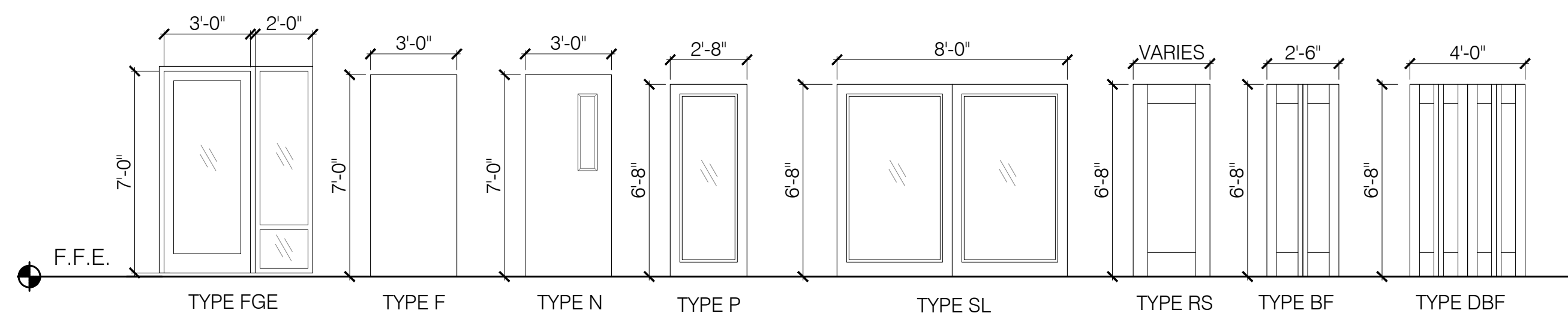
DETAILS - 2 OF 2

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4.2

DOOR SCHEDULE											
DOOR #	FROM	TO	DOORS					FRAME		HARDWARE SET	NOTES
			SIZE	DOOR MATERIAL	FINISH	DOOR TYPE	DOOR RATING	TYPE	FINISH		
001	EXTERIOR	STAIR	3'-0" X 7'-0"	FIBERGLASS	FACTORY FINISH	FGE	-				1, 2
002	STAIR	COVERED PARKING	3'-0" X 6'-8"	HOLLOW METAL	FIELD FINISH	N	90 MIN.	HM	FIELD FINISH		1
003	COVERED PARKING	MECH / STORAGE	3'-0" X 6'-8"	HOLLOW METAL	FIELD FINISH	F	1-HR	HM	FIELD FINISH		
100	STAIR	UNIT #1	3'-0" X 7'-0"	HOLLOW METAL	FIELD FINISH	F	1-HR	HM	FIELD FINISH		
101	UNIT #1 ENTRY	UNIT #1 ENTRY CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
102	UNIT #1 DINING	UNIT #1 BALCONY	2'-8" X 6'-8"	uPVC	FACTORY FINISH	P	-	uPVC	FACTORY FINISH		1, 2
103	UNIT #1 HALLWAY	UNIT #1 BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
104	UNIT #1 BEDROOM	UNIT #1 BEDROOM CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
105	UNIT #1 HALLWAY	UNIT #1 LAUNDRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
106	UNIT #1 HALLWAY	UNIT #1 BATHROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
107	UNIT #1 HALLWAY	UNIT #1 MASTER BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
108	UNIT #1 MASTER BEDROOM	UNIT #1 MASTER CLOSET	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
109	UNIT #1 MASTER CLOSET	UNIT #1 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
110	UNIT #1 MASTER CLOSET	UNIT #1 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
111	UNIT #1 MASTER CLOSET	UNIT #1 MASTER BATHROOM	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
200	STAIR	UNIT #2	3'-0" X 7'-0"	HOLLOW METAL	FIELD FINISH			HM	FIELD FINISH		
201	UNIT #2 KITCHEN	UNIT #2 PANTRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
202	UNIT #2 LIVING	UNIT #2 BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
203	UNIT #2 BEDROOM	UNIT #2 BEDROOM CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
204	UNIT #2 LIVING	UNIT #2 BATHROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
205	UNIT #2 BATHROOM	UNIT #2 LAUNDRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
300	STAIR	UNIT #3	3'-0" X 7'-0"	HOLLOW METAL	FIELD FINISH	F	1-HR	HM	FIELD FINISH		
301	UNIT #3 ENTRY	UNIT #3 ENTRY CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
302	UNIT #3 HALLWAY	UNIT #3 BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
303	UNIT #3 BEDROOM	UNIT #3 BEDROOM CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
304	UNIT #3 HALLWAY	UNIT #3 LAUNDRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
305	UNIT #3 HALLWAY	UNIT #3 BATHROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
306	UNIT #3 HALLWAY	UNIT #3 MASTER BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
307	UNIT #3 MASTER BEDROOM	UNIT #3 MASTER CLOSET	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
308	UNIT #3 MASTER CLOSET	UNIT #3 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
309	UNIT #3 MASTER CLOSET	UNIT #3 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
310	UNIT #3 MASTER CLOSET	UNIT #3 MASTER BATHROOM	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
312	UNIT #3 LIVING	UNIT #3 DECK	8'-0" X 6'-8"	uPVC	FACTORY FINISH	P	-	uPVC	FACTORY FINISH		1, 2

- NOTES:
- GLAZING TO BE TEMPERED SAFETY GLASS.
 - EXTERIOR DOOR TO BE INSULATED.



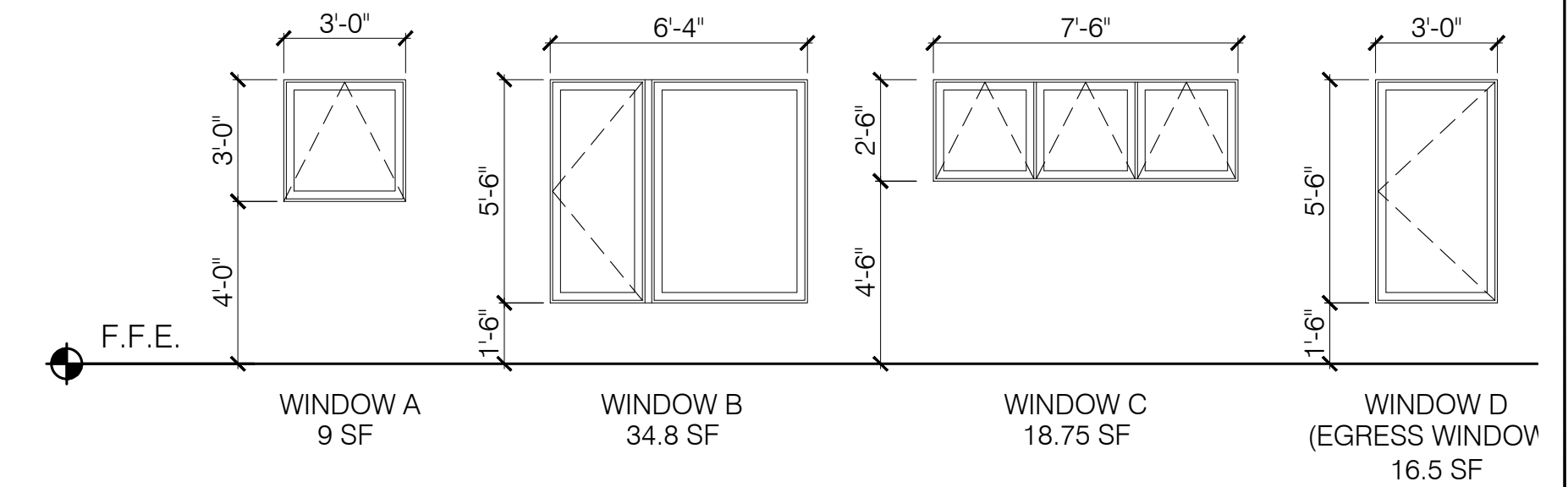
DOOR HARDWARE SCHEDULE				
HARDWARE SET	HARDWARE TYPE	FINISH	MANUFACTURER	NOTES
A	OVERHEAD DOOR TRACK	T.B.D.	T.B.D.	1
	ELECTRIC OPERATOR			
	BOTTOM-SENSING EDGE			
	WEATHERSTRIPPING			
B	GASKETING	T.B.D.	T.B.D.	1
	BIFOLD DOOR TRACK			
	TOP PIVOTS & LOCKS			
	DOOR GUIDES			
	BOTTOM PIVOTS AND BRACKETS			
	TRACK STOPS			
C	PANEL HINGES	POLISHED / BRIGHT CHROME	T.B.D.	1, 2
	PANEL ALIGNER			
	DOOR KNOBS			
	(3) SELF-CLOSING HINGES			
	STRIKE			
	THRESHOLD			
	DOOR SWEEP			
	WALL MOUNTED DOOR STOP			
D	ENTRY LOCKSET	POLISHED / BRIGHT CHROME	T.B.D.	1
	PEEPHOLE			
	DEADBOLT			
	(3) HINGES			
	STRIKE			
	THRESHOLD			
E	DOOR SWEEP	POLISHED / BRIGHT CHROME	T.B.D.	1
	DOOR GASKET			
	WALL MOUNTED DOOR STOP			
F	KEYCODE ENTRY LOCKSET	POLISHED / BRIGHT CHROME	T.B.D.	1
	(3) HINGES			
G	PASSAGE LOCKSET	POLISHED / BRIGHT CHROME	T.B.D.	1
	STRIKE			
	(3) HINGES			
G	WALL MOUNTED DOOR STOP	POLISHED / BRIGHT CHROME	T.B.D.	1
	STORAGE LOCKSET			
	BED & BATH LOCKSET			

- NOTES:
- COORDINATE DOOR HARDWARE FINISHES AND STYLES WITH OWNER.
 - UNIT ENTRY DOORS TO BE DEADBOLT READY.

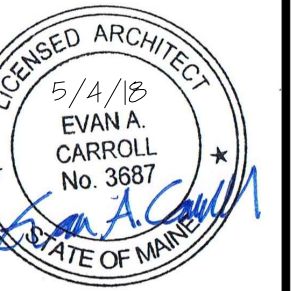
WINDOW SCHEDULE				
TYPE	SIZE (ROUGH OPENING)	MATERIAL	OPERATION	NOTES
A	3'-0" X 3'-0"	uPVC	AWNING	1, 2, 4
B	6'-4" X 5'-6"	uPVC	PICTURE/CASEMENT	1, 2, 3, 4
C	7'-6" X 2'-6"	uPVC	AWNING	1, 2, 4
D	3'-0" X 5'-6"	uPVC	CASEMENT	1, 2, 3, 4

NOTES:

- SAFETY GLAZING MAY BE REQUIRED.
- ALL WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.35.
- EGRESS WINDOWS SHALL COMPLY WITH IBC 2015.
- WINDOWS AND GLAZED DOOR SHALL BE THERMALLY BROKEN.



- WINDOW SPECIFICATIONS:
- Size and window configuration. See Window Schedule
 - Color options. To be selected
 - Factory Mulling Capability. Preferred
 - Design Pressure Rating. 25
 - U Factor. 0.35 or lower
 - Material. To be selected
 - Glazing Type. To be selected
 - Hardware type. To be selected
 - Exterior Washing Capability. Washing from interior preferred
 - Warranty (Window & glazing units). 10 years
 - Insect Screens. Standard Insect Screens



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