30 FOX STREET

PORTLAND, MAINE 04101

PERMIT SET

5/4/18

GENERAL NOTES

1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.

2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.

3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
   - CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS PRIOR TO PERFORMANCE OF ANY WORK.
   - CONTRACTORS AND SUBCONTRACTORS SHALL INSTALL ALL MATERIALS AS PER THE CONSTRUCTION DOCUMENTS AND THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
   - INSTALLERS MUST BE TRAINED AND EXPERIENCED IN THE APPLICATION/INSTALLATION OF THE PRODUCTS/MATERIALS THAT THEY ARE INSTALLING.
   - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN CONDITIONS AS ALLOWED BY THE MANUFACTURER.
   - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN COORDINATION WITH ALL OTHER WORK CONDUCTED ON SITE.

4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.

5. ANY DEVIATIONS WHATSOEVER FROM THE DRAWINGS AND/OR SPECIFICATIONS ARE NOT ALLOWED WITHOUT THE OWNER'S WRITTEN PERMISSION. FAILURE TO PROCURE SUCH WRITTEN AUTHORIZATION PLACES ALL RESPONSIBILITY FOR THE VARIATION ON THE CONTRACTOR.

6. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE OWNER SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. EXCEPTION: THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE SITE AND BUILDING PERMITS.

8. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.

9. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY REGULATING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN AN APPROVED AND LEGAL MANNER.

10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.

11. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.

13. COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.

14. DIMENSIONS SHOWN ON DRAWINGS ARE TAKEN FROM FACE OF GYPSUM WALLBOARD UNLESS OTHERWISE NOTED

15. COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.

16. ELECTRICAL WORK TO BE DESIGNED, PERMITTED AND INSTALLED BY CONTRACTOR.

17. EXISTING ELECTRICAL SYSTEM TO BE PRESERVED TO THE MAXIMUM EXTENT ALLOWABLE BY CODE.

18. PLUMBING WORK TO BE DESIGNED, PERMITTED AND INSTALLED BY CONTRACTOR.

19. HVAC WORK TO BE DESIGNED, PERMITTED AND INSTALLED BY CONTRACTOR.

ABBREVIATIONS

A/V	AIR/VAPOR
AFF	ABOVE FINISH FLOOR
B.O.	BOTTOM OF
CONC.	CONCRETE
E	EXISTING
ELEVS.	ELEVATIONS
FFE	FINISH FLOOR ELEVATION
FRP	FIBERGLASS REINFORCED PANELS
GWB	GYPSUM WALL BOARD
GYP BD	GYPSUM WALL BOARD
INSUL	INSULATION
O.C.	ON CENTER
P&S	BRACKET W/ CLOTHES POLE & SHELF
PT	PRESSURE TREATED/PAINTED
RCP	REFLECTED CEILING PLAN
SAT	SUSPENDED ACOUSTICAL TILE
SIM	SIMILAR
STRUCT	STRUCTURAL DRAWINGS OR STRUCTURAL ENGINEER
T.B.D.	TO BE DETERMINED
T.O.	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITE TILE

DRAWING LIST

		PERMIT SET 5/4/18
G1.1	COVER SHEET	X
G1.2	CONSTRUCTION ASSEMBLIES - SHEET 1 OF 2	X
G1.3	CONSTRUCTION ASSEMBLIES - SHEET 2 OF 2	X
LS1.0	CODE SUMMARY	X
LS1.1	LIFE SAFETY PLANS	X
C1	SITE PLAN	X
C2	GRADING AND UTILITY PLAN	X
C3	EROSION & SEDIMENTATION CONTROL DETAILS	X
C4	DETAILS	X
S1	FOUNDATION PLAN	X
S2	SECOND, THIRD FLOOR FRAMING PLANS	X
S3	FOURTH FLOOR, ROOF FRAMING PLAN	X
S4	NOTES, SECTIONS, DETAILS	X
S5	ELEVATION	X
S6	SECTION AND STRUCTURAL SCHEDULES	X
A1.1	BASEMENT & FIRST FLOOR PLANS	X
A1.2	2ND & 3RD FLOOR PLANS	X
A2.1	ELEVATIONS	X
A2.2	ELEVATIONS	X
A3.1	BUILDING SECTIONS	X
A4.1	DETAILS - SHEET 1 OF 2	X
A4.2	DETAILS - SHEET 2 OF 2	X
A6.1	SCHEDULES	X

PROJECT CONTACTS

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bild ARCHITECTURE

LICENSED ARCHITECT
5/4/18
EVAN A CARROLL
No. 3687
STATE OF MAINE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO. 17024
PROJECT NAME 30 FOX STREET
PORTLAND, MAINE 04101

REVISIONS
1| 05.18.18
2| 08.02.18
3| 08.14.18
4| 08.29.18
5| 09.06.18

PERMIT SET

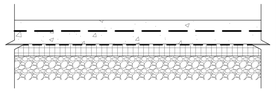
DRAWN BY AEW
SHEET TITLE COVER SHEET

ISSUE DATE 5/4/18
SHEET SCALE N.T.S.

G

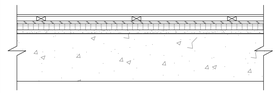
1.1

SLAB ASSEMBLY TYPES

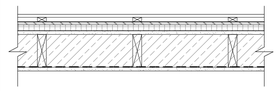
GRAPHIC DESCRIPTION	DESCRIPTION
	• SEE FINISH SCHEDULE FOR FLOOR FINISH • 4" CONCRETE SLAB REINFORCED PER STRUCTURAL DRAWINGS. • 6 MIL POLY VAPOR BARRIER • 2" RIGID INSULATION • 6" CRUSHED STONE

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
S1	N/A	N/A	N/A	R-10

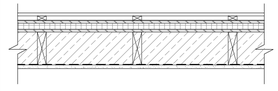
EXTERIOR WALL TYPES

GRAPHIC DESCRIPTION	DESCRIPTION
	• LP SMART SIDING - SMOOTH FINISH - CLAPBOARD • 1X FURRING @ 16" O.C.OR RAINSCREEN DRAINAGE MAT • 1-1/2" INSULATED ZIP SHEATHING WITH INTEGRAL AIR BARRIER (R6.6) • 5/8" TYPE 'X" DENSGLASS SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. • CONCRETE FOUNDATION WALL - SEE STRUCTURAL

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
E1	1-HR (BOTH SIDES)	U344	N/A	6.6

GRAPHIC DESCRIPTION	DESCRIPTION
	• LP SMART SIDING - SMOOTH FINISH - CLAPBOARD • 1X FURRING @ 16" O.C.OR RAINSCREEN DRAINAGE MAT • 1-1/2" INSULATED ZIP SHEATHING WITH INTEGRAL AIR BARRIER (R6.6) • 5/8" TYPE 'X" DENSGLASS SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. • 2X6 WOOD STUDS W/ DENSE PACKED BLOWN CELLULOSE INSULATION FULL CAVITY (R-20) • MEMBRAIN™ SMART VAPOR RETARDER OR APPROVED EQUAL • 5/8" TYPE X GYPSUM BOARD

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
E2	1-HR (BOTH SIDES)	U344	N/A	20 + 6.6 ci

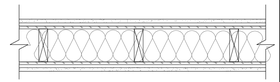
GRAPHIC DESCRIPTION	DESCRIPTION
	• LP SMART SIDING - SMOOTH FINISH - CLAPBOARD • 1X FURRING @ 16" O.C.OR RAINSCREEN DRAINAGE MAT • 1-1/2" INSULATED ZIP SHEATHING WITH INTEGRAL AIR BARRIER (R6.6) • 15/32" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. • 2X6 WOOD STUDS W/ DENSE PACKED BLOWN CELLULOSE INSULATION FULL CAVITY (R-20) • MEMBRAIN™ SMART VAPOR RETARDER OR APPROVED EQUAL • 5/8" GYPSUM BOARD - PAINTED

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
E3	N/A	N/A	N/A	20 + 6.6 ci

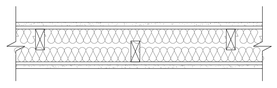
INTERIOR WALL TYPES

GRAPHIC DESCRIPTION	DESCRIPTION
	• 5/8" GYPSUM BOARD - PAINTED • 2X4 STUDS @ 16" O.C. • 5/8" GYPSUM BOARD - PAINTED NOTE: PROVIDE MOISTURE RESISTANT GWB AT BATHROOMS AND KITCHENS.

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
W1	N/A	N/A	N/A	N/A

GRAPHIC DESCRIPTION	DESCRIPTION
	SHEARWALL & UNIT SEPARATION ASSEMBLY • (1) LAYER 5/8" PAINTED TYPE X GWB SEALED TO UNDERSIDE OF DECK. • 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY • (1) LAYER 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. • 2X6 STUDS @ 16" O/C U.N.O. • 6" UNFACED FIBERGLASS BATTS (R-19) • (1) LAYER 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. • 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY • (1) LAYER 5/8" PAINTED TYPE X GWB SEALED TO UNDERSIDE OF DECK.

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
W2	1-HR	U340	54	19

GRAPHIC DESCRIPTION	DESCRIPTION
	UNIT SEPARATION ASSEMBLY • (1) LAYER 5/8" PAINTED TYPE X GWB SEALED TO UNDERSIDE OF DECK. • 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY • 2X6 WOOD TOP AND BOTTOM PLATES TO UNDERSIDE OF DECK. REFER TO STRUCTURAL DWGS FOR STUD SIZE, SPACING, AND ALIGNMENT REQUIREMENTS. (2X4 STAGGERED @ 12" C/C U.N.O.) • (2) LAYERS OF R-11 UNFACED FIBERGLASS BATTS • 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY • (1) LAYER 5/8" PAINTED TYPE X GWB SEALED TO UNDERSIDE OF DECK. PROVIDE 2X FIRE BLOCKING AT CEILING LEVEL OR ALTERNATIVE METHOD APPROVED BY IBC 2015.

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
W3	1 -HR	U395	54	22

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LICENSED ARCHITECT
5/4/18
EVAN A. CARROLL
No. 3987
STATE OF MAINE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO.
17024
PROJECT NAME
30 FOX STREET
PORTLAND, MAINE 04101

REVISIONS
1| 05.18.18
2| 08.02.18
3| 08.14.18
4| 08.29.18
5| 09.06.18

PERMIT SET

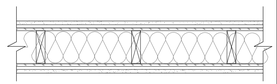
DRAWN BY
AEW
SHEET TITLE
CONSTRUCTION ASSEMBLIES

ISSUE DATE
5/4/18
SHEET SCALE
1" = 1'-0"

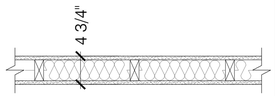
G

1.2

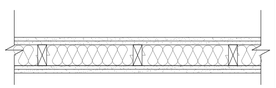
INTERIOR WALL TYPES - CONT.

GRAPHIC DESCRIPTION	DESCRIPTION
	SHEARWALL ASSEMBLY • (1) LAYER 5/8" PAINTED GWB • 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY • (1) LAYER 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. • 2X6 STUDS @ 16" O/C U.N.O. • 6" UNFACED FIBERGLASS BATTS (R-19) • (1) LAYER 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. • 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY • (1) LAYER 5/8" PAINTED GWB

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
W4	N/A	N/A	N/A	19

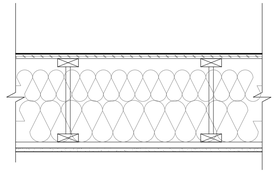
GRAPHIC DESCRIPTION	DESCRIPTION
	• 5/8" TYPE "X" GYPSUM BOARD FASTENED IN ACCORDANCE WITH UL ASSEMBLY. • 2X4 WOOD STUDS @ 16" O.C. • FRICTION FIT BETWEEN STUDS R-19 UNFACED FIBERGLASS INSULATION BATTS MEASURING 3-1/2" THK. • 5/8" TYPE "X" GYPSUM BOARD FASTENED IN ACCORDANCE WITH UL ASSEMBLY. NOTES: • PROVIDE MOISTURE RESISTANT GWB AT BATHROOMS. • A BEAD OF ACOUSTICAL SEALANT SHALL BE APPLIED AROUND THE PARTITION PERIMETER FOR SOUND CONTROL. • SEAL AROUND WINDOW AND DOOR JAMBS W/ LOW PRESSURE FOAM AND/OR LATEX CAULK.

TYPE	WOOD PARTITION WALL			
W5	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
	1-HR	U305	56	N/A

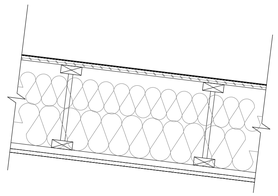
GRAPHIC DESCRIPTION	DESCRIPTION
	• (2) LAYER 5/8" TYPE X GWB SEALED TO UNDERSIDE OF DECK. • 2X6 WOOD TOP AND BOTTOM PLATES TO UNDERSIDE OF DECK. REFER TO STRUCTURAL DWGS FOR STUD SIZE, SPACING, AND ALIGNMENT REQUIREMENTS. (2X4 STAGGERED @ 12" C/C U.N.O.) CONTINUOUS SOUND ATTENUATION BATTS. • (2) LAYER 5/8" TYPE X GWB SEALED TO UNDERSIDE OF DECK

TYPE				
W6	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
	2-HR	U301	NA	NA

ROOF ASSEMBLY TYPES

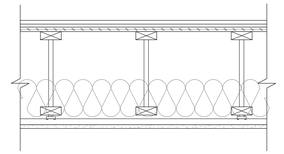
GRAPHIC DESCRIPTION	DESCRIPTION
	• ADHERED MEMBRANE ROOFING SYSTEM • 5/8" ZIP SYSTEM SHEATHING (AIR BARRIER) • TJI JOISTS PER STRUCTURAL • 5.5" MINERAL WOOL BATT INSULATION (R-23) • 7.25" MINERAL WOOL BATT INSULATION (R-30) • 7/8" METAL HAT CHANNEL FURRING • 5/8" TYPE X GYPSUM BOARD - PAINTED • FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4' FROM EXT WALL AROUND PERIMETER OF ROOF - SEE ROOF PLAN FOR LOCATION

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
R1	1-HR	SIM L528 & L513	N/A	53

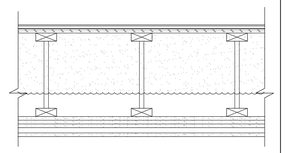
GRAPHIC DESCRIPTION	DESCRIPTION
	• ADHERED MEMBRANE ROOFING SYSTEM • 5/8" ZIP SYSTEM SHEATHING (AIR BARRIER) • TJI JOISTS PER STRUCTURAL • 5.5" MINERAL WOOL BATT INSULATION (R-23) • 7.25" MINERAL WOOL BATT INSULATION (R-30) • 7/8" METAL HAT CHANNEL FURRING • 5/8" TYPE X GYPSUM BOARD - PAINTED • FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4' FROM EXT WALL AROUND PERIMETER OF ROOF - SEE ROOF PLAN FOR LOCATION

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
R2	1-HR	SIM L528 & L513	N/A	53

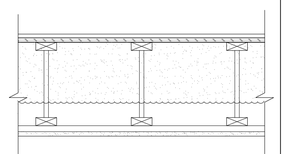
FLOOR/CEILING ASSEMBLY TYPES

GRAPHIC DESCRIPTION	DESCRIPTION
	• SEE FINISH SCHEDULE FOR FLOOR FINISH • 1/2" HOMASOTE • 3/4" PLYWOOD T&G SUB-FLOOR • TJI JOISTS PER STRUCTURAL • 10" UNFACED FIBERGLASS BATT INSULATION (R-30) • SOUND ISOLATION CHANNEL HANGERS • 7/8" METAL HAT CHANNEL FURRING • 5/8" TYPE X GYPSUM BOARD - PAINTED

TYPE	FIRE RATING	UL NUMBER	IIC RATING	STC RATING	R-VALUE
F1	1-HR	L509	50	58	R-30

GRAPHIC DESCRIPTION	DESCRIPTION
	• SEE FINISH SCHEDULE FOR FLOOR FINISH • SUBFLOOR - 23/32" PLYWOOD T&G SUB-FLOOR W/ TAPED JOINTS (AIR BARRIER) • 10.25" OPEN CELL SPRAY FOAM INSULATION (R-40) • TJI JOISTS PER STRUCTURAL • (3) LAYERS 5/8" TYPE X GYPSUM BOARD • MIN. 25 MSG HAT SHAPED RESILIENT CHANNELS @ 24" O.C. PERPENDICULAR TO STRUCTURAL FRAMING • 5/8" TYPE X GYPSUM BOARD - PAINTED NOTE: BOX OUT AND SPRAY FOAM AROUND DHW & HHW PIPING

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
F2	2-HR	L556	N/A	40

GRAPHIC DESCRIPTION	DESCRIPTION
	• SEE FINISH SCHEDULE FOR FLOOR FINSIH • 3/4" PLYWOOD T&G SUB-FLOOR W/ TAPED JOINTS (AIR BARRIER) • 10.25" OPEN CELL SPRAY FOAM INSULATION (R-40) • TJI JOISTS PER STRUCTURAL • 7/8" METAL HAT CHANNEL FURRING • EXTERIOR SOFFIT BOARD NOTE: BOX OUT AND SPRAY FOAM AROUND DHW & HHW PIPING

TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
F3	N/A	N/A	N/A	40

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bild ARCHITECTURE

LICENSED ARCHITECT
5/4/18
EVAN A CARROLL
No. 3687
STATE OF MAINE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
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PROJECT NO. 17024
PROJECT NAME 30 FOX STREET
PORTLAND, MAINE 04101

REVISIONS
1 05.18.18
2 08.02.18
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4 08.29.18
5 09.06.18

PERMIT SET

DRAWN BY AEW
SHEET TITLE CONSTRUCTION ASSEMBLIES

ISSUE DATE 5/4/18
SHEET SCALE 1" = 1'-0"

G

1.3

Code Summary

Building Area Information

Building Footprint:	1,038 SF
R-2 Gross:	3,060 SF
Parking Gross:	901 SF
Building Gross:	3,961 SF

IBC Code Overview

Use:	R-2 & U (Separated Occupancies)
Construction:	Type VB
Sprinkler:	NFPA 13R
Occupancy:	16 Occupants

NFPA Code Overview

Use:	New Residential Apartment Building & New Storage
Construction:	No minimum requirement
Sprinkler:	NFPA 13R
Occupancy:	18 Occupants

IBC 2015 – Detail Code Review

Use and Occupancy Classification:

310.4 Residential Group R-2 (Apartments)

312.1 Utility and Misc. Group U (Private Garages)

406.3.1 Private car storage can be up to 1,000sf (and be considered Group U)

406.3.2 Clear Height: 7ft min.

406.3.3 Floor surface of concrete or asphalt, Slope floor to drain or garage door

406.3.4.1 Garages beneath habitable rooms shall be separated by not less than 5/8" type X gyp bd and ½" gyp bd applied to structures supporting the separation from habitable rooms above the garage.

406.3.6 Automatic garage door openings shall be listed in accordance with UL 325.

406.6.2 A mechanical ventilation system shall be provided per IMC.

420.2 Fire Partitions Separating Dwelling Units (708)

420.3 Floor Assemblies Separating Dwelling Units (711)

504.3	R	S13R	VB	60' tall
504.4	R-2	S13R	VB	3 stories
506.2	R-2	S13R	VB	7,000sf

508.4 Separated Occupancies:

U	R-2	Sprinkled (NFPA 13R)	2-hr

508.4.4.1 1 hour separation in sprinkled building by fire barriers & horz assemblies (or by 707 and 711)

601 Type VB – No rating required by construction type

602 Separation distance

5'≤X<10'	1 hour exterior wall rating required
10'≤X<30'	0

705.2.2 Projections (including balconies) may be of any material

705.5 X≤10' Rated for exposure on both sides

705.8

5'≤X<10'	Unprotected, Non-Sprinkled	10% openings allowed
10'≤X<15'	Unprotected, Non-Sprinkled	15% openings allowed
15'≤X<20'	Unprotected, Non-Sprinkled	25% openings allowed

705.8.1 Exception 2: Buildings whose exterior bearing walls, exterior nonbearing walls and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

705.11.5.1 The roof sheathing or deck is constructed of approved noncombustible materials or of fire-retardant-treated wood for a distance of 4 feet.

707.3.1 Fire Barrier required for shaft enclosure.

707.5 Fire barriers: From TOP of floor to bottom of decking above (cont. thru concealed)

707.5.1 Fire Barrier supporting construction shall have same rating

713.1 Shaft enclosures shall be constructed of fire barriers and horizontal assemblies

713.2 Shaft enclosure is required stair

713.4 Shaft Enclosure: 1 hour when connecting less than four stories

708.1 Fire partitions required to separate dwelling units

708.3 1 hr fire partition rating required between dwelling units

708.4 Fire partition continuity: from TOP of floor to bottom of decking above or to bottom of ceiling assembly (with fireblocking or draftstopping)

711.2.4.3 1 hr horizontal assembly rating required between dwelling units

713.4 Supporting construction of horz assembly between units not required to be rated in VB

714 All Rated vertical and horizontal assemblies shall be complete assemblies in that any penetrations shall be treated as in accordance with this section.

715 All Rated vertical and horizontal assemblies shall be complete assemblies in that any joints shall be treated as in accordance with this section.

716 All Rated vertical and horizontal assemblies shall be complete assemblies in that any openings shall be treated as in accordance with this section.

716.5 Doors in 1-hour stair shaft shall have a rating of 1 hour

717 All Rated vertical and horizontal assemblies shall be complete assemblies in that any ducts and air transfers shall be treated as in accordance with this section.

717.6.2 Ducts and air transfer openings penetrating a rated ceiling membrane must be installed with a listed ceiling radiation damper

718 Fire blocking and draft-stopping shall be installed in concealed spaces in accordance with this section.

803.11 R-2: Exit enclosures, corridors, rooms and enclosed spaces required to have Class C finishes.

901.6.1 Automatic sprinkler system shall be monitored by a supervising station (NFPA 72)

901.6.2 Fire alarm system shall be monitored by a supervising station

903.2.8 Sprinkler System is required for Group R

903.3.1.2 NFPA 13R is permitted

906.1 In Group R-2, portable fire extinguishers having a min rating of 1-A:10-B:C.

907.2.9.1 No manual pull station fire alarm system is required as dwelling units are located less than three units stories above the lowest level of exit discharge and 16 units.

907.2.11.2 Single or multi-station smoke alarms shall be installed:
1. Outside of each sleeping area.
2. Each room used for sleeping.
3. Each story within a dwelling unit.

907.2.11.4 Smoke alarms shall be installed not less than 3 ft horizontally from door of a bathroom with a shower or tub.

907.2.11.5 Interconnected Smoke Alarms Required:
Outside each sleeping area and in each sleeping room

1003.2 Min egress ceiling height: 7'-6"

1003.5 Exception 1: A single step (under 7") allowed at exterior doors in R-2 that are not required to be accessible doors.

1004.1.1 Occupancy Load:

Residential:	200 gross at 3,060 SF is	16 occupants
Total Occupant Load:		16 occupants

1005.3.1 Stairway egress capacity factor: 0.3 inch per occupant

1005.3.2 Other egress component capacity factor: 0.2 inch per occupant

1006.2.1 Spaces with one exit:

Occupancy	Max Occ. Load	Max Common Path
R-2	10	125 ft (w/ sprinkler)

1006.3.2(1) Stories with one exit for R-2 occupancies:

Story	Max Dwelling Units	Max Common Path
Basement	4	125 ft
1st-3rd stories (above grade plane)	4	125 ft

1008.2 Stair must be illuminated at all times

1009.3 Sprinkler precludes need for wider stair or area of refuge

10010.1.1 Min Door size: 32" clear (36" door)

1010.1.5 Same floor elevation on either side of doors

1010.1.6 Landing not less than width of door

1010.1.8 48" plus door swing between doors in succession

1011.2 Min stair width 36" (for occ. less than 50)

1011.3 Min head clearance 80" (6'-8")

1011.5.2 7" rise max, and 11" run min

1011.7 Stair construction can be of any material permitted by construction type

1011.12 Stairway not required to extend to roof in three-story building

1014.6 Railing extensions must be 12" at top of stairs and 11" at bottom.

1015.2 Min Guard Height: 42"

1017.2 NFPA 101 Table A7.6
Exit Access Travel Distance: 250'
NFPA 101 30.2.5.3.2: "Travel within a dwelling unit shall not be included when determining the common path of travel"

1020.1 Corridor fire-resistance rating 0.5 (w/ sprinkler system)

1020.2 Min. corridor width: 36" w/ occupancy less than 50.

1023.8 Discharge identification signs shall comply with this section

1024.2 Min exit passageway width: 36" for less than 50 occupants

1024.3 Exits passageway min rating: 1-hr (or rating of connected enclosure if greater)
Constructed of fire barriers and horizontal assemblies.

1031.1 Emergency escape and rescue openings required in each sleeping room.

1207 Sound transmission between dwelling units

Walls: STC-50 (45 field tested)
Ceilings: IIC-50 (45 field tested)

2406.4 Safety Glazing: all hazardous locations including doors, near doors, windows, near floors, large amounts of glass, and near stairways.

IECC 2015

103.2 Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with commercial code.

301.1 Climate Zone 6A

303.1.1.1 Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300ft².

303.1.3 U-factors of fenestration products are determined in accordance with NFRC test procedures or taken from the default table.

303.2 Floor insulation installed per manufacturer's instructions, and in substantial contact with the underside of the subfloor.

303.2 Wall insulation is installed per manufacturer's instructions.

303.3 Manufacturer manuals for mechanical and water heating equipment have been provided.

402.1.1

Element:	Required:	Provided:
Fenestration U-Factor	0.35 max	0.29
Ceiling R-Value	49 min	53
Wood Frame R-Value	20 min or 13+5	42.35
Floor R-Value	30 min	52
Slab R-Value	10 min	10

402.4.2.1 Building envelope tightness verified by blower door test result of <7 ACH at 50 Pa. This requirement may instead be met via visual inspection, in which case verification may need to occur during insulation inspection.

402.4.4 Fenestration that is not site built is listed and labeled as meeting AAMA/WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.

402.4.5 IC-rated recessed lighting fixtures sealed as housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.

403.1.2 Heat pump thermostat installed on heat pump.

403.2.1 Supply ducts located completely inside the building envelope.

403.2.2 All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are sealed.

403.2.3 Building cavities are not used for supply ducts.

403.3 HVAC piping conveying fluids above 105°F or chilled fluids below 55°F are insulated to ≥R-3.

403.4 Circulating service hot water systems have automatic or accessible manual controls. Hot water pipes are insulated.

403.5 Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.

403.6 Heating and cooling equipment is sized per ACCA manual S based on loads per ACCA Manual J or other approved methods.

404.1 50% of lamps in permanent fixtures are high efficacy lamps.

NFPA 10

NFPA 10 6.2.1.1 Each floor shall have a single (2) unit Class A Fire Extinguisher

NFPA 101

3.3.32.3 Apartment Building

6.1.8.1.5 Residential Occupancy – Apartment Building (Chapter 30)

6.1.13.1 Storage – Enclosed Parking Structure (Chapter 42)

6.1.14.4.3 2 hour separation required in nonsprinkled building (NFPA 13R system)

6.2.2.3 Ordinary Hazard Contents

7.1.3.1 Exit access corridors shall have one-hour fire resistance rating

7.1.3.2.1 Stairs three stories or fewer shall have one-hour fire rating

7.1.5.1 Min headroom: 7'-6"

7.1.6.3 Cross Slope limited to 1:48

7.2.1.2.3.2 Egress door min clear width: 32"

7.2.1.4 Door swing and force to open shall comply with this section

7.2.1.5 Door locks, latches and alarms shall comply with this section

7.2.2.2.1.1 Max riser height: 7"
Min Tread depth: 11"
Min headroom: 6'-8"

7.2.2.2.1.2 Min stair width: 36" (for occupancy under 50)

7.2.2.3.2.3 Min landing depth: stair width

7.2.2.4.4.1 Handrail height: 36"

7.2.2.4.4.6 Handrail shape: 1 ½" circular cross section

7.2.2.4.4.9 Handrails shall return to wall or newel post

7.2.2.4.4.10 Handrails shall extend 12" at top of stair and one tread length at bottom

7.2.2.4.5.2 Min guard height: 42"

7.2.2.4.5.3 Open guards shall not allow the passage of a 4" sphere

7.2.2.5.4 Stairway identification shall comply with this section.

7.2.6.3 Stair discharge shall have a 1-hr fire resistance rating.

7.2.12.1.1 Sprinkler precludes need for area of refuge in stair.

7.3.1.2 Occupancy Load

Residential Apartment:	200 gross at 3,060 SF is	16 occupants
Storage:	500 gross at 901 SF is	2 occupants
Total Occupant Load:		18 occupants

7.3.4 Min Egress width: 36"

7.4.1.1 See 30.2.4.4

7.8 Egress Illumination shall be in accordance with this section.

7.9 Emergency Lighting shall be in accordance with this section.

7.10 Marking for means of egress shall comply with this section.

30.1.2.3 Dwelling units allowed over parking when either:
- Parking is sprinkled with NFPA 13 system or
- Uses are separated with a 1-hour fire resistance rating.

30.1.6 No minimum construction requirements

30.2.1.1 Means of Egress shall comply with Chapter 7 and Chapter 30

30.2.4.4 Single stair permitted from building given
- Less than 3 stories
- Less than 3 units/floor
- No basement
- No distance from unit door to stair
- 1-hr rated stair
- Self-closing doors
- No corridors
- ½ hr rating between units

30.2.5 Common Path Limit: 50'

30.2.5.4.2 Dead-End Limit: 50'

30.2.6.2 Max Travel Distance within unit (sprinkled): 125'

30.2.6.3.2 Max Travel Distance from unit door to exit (sprinkled): 200'

30.3.4 Fire detection and alarm system shall comply with this section.

30.3.4.5 Smoke alarms shall be installed:
In every sleeping area
Outside every sleeping area
At least one on each level

30.3.5.2 Sprinkler system NFPA 13R permitted for four or fewer stories.

30.3.6.1.2 Corridor walls (sprinkled): ½ hour

30.3.7.2 Dwelling unit separation (sprinkled): ½ hour

42.1.6 No minimum construction requirements

42.2.4.1 Single means of egress allowed within common path of travel limit.

42.2.5 Dead End Corridor: 100'
Common Path of Travel: 100'

42.2.6 Maximum Travel Distance: 400'

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bild ARCHITECTURE

LICENSED ARCHITECT
5/4/18
EVAN A CARROLL
No. 3687
STATE OF MAINE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO. 17024
PROJECT NAME 30 FOX STREET
PORTLAND, MAINE 04101

REVISIONS
1 05.18.18
2 08.02.18
3 08.14.18
4 08.29.18
5 09.06.18

PERMIT SET

DRAWN BY AEW
SHEET TITLE CODE SUMMARY

ISSUE DATE 5/4/18
SHEET SCALE 1/4" = 1'-0"

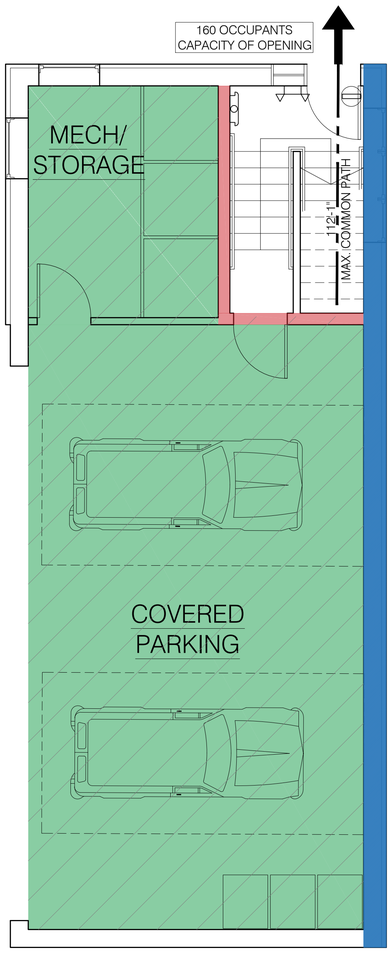
LS
1.0

NOTES:

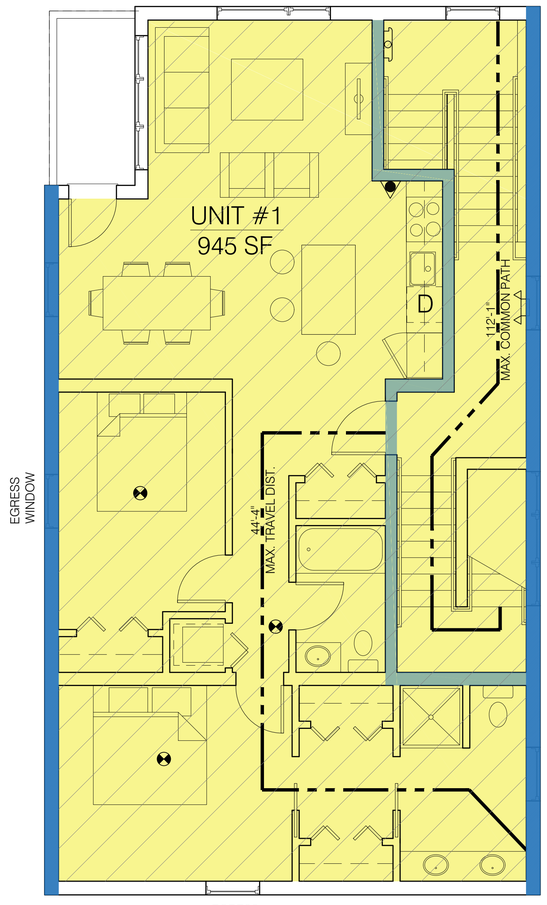
1. A NFPA 13R SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING.
2. LOCAL CO DETECTORS SHALL BE INSTALLED PER NFPA 720.
3. LOCAL SMOKE DETECTORS SHAL BE INSTALLED PER NFPA 101 SECTION 30.3.4.5.

KEY

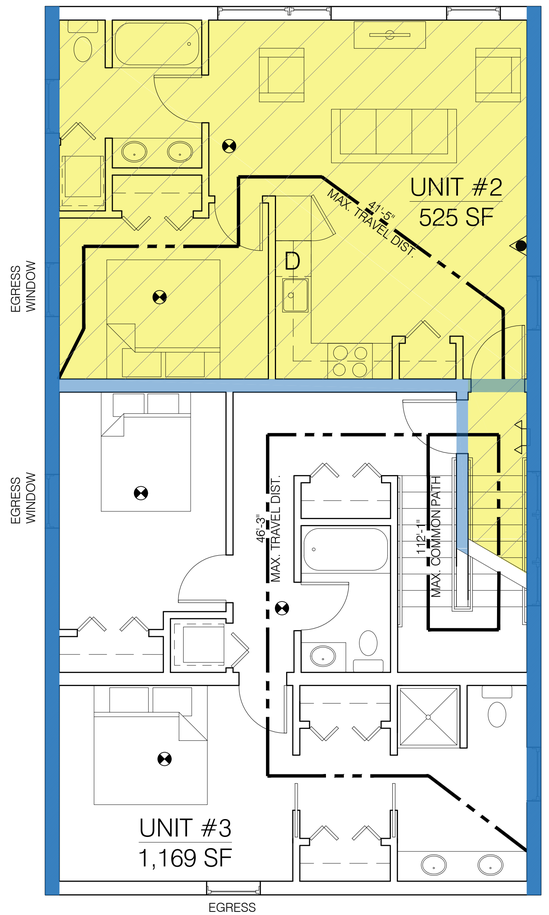
- EXIT
- TRAVEL DISTANCE (DISTANCE LABELED ON PATH)
- EXIT SIGN
- EMERGENCY LIGHTING
- SMOKE/CARBON MONOXIDE DETECTOR
- 1-HR RATED WALL ASSEMBLY
- 1-HR RATED CEILING ASSEMBLY
- 2-HR RATED WALL ASSEMBLY
- 2-HR RATED CEILING ASSEMBLY
- FIRE EXTINGUISHER
- PORTABLE FIRE EXTINGUISHER



1 BASEMENT LS PLAN
0 4'-0" SCALE: 1/4" = 1'-0"



2 1ST FLOOR LS PLAN
0 4'-0" SCALE: 1/4" = 1'-0"



3 2ND FLOOR LS PLAN
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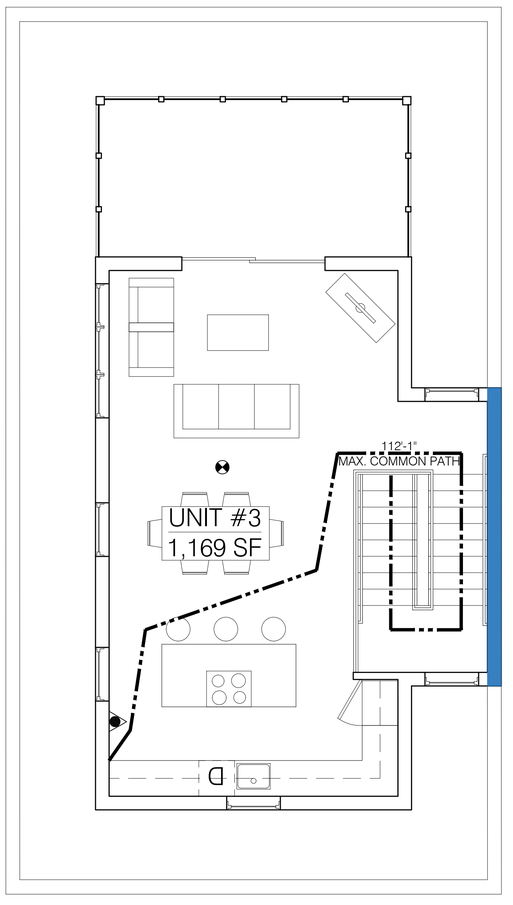

4 3RD FLOOR LS PLAN
0 4'-0" SCALE: 1/4" = 1'-0"

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bild ARCHITECTURE

LICENSED ARCHITECT
5/4/18
EVAN A CARROLL
No. 3687
STATE OF MAINE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO.
17024

PROJECT NAME
30 FOX STREET
PORTLAND, MAINE 04101

REVISIONS
1| 05.18.18
2| 08.02.18
3| 08.14.18
4| 08.29.18
5| 09.06.18

PERMIT SET

DRAWN BY
AEW

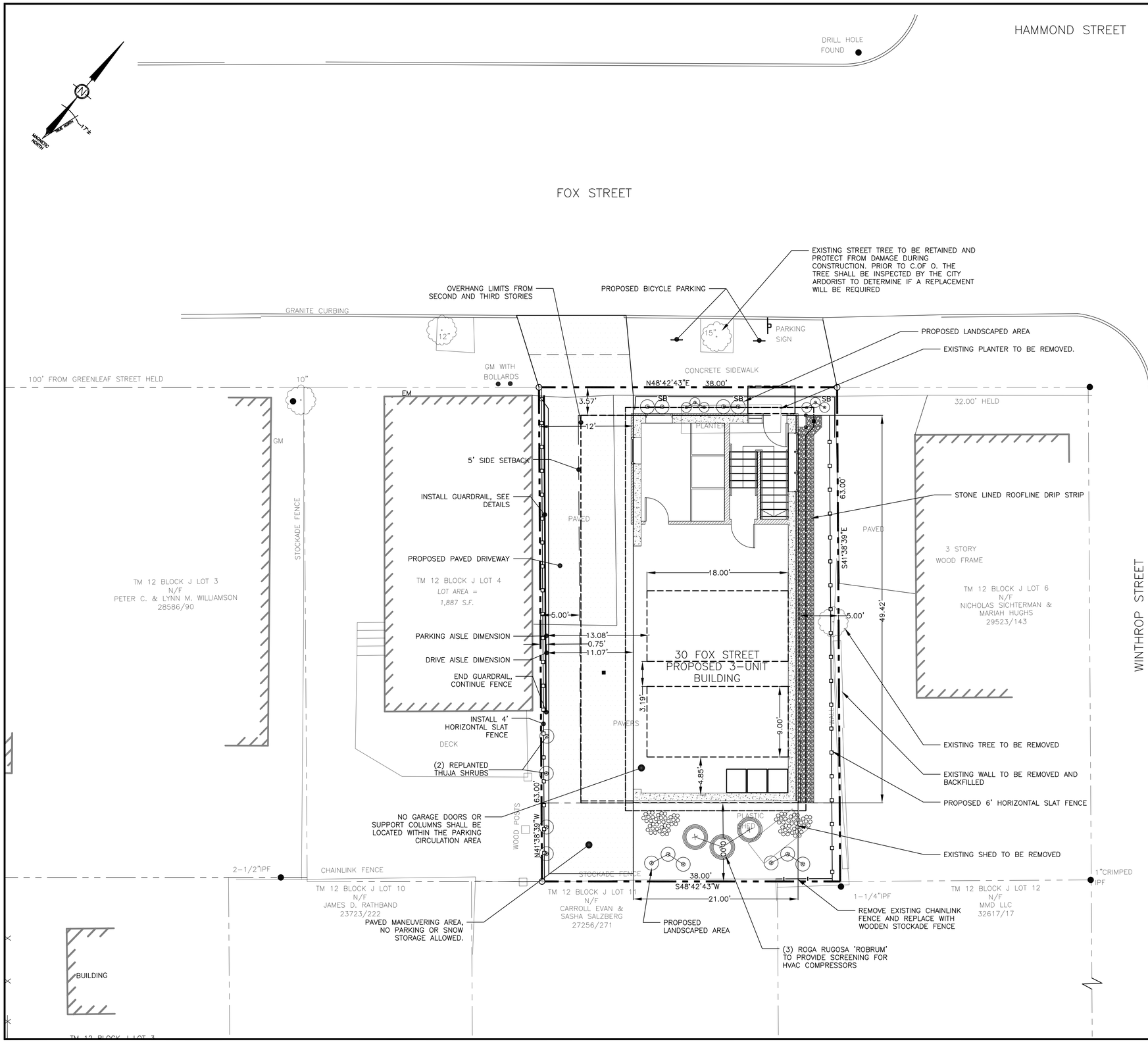
SHEET TITLE
LIFE SAFETY PLANS

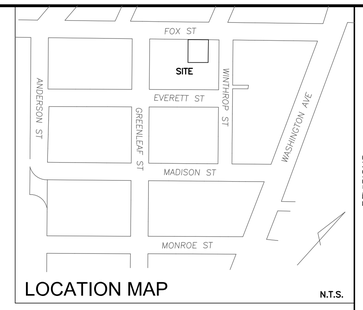
ISSUE DATE
5/4/18

SHEET SCALE
1/4" = 1'-0"

LS

1.1





LOCATION MAP N.T.S.

GENERAL NOTES:

1. THE APPLICANT AND RECORD OWNER IS SIMON NORWALK OF DYER NECK DEVELOPMENT, LLC, WHOSE ADDRESS IS 29 KELLOGG STREET, #3, PORTLAND, ME 04101.

2. THE PROPERTY IS LOCATED AT 30 FOX STREET, PORTLAND, ME AND IS DESCRIBED AS A PORTION OF LOT 05 ON THE CITY OF PORTLAND ASSESSOR'S TAX MAP 012, BLOCK J.

3. THE PURPOSE OF THIS PLAN SET IS TO PERMIT THE DEVELOPMENT OF A THREE (3) UNIT, RESIDENTIAL BUILDING. EACH OF THE THREE UNITS WILL BE OFFERED FOR SALE.

4. THE SITE IS LOCATED WITHIN THE R-6 RESIDENTIAL ZONE.

5. TOTAL AREA OF PARCEL: . . . 2,394 S.F.
TOTAL LANDSCAPED AREA: . . 750 S.F. (31%)
EXISTING IMPERVIOUS AREA: . . 323 S.F.
NEW IMPERVIOUS AREA: . . . 1,321 S.F.

6. SPACE AND BULK INFORMATION FOR R-6 ZONE:

	REQ'D	PROVIDED
MIN. LOT AREA:	2,000 S.F	2,394 S.F.
MIN. LOT AREA/DWELLING	750 S.F.	798 S.F.
MIN. LOT WIDTH:	20 FT.	38 FT.
MIN. FRONT SETBACK:	5 FT.	5 FT.
MIN. SIDE SETBACK:	5 FT.	5 FT.
MIN. REAR SETBACK:	10 FT.	10 FT.
LANDSCAPED OPEN AREA:	20%	31%

7. EXISTING CONDITIONS AND SURVEY INFORMATION BASED ON PLAN ENTITLED "BOUNDARY SURVEY OF 32 FOX STREET" PROVIDED BY OWEN HASKELL, INC., DATED JUNE 28, 2017.

8. SITE ENGINEERING PROVIDED BY JON H. WHITTEN, JR., P.E. #10414 OF PLYMOUTH ENGINEERING, INC., WHOSE ADDRESS IS PO BOX 46, PLYMOUTH, ME 04969.

9. ARCHITECTURAL DESIGN PROVIDED BY EVAN CARROLL, ALA OF BILD ARCHITECTURE, PORTLAND, MAINE.

10. A MAXIMUM OF ONLY TWO VEHICLES SHALL BE ALLOWED ON THE SITE AT ONE TIME.

11. BACKING MANEUVERS ONTO FOX STREET SHALL BE PROHIBITED.

12. THERE WILL BE NO GARAGE DOORS OR COLUMNS LOCATED WITHIN THE PARKING CIRCULATION AREA.

13. THIS PLAN SHALL REFERENCE THE CONDOMINIUM DOCUMENTS FOR "30 FOX CONDOMINIUM" TO BE RECORDED UPON SIGNATURE OF THIS PLAN.

14. THIS PLAN SHALL REFERENCE THE STORMWATER DRAINAGE SYSTEM MAINTENANCE AGREEMENT RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK _____ PAGE _____ ON _____, 2018.

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions
DATE of APPROVAL 4-10-2018
PLANNER Jean Fraser
PROJECT NO. UI #2017-227

GRAPHIC SCALE
6 0 3 6 12 24
(IN FEET)
1 inch = 6 ft.

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN	APPD.
1	04/20/18	ADDED NOTES PER FINAL REVIEW	JHW	JHW
2	05/08/18	REVISED FOR FINAL SIGNATURES	JHW	JHW
3	07/05/18	REVISED GAS METER AND FENCING	JHW	JHW
4	08/08/18	REVISED PER BUILDING DIMENSION CHANGE	JHW	JHW

PROJECT NAME: 30 FOX STREET PORTLAND MAINE
SHEET NAME: AMENDED SITE PLAN

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO. 17178
DRAWING NO. 17178 073118 B
FIELDBOOK:
SCALE:
DATE ISSUED: 03-26-18
PLAN DATE: 03-26-18
CLIENT & OWNER: SIMON NORWALK
DYER NECK DEVELOPMENT, LLC
29 KELLOGG STREET, #3
PORTLAND, ME 04101
DESIGNED: JHW
DRAWN: JHW
CHECKED: JHW
APPROVED: JHW

Plymouth Engineering, Inc.
P.O. Box 46 30 Lower Detroit Road
Plymouth, Maine 04969
Tel: (207) 257-2071 Fax: (207) 257-2130
info@plymouthengineering.com
www.plymouthengineering.com

STATE OF MAINE
JON H. WHITTEN, JR.
10414
LICENSED ENGINEER
DRAWINGS NOT SEALED ARE FOR PLANNING PURPOSES ONLY AND ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

SHEET 1 OF 4

C1

HAMMOND STREET

APPROXIMATE LOCATION OF EXISTING FIRE HYDRANT ON HAMMOND STREET. DISTANCE FROM PROPOSED BUILDING IS APPROX. 65'.

NEW UNDERGROUND ELECTRIC, TELEPHONE AND CABLE LINES TO BE CONNECTED TO NEW POLE TO BE INSTALLED BY CMP.

NEW 12" HDPE PIPE APPROX. INV.=22.50

FOX STREET

RIM=42.72
UNABLE TO OPEN

RIM=39.65
UNABLE TO OPEN

LIMIT OF RE-CONSTRUCTION OF CONCRETE SIDEWALK.

RETAIN EXISTING GRANITE CURBING.

SIDEWALK CROSS-SLOPE NOT TO EXCEED 2% GRADE, SEE DETAIL

LIMIT OF RE-CONSTRUCTION OF CONCRETE SIDEWALK.

CB-2
RIM=34.60
INV=27.00

(3) GAS METERS WITH METAL BOLLARD PROTECTION

AVG. GRADE=34.54
FFE=31.00

CB-1
RIM=30.70
INV.IN=26.50
INV.OUT=26.40

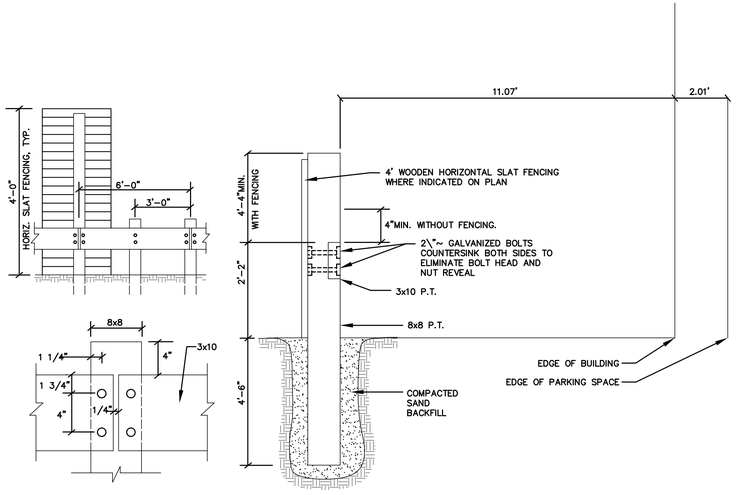
6" 90° TEE
6" UNDERDRAIN PIPE

WINTHROP STREET

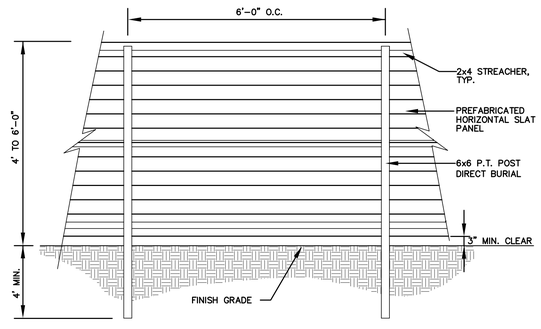
GRAPHIC SCALE

6 0 3 6 12 48

(IN FEET)
1 inch = 6 ft.



PRESSURE TREATED WOOD GUARDRAIL
NOT TO SCALE



HORIZONTAL SLAT FENCE
NOT TO SCALE

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions
DATE of APPROVAL 4-10-2018
PLANNER Jean Fraser
PROJECT NO. UI #2017-227

Reviewed for Code Compliance
Permitting and Inspection Department
Approved with Conditions
10/25/2018

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN	APPD.
1	04/20/18	ADDED NOTES PER FINAL REVIEW	JHW	JHW
2	05/08/18	REVISED FOR FINAL SIGNATURES	JHW	JHW
3	07/05/18	REVISED GAS METER AND FENCING	JHW	JHW
4	08/08/18	REVISED PER BUILDING DIMENSION CHANGE	JHW	JHW

PROJECT NAME: 30 FOX STREET PORTLAND MAINE

SHEET NAME: GRADING & UTILITY PLAN

PROJECT NO. 17178
DRAWING NO. 17178 073118 B
FIELDBOOK:
SCALE: 1"=6'
DATE ISSUED: 03-26-18

DESIGNED: JHW
DRAWN: JHW
CHECKED: JHW
APPROVED: JHW
PLAN DATE: 03-26-18

CLIENT & OWNER: JOHN NORWALK
DYER NECK DEVELOPMENT, LLC
29 KELLOGG STREET, #3
PORTLAND, ME 04101

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info@plymouthengineering.com
www.plymouthengineering.com

STATE OF MAINE
JOHN H. WHITTEN, JR.
NO. 7147
REGISTERED PROFESSIONAL ENGINEER

DRAWINGS NOT SEALED ARE FOR PLANNING PURPOSES ONLY AND ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

SHEET 2 OF 4

C2

EROSION AND SEDIMENT CONTROL PLAN

Pre–Construction Phase

A person who conducts, or causes to be conducted, an activity that involves filling, displacing or exposing soil or other earthen materials shall take measures to prevent unreasonable erosion of soil or sediment beyond the project site or into a protected natural resource as defined in 38 MRSA § 480–B. Erosion control measures must be in place before the activity begins. Measures must remain in place and functional until the site is permanently stabilized. Adequate and timely temporary and permanent stabilization measures must be taken. The site must be maintained to prevent unreasonable erosion and sedimentation. Minimize disturbed areas and protect natural downgradient buffer areas to the extent practicable.

BMP Construction Phase

A. Sediment barriers. Prior to the beginning of any construction, properly install sediment barriers at the edge of any downgradient disturbed area and adjacent to any drainage channels within the proposed disturbed area. Maintain the sediment barriers until the disturbed area is permanently stabilized.

B. Construction entrance: Prior to any clearing or grubbing, a construction entrance shall be constructed at the intersection with the proposed access drive and the existing roadway to avoid tracking of mud, dust and debris from the site.

C. Riprap: Since riprap is used where erosion potential is high, construction must be sequenced so that the riprap is put in place with the minimum delay. Disturbance of areas where riprap is to be placed should be undertaken only when final preparation and placement of the riprap can follow immediately behind the initial disturbance. Where riprap is used for outlet protection, the riprap should be placed before or in conjunction with the construction of the pipe or channel so that it is in place when the pipe or channel begins to operate. Maintain temporary riprap, such as temporary check dams until the disturbed area is permanently stabilized.

D. Temporary stabilization. Stabilize with temporary seeding, mulch, or other non–erodable cover any exposed soils that will remain unworked for more than 14 days except, stabilize areas within 100 feet of a wetland or waterbody within 7 days or prior to a predicted storm event, whichever comes first. If hay or straw mulch is used, the application rate must be 2 bales (70–90 pounds) per 1000 sf or 1.5 to 2 tons (90–100 bales) per acre to cover 75 to 90% of the ground surface. Hay mulch must be kept moist or anchored to prevent wind blowing. An erosion control blanket or mat shall be used at the base of grassed waterways, steep slopes (15% or greater) and on any disturbed soil within 100 feet of lakes, streams and wetlands. Grading shall be planned so as to minimize the length of time between initial soil exposure and final grading. On large projects this should be accomplished by phasing the operation and completing the first phase up to final grading and seeding before starting the second phase, and so on.

E. Vegetated waterway. Upon final grading, the disturbed areas shall be immediately seeded to permanent vegetation and mulched and will not be used as outlets until a dense, vigorous vegetative cover has been obtained. Once soil is exposed for waterway construction, it should be immediately shaped, graded and stabilized. Vegetated waterways need to be stabilized early during the growing season (prior to September 15). If final seeding of waterways is delayed past September 15, emergency provisions such as sod or riprap may be required to stabilize the channel. Waterways should be fully stabilized prior to directing runoff to them.

Permanent Stabilization Defined

A. Seeded areas. For seeded areas, permanent stabilization means an 90% cover of the disturbed area with mature, healthy plants with no evidence of washing or rilling of the topsoil.

B. Sodded areas. For sodded areas, permanent stabilization means the complete binding of the sod roots into the underlying soil with no slumping of the sod or die–off.

C. Permanent mulch. For mulched areas, permanent mulching means total coverage of the exposed area with an approved mulch material. Erosion control mix may be used as mulch for permanent stabilization according to the approved application rates and limitations.

D. Riprap. For areas stabilized with riprap, permanent stabilization means that slopes stabilized with riprap have an appropriate backing of a well–graded gravel or approved geotextile to prevent soil movement from behind the riprap. Stone must be sized appropriately. It is recommended that angular stone be used.

E. Agricultural use. For construction projects on land used for agricultural purposes (E.G., pipelines across crop land), permanent stabilization may be accomplished by returning the disturbed land to agricultural use.

F. Paved areas. For paved areas, permanent stabilization means the placement of the compacted gravel subbase is completed.

G. Ditches, channels, and swales. For open channels, permanent stabilization means the channel is stabilized with mature vegetation at least three inches in height, with well–graded riprap, or with another non–erosive lining capable of withstanding the anticipated flow velocities and flow depths without reliance on check dams to slow flow. There must be no evidence of slumping of the lining, undercutting of the banks, or down–cutting of the channel.

General Construction Phase

The following erosion control measures shall be followed by the contractor throughout construction of this project:

A. All topsoil shall be collected, stockpiled, seeded with rye at 3 pounds/1,000 sf and mulched, and reused as required. Silt fencing shall be placed down gradient from the stockpiled loam. Stockpile to be located by designation of the owner and inspecting engineer.

B. The inspecting engineer at his/her discretion, may require additional erosion control measures and/or supplemental vegetative provisions to maintain stability of earthworks and finish graded areas. The contractor shall be responsible for providing and installing any supplemental measures as directed by the inspecting engineer. Failure to comply with the engineer's directions will result in discontinuation of construction activities.

C. Erosion control mesh shall be applied in accordance with the plans over all finish seeded areas as specified on the design plans.

D. All graded or disturbed areas including slopes shall be protected during clearing and construction in accordance with the approved erosion and sediment control plan until they are adequately stabilized.

E. All erosion, and sediment control practices and measures shall be constructed, applied and maintained in accordance with the approved erosion and sediment control plan.

F. Areas to be filled shall be cleared, grubbed and stripped of topsoil to remove trees, vegetation, roots or other objectionable materials.

G. Areas shall be scarified to a minimum depth of 3 inches prior to placement of topsoil.

H. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc., shall be compacted in accordance with local requirements or codes.

I. All fills shall be placed and compacted in layers not to exceed 8 inches in thickness.

J. Except for approved landfills or non–structural fills, fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris and other objectionable materials that would interfere with or prevent construction of satisfactory lifts.

K. Frozen material or soft, mucky or highly compressible materials shall not be incorporated into fill slopes or structural fills.

L. Fill shall not be placed on a frozen foundation.

M. Seeps or springs encountered during construction shall be handled appropriately.

N. All graded areas shall be permanently stabilized immediately following finished grading.

O. Remove any temporary control measures, such as silt fence, within 30 days after permanent stabilization is attained. Remove any accumulated sediments and stabilize.

Permanent Vegetation

Permanent vegetative cover should be established on disturbed areas where permanent, long lived vegetative cover is needed to stabilize the soil, to reduce damages from sediment and runoff, and to enhance the environment.

Seedbed Preparation

A. Grade as feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and maintenance.

B. Apply limestone and fertilizer according to soil tests such as those offered by the University of Maine soil testing laboratory. Soil sample mailers are available from the local cooperative extension service office. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 800 pounds per acre or 18.4 pounds per 1,000 square feet using 10–20–20 (n–p2o5–k2o) or equivalent. Apply ground limestone (equivalent to 50% calcium plus magnesium oxide) at a rate of 3 tons per acre (138 lb. Per 1,000 sq. Ft).

C. Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, spring tooth harrow or other suitable equipment. The final harrowing operation should be on the general contour. Continue tillage until a reasonably uniform, fine seedbed is prepared. All but clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.D. Remove from the surface all stones 2 inches or larger in any dimension. Remove all other debris, such as wire, cable, tree roots, concrete, clods, lumps or other unsuitable material.

E. Inspect seedbed just before seeding. If traffic has left the soil compacted; the area must be tilled and firmed as above.

F. Permanent seeding should be made 45 days prior to the first killing frost or as a dormant seeding with mulch after the first killing frost and before snowfall. When crown vetch is seeded in later summer, at least 35% of the seed should be hard seed (unscarified). If seeding cannot be done within the seeding dates, mulch according to the temporary mulching BMP and overwinter stabilization and construction to protect the site and delay seeding until the next recommended seeding period.

G. Following seed bed preparation, swale areas, fill areas and back slopes shall be seeded at a rate of 3 lbs./1,000 s.F. With a mixture of 35% creeping red h. Fescue, 6% red top, 24% Kentucky bluegrass, 10% perennial ryegrass, 20% annual ryegrass and 5% white Dutch clover.

I. Areas which have been temporarily or permanently seeded shall be mulched immediately following seeding.

J. Areas which cannot be seeded within the growing season shall be mulched for over–winter protection and the area should be seeded at the beginning of the growing season.

Winter Construction Phase

If an area is not stabilized with temporary or permanent measures by November 15, then the site must be protected with additional stabilization measures.

A. Permanent stabilization consists of at least 90% vegetation, pavement/gravel base or riprap.

B. Do not expose slopes or leave slopes exposed over the winter or for any other extended time of work suspension unless fully protected with mulch.

C. Apply hay mulch at twice the standard rate (150 lbs. Per 1,000 sf). The mulch must be thick enough such that the ground surface will not be visible and must be anchored.

D. Use mulch and mulch netting or an erosion control mulch blanket or all slopes greater than 8 % or other areas exposed to direct wind.

E. Install an erosion control blanket in all drainageways (bottom and sides) with a slope greater than 3 %.

F. See the vegetation measures for more information on seeding dates and types.

G. Winter excavation and earthwork shall be completed so that no more than 1 acre of the site is without stabilization at any one time.

H. An area within 100 feet of a protected natural resource must be protected with a double row of sediment barrier.

I. Temporary mulch must be applied within 7 days of soil exposure or prior to any storm event, but after every workday in areas within 100 feet from a protected natural resource.

J. Areas that have been brought to final grade must be permanently mulched that same day.

K. If snowfall is greater than 1 inch (fresh or cumulative), the snow shall be removed from the areas due to be seeded and mulched.

L. Loam shall be free of frozen clumps before it is applied.

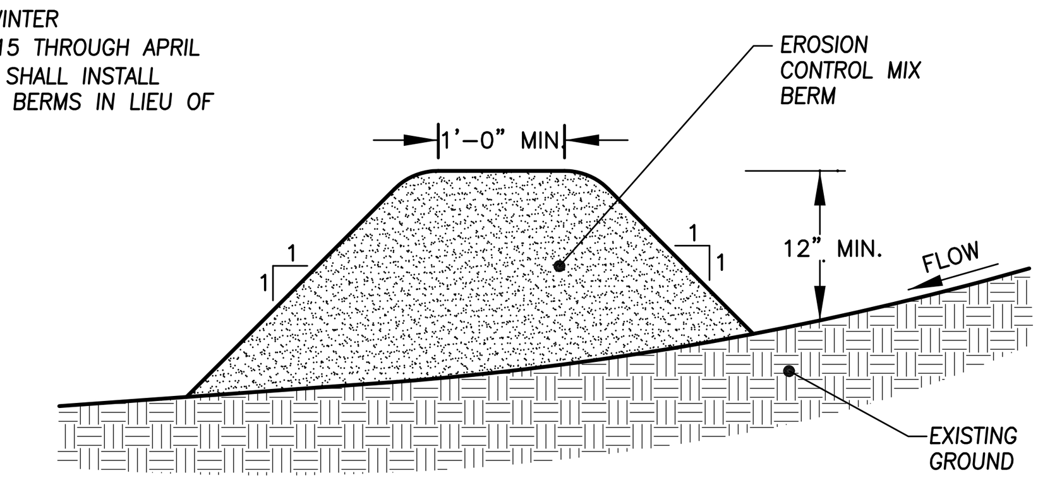
M. All vegetated ditch lines that have not been stabilized by November 1, or will be worked during the winter construction period, must be stabilized with an appropriate stone lining backed by an appropriate gravel bed or geotextile unless specifically released from this standard by the department.

Maintenance and Inspection Phase

A. Contractor shall inspect disturbed and impervious areas, and erosion and stormwater control measures, areas used for storage that are exposed to precipitation, and locations where vehicles enter or exit the parcel at least once a week and before and after a storm event, prior to completion of permanent stabilization. A person with knowledge of erosion and stormwater must conduct the inspection. This person must be identified in the inspection log. If best management practices (BMPs) need to be modified or if additional BMPs are necessary, implementation must be completed within 7 calendar days and prior to any storm event (rainfall). All measures must be maintained in effective operating condition until areas are permanently stabilized.

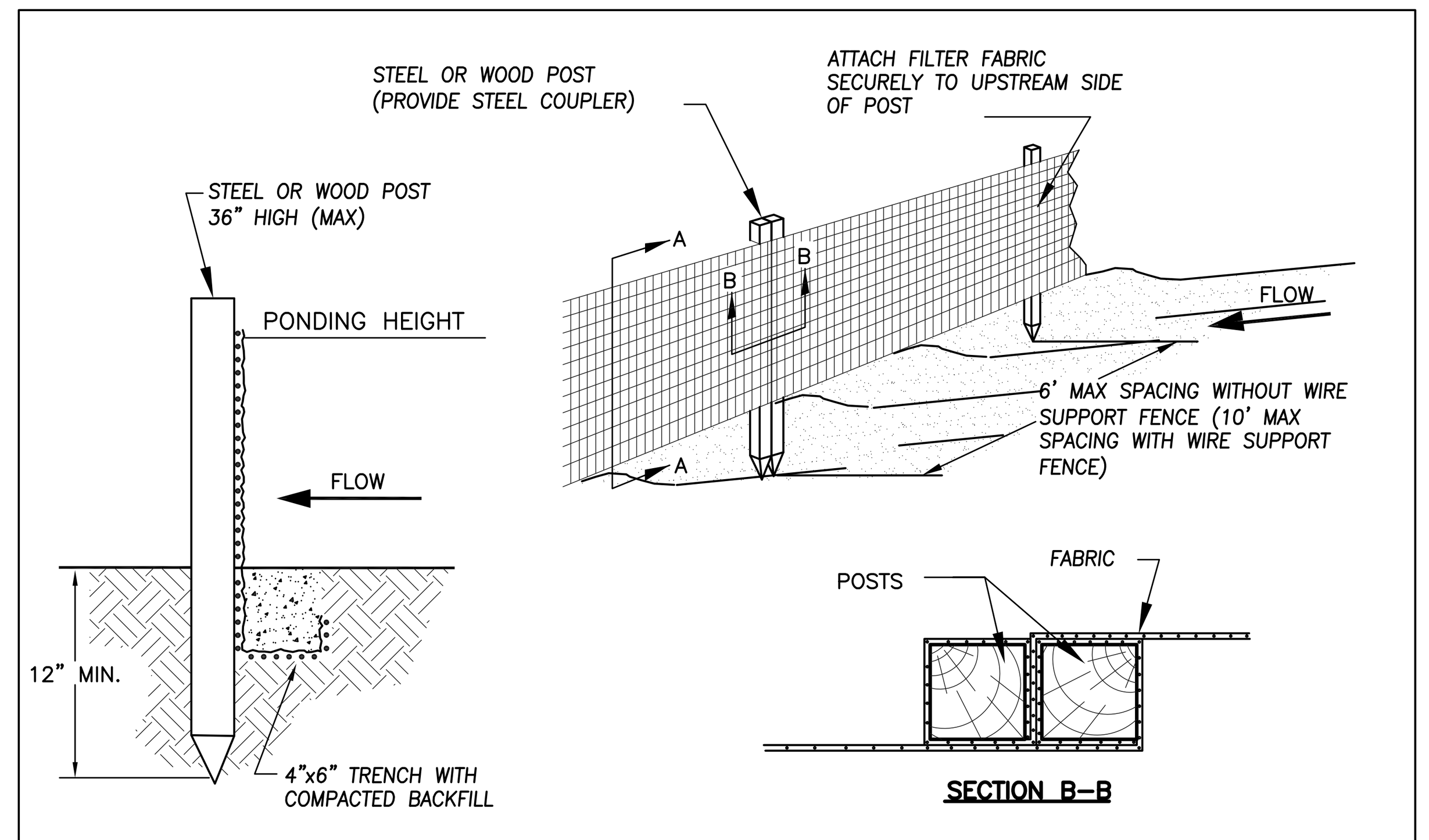
B. A log (report) must be kept summarizing the scope of the inspection, name(s) and qualifications of the personnel making the inspection, the date(s) of the inspection, and major observations relating to operation of erosion and sedimentation controls and pollution prevention measures. Major observations must include: BMPs that need to be maintained; location(s) of BMPs that failed to operate as designed or proved inadequate for a particular location; and location(s) where additional BMPs are needed that did not exist at the time of inspection. Follow–up to correct deficiencies or enhance controls must also be indicated in the log and dated, including what action was taken and when.

NOTE:
DURING PERIODS OF WINTER CONSTRUCTION (NOV. 15 THROUGH APRIL 15), THE CONTRACTOR SHALL INSTALL EROSION CONTROL MIX BERMS IN LIEU OF SILT FENCE.

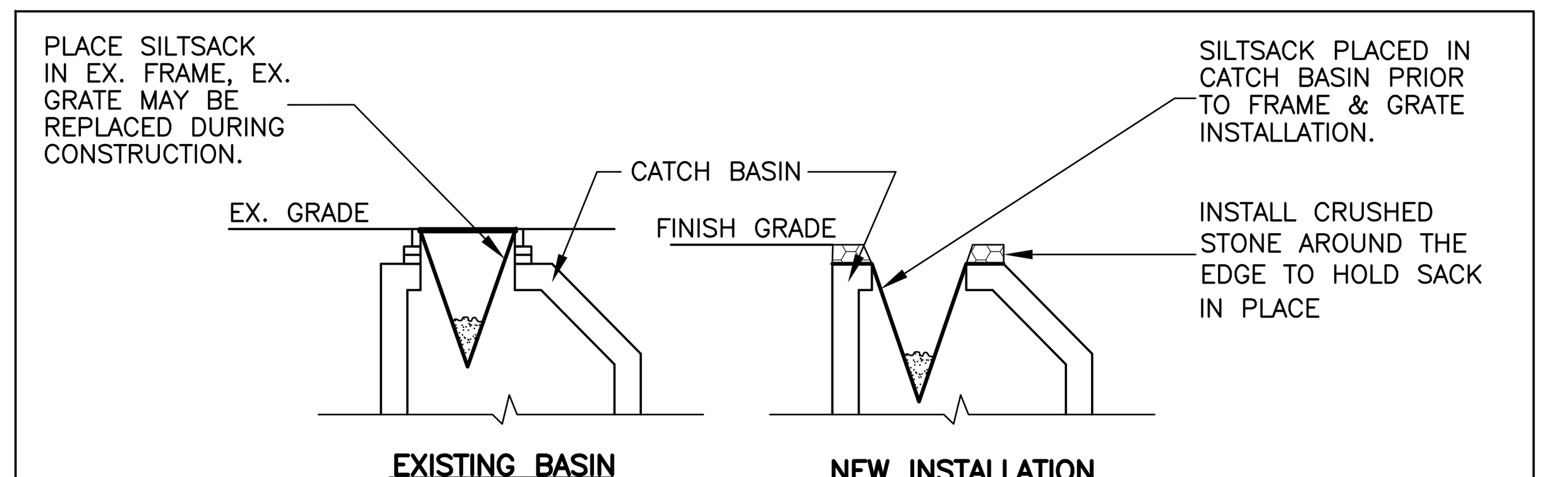


EROSION CONTROL MIX:
EROSION CONTROL MIX SHALL CONTAIN A WELL–GRADED MIXTURE OF PARTICLE SIZES & MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH. THE MIX COMPOSITION SHALL MEET THE FOLLOWING STANDARDS:
- *THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 80% – 100% DRY WEIGHT BASIS*
- *PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN AND A MINIMUM OF 70%, MAXIMUM OF 85% PASSING A 0.75" SCREEN*
- *THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED*
- *LARGE PORTIONS OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE IN THE MIX.*
- *SOLUBLE SALTS CONTENT SHALL BE < 4.0 mmhos/cm.*
- *ph SHALL FALL BETWEEN 5.0 – 8.0.*

EROSION CONTROL MIX BERM
NOT TO SCALE



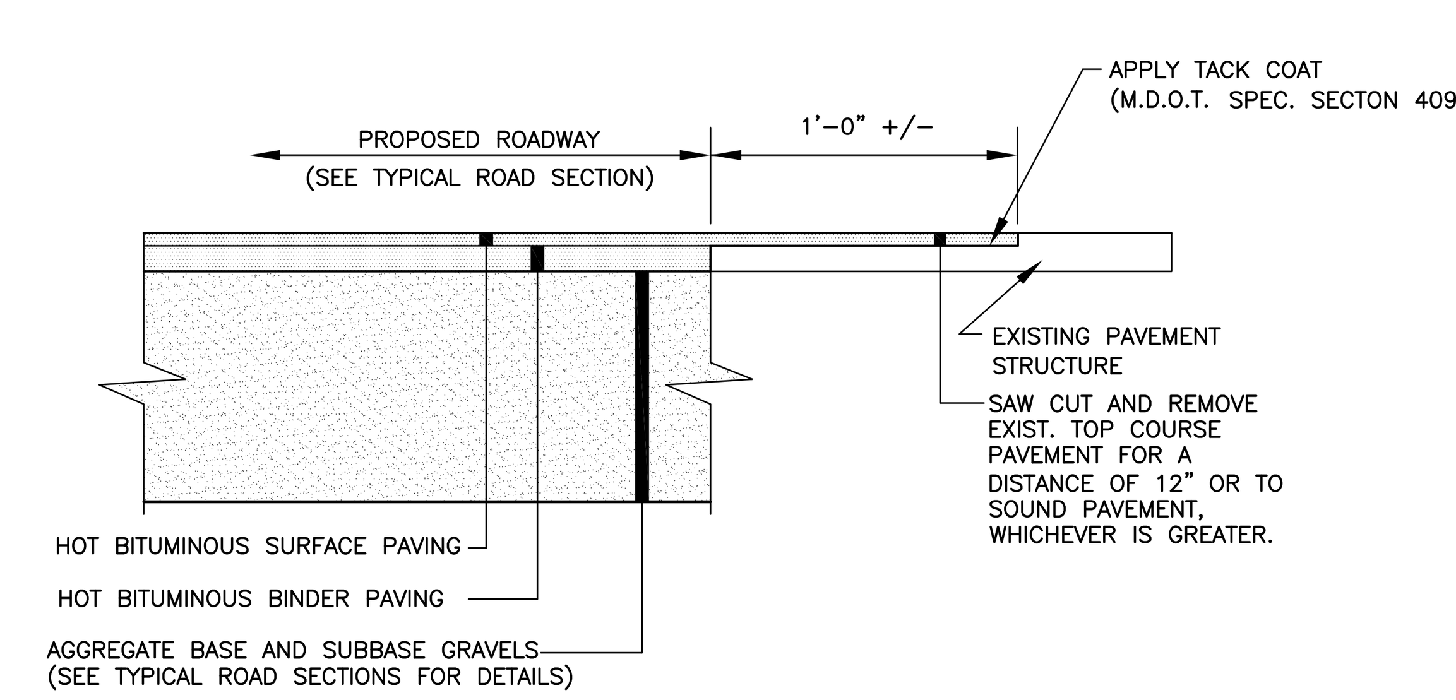
SILT FENCE
NOT TO SCALE



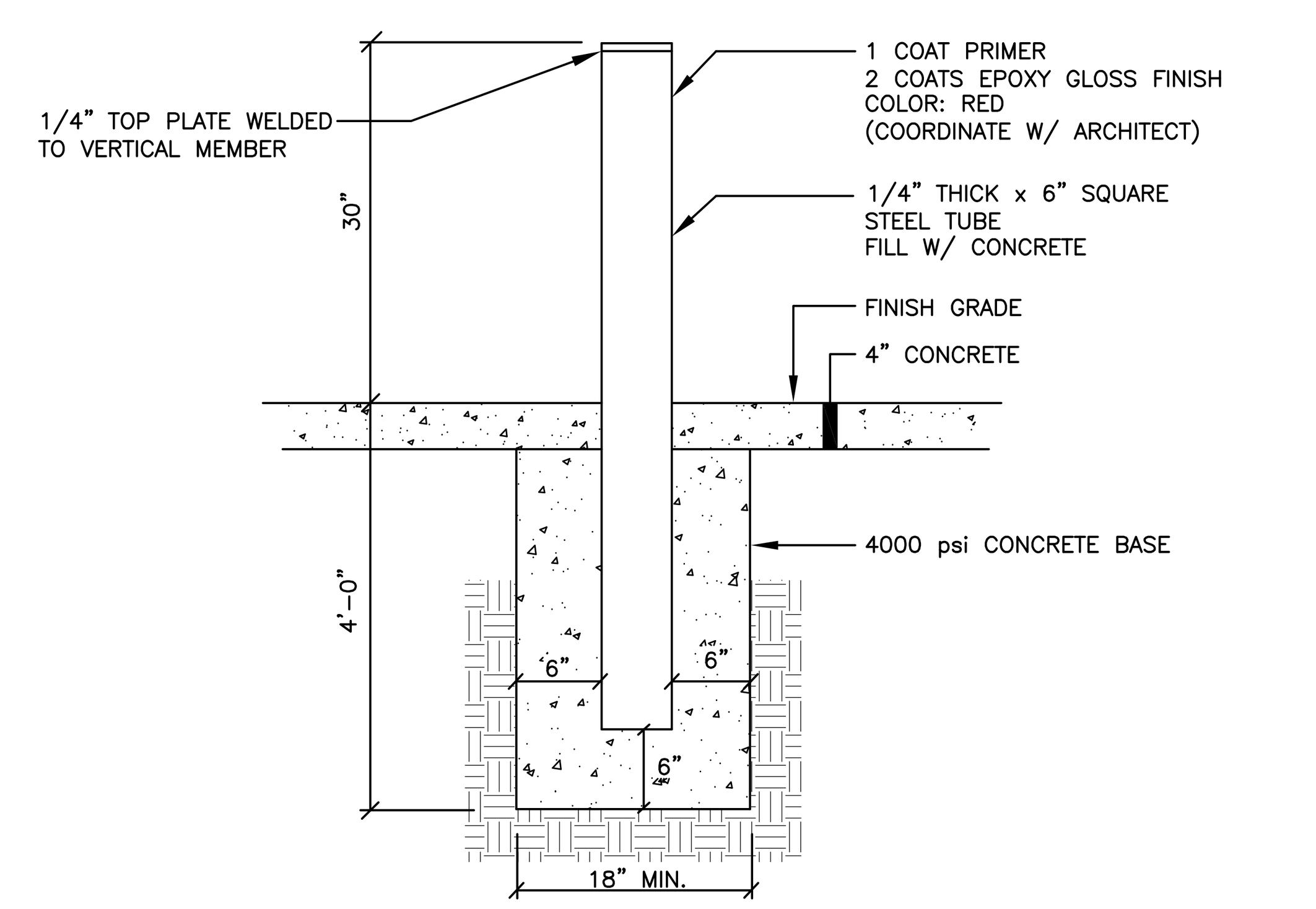
NOTES:

PRIOR TO FINAL GRADING AND PAVING OPERATIONS BEGIN, A CATCH BASIN INSERT (SUCH AS A SILT SACK OR A DANDY BAG II) MUST BE INSTALLED IN EACH BASIN PER MANUFACTURES INSTRUCTIONS. HAY BALES SHOULD BE REMOVED ONCE INSERTS ARE INSTALLED.

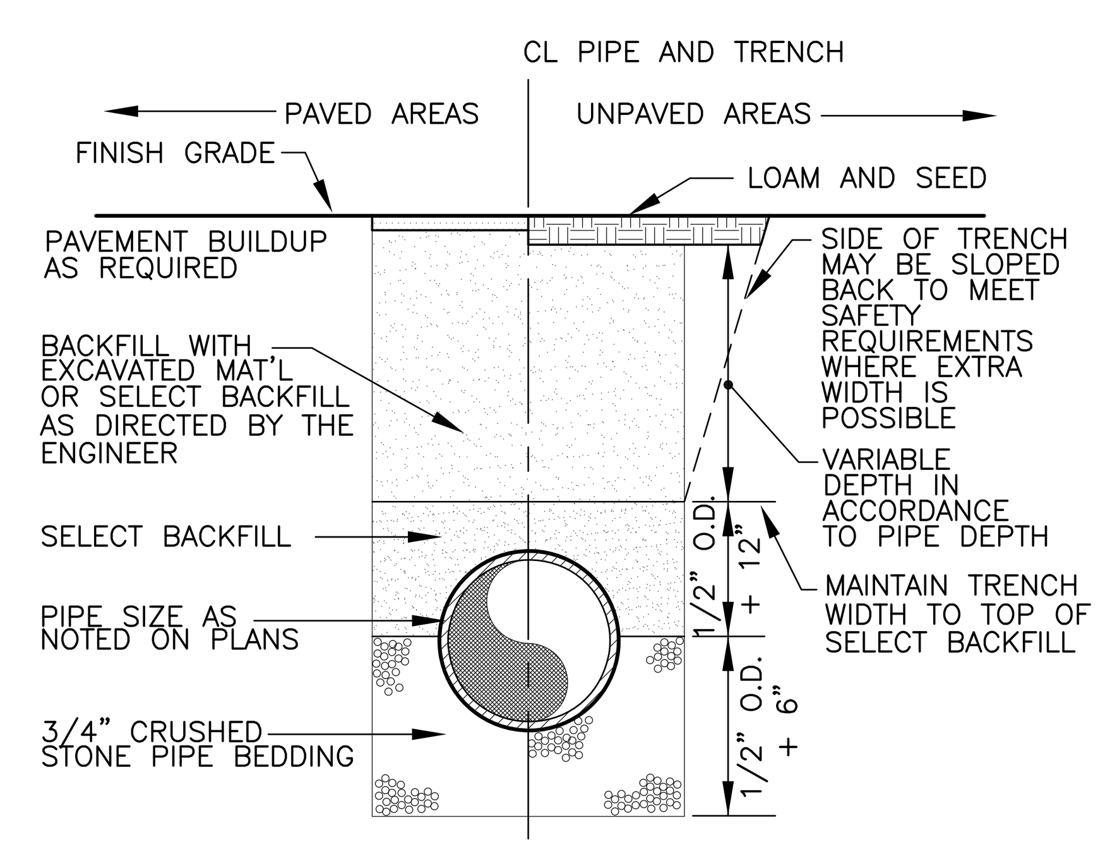
CATCH BASIN EROSION CONTROL INSERT
NOT TO SCALE



TYPICAL PAVEMENT JOINT
NOT TO SCALE



METAL BOLLARD
NOT TO SCALE



TYPICAL TRENCH SECTION
NOT TO SCALE

CONSTRUCTION NOTES:

1. All work shall conform to the applicable codes and ordinances.

2. Contractor shall visit the site and familiarize him or herself with all conditions affecting the proposed work and shall make provisions as to the cost thereof. Contractor shall be responsible for familiarizing him or herself with all contract documents, field conditions and dimensions and confirming that the work may be accomplished as shown prior to proceeding with construction. Any discrepancies shall be brought to the attention of the engineer prior to the commencement of work.

3. Contractor shall notify engineer of all products or items noted as "existing" which are not found in the field.

4. Install all equipment and materials in accordance with manufacturer's recommendations and owner's requirements unless specifically otherwise indicated or where local codes or regulations take precedence.

5. Contractor shall verify all dimensions and conditions in the field prior to fabrication and erection of any material. Any unusual conditions shall be reported to the attention of the engineer.

6. Contractor shall clean and remove debris and sediment deposited on public streets, sidewalks, adjacent areas, or other public ways due to construction.

7. Contractor shall incorporate provisions as necessary in construction to protect existing structures, physical features, and maintain site stability during construction. Contractor shall restore all areas to original condition and as directed by design drawings.

8. Site contractor shall obtain all required permits prior to construction.

9. All erosion and sediment control measures shall be installed in accordance with "Maine Erosion and Sedimentation Control Handbook for Construction: Best Management Practices" published by the Cumberland County Soil and Water Conservation District and Maine Department of Environmental Protection, March 2004 or latest edition. It shall be the responsibility of the contractor to possess a copy of the erosion control plan at all times.

10. The contractor is hereby cautioned that all site features shown hereon are based on field observations by the surveyor and by information provided by utility companies. The information is not to be relied on as being exact or complete. The contractor shall contact Dig Safe (1–888–digsafe) at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition to verify horizontal and vertical location of all utilities.

11. Contractor shall be aware that Dig Safe only notifies its "member" utilities about the dig. When notified, Dig Safe will advise contractor of member utilities in the area. Contractor is responsible for identifying and contacting non–member utilities directly. Non–member utilities may include town or city water and sewer districts and small local utilities, as well as USG public works systems.

12. Contractors shall be responsible for compliance with the requirements of 23 MRSA 3360–A. It shall be the responsibility of the contractor to coordinate with the appropriate utilities to obtain authorization prior to relocation of any existing utilities which conflict with the proposed improvements shown on these plans. If a utility conflict arises, the contractor shall immediately notify the owner, the municipality and appropriate utility company prior to proceeding with any relocation.

13. All pavement markings and directional signage shown on the plan shall conform to the Manual of Uniform Traffic Control Devices (MUTCD) standards.

14. All pavement joints shall be sawcut prior to paving to provide a durable and uniform joint.

15. No holes, trenches or structures shall be left open overnight in any excavation accessible to the public or in public rights–of–way.

16. All work within the public right–of–way shall require a M.D.O.T. Permit as well as permits from the town as applicable.

17. The proposed limits of clearing shown hereon are approximate based upon the proposed limits of site grading. The applicant reserves the right to perform normal forest management activities outside of the clearing limit as shown. Tree removal outside of the limits of clearing may be necessary to remove dead or dying trees or tree limbs. This removal is due to potential safety hazards and to promote proper forest growth.

18. Immediately upon completion of cuts/fills, the contractor shall stabilize disturbed areas in accordance with erosion control notes and as specified on plans.

19. The contractor shall be fully and solely responsible for the removal, replacement and rectification of all damaged and defective material and workmanship in connection with the contract work. The contractor shall replace or repair as directed by the owner all such damaged or defective materials which appear within a period of one year from the date of substantial completion.

20. All work performed by the general contractor and/or trade subcontractor shall conform to the requirements of local, state or federal laws, as well as any other governing requirements, whether or not specified on the drawings.

21. Where the terms "approved equal", "other approved", "equal to", "acceptable" or other general qualifying terms are used in these notes, it shall be understood that reference is made to the ruling and judgment of Plymouth Engineering, inc.

22. The general contractor shall provide all necessary protection for the work until turned over to the owner.

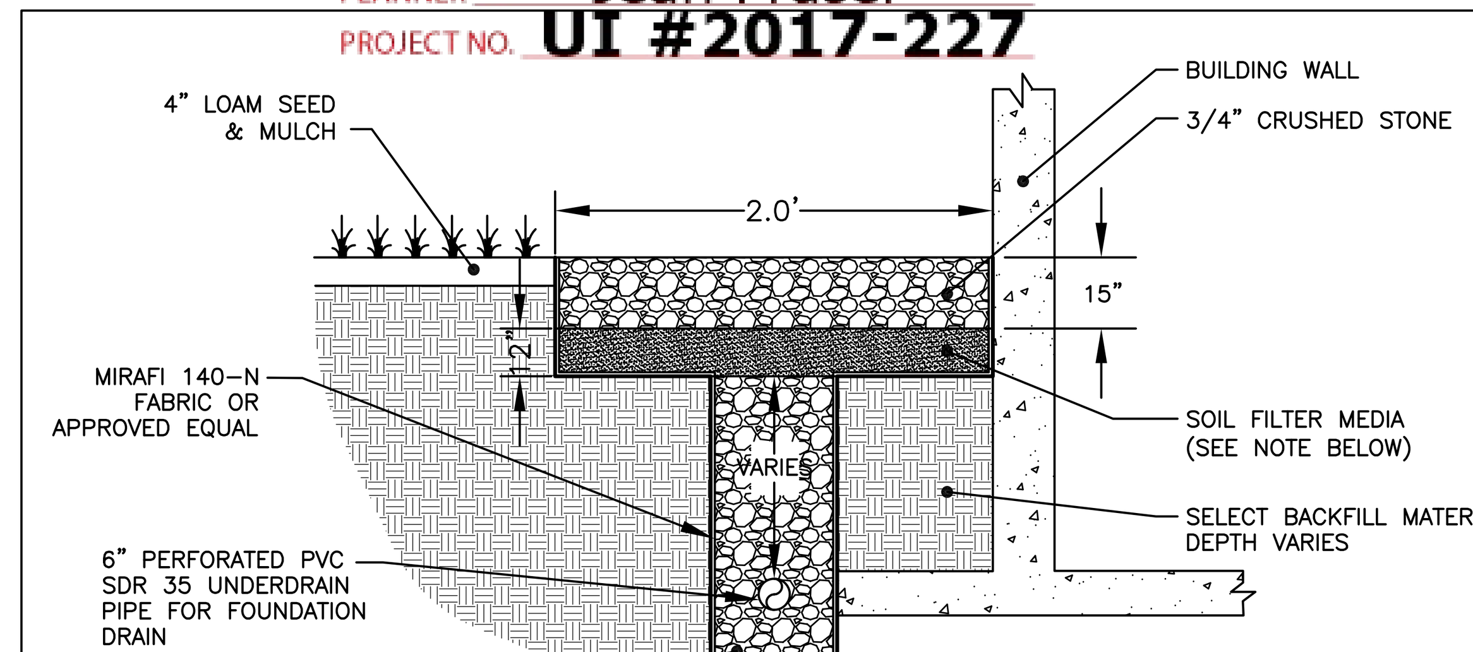
23. The general contractor shall maintain a current and complete set of construction drawings on site during all phases of construction for use of all trades.

24. The contractor shall take full responsibility for any changes and deviation of approved plans not authorized by the architect/engineer and/or client/owner.

25. Details are intended to show end result of design. Any modification to suit field dimension and condition shall be submitted to the engineer for review and approval prior to any work.

26. Before the final acceptance of the project, the contractor shall remove all equipment and materials, repair or replace private or public property which may have been damaged or destroyed during construction, clean the areas within and adjacent to the project which have been obstructed by his/her operations, and leave the project area neat and [illegible]

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions
DATE of APPROVAL 4-10-2018
PLANNER Jean Fraser
PROJECT NO. UI #2017-227



NOTE:
THE BACKFILL FOR THE FOUNDATION MAY BE USED AS THE FILTER MEDIA AS LONG AS THE MATERIAL IS A MINERAL SOIL WITH BETWEEN 4% & 7% FINES (PASSING #200 SIEVE).

ROOF DRIPLINE FILTER BED
NOT TO SCALE

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN	APPD.
1	04/20/18	ADDED NOTES PER FINAL REVIEW	JHW	JHW
2	05/08/18	REVISED FOR FINAL SIGNATURES	JHW	JHW
3	07/05/18	REVISED GAS METER AND FENCING	JHW	JHW
4	08/08/18	REVISED PER BUILDING DIMENSION CHANGE	JHW	JHW

PROJECT NAME: 30 FOX STREET, PORTLAND, MAINE

SHEET NAME: EROSION & SEDIMENTATION CONTROL DETAILS

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO. 17178
DRAWING NO. 17178 073118 B
FIELDBOOK:
SCALE:
DATE ISSUED: 03–26–18

DESIGNED: JHW
DRAWN: JHW
CHECKED: JHW
APPROVED: JHW
PLAN DATE: 03–26–18
CLIENT & OWNER: SIMON NORWALK, DYER NECK DEVELOPMENT, LLC, 29 KELLOGG STREET, #3, PORTLAND, ME 04101

Plymouth Engineering, Inc.
P.O. Box 46 30 Lower Detroit Road
Plymouth, Maine 04969
Tel: (207) 257–2071 Fax: (207) 257–2130
info@plymouthengineering.com
www.plymouthengineering.com

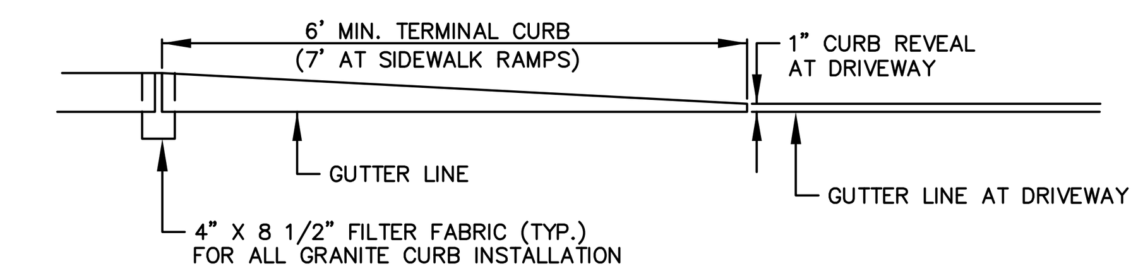
STATE OF MAINE, JON H. WHITTEN, JR., No. 10414, LICENSED, PROFESSIONAL ENGINEER

DRAWINGS NOT SEALED ARE FOR PLANNING PURPOSES ONLY AND ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

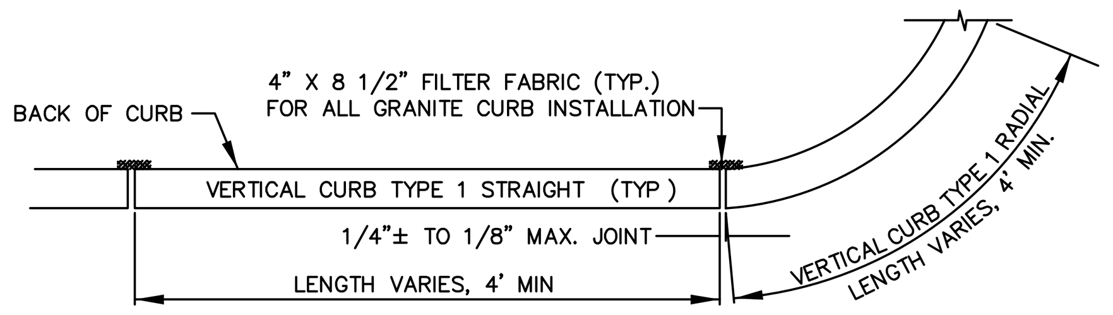
SHEET 3 OF 4

C3

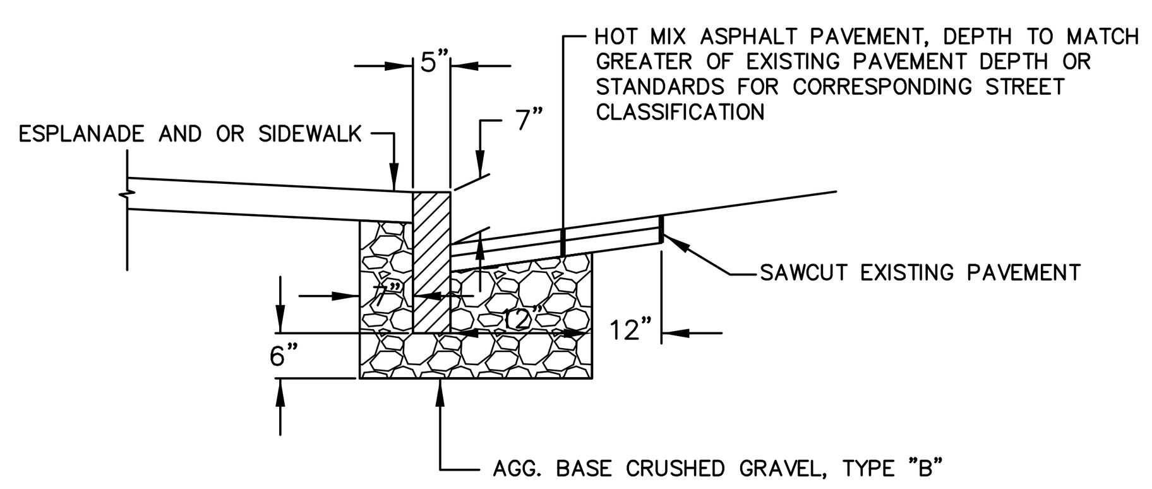
Aug 09, 2018 - 10:33am
J:\2017\17178 - 32 Fox St. - Portland Bld Arch\J. Drawings\CIVIL\17178 73118 B.dwg



TERMINAL CURB PROFILE



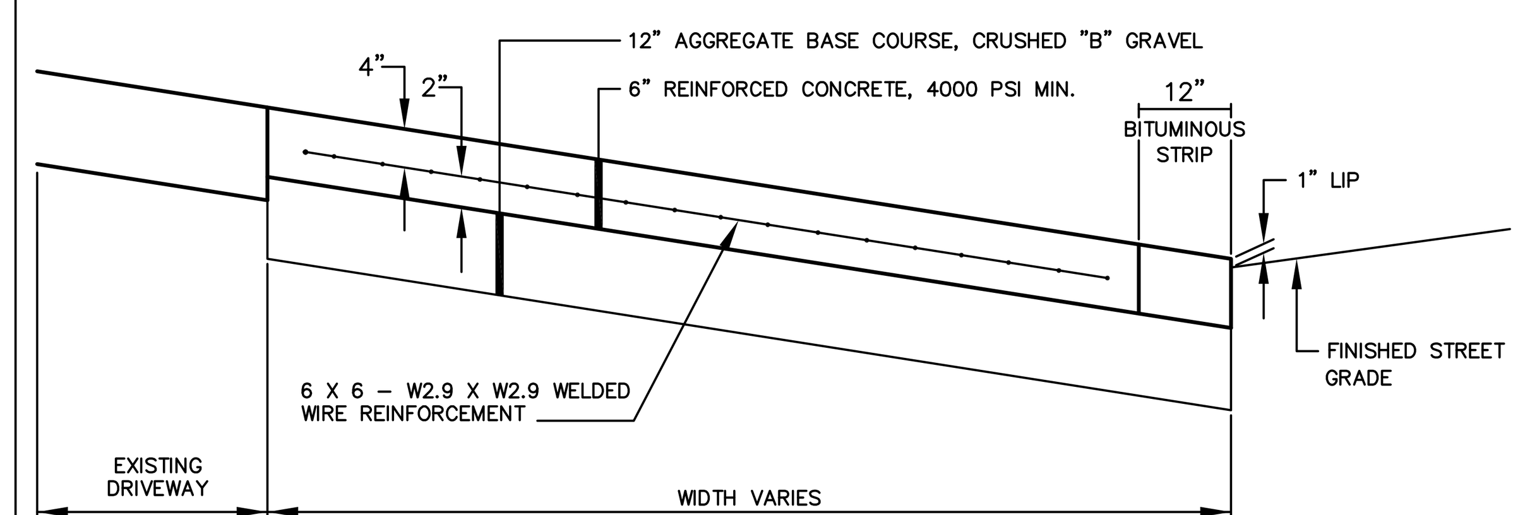
VERTICAL GRANITE CURB PLAN VIEW



VERTICAL GRANITE CURB CROSS SECTION

VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREETS

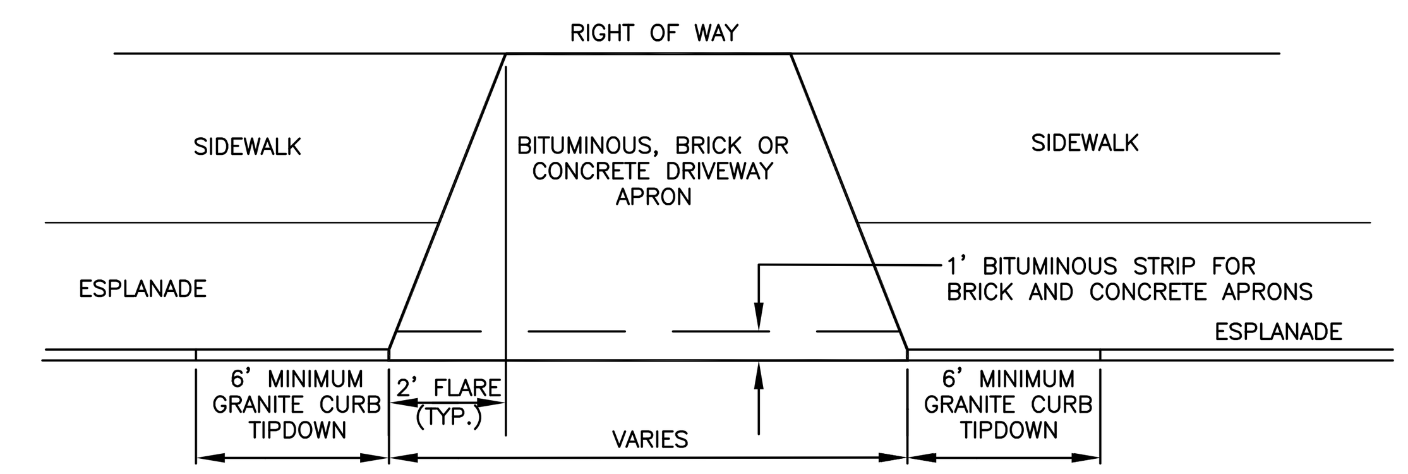
NOT TO SCALE



REINFORCED CONCRETE DRIVEWAY APRON

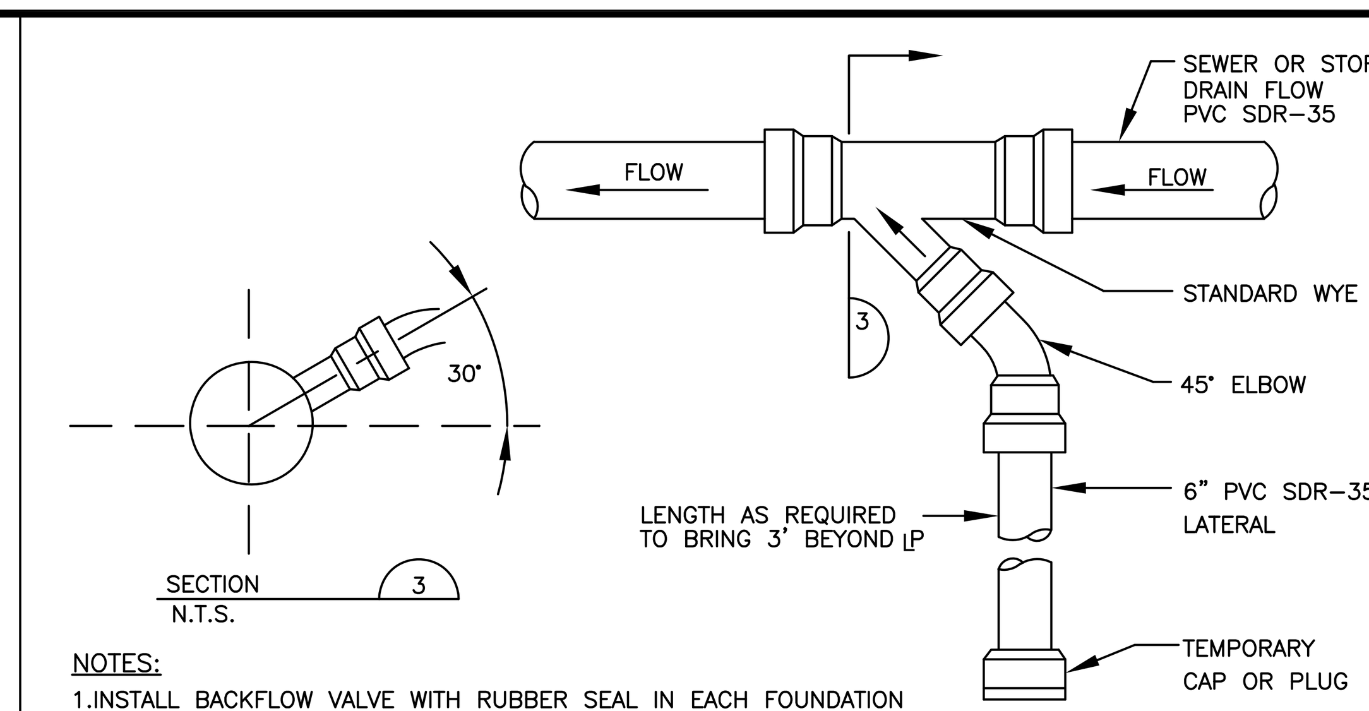
NOT TO SCALE

NOTE:
MATCH GRADE OF EXISTING DRIVEWAY AT R.O.W. LINE, EXCEPT WHEN DIRECTED OTHERWISE BY CITY ENGINEER.



DRIVEWAY APRON LAYOUT

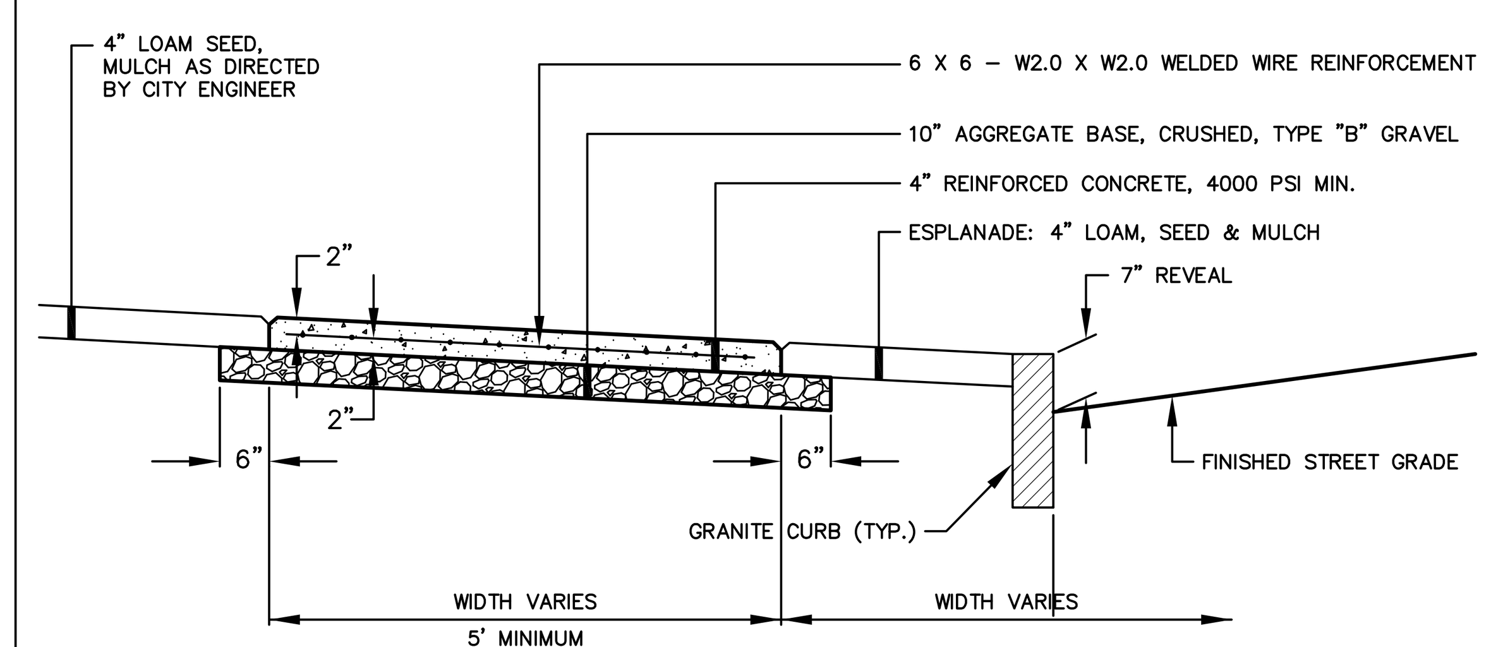
NOT TO SCALE



NOTES:
1. INSTALL BACKFLOW VALVE WITH RUBBER SEAL IN EACH FOUNDATION DRAIN SERVICE.
2. IF SUMP PUMP IS UTILIZED INSTALL CHECK VALVE AT SUMP PUMP.

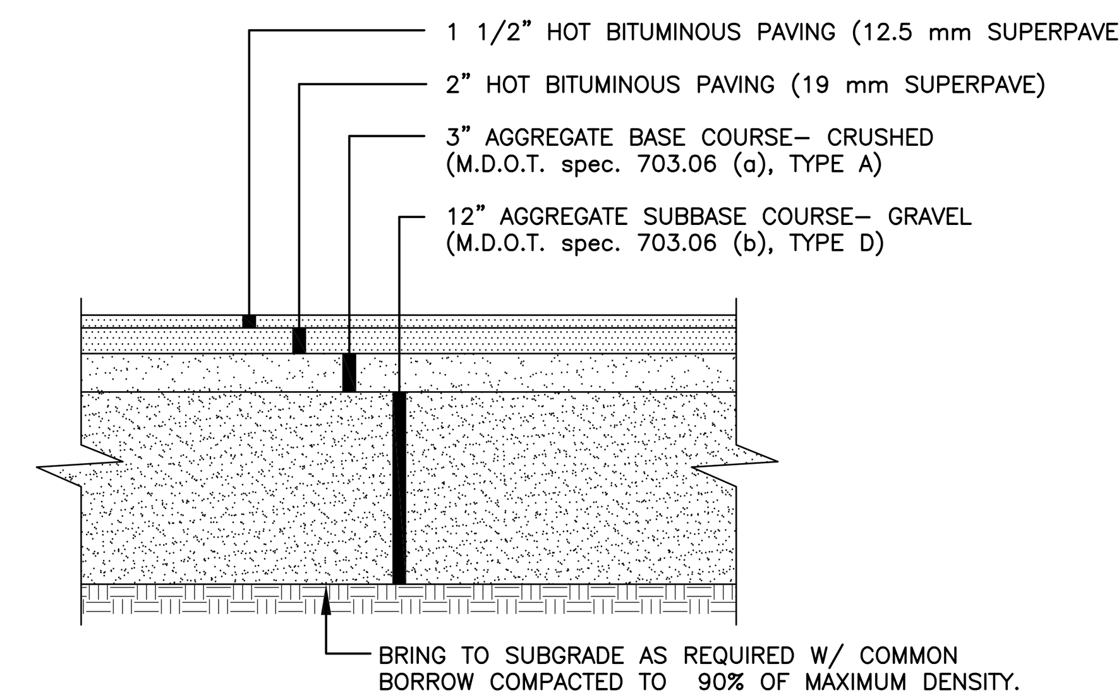
SEWER / FOUNDATION DRAIN SERVICE CONNECTION

NOT TO SCALE



REINFORCED CONCRETE SIDEWALK

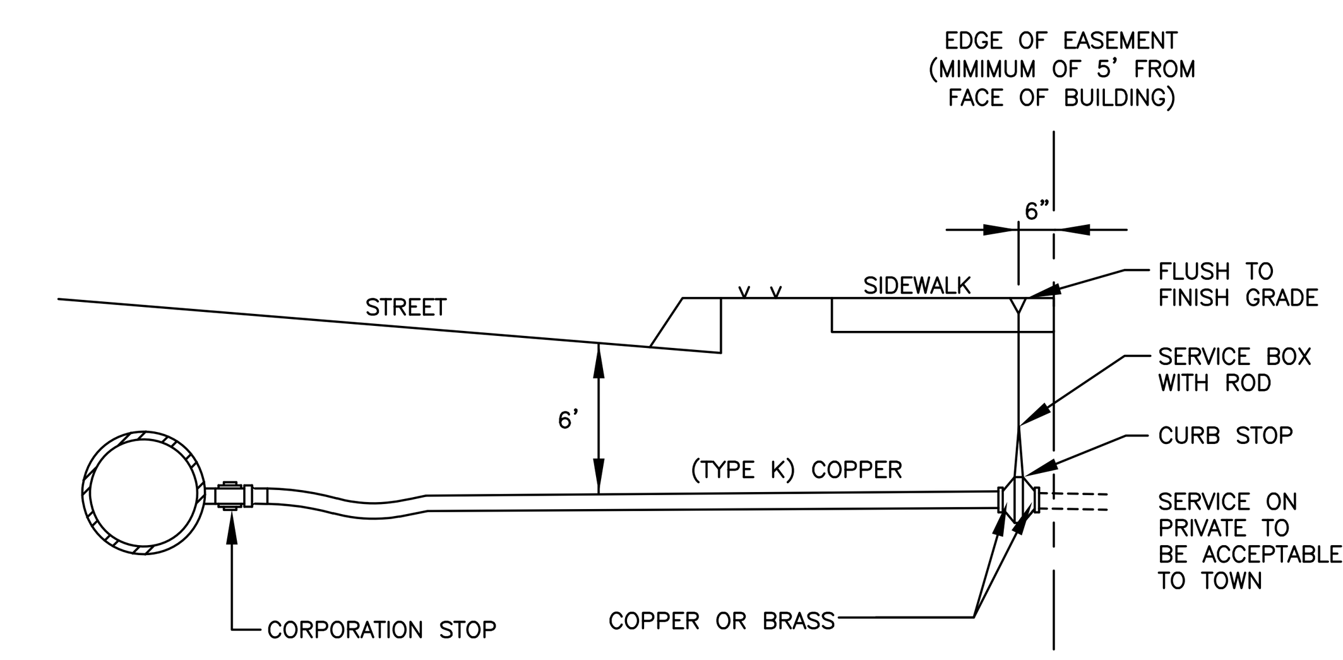
NOT TO SCALE



NOTES:
1. COMPACT GRAVEL SUBBASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

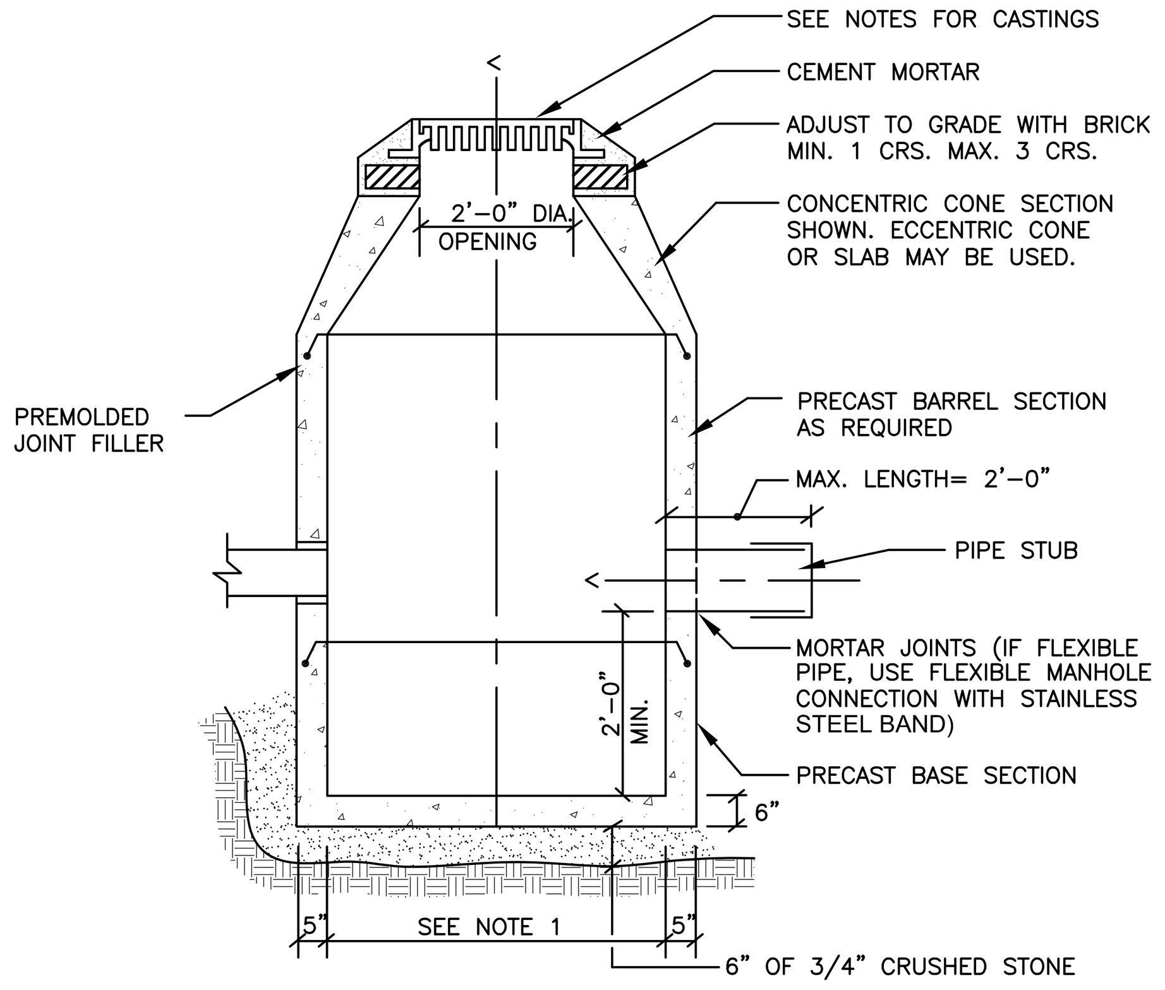
TYPICAL DRIVEWAY/PARKING AREA SECTION

NOT TO SCALE



TYPICAL WATER SERVICE CONNECTION

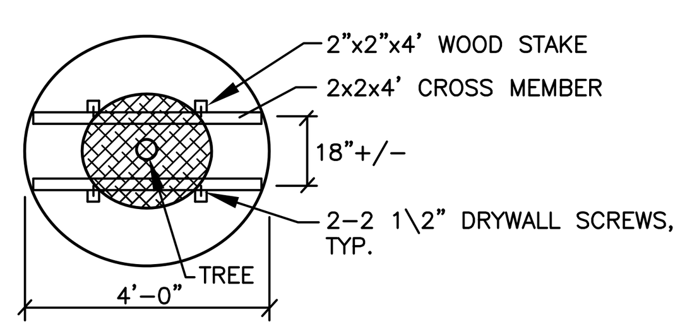
NOT TO SCALE



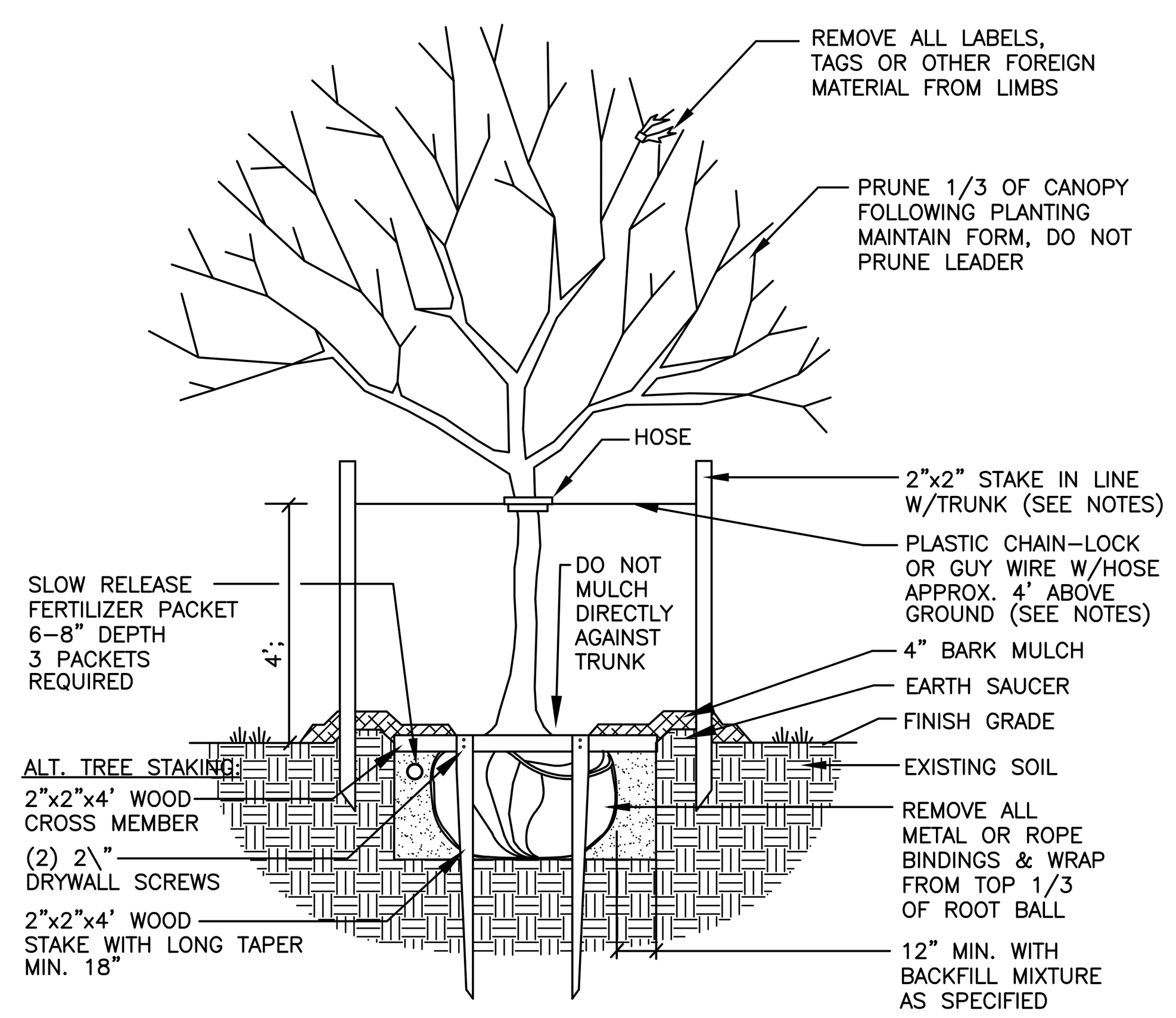
NOTES:
1. 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
2. DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
3. PIPE SIZES AND INVERTS AS NOTED ON PLANS.
4. CATCH BASIN FRAME AND GRATE TO BE ETHERIDGE FOUNDRY SA248, TYPE M OR C OR APPROVED EQUAL.
5. DRAINAGE MANHOLE FRAME AND COVER TO BE ETHERIDGE FOUNDRY M248S OR APPROVED EQUAL. COVER SHALL BE MARKED "DRAIN".

TYPICAL CATCH BASIN

NOT TO SCALE



ALT. TREE STAKING PLAN
NOT TO SCALE



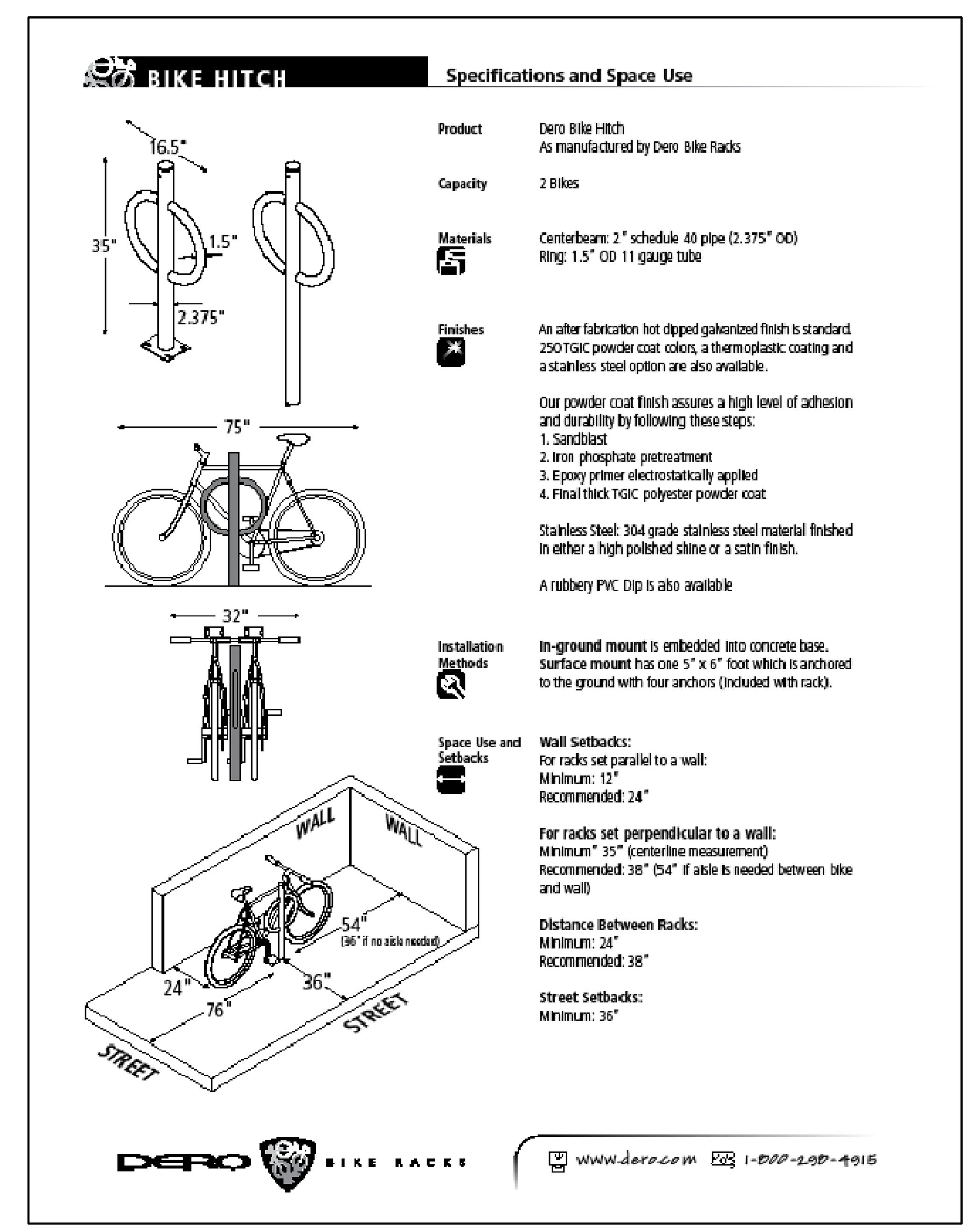
NOTES:
INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
1. THE TREE IS OF SUBSTANTIAL SIZE.
2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

DECIDUOUS TREES 2" TO 4" CALIPER

NOT TO SCALE

City of Portland Technical Manual

Section 1 - Transportation Systems and Street Design
Adopted 7-19-10 Rev. 6-17-11; 7-21-11



DATE: AUGUST 2009	CITY OF PORTLAND, MAINE TECHNICAL STANDARDS MANUAL	TRANSPORTATION SYSTEMS AND STREET DESIGN SECTION I	FIGURE:
REVISED:	BICYCLE RACK SPECIFICATION - BIKE HITCH		I-33a

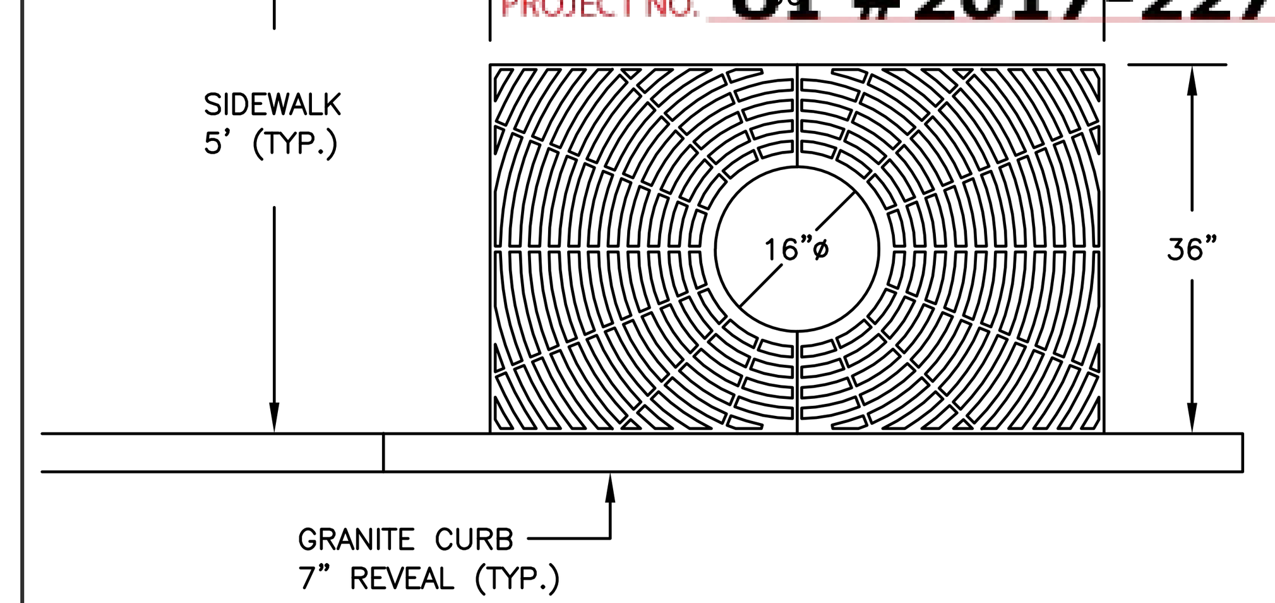
66

City of Portland Technical Manual134134

Section 4 - Landscaping and Landscape Preservation
Adopted 7-19-10 Rev. 6-17-11

NOTES:
16"ø EXPANDABLE TREE OPENING. 0.25" SLOT OPENINGS.
SIDEWALK MATERIAL PER CITY SIDEWALK MATERIAL POLICY.
WHEN THE TREE GRATE IS INSTALLED IN A CONCRETE SIDEWALK, A NOTCH MUST BE INSTALLED ALONG THE EDGE TO HOLD THE GRATE, WHEN INSTALLED IN A BRICK SIDEWALK IT REQUIRES A FRAME TO BE INSTALLED TO HOLD THE GRATE IN PLACE.

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Conditions of Approval and Standard Conditions
DATE of APPROVAL 4-10-2018
PLANNER Jean Fraser
PROJECT NO. UI #2017-227



PLAN VIEW

EXPANDABLE TREE GRATE NEENAH MODEL R-8810

NOT TO SCALE

http://www.nfco.com/literature/TreeGrateCatalog22/Avenue.pdf

DATE: MARCH 2011	CITY OF PORTLAND, MAINE TECHNICAL STANDARDS MANUAL	STDS FOR LANDSCAPING AND PRESERVATION OF EXISTING VEGETATION SECTION IV	FIGURE:
REVISED:	EXPANDABLE TREE GRATE FOR NARROW RESIDENTIAL URBAN STREETS		IV-4A

134

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN	APPD.
1	04/20/18	ADDED NOTES PER FINAL REVIEW	JHW	JHW
2	05/08/18	REVISED FOR FINAL SIGNATURES	JHW	JHW
3	07/05/18	REVISED GAS METER AND FENCING	JHW	JHW
4	08/08/18	REVISED PER BUILDING DIMENSION CHANGE	JHW	JHW

PROJECT NAME: 30 FAX STREET
PORTLAND MAINE
SHEET NAME: DETAILS

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO. 17178
DRAWING NO. 17178 073118 B
FIELDBOOK:
SCALE:
DATE ISSUED: 03-26-18

DESIGNED: JHW
DRAWN: JHW
CHECKED: JHW
APPROVED: JHW
PLAN DATE: 03-26-18
CLIENT & OWNER: SIMON NORWALK DYER NECK DEVELOPMENT, LLC 29 KELLOGG STREET, #3 PORTLAND, ME 04101

Plymouth Engineering, Inc.
P.O. Box 46 30 Lower Detroit Road
Plymouth, Maine 04969
Tel: (207) 257-2071 Fax: (207) 257-2130
info@plymouthengineering.com
www.plymouthengineering.com

STATE OF MAINE ... LICENSED

DRAWINGS NOT SEALED ARE FOR PLANNING PURPOSES ONLY AND ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

SHEET 4 OF 4

C4

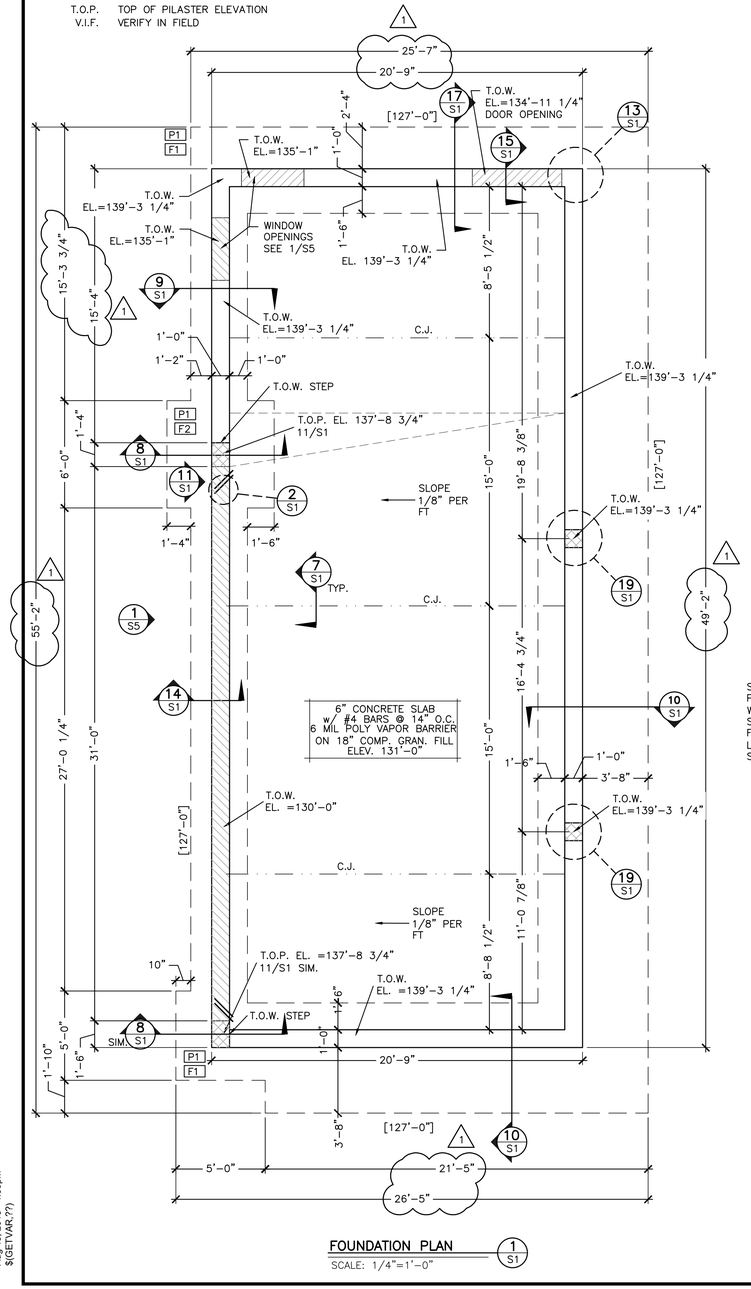
FOOTING & PIER SCHEDULE

Ftg. Mark	Ftg. Size (LxW)	Ftg. Reinf.	Pier Mark	Pier. Size W	D	Pier Reinf.
F-1	6'-0"X6'-0"	6-#5'S E.W.	P-1	1'-0"X1'-3"		4-#6's w/ #3 TIES @ 12" O.C.
F-2	5'-0"X5'-0"	5-#5'S E.W.				

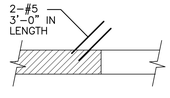
SEE DETAIL 8, 10/S1 FOR FOUNDATION ORIENTATION AND DETAILS 5,6/S1 FOR PILASTER
* FOOTINGS ARE CENTERED ON COLUMNS

LEGEND

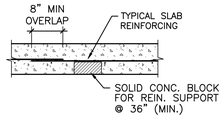
F-1 FOOTING MARK – SEE SCHEDULE THIS SHEET
P-1 PIER MARK – SEE SCHEDULE THIS SHEET
[95'-0"] BOTTOM OF FOOTING ELEVATION
T.O.W. TOP OF WALL ELEVATION
T.O.P. TOP OF PILASTER ELEVATION
V.I.F. VERIFY IN FIELD



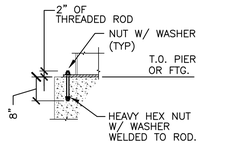
FOUNDATION PLAN 1/S1
SCALE: 1/4"=1'-0"



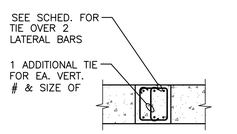
SLAB REIN. DETAIL @ ALL DOORS 2/S1
SCALE: 1/2"=1'-0"



REINF. SUPPORT DETAIL 3/S1
SCALE: 1/2"=1'-0"

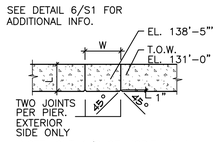


1/2"ø ANCHOR BOLT DETAIL 4/S1
SCALE:1/2"=1'-0"



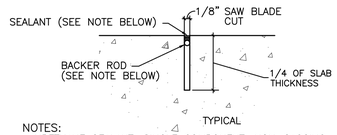
WALL REIN. OMITTED FOR CLARITY

TYP. PIER REIN. DETAIL 5/S1
SCALE: 1/2"=1'-0"



NOTE: CUT 1/2 OF HORIZ. WALL REINF. @ JOINT

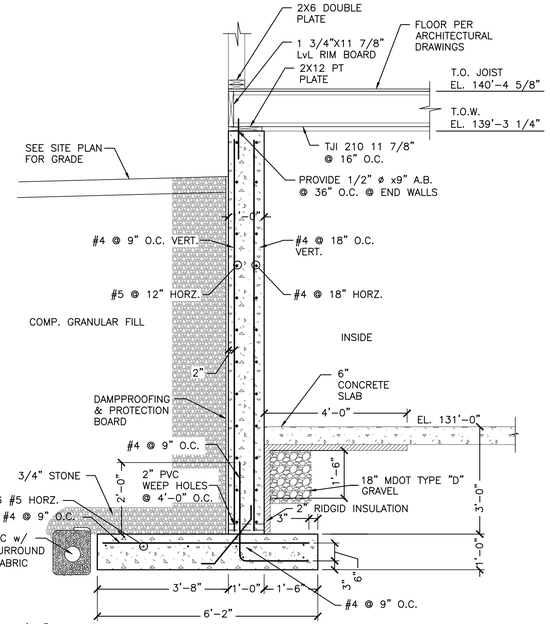
TYP. PIER DETAIL 6/S1
SCALE: 1/2"=1'-0"



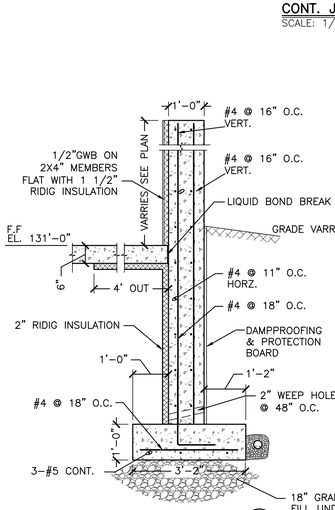
NOTES:
URETHANE SEALANT; SINGLE COMPONENT, NON-SAGGING NON-STAINING, FUNGUS RESISTANT, NON-BLEEDING CAPABLE OF 1000% ELONGATION WITH SERVICE TEMPERATURE RANGE OF -40 TO 180 DEGREES F.

BACKER ROD; ROUND, CLOSED POLYETHYLENE FOAM ROD, OVERSIZED 30 TO 50% LARGER THAN JOINT WIDTH

CONT. JOINT DETAIL 7/S1
SCALE: 1/2"=1'-0"

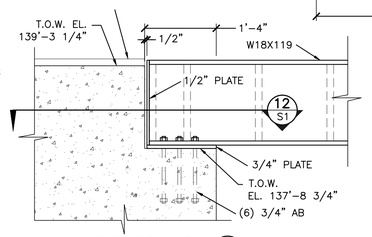


8' SIDE WALL SECTION 10/S1
SCALE: 1/2"=1'-0"

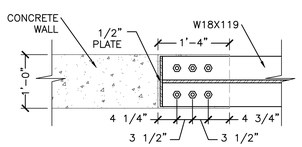


PILASTER SECTION 8/S1
SCALE: 1/2"=1'-0"

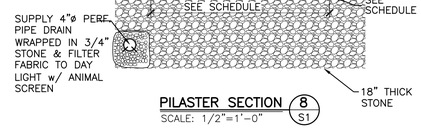
WALL SECTION #1 9/S1
SCALE: 1/2"=1'-0"



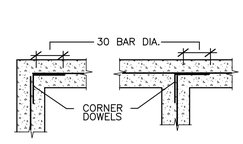
WALL ELEVATION VIEW 11/S1
SCALE: 3/4"=1'-0"



CONNECTION DETAIL 12/S1
SCALE: 3/4"=1'-0"

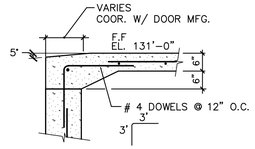


PILASTER SECTION 8/S1
SCALE: 1/2"=1'-0"



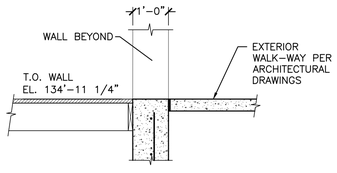
VERT. WALL REINF. NOT SHOWN FOR CLARITY

TYP. WALL CORNER DETAIL 13/S1
SCALE: 1/2"=1'-0"



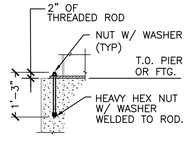
SEE TYPICAL WALL SECTION FOR WALL SIZE & REINF.
O.H. DOOR – FIELD LOCATE

TYP. O.H. DOOR SECTION 14/S1
SCALE: 1/2"=1'-0"



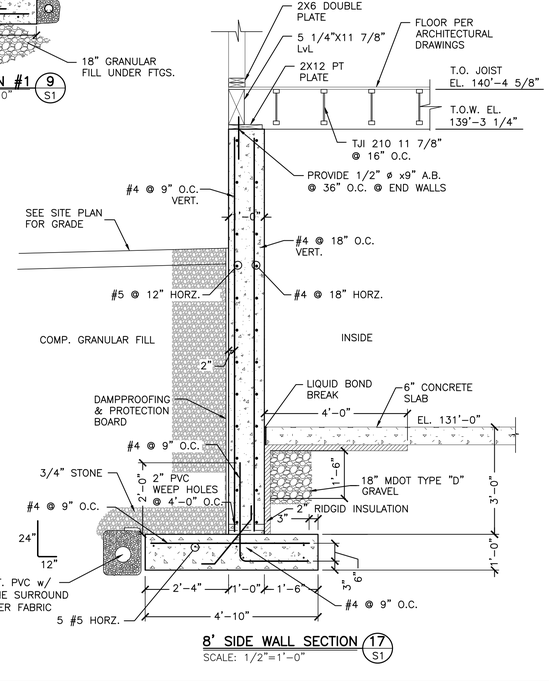
-SEE TYPICAL WALL SECTION FOR WALL SIZE & REINF.

TYP. PASS. DOOR SECTION 15/S1
SCALE: 1/2"=1'-0"

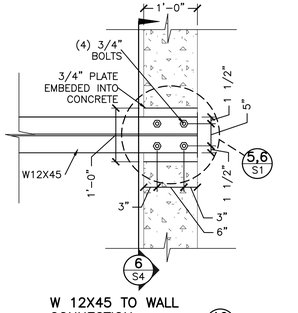


WITHOUT GROUT

3/4"ø ANCHOR BOLT DETAIL 16/S1
SCALE:1/2"=1'-0"



8' SIDE WALL SECTION 17/S1
SCALE: 1/2"=1'-0"



PILASTER DETAIL TYP. 18/S1
SCALE: 3/4"=1'-0"

W 12X45 TO WALL CONNECTION 19/S1
SCALE: 3/4"=1'-0"

REVISIONS				
NO.	DATE	DESCRIPTION	DRAWN	APPD
1	08/06/18	REVISED STRUCTURAL CHANGES	DPW	KGE

30 FORE STREET
PORTLAND
MAINE
FOUNDATION PLAN

Reviewed for Code Compliance
Permitting and Inspection Department
Approved with Conditions
10/25/2018

PROJECT NAME:
SHEET NAME:

PROJECT NO. 17178
DRAWING NO. 17178S
FIELDBOOK:
SCALE:
DATE ISSUED: MAY 10, 2017

DESIGNED: NEH
DRAWN: TWG / DPW
CHECKED: KGE
APPROVED: KGE
PLAN DATE: MAY 10, 2017

CLIENT & OWNER: SIMON NORWALK
DOVE NEW DEVELOPMENT, LLC
29 KELLOGG STREET, #3
PORTLAND, ME 04101

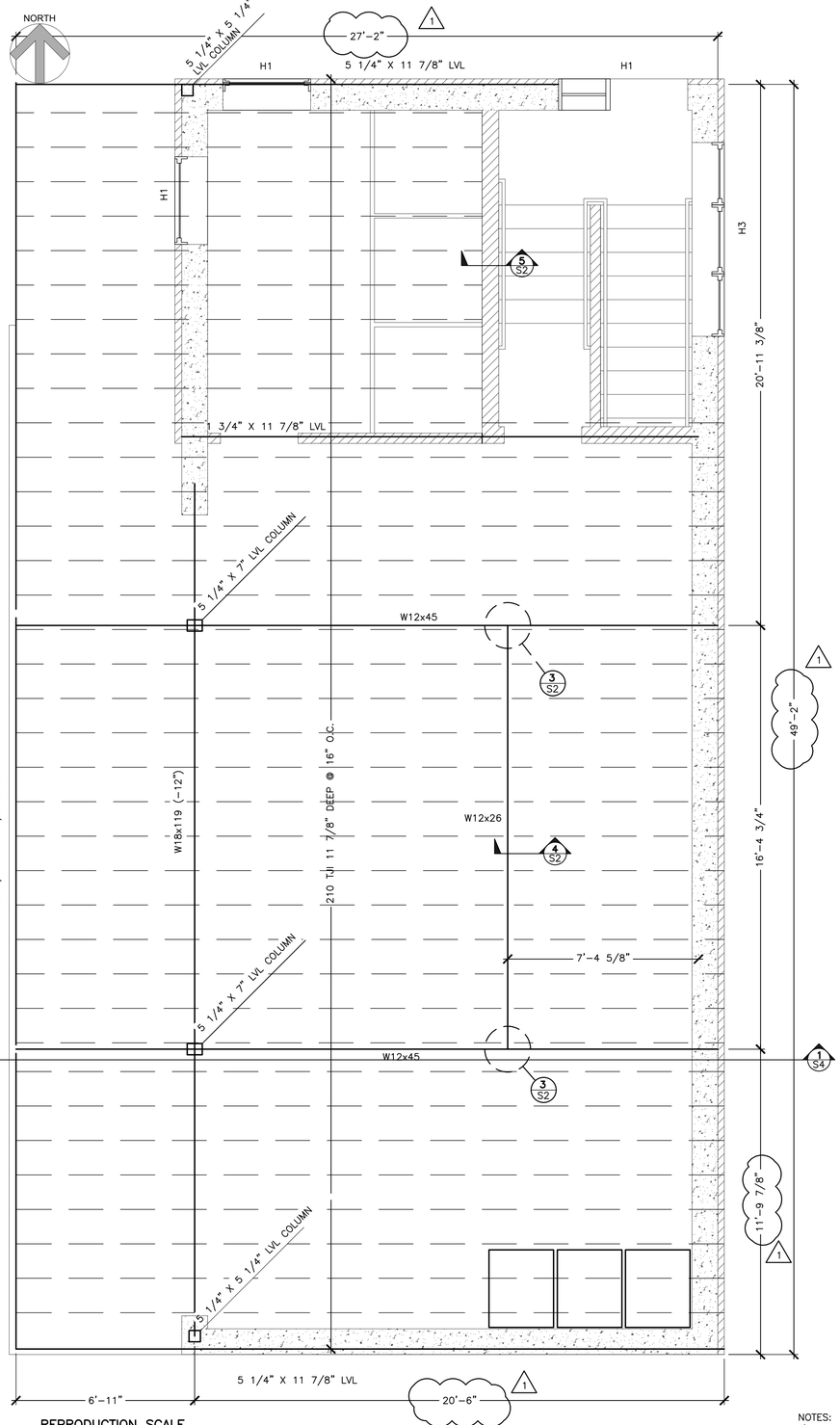
Plymouth Engineering, Inc.
P.O. Box 46 30 Lower Detroit Road
Plymouth, Maine 04969
Tel: (207) 257-2071 Fax: (207) 257-2130
info@plymouthengineering.com
www.plymouthengineering.com

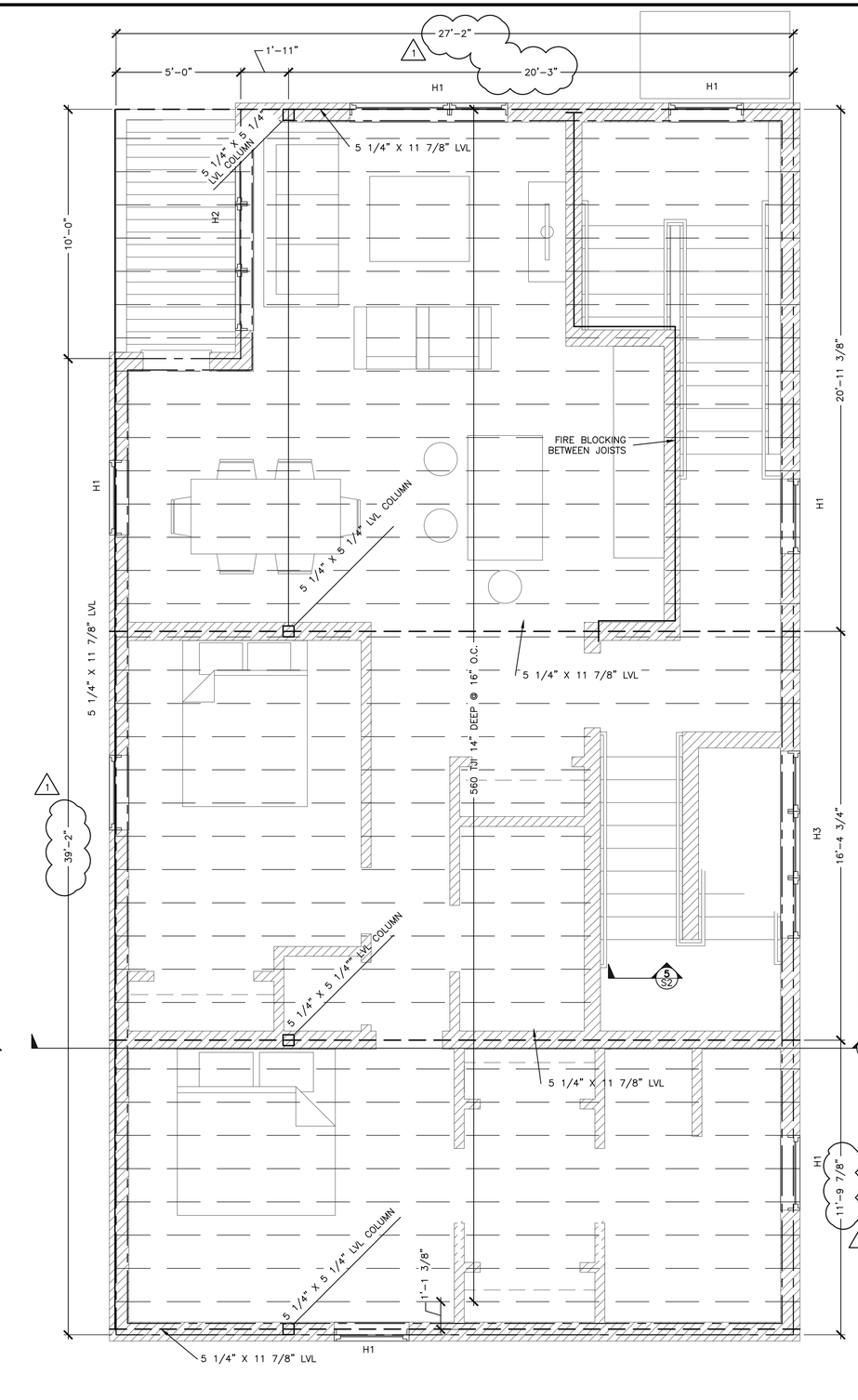
STATE OF MAINE
KEITH G. EWING
10-5-18
PROFESSIONAL ENGINEER
DRAWINGS, SPECIFICATIONS AND DESIGN PLANS PREPARED FOR THIS PROJECT ARE INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION PURPOSES ONLY

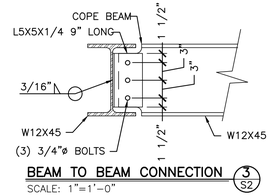
SHEET 1 OF 6

S1

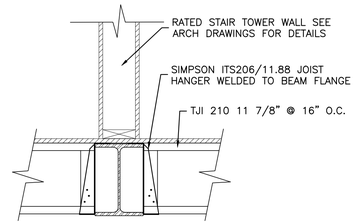
Aug 13, 2018 - 1:59pm
$(GETVAR,?Y)



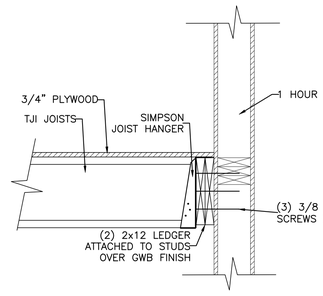




BEAM TO BEAM CONNECTION 3/S2
SCALE: 1"=1'-0"



BEAM TO BEAM CONNECTION 4/S2
SCALE: 1"=1'-0"



LEDGER CONNECTION 5/S2
SCALE: 1"=1'-0"

HEADER TABLE

ITEM	HEADER	SPAN	SUPPORT
H1	(3) 2x10 w/ (2) 1/2" PLYWD. SPACERS	OPENING SIZE	(2) 2X6" JACK STUDS
H2	(3) 2x12 w/ (2) 1/2" PLYWD. SPACERS	OPENING SIZE	(2) 2X6" JACK STUD
H3	5 1/4 X 11 7/8 LVL	OPENING SIZE	(3) 2X6" JACK STUD

REPRODUCTION SCALE
0" 1/2" 1" 2" 3" 4"
NOT PRINTED TO SCALE UNLESS CORRECT

PROPOSED FIRST FLOOR FRAMING PLAN 1/S2
SCALE: 3/8"=1'-0"

NOTES:
1) SEE SHEET S4 FOR NOTES, DETAILS AND SECTIONS.
2) TOP OF JOIST ELEV = 140"-5 1/4"
3) FLOOR FINISH ASSUMED TO BE 3/4" PLYWOOD (TBD)

PROPOSED SECOND FLOOR FRAMING PLAN 2/S2
SCALE: 3/8"=1'-0"

SCALE: 3/8"=1'-0"
0' 1' 2' 3' 4' 5' 10'

REVISIONS

NO.	DATE:	DESCRIPTION	DRAWN	APPD.
1	06/06/18	REVISED STRUCTURAL CHANGES	DPW	KGE

PROJECT NAME: 30 EXCHANGE STREET PORTLAND MAINE
SHEET NAME: SECOND, THIRD FLOOR FRAMING PLANS

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

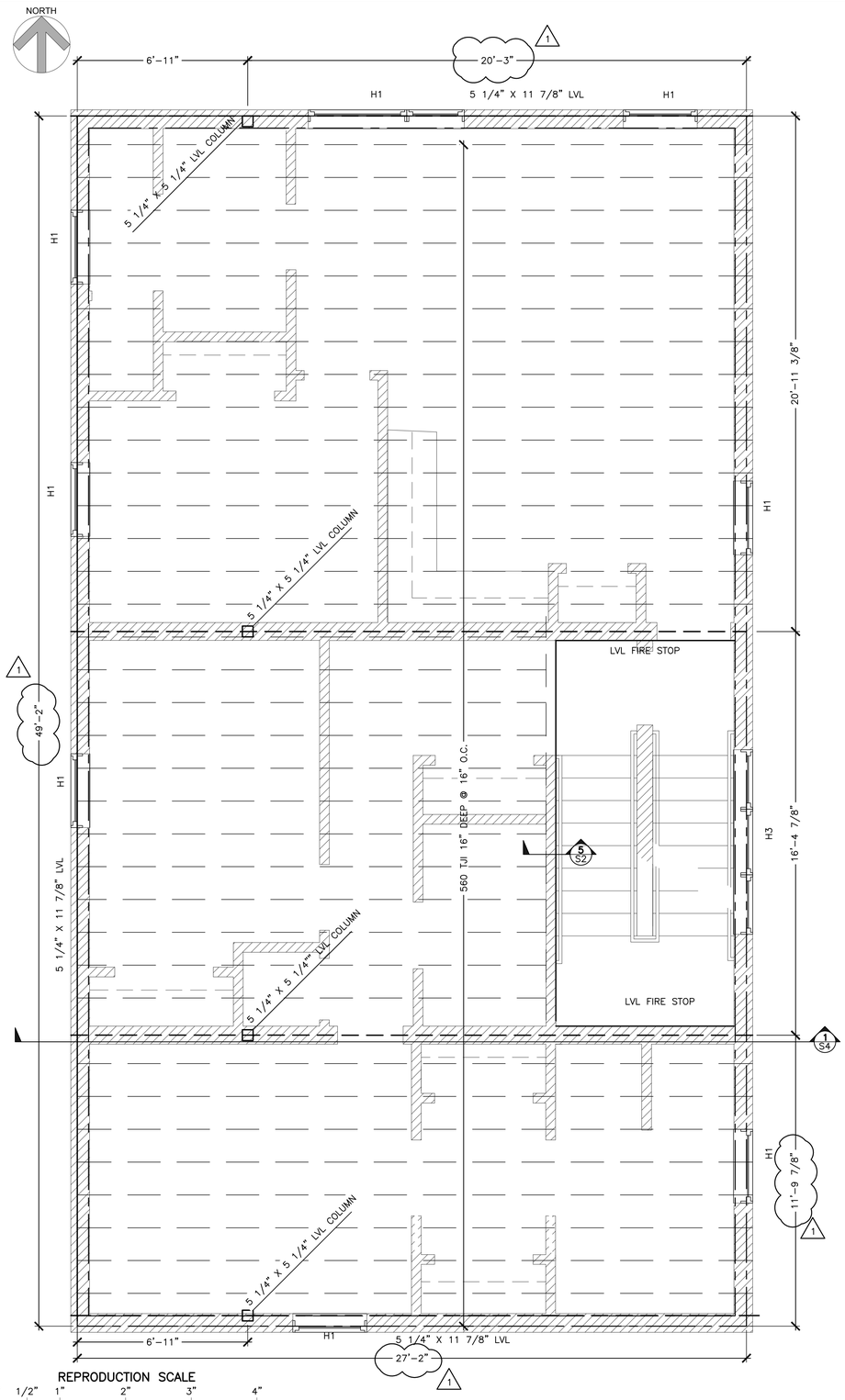
PROJECT NO. 17178
DRAWING NO. 17178S
FIELDBOOK:
SCALE:
DATE ISSUED: MAY 10, 2017
PLAN DATE: MAY 10, 2017
CLIENT & OWNER: SIMON NORKALK
EXCHANGE DEVELOPMENT, LLC
29 KELLOGG STREET, #3
PORTLAND, ME 04101
DESIGNED: NEH
DRAWN: NEH
CHECKED: KGE
APPROVED: KGE

Plymouth Engineering, Inc.
P.O. Box 46 30 Lower Detroit Road
Plymouth, Maine 04969
Tel: (207) 257-2071 Fax: (207) 257-2130
info@plymouthengineering.com
www.plymouthengineering.com

STATE OF MAINE
KEITH G. EWING
12715
REGISTERED PROFESSIONAL ENGINEER
DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

SHEET 2 OF 6
S2

Aug 13, 2018 - 1:59pm
$(GETVAR,??)



REPRODUCTION SCALE

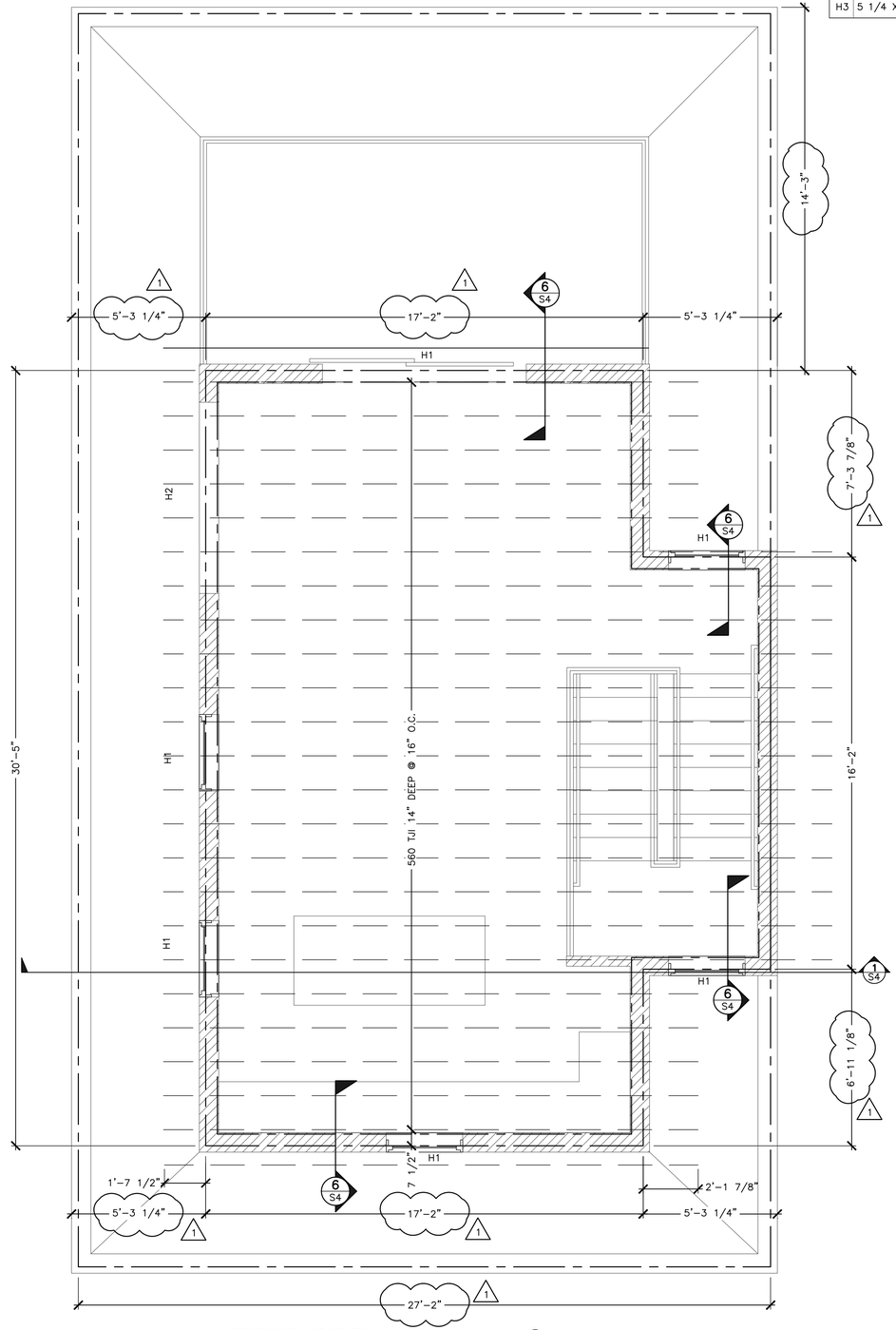
0" 1/2" 1" 2" 3" 4"

NOT PRINTED TO SCALE UNLESS CORRECT

PROPOSED THIRD FLOOR FRAMING PLAN (1/S3)

SCALE: 3/8"=1'-0"

HEADER TABLE			
ITEM	HEADER	SPAN	SUPPORT
H1	(3) 2x10 w/ (2) 1/2" PLYWD. SPACERS	OPENING SIZE	(2) 2X6" JACK STUDS
H2	(3) 2x12 w/ (2) 1/2" PLYWD. SPACERS	OPENING SIZE	(2) 2X6" JACK STUD
H3	5 1/4 X 11 7/8 LVL	OPENING SIZE	(3) 2X6" JACK STUD



PROPOSED ROOF FRAMING PLAN (2/S3)

SCALE: 3/8"=1'-0"

SCALE: 3/8"=1'-0"

0' 1' 2' 3' 4' 5' 10'

Aug 13, 2018 - 1:59pm
$(GETVAR,??)

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN	APPD
1	08/06/18	REVISED STRUCTURAL CHANGES	DPW	KGE

PROJECT NAME:
30 FOX STREET
PORTLAND MAINE

SHEET NAME:
FOURTH FLOOR ROOF FRAMING PLAN

Reviewed for Code Compliance
Permitting and Inspection Department
Approved with Conditions
10/25/2018

DESIGNED:	NEH
DRAWN:	NEH
CHECKED:	KGE
APPROVED:	KGE
PLAN DATE:	MAY 10, 2017
CLIENT & OWNER:	SIMON NORWALK TOWER NOCK DEVELOPMENT, LLC 29 KELLOGG STREET, #3 PORTLAND, ME 04101
PROJECT NO.	17178
DRAWING NO.	17178S
FILEBOOK:	
SCALE:	
DATE ISSUED:	MAY 10, 2017

Plymouth Engineering, Inc.
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Plymouth, Maine 04969
Tel: (207) 257-2071 Fax: (207) 257-2130
info@plymouthengineering.com
www.plymouthengineering.com

STATE OF MAINE
KEITH G. EWING
12015
PROFESSIONAL ENGINEER
5-15-18

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE NOT TO BE USED FOR ANY PURPOSES OTHER THAN THOSE AUTHORIZED BY PLYMOUTH ENGINEERING, INC. AND ARE NOT TO BE REVISED FOR PERMITTING, BIDDING OR CONSTRUCTION

SHEET 3 OF 6

S3

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS; CONFIRM WITH ARCHITECTURAL DRAWINGS. REPORT ANY DISCREPANCIES TO STRUCTURAL ENGINEER BEFORE PROCEEDING WITH WORK.
2. CONSTRUCTION SHALL FOLLOW INTERNATIONAL BUILDING CODE (2015 EDITION).
3. STRUCTURAL SYSTEMS AND COMPONENTS DESIGN SHALL FOLLOW 2015 INTERNATIONAL BUILDING CODE.
4. PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE.
5. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL MEMBERS, WALLS, AND NON STRUCTURAL ITEMS DURING CONSTRUCTION.
6. ALL STRUCTURAL COMPONENTS AND SYSTEMS SHALL BE DESIGNED FOR SELF WEIGHT, SUPERIMPOSED DEAD LOADS, CONCENTRATED LOADS SHOWN ON PLANS, AND THE LIVE LOADS.
7. STRUCTURAL COMPONENTS AND SYSTEMS SHALL BE ERECTED AND INSPECTED FROM SHOP DRAWINGS, STAMPED BY THE ENGINEER.
8. ALL REFERENCED STANDARDS REFER TO LATEST EDITION.
9. SEE ARCHITECTURAL DRAWINGS FOR DETAILS NOT SHOWN.
10. GENERAL CONTRACTOR TO COORDINATE ALL FLOOR PENETRATIONS WITH APPROPRIATE TRADES.

SLAB–ON–GRADE:

1. SLAB–ON–GRADE: AS NOTED ON DRAWINGS. ALL BUILDING SLABS ARE TO BE FOUNDED ON UNDISTURBED NATURAL GROUND, CLEAN SOUND LEDGE OR COMPACTED STRUCTURAL FILL MATERIAL CAPABLE OF SAFELY SUPPORTING A SPECIFIED DESIGN BEARING PRESSURE OF 3,000 POUNDS PER SQUARE FOOT.
2. PLACE SLAB CONTRACTION JOINTS AT 15 FEET MAXIMUM (UNLESS OTHERWISE NOTED). PROVIDE ISOLATION JOINTS AROUND ALL COLUMNS.
3. SOIL COMPACTION UNDER SLABS–ON–GRADE SHALL BE 95% OF COMPACTION.
4. RECOMPACT ALL SOIL DISTURBED BY PLACING OF BELOW GRADE PLUMBING, ELECTRIC, AND OTHER UTILITIES IN LAYERS NOT TO EXCEED 8" THICK.
5. CONCRETE SHALL BE CURED BY MAINTAINING CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A MINIMUM OF SEVEN DAYS. APPLY A HARDENER & SEALER LIKE STARSEAL BY; VEXCON OR EQUAL.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FLOOR DRAIN SETTING FOR ELEVATION AND PLUMBNESS TO ASSURE COMPLETE AREA DRAINAGE. COORDINATE LOCATIONS WITH PLUMBING DRAWINGS.
7. ALL EXPOSED CONCRETE SHALL BE NEATLY RUB FINISHED.
8. PROVIDE IN ALL SLABS ON GRADE (2) #5 BARS 3'–0" LONG AT EACH REENTRANT CORNER AND BOTH SIDES OF DOOR OPENINGS.
9. REINFORCING BAR MINIMUM DEVELOPMENT LENGTHS
   #3 BAR = 15 INCHES #4 BAR = 19 INCHES #5 BAR = 24 INCHES
   #6 BAR = 29 INCHES #7 BAR = 34 INCHES #8 BAR = 38 INCHES
10. THIS SLAB ON GRADE SYSTEM RELIES ON THE TYPE, THICKNESS AND COMPACTION OF THE GRANULAR FILL PLACED BELOW FOR STRENGTH, AS WELL AS AS HEATED INTERIOR AND PERIMETER INSULATION FOR FROST PROTECTION, THEREFORE NO ASSURANCES OR GUARANTEES CAN BE MADE AS TO THE DESIGN OF THE SYSTEM AND THE OWNER AND CONTRACTOR ASSUME FULL LIABILITY FOR ITS INSTALLATION AND USE.

FRAMING NOTES:

1. ALL ANCHOR BOLTS SHALL BE ASTM A307. ALL BOLT HOLES TO BE 1/16" LARGER THAN BOLT.
2. PRESSURE TREATMENT OF STRUCTURAL TIMBER SHALL MEET AWPA STANDARD P–E AND FEDERAL STANDARD TT–W–550. THE TREATING PROCESS AND RESULTS THEREOF SHALL MEET FEDERAL SPECIFICATION TT–W–571 G. AWPA COMMODITY STANDARD, AND AMERICAN WOOD PRESERVERS BUREAU STANDARDS LP–W OR AWPA STANDARD C–2.
3. ALL FIELD CUTS AND DRILLED HOLES IN PRESSURE–TREATED STRUCTURAL TIMBER SHALL BE GIVEN THREE LIBERAL APPLICATIONS OF PRESERVATIVE IN ACCORDANCE WITH AWPA STANDARD M–4.
4. ALL MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
5. FRAMING: STRESS GROUP D, SPRUCE–PINE–FIR (S/P/F) SPECIES, GRADE NO. 2 OR BETTER, 19 PERCENT MAXIMUM MOISTURE CONTENT.

SHEATHING FRAMING NOTES:

1. SHEATHING SHALL BE IDENTIFIED WITH GRADE–TRADEMARK OF APA AND MEET REQUIREMENTS OF PRODUCT STANDARD PS 1.
2. SHEARWALLS OVER STUDS AT 16 INCHES MAXIMUM SHALL BE A MINIMUM MEET THE REQUIREMENTS OF IBC–2009, CHAPTER 23. SHEARWALL SHEATHING SHALL BE A MINIMUM OF 5/8" APA RATED SHEATHING 32/16, EXPOSURE 1. INSTALL FACE GRAIN ACROSS SUPPORTS WITH ALL PANEL EDGES BLOCKED. NAIL AS REQUIRED BY TABLE. ADVANTEC IS NOT AN ACCEPTABLE WALL SHEATHING PRODUCT.
3. FLOOR SHEATHING: 1 LAYER 3/4 INCH THICK, 48 X 96 (MIN.) INCH SIZED SHEETS, TONGUE AND GROOVE EDGES WITH SPAN RATING OF 32/16, DURABILITY 1; UNSANDED.
4. SHEATHING CAN BE DEFINED AS PLYWOOD OR ORENTED STRAND BOARD.

DESIGN LOADS

ROOF

DEAD LOAD: PER COMPONENTS USED: 8 PSF
COLLATERAL LOAD (MECH/ELEC): 2 PSF

SNOW LOAD: (BASED ON ASCE 7–05)

GROUND SNOW LOAD (Pg): 60 PSF
EXPOSURE FACTOR (Ce): 1.0
SNOW LOAD IMPORTANCE FACTOR (I): 1.0
ROOF THERMAL FACTOR – (Ct): 1.0

SEISMIC DATA: (BASED ON ASCE 7–05)

SEISMIC REVIEWED AND WIND CONTROLLED

WIND LOAD: (BASED ON ASCE 7–05)

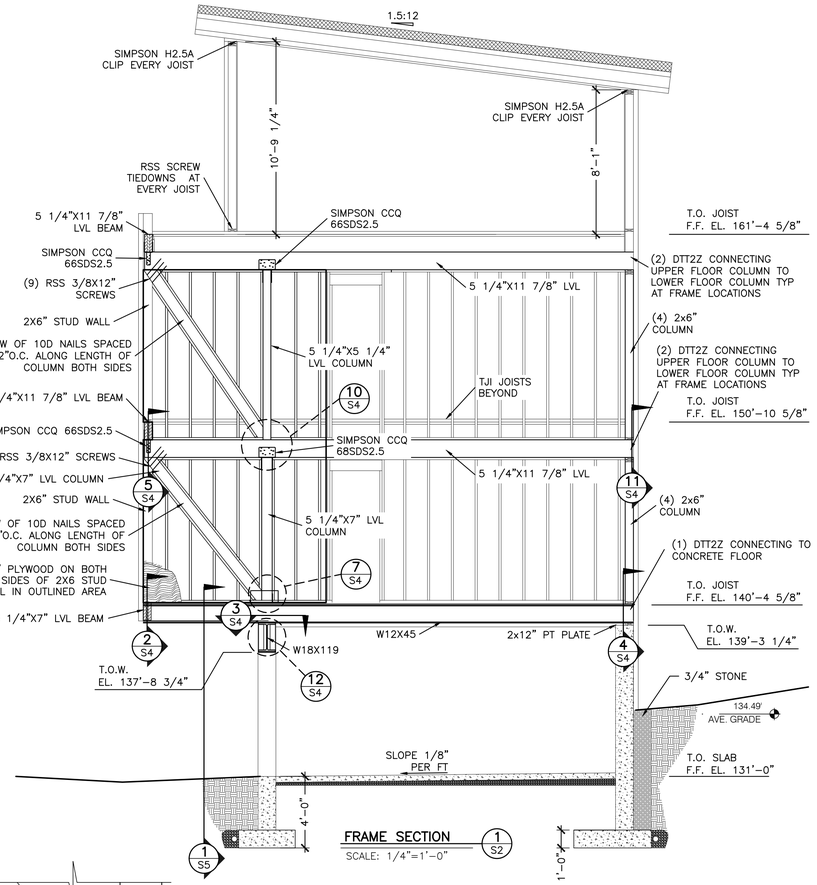
BASIC WIND SPEED: 90 MPH
IMPORTANCE FACTOR (I): 1.0
EXPOSURE: B

REPRODUCTION SCALE

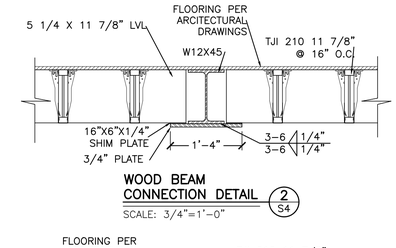
0" 1/2" 1" 2" 3" 4"

NOT PRINTED TO SCALE UNLESS CORRECT

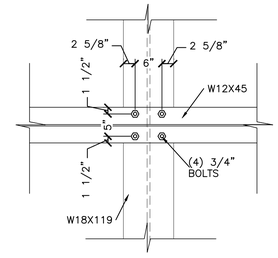
Aug 13, 2018 - 1:59pm
$(GETVAR,??)



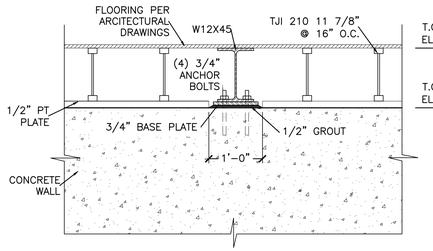
FRAME SECTION (1/S2)
SCALE: 1/4"=1'–0"



WOOD BEAM CONNECTION DETAIL (2/S4)
SCALE: 3/4"=1'–0"



BEAM CONNECTION DETAIL (3/S4)
SCALE: 3/4"=1'–0"



CONCRETE CONNECTION DETAIL (4/S4)
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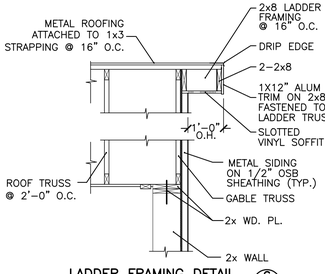

LADDER FRAMING DETAIL (6/S3)
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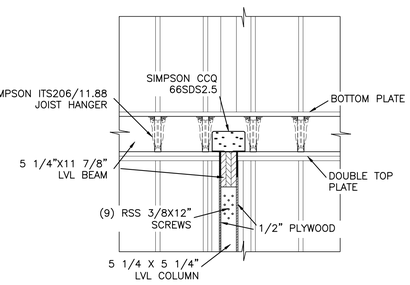
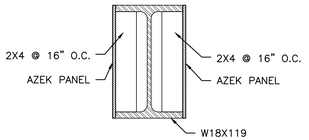
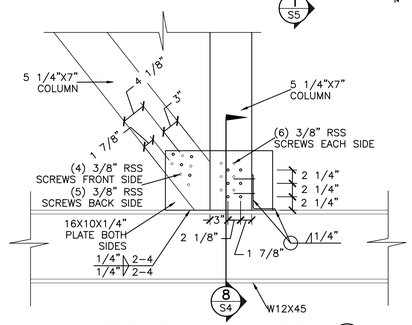


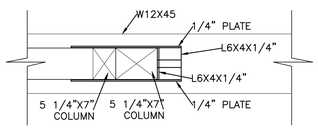
2ND FLOOR CONNECTION DETAIL (5/S4)
SCALE: 1/2"=1'–0"



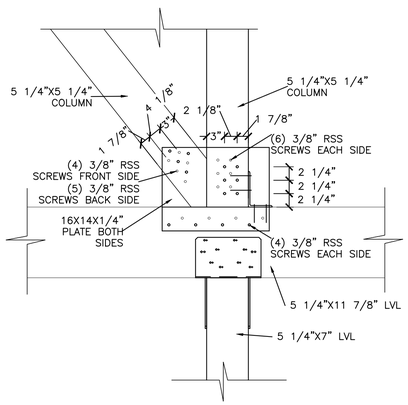
BEAM FILL–IN SECTION (12/S4)
SCALE: 1"=1'–0"



1ST FLOOR COLUMN CONNECTION (7/S4)
SCALE: 1"=1'–0"



1ST FLOOR COLUMN CONNECTION TOP VIEW (9/S4)
SCALE: 1"=1'–0"



2ND FLOOR COLUMN CONNECTION (10/S4)
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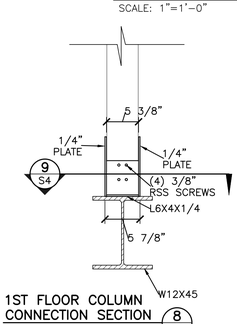

1ST FLOOR COLUMN CONNECTION SECTION (8/S4)
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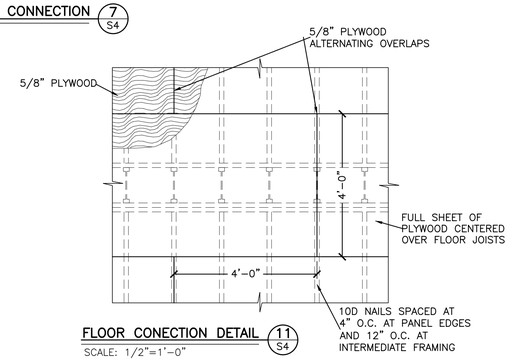

FLOOR CONECTION DETAIL (11/S4)
SCALE: 1/2"=1'–0"

REVISIONS

NO.	DESCRIPTION	DATE	DRAWN	APPD.

PROJECT NAME: 30 FORE STREET PORTLAND MAINE
SHEET NAME: NOTES, SECTIONS, DETAILS

Reviewed for Code Compliance
Permitting and Inspection Department
Approved with Conditions
10/25/2018

PROJECT NO. 17178
DRAWING NO. 17178S
FIELDBOOK:
SCALE:
DATE ISSUED: MAY 10, 2017

DESIGNED: NEH
DRAWN: NEH / DPW
CHECKED: KGE
APPROVED: KGE
PLAN DATE: MAY 10, 2017

CLIENT & OWNER: SIMON NORWALK
STONE RIDGE DEVELOPMENT, LLC
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STATE OF MAINE
KEITH G. EWING
12315
REGISTERED PROFESSIONAL ENGINEER
DRAWINGS AND SPECIFICATIONS ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

SHEET 4 OF 6

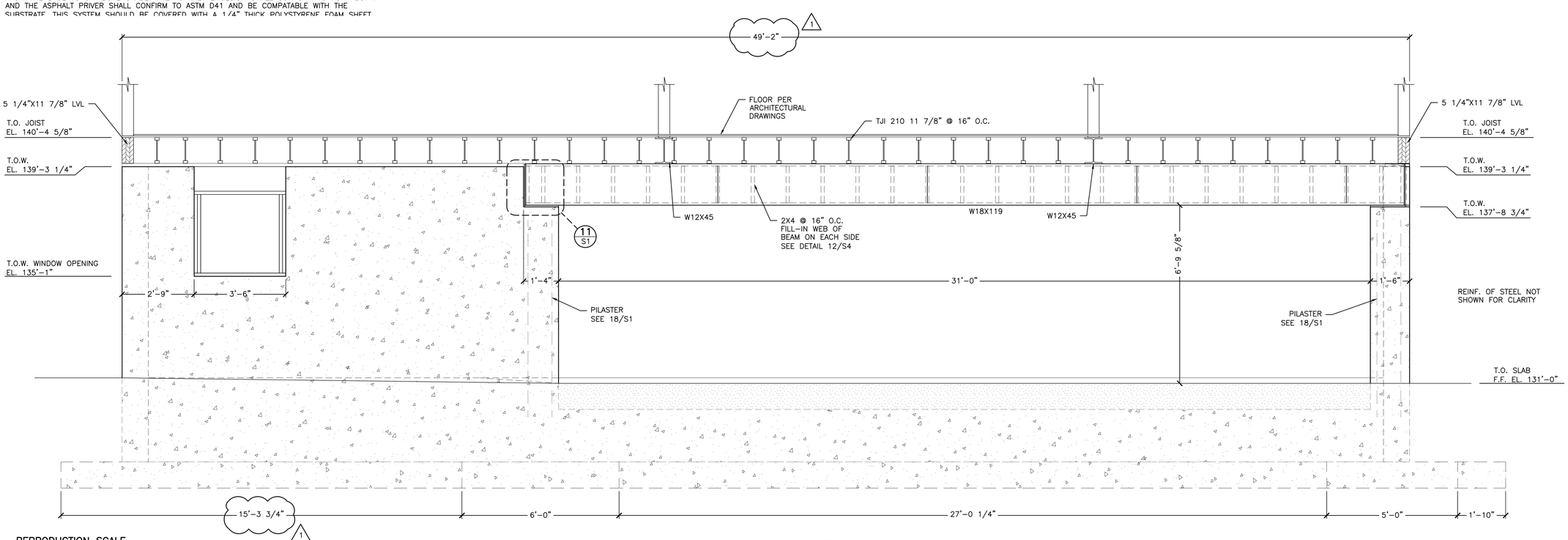
S4

FOUNDATION/CONCRETE NOTES:

1. REMOVE ALL UNSUITABLE SOILS BENEATH THE BUILDING IF UNSUITABLE MATERIALS ARE FOUND.
2. ALL BUILDING FOOTINGS ARE TO BE FOUNDED ON UNDISTURBED NATURAL GROUND, CLEAN SOUND LEDGE OR COMPACTED STRUCTURAL FILL MATERIAL CAPABLE OF SAFELY SUPPORTING A SPECIFIED DESIGN BEARING PRESSURE OF 3000 POUNDS PER SQUARE FOOT.
3. ALL FOUNDATION WORK SHALL BE CARRIED OUT UNDER THE DIRECTION OF THE ENGINEER OF RECORD. IF SOFT OR UNSUITABLE IN-SITU MATERIALS ARE ENCOUNTERED THE ENGINEER OF RECORD SHALL BE NOTIFIED AND CORRECTIVE ACTION SHALL BE TAKEN AS DIRECTED. ENGINEER OF RECORD SHALL VERIFY THAT WATER TABLE DOES NOT RISE TO AN ELEVATION ABOVE THE UNDERSIDE OF FOOTINGS. – OWNER TO COVER COST OF GEOTECHNICAL.
4. SOIL COMPACTION UNDER FOOTINGS SHALL BE TO 95% OF PERK TESTED SOIL.
5. CENTER ALL FOOTINGS UNDER THEIR RESPECTIVE COLUMNS OR WALLS, UNLESS OTHERWISE SHOWN ON PLANS.
6. CONSTRUCT FOOTINGS AT LOWER ELEVATION THAN INDICATED ON DRAWINGS IF REQUIRED BY ENGINEER TO REACH FIRM UNDISTURBED SOIL.
7. COMPLETE ALL PLACEMENT OF BELOW GRADE PLUMBING, ELECTRIC, AND OTHER UTILITIES BEFORE PLACEMENT OF FOUNDATIONS. ALL DISTURBED SOIL SHALL BE RECOMPACTED IN LAYERS NOT EXCEEDING 8" THICK.
8. CLEAR CONCRETE COVER OVER REINFORCING (TYPICAL, U.N.O.):
   BOTTOM OF FOOTING: 3 INCHES
   EXTERIOR OF FOUND. WALL: 2 INCHES
   INTERIOR OF FOUNDATION WALL: 2 INCHES
9. SLEEVE ALL PIPES THROUGH. SLABS AND WALLS INDIVIDUALLY, UNLESS SHOWN OTHERWISE ON DRAWINGS. WHERE PIPES OR DUCTS PENETRATE WALLS.
10. CONTRACTOR WILL CHECK WITH ALL TRADES TO ASSURE CORRECT LOCATION, SIZE, LINE AND ELEVATION OF ALL SLEEVES, BOND-OUTS, ETC.. REQUIRED IN CONCRETE FLOORS AND WALLS.
11. PROVIDE CONTRACTION JOINTS IN FOUNDATION WALL AT 20 FEET MAXIMUM SPACING.
12. ALL ANCHORS INSTALLED IN HARDENED CONCRETE SHALL BE A HIGH STRENGTH ADHESIVE SYSTEM BEITER THAN OR EQUAL TO HILTI HIT-HY 200 WITH 6" MINIMUM EMBEDMENT, UNLESS OTHERWISE NOTED ON DRAWINGS. CONCRETE SHALL HAVE OBTAINED A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI PRIOR TO CORING HOLES.
13. STRUCTURAL CONCRETE SHALL CONFORM TO ACI 301, ACI 305 AND ACI 306.1. FOUNDATIONS SHALL HAVE 3000 PSI.
14. CONSTRUCT AND ERECT CONCRETE FORM WORK IN ACCORDANCE WITH ACI 301 AND ACI 347
15. STRUCTURAL CONCRETE REINFORCEMENT SHALL CONFORM TO ACI 301 AND CRSI 63, 65, AND MANUAL OF PRACTICE. REINFORCEMENT SHALL BE ASTM A615/A615M, 60 KSI YIELD GRADE; DEFORMED BILLET STEEL BARS, PLAIN FINISH.
16. CONCRETE TESTING SHALL BE THE FOLLOWING IF REQUESTED BY OWNER, TAKE ONE SET OF 3 CYLINDERS FOR EVERY FIFTY CUBIC YARDS OF CONCRETE AND ONE SET OF THREE FOR ALL POURS LESS THAN FIFTY CUBIC YARDS (PER ASTM STANDARDS).

    ONE (1) SLUMP TEST: TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN. MAX SLUMP IS 5"

    ONE (1) AIR CONTENT TEST: PERFORMED FOR EACH SET OF TEST CYLINDERS TAKEN.
    FOUNDATION WALL AND FOOTINGS 5% + /– 1 .5%
17. ASPHALT DAMPPROOFING SHALL BE APPLIED TO THE OUTSIDE OF THE FOUNDATION THAT EXTENDS FROM THE BASE TO 6" ABOVE GRADE. THE ASPHALT EMULSION SHALL CONFORM TO ASTM D3747 AND THE ASPHALT PRIVER SHALL CONFIRM TO ASTM D41 AND BE COMPATABLE WITH THE SUBSTRATE. THIS SYSTEM SHOULD BE COVERED WITH A 1/4" THICK POLYSTYRENE FOAM SHEET



STEEL BEAM ELEVATION 12/S4
SCALE: 1/2"=1'-0"

REPRODUCTION SCALE
0" 1/2" 1" 2" 3" 4"
NOT PRINTED TO SCALE UNLESS CORRECT

Aug 13, 2018 - 1:59pm
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REVISIONS

NO.	DATE	DESCRIPTION	DRAWN	APPD
1	08/06/18	REVISED STRUCTURAL CHANGES	DPW	KGE

PROJECT NAME: 30 FOX STREET PORTLAND MAINE
SHEET NAME: ELEVATION

Reviewed for Code Compliance
Permitting and Inspection Department
Approved with Conditions
10/25/2018

DESIGNED:	NEH
DRAWN:	NEH / DPW
CHECKED:	KGE
APPROVED:	KGE
PLAN DATE:	MAY 10, 2017
PROJECT NO.	17178
DRAWING NO.	17178S
FIELDBOOK:	
SCALE:	
DATE ISSUED:	MAY 10, 2017

CLIENT & OWNER: SIMON NORWALK
SIMON NORWALK DEVELOPMENT, LLC
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STATE OF MAINE
KEITH G. EWING
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REGISTERED PROFESSIONAL ENGINEER
5-15-18
DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

SHEET 5 OF 6

S5

Structural Schedule of Special Inspections

Verification and Inspection IBC Section 1705.5	Y/N	Extent: Continuous, Periodic, Submittal, or None	Comments	Agent	Agent Qualification	Task Completed
Agent Qualifications						
PE: Professional Engineer						
GE: Geotechnical Engineer						
EIT: Engineering-In-Training						
RA: Registered Architect						
TPI: Certified Third Party Inspector						
Requirements Prior to Welding IBC 1705.2.1						
1. Welding procedures specification (WPS) is available		S			PE/SE/EIT or TPI	
2. Manufacturer certifications for welding are available		S			PE/SE/EIT or TPI	
3. Verify material identification		C	Type and Grade		PE/SE/EIT or TPI	
4. Welder Identification System		S	ID Number		PE/SE/EIT or TPI	
5. Configuration and finish of access holes		P			PE/SE/EIT or TPI	
6. Fit-up of fillet welds		P			PE/SE/EIT or TPI	
Requirements During Welding IBC 1705.2.1						
7. Use of Qualified Welders		S	Confirm welder qualifications		PE/SE/EIT or TPI	
8. Control and handling of welding consumables		P			PE/SE/EIT or TPI	
9. No welding over cracked tack welds		P			PE/SE/EIT or TPI	
10. Environmental conditions		P			PE/SE/EIT or TPI	
11. Welds Cleaned		P			PE/SE/EIT or TPI	
12. Size, Length, and location of all welds		P	Check all welds		PE/SE/EIT or TPI	
13. Welds meet visual acceptance criteria		P			PE/SE/EIT or TPI	
14. K-Area		P	Check for cracks		PE/SE/EIT or TPI	
15. Backing removed, weld tabs removed and finished, and fillet welds where required.		P			PE/SE/EIT or TPI	
16. Repair activities		S	Perform and document		PE/SE/EIT or TPI	
17. Document acceptance or rejection of welded joint or member.		S			PE/SE/EIT or TPI	
Steel Bolting Section Prior to Bolting IBC 1705.2.1						
1. Fasteners marked in accordance with ASTM requirements		P			PE/SE/EIT or TPI	
2. Proper fasteners selected for joint detail		P			PE/SE/EIT or TPI	
3. Connecting elements, including appropriate faying surface condition and hole preparation.					PE/SE/EIT or TPI	
4. Proper Storage provided for fasteners and components		P			PE/SE/EIT or TPI	
Steel Bolting During Bolting IBC 1705.2.1						
5. Fastener assemblies are in suitable condition and positioned as required		P			PE/SE/EIT or TPI	
6. Joint brought to snug-tight condition prior to posttensioning		P			PE/SE/EIT or TPI	
7. Fastener component not turned by the wrench prevented from rotating		P			PE/SE/EIT or TPI	
8. Bolts are pretensioned in accordance with RCSSC Specification from most ridged point to free edges.					PE/SE/EIT or TPI	
9. Document acceptance or rejection of all bolted connections		S			PE/SE/EIT or TPI	
Concrete Construction IBC Table 1705.3						
1. Rebar Inspection		P			PE/SE/EIT or TPI	
2. Inspect anchors cast in concrete		P			PE/SE/EIT or TPI	
3. Verify use of required design mix		S			PE/SE/EIT or TPI	
4. Concreting testing; Slump, Air Content, Temp.		S			PE/SE/EIT or TPI	
5. Inspect concrete and shotcrete placement techniques		P			PE/SE/EIT or TPI	
6. Verify concrete curing techniques		P			PE/SE/EIT or TPI	
7. Inspect Prestressed concrete for		P				
a. Application of prestressing forces;		P			PE/SE/EIT or TPI	
b. Grouting of bonded prestressing tendons		P			PE/SE/EIT or TPI	
8. Inspect erection of precast concrete members.		P			PE/SE/EIT or TPI	
9. Verify in-situ concrete strength prior to stressing		P			PE/SE/EIT or TPI	
10. Inspect formwork		P			PE/SE/EIT or TPI	
Wood Construction inspections IBC 1705.5						
1. High-load diaphragms where applicable		P				
a. Verify thickness and grade of sheathing, size of framing members at panel edges, nail diameters and length, and the number of fastener lines and that fastener spacing is per approved contract documents.		P			PE/SE/EIT or TPI	
2. Nailing, bolting, anchoring and other fastening of elements of the main wind/seismic force-resisting system		P				
a. Includes connectors for: shear wall sheathing, roof/floor sheathing, drag struts/collectors, braces, hold downs, roof and floor framing connections to exterior walls.					PE/SE/EIT or TPI	
3. Load tests for Joist hangers		S				
a. Provide evidence of manufacture's load test in accordance with ASTM D 1761 including the vertical load bearing capacity, torsional moment capacity, and deflection characteristics when there is no calculated procedure recognized by the code					PE/SE/EIT or TPI	
Wood Trusses Fabrication and Inspection IBC Section 1705.5						
1. Fabrications Procedures		P				
a. Review of fabricator's written procedural and quality control manuals					PE/SE/EIT or TPI	
2. Certificate of compliance to building code official stating that the work was performed in accordance with approved construction documents.		S			PE/SE/EIT or TPI	
3. Wood Truss Installation Inspection						
a. Verify wood truss spacing and bearing length requirements					PE/SE/EIT or TPI	
b. Verify wood structural panel sheathing for grade and thickness applied to roof top chord and to any floor walkway configuration					PE/SE/EIT or TPI	
c. Verify the specified blocking and permanent bracing applications per shop drawing submittals.					PE/SE/EIT or TPI	
d. verify truss hold-down applications are in place and appropriately fastened to wall plates.					PE/SE/EIT or TPI	
Inspections and Tests of Soils 1705.6						
1. Verify Material below foundations bearing capacity		P			PE/SE/GE/EIT or TPI	
2. Verify excavations are to indicated depth and are suitable material		P			PE/SE/GE/EIT or TPI	
3. Perform classification and testing of compacted fill materials.		P			PE/SE/GE/EIT or TPI	
4. Verify soil and lift requirements of all compacted fill.					PE/SE/GE/EIT or TPI	
5. Prior to placement of compacted fill inspect subgrade or proper preparation.		P			PE/SE/GE/EIT or TPI	

Structural Schedule of Special Inspections

Verification and Inspection IBC Section 1705.5	Y/N	Extent: Continuous, Periodic, Submittal, or None	Comments	Agent	Agent Qualification	Task Completed
Cast in Place Deep Foundation Elements IBC 1705.8						
1. Inspect drilling operations and maintain records of each element.		C			PE/SE/GE/EIT or TPI	
2. Verify placement locations and plumbness, confirm element diameters, bell diameters (if applicable), lengths, embedment into bedrock (if applicable) and adequate end-bearing strata capacity. Record concrete or grout volumes.		C			PE/SE/GE/EIT or TPI	
3. For concrete elements, perform tests and additional special inspection in accordance with 1705.3					PE/SE/GE/EIT or TPI	
Sprayed Fire Resistant Materials IBC 1705.14						
1. Surface Condition		P				
a. Prior to application confirm that surface has been prepared per the approved fire-resistance design and manufacture's instructions.					RA/TIP/PE or TPI	
2. Application		P				
a. Prior to application confirm that the substrate meets the minimum ambient temperature per the approved fire resistance design and manufacture's					RA/TIP/PE or TPI	
3. Material Thickness and Density		P				
a. Verify that the thickness of the SFRM to structural elements is not less than the thickness require by the fire-resistant design in more that 10 percent of the measurement, but in no case less than minimum allowable thickness required by 1705.14					RA/TIP/PE or TPI	
4. Bond Strength		P				
a. Verify cohesive/adhesive bond strength of the cured SFRM applied to the structural element is not less than 150psf and according to IBC 1705.14.6					RA/TIP/PE or TPI	
Mastic and Intumescent Fire-Resistant Coatings IBC 1705.15						
1. Surface Preparation						
a. Inspections shall be performed in accordance with AWCI 12-B and the contract documents					RA/TIP/PE or TPI	
Fire Resistant Penetrations and Joints 1705.17						
1. Inspections of penetration firestop system conducted in accordance with ASTM E 2174		P			RA/TIP/PE or TPI	
2. Inspections of fire-rated joint system conducted in accordance with ASTM E 2393		P			RA/TIP/PE or TPI	
Smoke Control IBC 1705.17						
1. Verify device locations and perform leakage testing		P	Perform during erection of ductwork and prior to concealment		RA/TIP/PE or TPI	
2. Pressure difference testing, flow measurements and detection and control verification.		P	Perform prior to occupancy and after sufficient completion		RA/TIP/PE or TPI	
Exterior Insulation and finish systems IBC 1705.16						
1. Water resistive barrier coating applied over a sheathing substrate.		P	Verify that water resistive barrier coating complies with ASTM E 2570		RA/TIP/PE or TPI	
Architectural Components IBC 1705.12.5 and 1705.12.7						
1. Erection and fastening of exterior cladding and interior and exterior veneer.		P				
a. Verify appropriate materials, fasteners and attachment at commencement of working and at completion.			Inspector Note: Inspection not required if height is less than 30ft or weight is less than 5psf.		RA/TIP/PE or TPI	
2. interior and exterior nonload bearing walls		P				
a. Verify appropriate materials, fasteners and attachment at commencement of work and at completion.			Inspector Note: Inspection not required if height is less than 30feet. Also, interior non-load bearing walls need not be inspected if weight is less than 15psf		RA/TIP/PE or TPI	
3. Access floors						
a. Verify that anchorage complies with approved construction documents. Inspection of post-installed anchors shall comply with approved ICC-ES reports		P			RA/TIP/PE or TPI	
4. Storage Racks						
a. Verify that anchorage complies with approved construction documents. Inspections of post-installed anchors shall comply with approved ICC-ES report.		P	Inspector Note: Not required for racks less than 8 feet in height		RA/TIP/PE or TPI	

REVISIONS

NO.	DATE	DESCRIPTION	DRAWN	APPD.

PROJECT NAME: 30 FOX STREET PORTLAND MAINE

SHEET NAME: SECTION AND STRUCTURAL SCHEDULE

Reviewed for Code Compliance
Permitting and Inspection Department
Approved with Conditions
10/25/2018

DESIGNED: NEH
DRAWN: NEH / DPW
CHECKED: KGE
APPROVED: KGE
PLAN DATE: MAY 10, 2017

PROJECT NO. 17178
DRAWING NO. 17178S
FIELDBOOK:
SCALE:
DATE ISSUED: MAY 10, 2017

CLIENT & OWNER: SIMON NORWALK
DOVER NECK DEVELOPMENT, LLC
29 KELLOGG STREET, #3
PORTLAND, ME 04101

Plymouth Engineering, Inc.
P.O. Box 46 30 Lower Detroit Road
Plymouth, Maine 04969
Tel: (207) 257-2071 Fax: (207) 257-2130
info@plymouthengineering.com
www.plymouthengineering.com

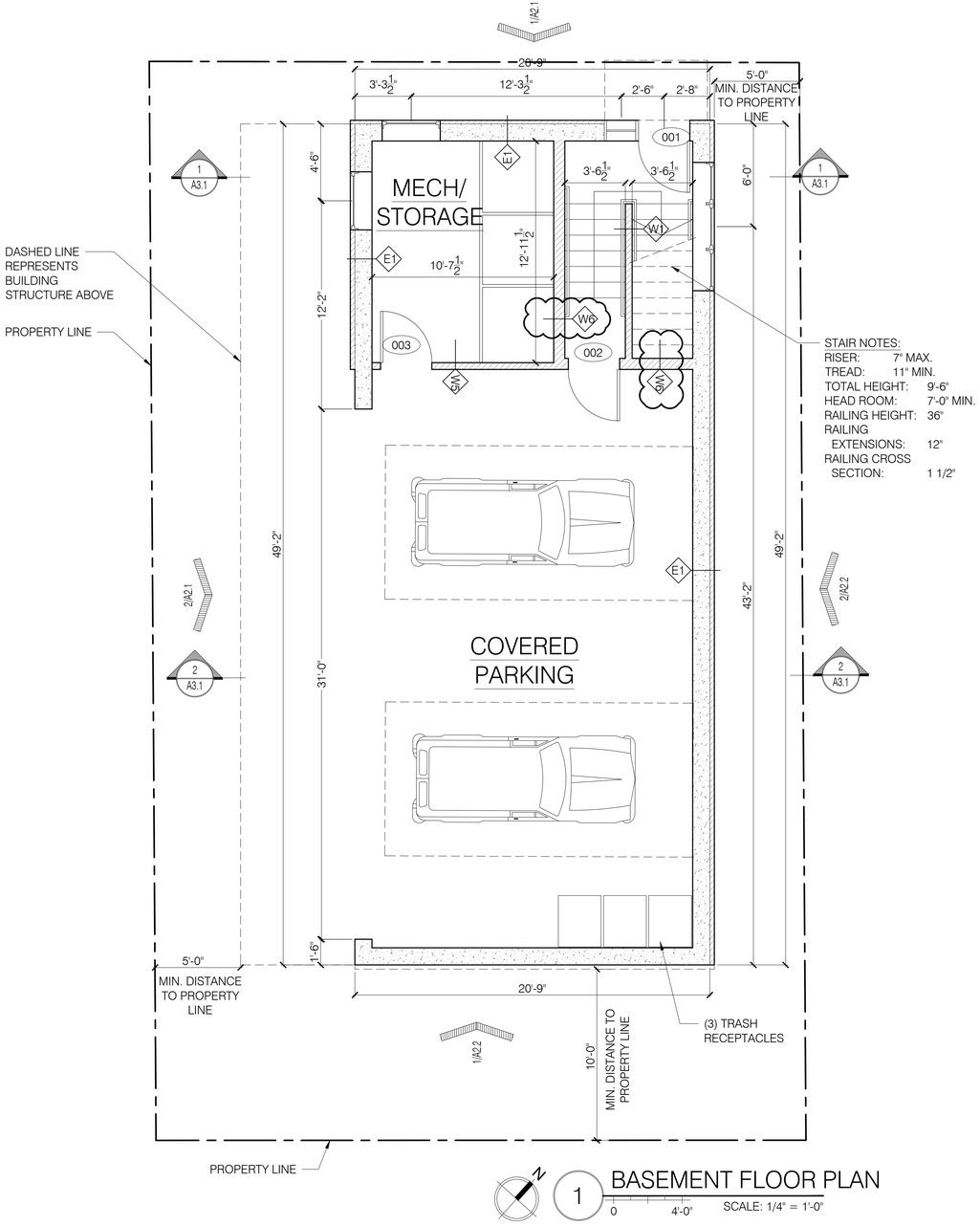
STATE OF MAINE
KEITH G. EWING 12075
REGISTERED PROFESSIONAL ENGINEER

DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND ARE NOT INTENDED FOR PERMITTING, BIDDING OR CONSTRUCTION

SHEET 6 OF 6

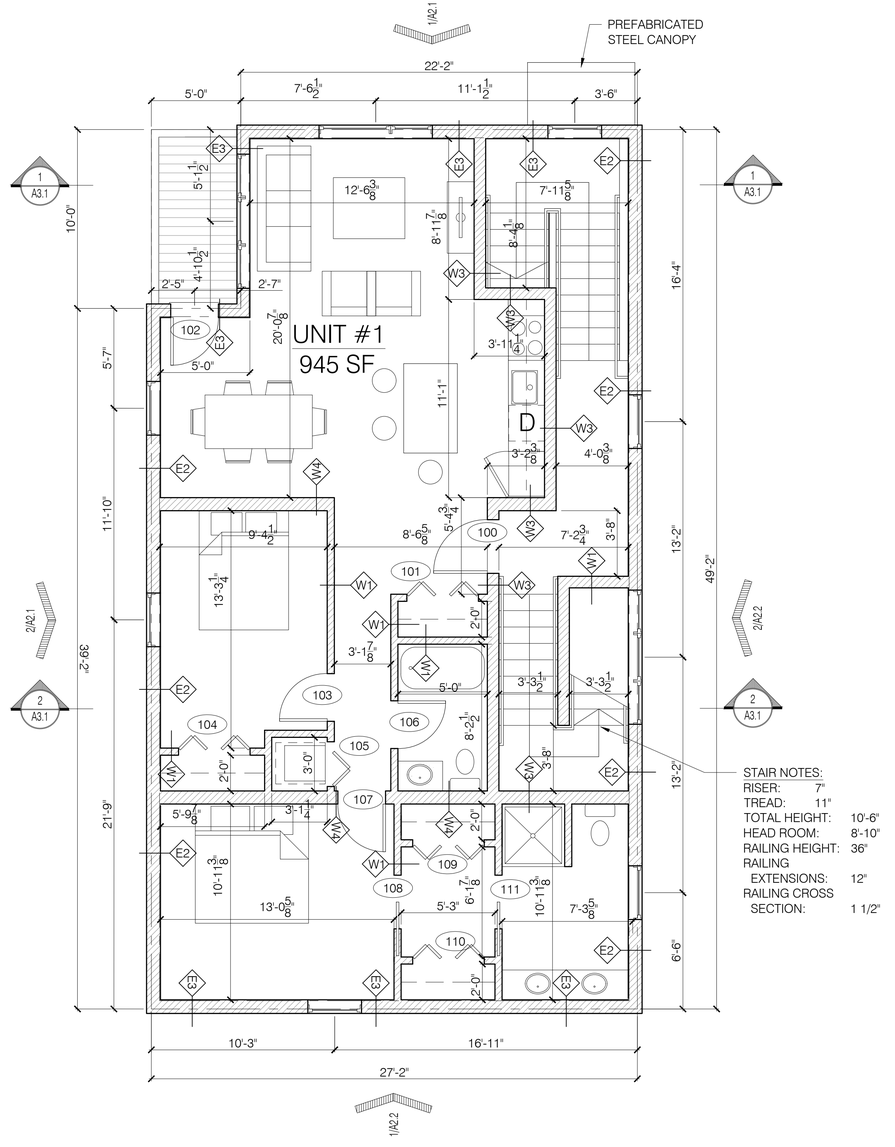
S5

Aug 13, 2018 - 1:59pm
$(GETVAR,??)



1 BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



2 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

Bild Architecture
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04104
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evan@bildarchitecture.com

bild ARCHITECTURE

LICENSED ARCHITECT
5/4/18
EVAN A CARROLL
No. 3687
STATE OF MAINE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO.
17024
PROJECT NAME
30 FOX STREET
PORTLAND, MAINE 04101

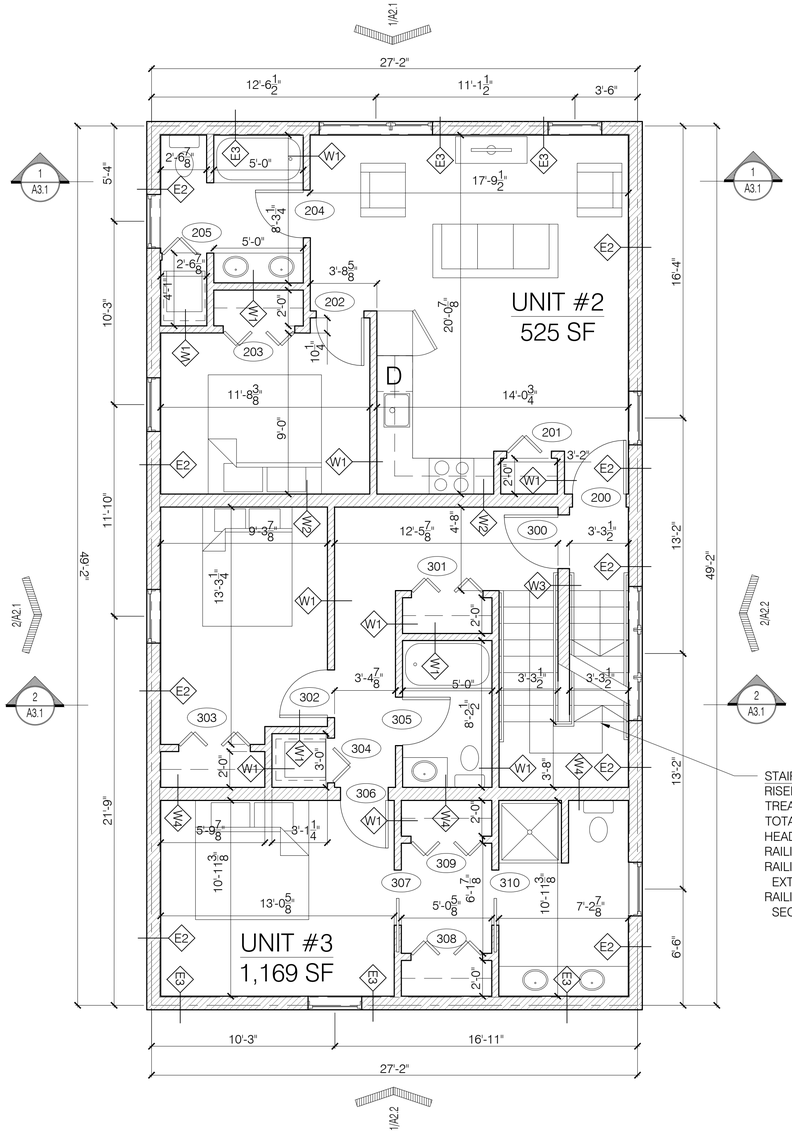
REVISIONS
1 05.18.18
2 08.02.18
3 08.14.18
4 08.29.18
5 09.06.18

PERMIT SET

DRAWN BY
AEW
SHEET TITLE
BASEMENT & 1ST FLR PLANS

ISSUE DATE
5/4/18
SHEET SCALE
1/4" = 1'-0"

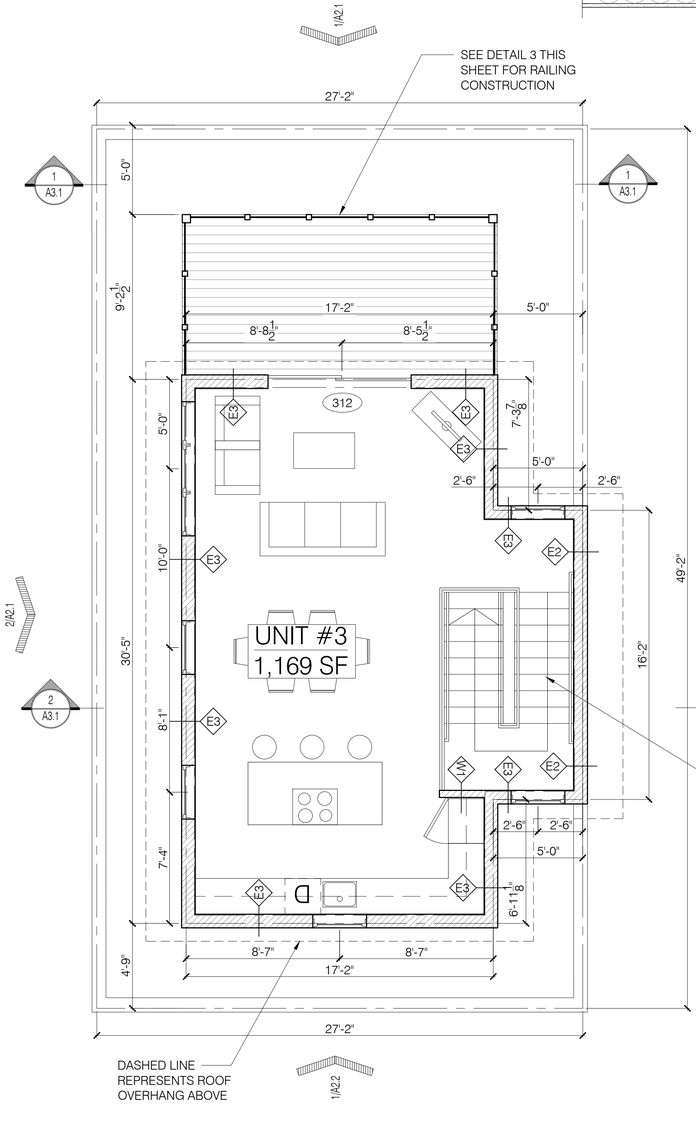
A
1.1



STAIR NOTES:

RISER:	7"
TREAD:	11"
TOTAL HEIGHT:	10'-6"
HEAD ROOM:	8'-10"
RAILING HEIGHT:	36"
RAILING EXTENSIONS:	12"
RAILING CROSS SECTION:	1 1/2"

1 2ND FLOOR PLAN
0 4'-0" SCALE: 1/4" = 1'-0"

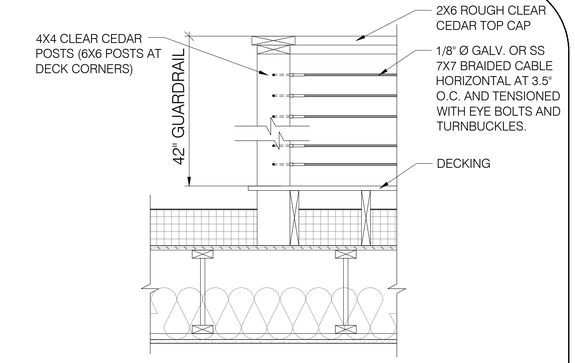


STAIR NOTES:

RISER:	7"
TREAD:	11"
TOTAL HEIGHT:	10'-6"
HEAD ROOM:	8'-10"
RAILING HEIGHT:	36"
RAILING EXTENSIONS:	12"
RAILING CROSS SECTION:	1 1/2"

DASHED LINE REPRESENTS ROOF OVERHANG ABOVE

2 3RD FLOOR PLAN
0 4'-0" SCALE: 1/4" = 1'-0"



3 RAILING DETAIL
0 4'-0" SCALE: 1/4" = 1'-0"

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bild ARCHITECTURE

LICENSED ARCHITECT
5/4/18
EVAN A CARROLL
No. 3687
STATE OF MAINE

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Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO.
17024
PROJECT NAME
30 FOX STREET
PORTLAND, MAINE 04101

REVISIONS
1| 05.18.18
2| 08.02.18
3| 08.14.18
4| 08.29.18
5| 09.06.18

PERMIT SET

DRAWN BY
AEW
SHEET TITLE
2ND & 3RD FLOOR PLANS

ISSUE DATE
5/4/18
SHEET SCALE
1/4" = 1'-0"

A

1.2

705.8 MAX AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION

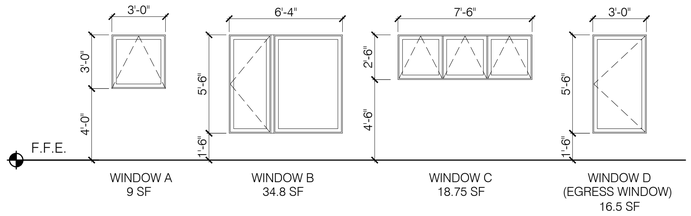
Elevation	Separation Distance	Elevation Exposure	Floor Level	Sprinkler	Protected Openings	Allowable Opening Area*	Wall Height per Floor	Wall Length per Floor	Total Wall Area of Floor	Opening Area per Floor	*Meets 705.8.1 Exception 2	% of Opening Area
Northwest	30 ≥	Public Way	First	NFPA 13R	No	No Limit	9.5	21.3	202.3	35.0	Yes	17.3%
Northwest	30 ≥	Public Way	Second	NFPA 13R	No	No Limit	10.5	22.7	237.8	51.3	Yes	21.6%
Northwest	30 ≥	Public Way	Second	NFPA 13R	No	No Limit	10.5	5.0	52.5	18.7	Yes	35.5%
Northwest	30 ≥	Public Way	Third	NFPA 13R	No	No Limit	10.5	27.7	290.9	51.3	Yes	17.6%
Northwest	30 ≥	Public Way	Fourth	NFPA 13R	No	No Limit	-	-	176.0	53.3	Yes	30.3%
Northwest	30 ≥	Public Way	Fourth	NFPA 13R	No	No Limit	-	-	41.3	16.5	Yes	40.0%
Northeast	5 ≤ 10	Side Yard	First	NFPA 13R	No	10%	9.5	49.6	471.4	18.8	No	4.0%
Northeast	5 ≤ 10	Side Yard	Second	NFPA 13R	No	10%	10.5	49.6	521.1	51.8	No	9.9%
Northeast	5 ≤ 10	Side Yard	Third	NFPA 13R	No	10%	10.5	49.6	521.1	51.8	No	9.9%
Northeast	10 ≤ 15	Side Yard	Fourth	NFPA 13R	No	No Limit	9.0	14.2	128.2	0.0	Yes	0.0%
Northeast	5 ≤ 10	Side Yard	Fourth	NFPA 13R	No	10%	8.4	16.7	140.2	0.0	No	0.0%
Southeast	10 ≤ 15	Rear Yard	First	NFPA 13R	No	No Limit	9.5	21.0	199.5	0.0	Yes	0.0%
Southeast	10 ≤ 15	Rear Yard	Second	NFPA 13R	No	No Limit	10.5	27.7	290.9	33.0	Yes	11.3%
Southeast	10 ≤ 15	Rear Yard	Third	NFPA 13R	No	No Limit	10.5	27.7	290.9	33.0	Yes	11.3%
Southeast	10 ≤ 15	Rear Yard	Fourth	NFPA 13R	No	No Limit	-	-	176.0	9.0	Yes	5.1%
Southeast	20 ≤ 25	Rear Yard	Fourth	NFPA 13R	No	No Limit	-	-	41.3	16.5	Yes	40.0%
Southwest	10 ≤ 15	Side Yard	First	NFPA 13R	No	No Limit	9.5	49.6	471.4	226.0	Yes	47.9%
Southwest	5 ≤ 10	Side Yard	Second	NFPA 13R	No	10%	10.5	39.7	416.4	33.0	No	7.9%
Southwest	10 ≤ 15	Side Yard	Second	NFPA 13R	No	No Limit	10.5	10.0	105.0	18.8	Yes	17.9%
Southwest	5 ≤ 10	Side Yard	Third	NFPA 13R	No	10%	10.5	49.6	521.1	42.0	No	8.1%
Southwest	10 ≤ 15	Side Yard	Fourth	NFPA 13R	No	No Limit	11.3	30.9	347.8	51.8	Yes	14.9%

WINDOW SCHEDULE

TYPE	SIZE (ROUGH OPENING)	MATERIAL	OPERATION	NOTES
A	3'-0" X 3'-0"	uPVC	AWNING	1, 2, 4
B	6'-4" X 5'-6"	uPVC	PICTURE/CASEMENT	1, 2, 3, 4
C	7'-6" X 2'-6"	uPVC	AWNING	1, 2, 4
D	3'-0" X 5'-6"	uPVC	CASEMENT	1, 2, 3, 4

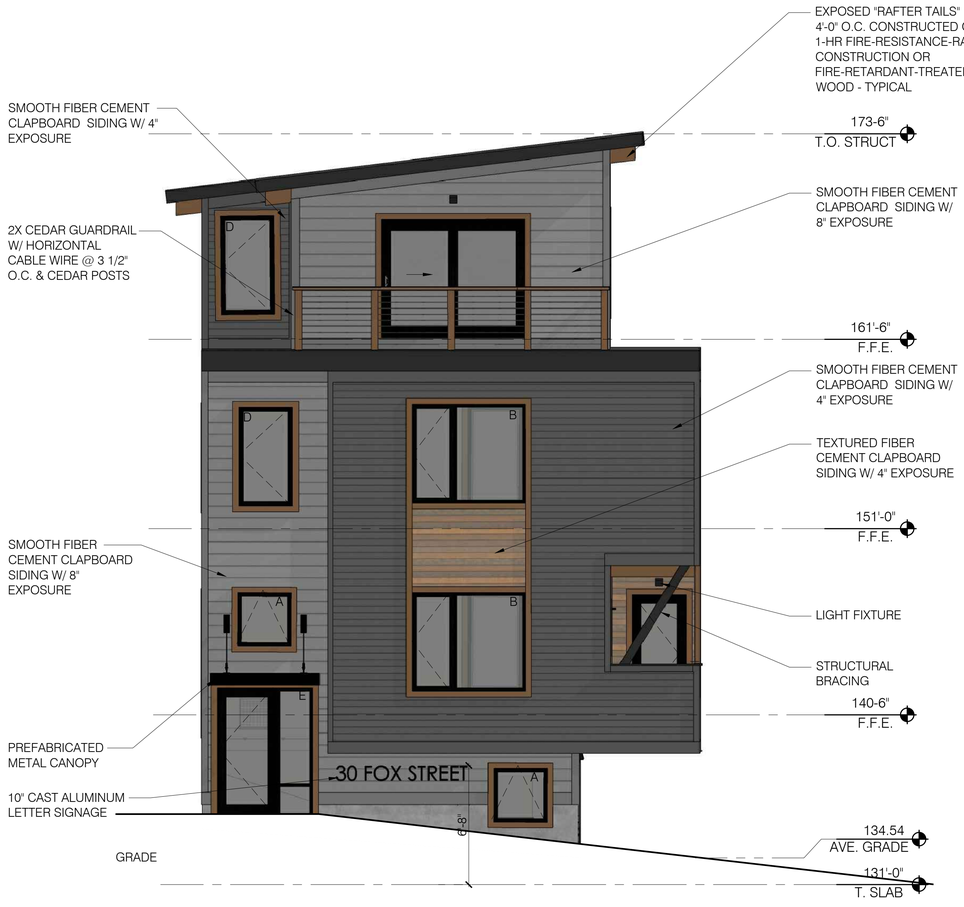
NOTES:

1. SAFETY GLAZING MAY BE REQUIRED.
2. ALL WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.35.
3. EGRESS WINDOWS SHALL COMPLY WITH IBC 2015.
4. WINDOWS AND GLAZED DOOR SHALL BE THERMALLY BROKEN.



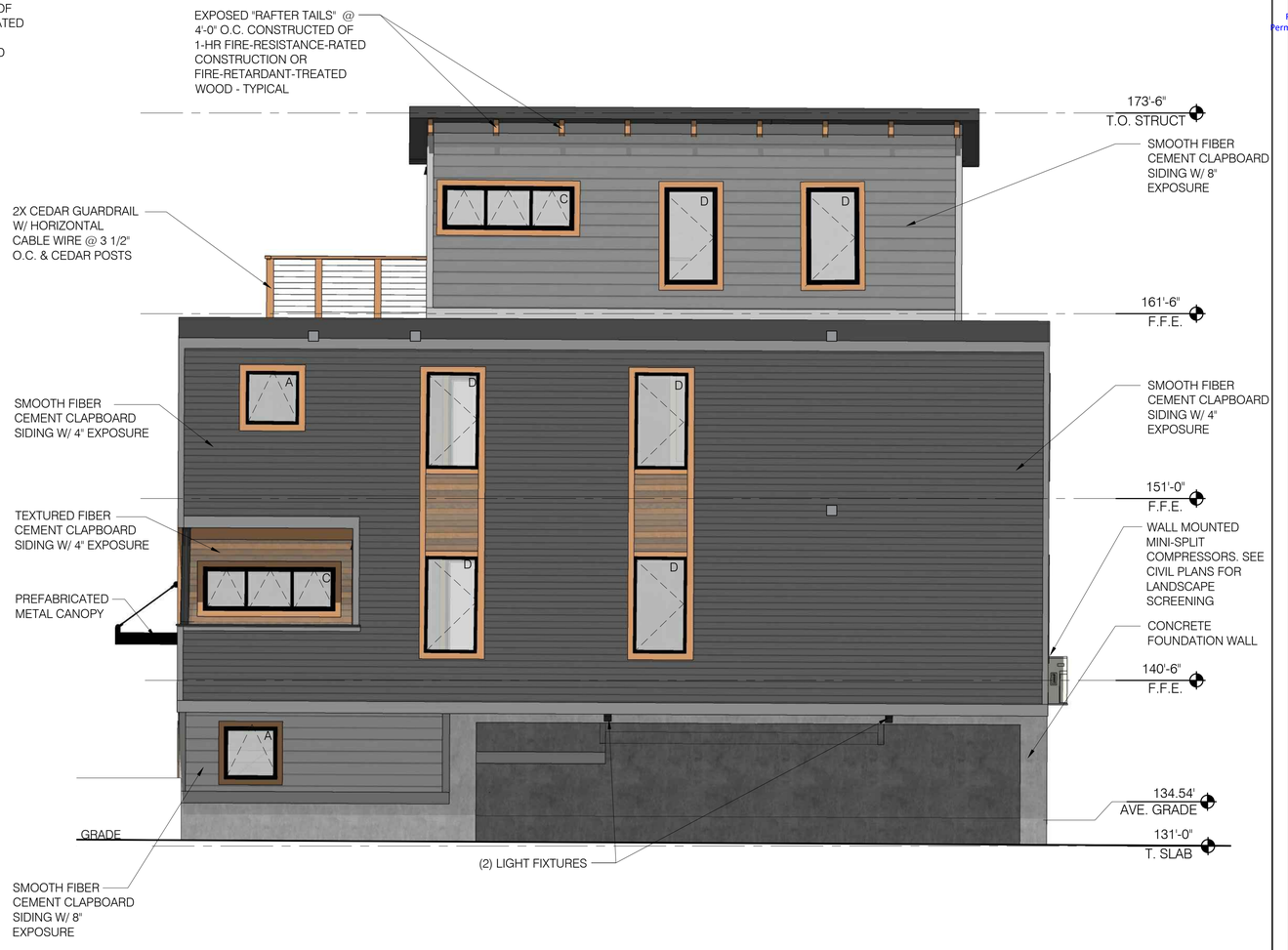
WINDOW SPECIFICATIONS:

1.	Size and window configuration.	See Window Schedule
2.	Color options.	To be selected
3.	Factory Mulling Capabilty.	Preferred
4.	Design Pressure Rating	25
5.	U Factor	0.35 or lower
6.	Material	To be selected
7.	Glazing Type	To be selected
8.	Hardware type.	To be selected
9.	Exterior Washing Capability	Washing from interior preferred
10.	Warranty (Window & glazing units)	10 years
11.	Insect Screens	Standard Insect Screens



1 NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



2 SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

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bild ARCHITECTURE

LICENSED ARCHITECT
5/4/18
EVAN A CARROLL
No. 3987
STATE OF MAINE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO. **17024**
PROJECT NAME **30 FOX STREET**
PORTLAND, MAINE 04101

REVISIONS
1 05.18.18
2 08.02.18
3 08.14.18
4 08.29.18
5 09.06.18

PERMIT SET

DRAWN BY **AEW**
SHEET TITLE **ELEVATIONS**

ISSUE DATE **5/4/18**
SHEET SCALE 1/4" = 1'-0"

A

2.1

705.8 MAX AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION

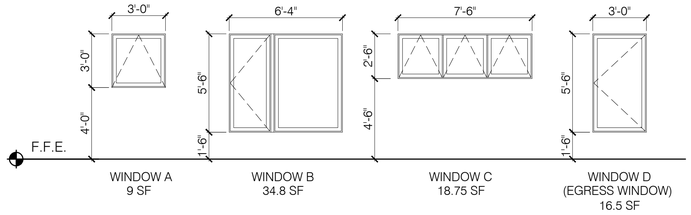
Elevation	Separation Distance	Elevation Exposure	Floor Level	Sprinkler	Protected Openings	Allowable Opening Area*	Wall Height per Floor	Wall Length per Floor	Total Wall Area of Floor	Opening Area per Floor	*Meets 705.8.1 Exception 2	% of Opening Area
Northwest	30 ≥	Public Way	First	NFPA 13R	No	No Limit	9.5	21.3	202.3	35.0	Yes	17.3%
Northwest	30 ≥	Public Way	Second	NFPA 13R	No	No Limit	10.5	22.7	237.8	51.3	Yes	21.6%
Northwest	30 ≥	Public Way	Second	NFPA 13R	No	No Limit	10.5	5.0	52.5	18.7	Yes	35.5%
Northwest	30 ≥	Public Way	Third	NFPA 13R	No	No Limit	10.5	27.7	290.9	51.3	Yes	17.6%
Northwest	30 ≥	Public Way	Fourth	NFPA 13R	No	No Limit	-	-	176.0	53.3	Yes	30.3%
Northwest	30 ≥	Public Way	Fourth	NFPA 13R	No	No Limit	-	-	41.3	16.5	Yes	40.0%
Northeast	5 ≤ 10	Side Yard	First	NFPA 13R	No	10%	9.5	49.6	471.4	18.8	No	4.0%
Northeast	5 ≤ 10	Side Yard	Second	NFPA 13R	No	10%	10.5	49.6	521.1	51.8	No	9.9%
Northeast	5 ≤ 10	Side Yard	Third	NFPA 13R	No	10%	10.5	49.6	521.1	51.8	No	9.9%
Northeast	10 ≤ 15	Side Yard	Fourth	NFPA 13R	No	No Limit	9.0	14.2	128.2	0.0	Yes	0.0%
Northeast	5 ≤ 10	Side Yard	Fourth	NFPA 13R	No	10%	8.4	16.7	140.2	0.0	No	0.0%
Southeast	10 ≤ 15	Rear Yard	First	NFPA 13R	No	No Limit	9.5	21.0	199.5	0.0	Yes	0.0%
Southeast	10 ≤ 15	Rear Yard	Second	NFPA 13R	No	No Limit	10.5	27.7	290.9	33.0	Yes	11.3%
Southeast	10 ≤ 15	Rear Yard	Third	NFPA 13R	No	No Limit	10.5	27.7	290.9	33.0	Yes	11.3%
Southeast	10 ≤ 15	Rear Yard	Fourth	NFPA 13R	No	No Limit	-	-	176.0	9.0	Yes	5.1%
Southeast	20 ≤ 25	Rear Yard	Fourth	NFPA 13R	No	No Limit	-	-	41.3	16.5	Yes	40.0%
Southwest	10 ≤ 15	Side Yard	First	NFPA 13R	No	No Limit	9.5	49.6	471.4	226.0	Yes	47.9%
Southwest	5 ≤ 10	Side Yard	Second	NFPA 13R	No	10%	10.5	39.7	416.4	33.0	No	7.9%
Southwest	10 ≤ 15	Side Yard	Second	NFPA 13R	No	No Limit	10.5	10.0	105.0	18.8	Yes	17.9%
Southwest	5 ≤ 10	Side Yard	Third	NFPA 13R	No	10%	10.5	49.6	521.1	42.0	No	8.1%
Southwest	10 ≤ 15	Side Yard	Fourth	NFPA 13R	No	No Limit	11.3	30.9	347.8	51.8	Yes	14.9%

WINDOW SCHEDULE

TYPE	SIZE (ROUGH OPENING)	MATERIAL	OPERATION	NOTES
A	3'-0" X 3'-0"	uPVC	AWNING	1, 2, 4
B	6'-4" X 5'-6"	uPVC	PICTURE/CASEMENT	1, 2, 3, 4
C	7'-6" X 2'-6"	uPVC	AWNING	1, 2, 4
D	3'-0" X 5'-6"	uPVC	CASEMENT	1, 2, 3, 4

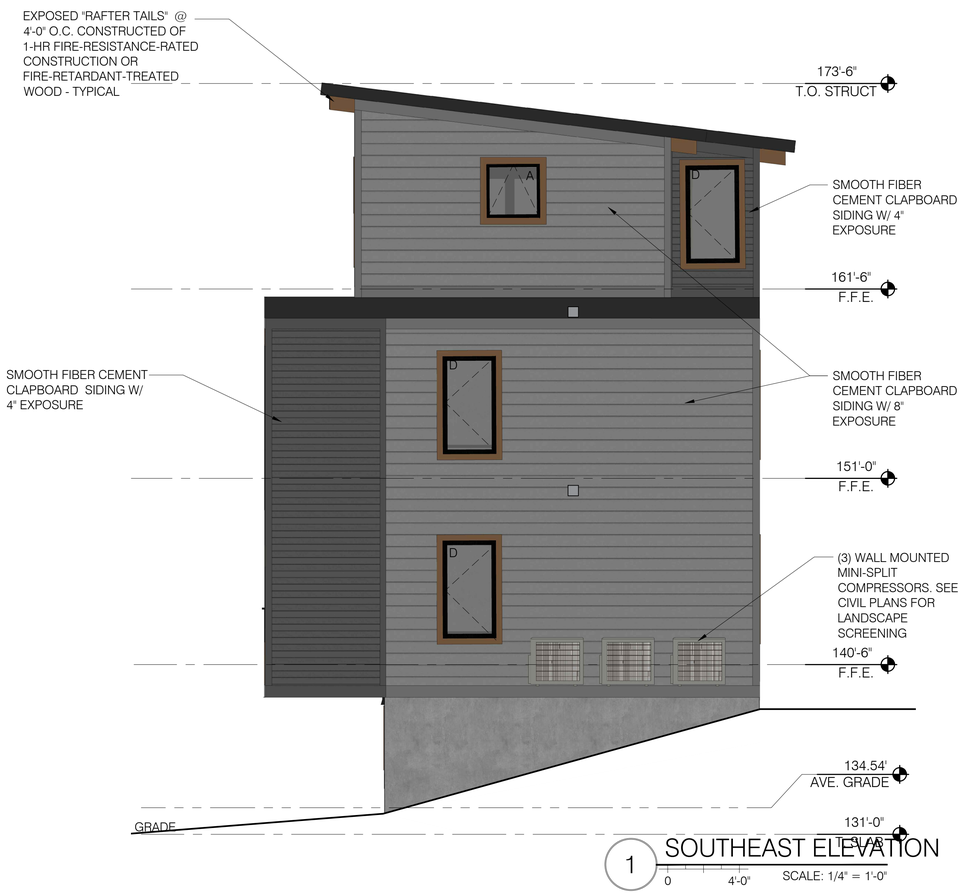
NOTES:

1. SAFETY GLAZING MAY BE REQUIRED.
2. ALL WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.35.
3. EGRESS WINDOWS SHALL COMPLY WITH IBC 2015.
4. WINDOWS AND GLAZED DOOR SHALL BE THERMALLY BROKEN.



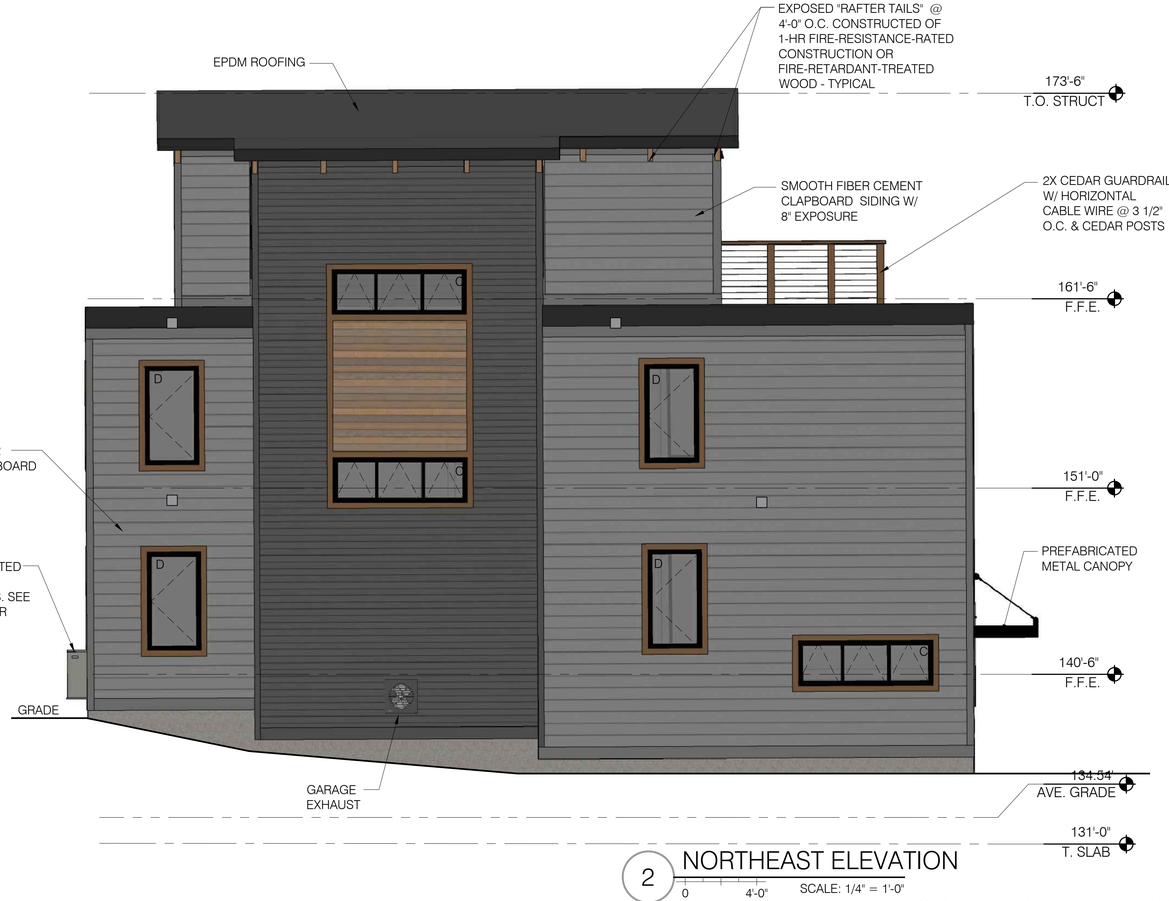
WINDOW SPECIFICATIONS:

1.	Size and window configuration.	See Window Schedule
2.	Color options.	To be selected
3.	Factory Mulling Capabilty.	Preferred
4.	Design Pressure Rating	25
5.	U Factor	0.35 or lower
6.	Material	To be selected
7.	Glazing Type	To be selected
8.	Hardware type.	To be selected
9.	Exterior Washing Capability	Washing from interior preferred
10.	Warranty (Window & glazing units)	10 years
11.	Insect Screens	Standard Insect Screens



1 SOUTHEAST ELEVATION

0 4'-0" SCALE: 1/4" = 1'-0"



2 NORTHEAST ELEVATION

0 4'-0" SCALE: 1/4" = 1'-0"

NOTE:

1. ALL HEATING, VENTILATION AND AIR CONDITIONING EQUIPMENT (HVAC), AIR HANDLING UNITS (AHU), EMERGENCY GENERATORS, AND SIMILAR EQUIPMENT SHALL MEET APPLICABLE STATE AND FEDERAL EMISSIONS REQUIREMENTS AND SHALL COMPLY WITH THE FOLLOWING:
   (a) BE LOCATED TO THE INTERIOR OF THE SITE, AWAY FROM ABUTTING RESIDENTIAL PROPERTIES;
   (b) BE SCREENED FROM VIEW FROM ANY PUBLIC STREET AND FROM ADJACENT SITES BY STRUCTURE WALLS, EVERGREEN LANDSCAPING, FENCING, MASONRY WALL OR A COMBINATION THEREOF

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bild ARCHITECTURE

LICENSED ARCHITECT
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EVAN A CARROLL
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PROJECT NO. **17024**
PROJECT NAME **30 FOX STREET**
PORTLAND, MAINE 04101

REVISIONS
1| 05.18.18
2 08.02.18
3 08.14.18
4 08.29.18
5| 09.06.18

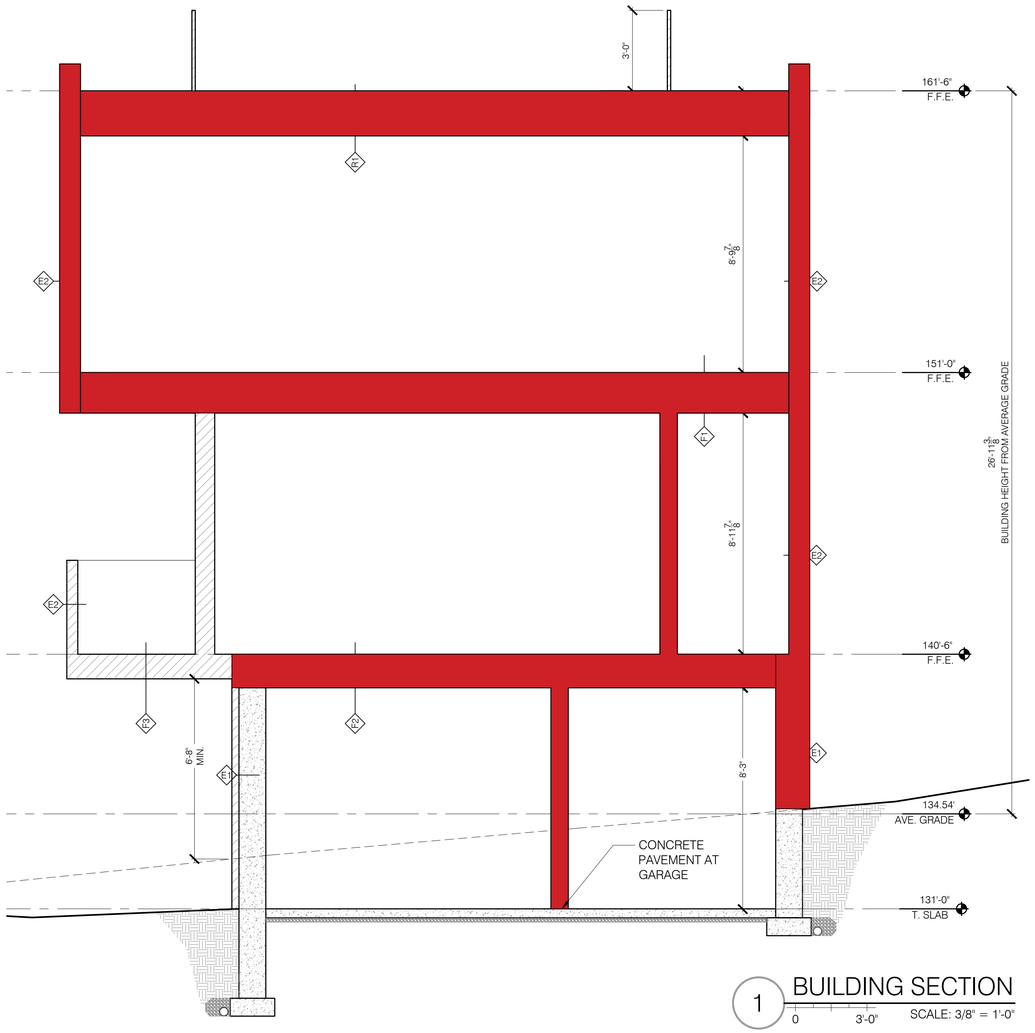
PERMIT SET

DRAWN BY **AEW**
SHEET TITLE **ELEVATIONS**

ISSUE DATE **5/4/18**
SHEET SCALE 1/4" = 1'-0"

A

2.2



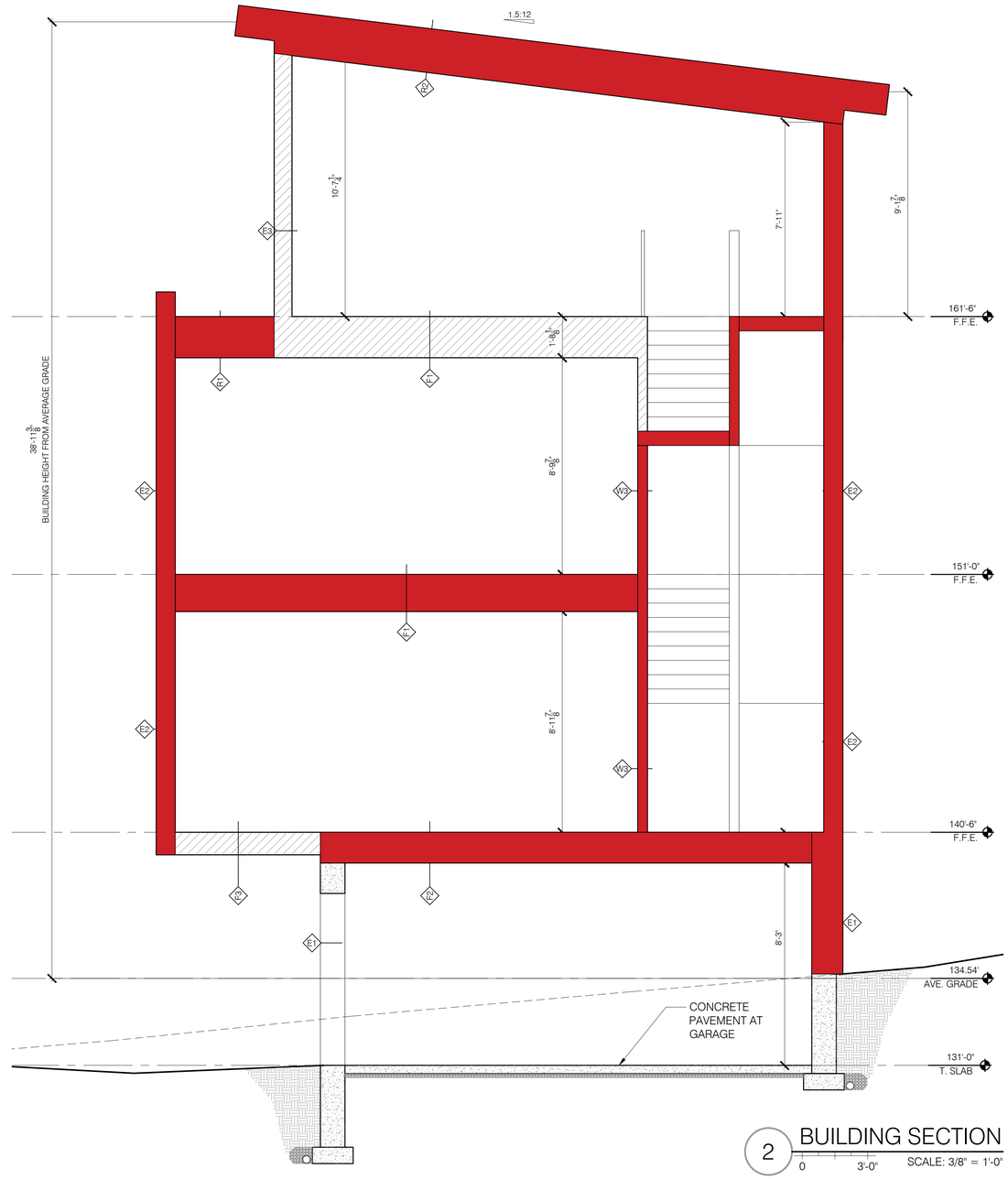
1 BUILDING SECTION
0 3'-0" SCALE: 3/8" = 1'-0"

NOTE:

1. INSTALL 5" (R-20) OPEN CELL FOAM INSULATION AT FIRST AND SECOND FLOOR RIM JOISTS.

KEY

1-HR RATED ASSEMBLY



2 BUILDING SECTION
0 3'-0" SCALE: 3/8" = 1'-0"

NOTE:

1. INSTALL 5" (R-20) OPEN CELL FOAM INSULATION AT FIRST AND SECOND FLOOR RIM JOISTS.

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bild ARCHITECTURE

LICENSED ARCHITECT
5/4/18
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PORTLAND, MAINE 04101

REVISIONS
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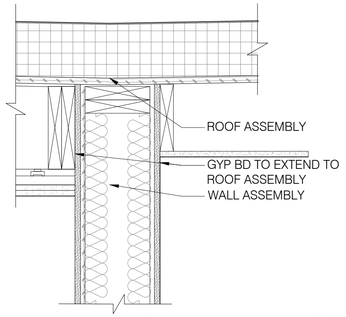
PERMIT SET

DRAWN BY
AEW
SHEET TITLE
BUILDING SECTIONS

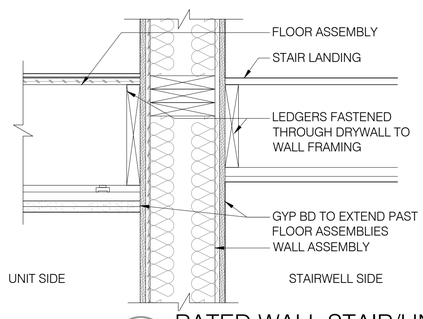
ISSUE DATE
5/4/18
SHEET SCALE
3/8" = 1'-0"

A

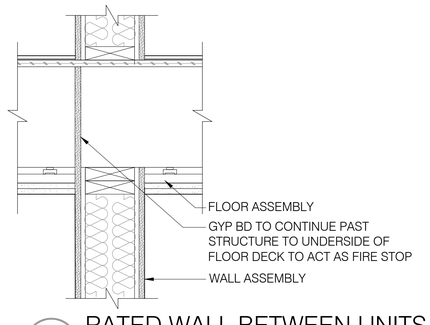
3.1



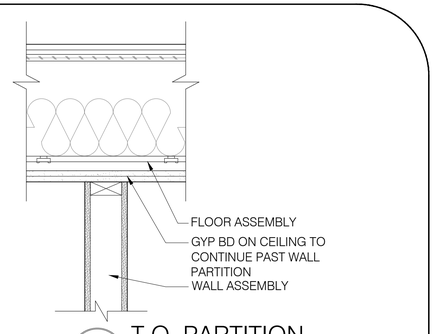
1 T.O. WALL @ STAIR SHAFT
0 8" SCALE: 1-1/2"" = 1'-0"



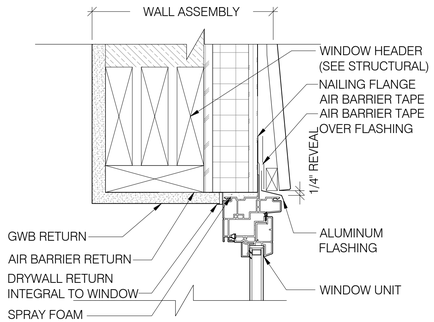
2 RATED WALL STAIR/UNIT
0 8" SCALE: 1-1/2" = 1'-0"



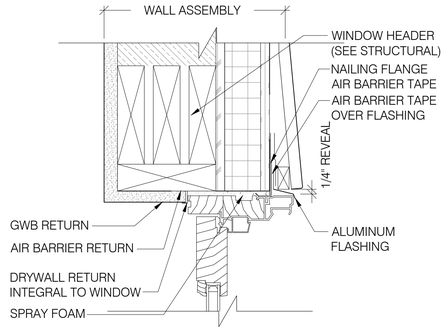
3 RATED WALL BETWEEN UNITS
0 8" SCALE: 1-1/2" = 1'-0"



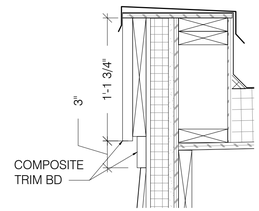
4 T.O. PARTITION
0 8" SCALE: 1-1/2" = 1'-0"



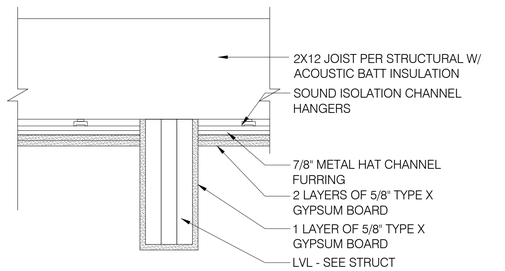
5 HEAD - TYPICAL WINDOW
0 4" SCALE: 3" = 1'-0"



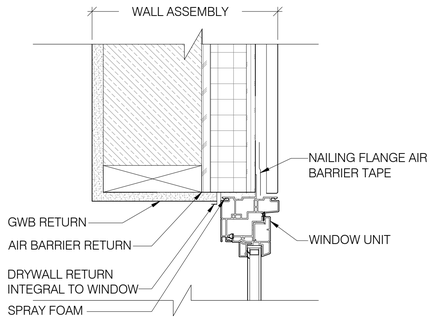
6 HEAD - DOOR
0 4" SCALE: 3" = 1'-0"



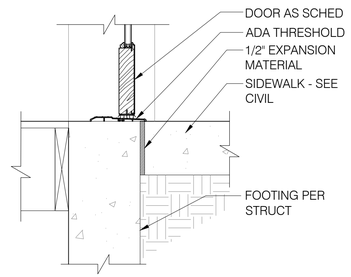
7 PARAPET DETAIL
0 8" SCALE: 1-1/2" = 1'-0"



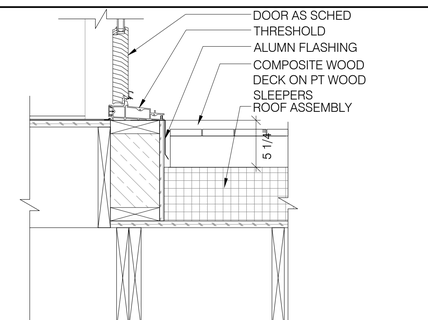
8 LVL WRAP DETAIL
0 8" SCALE: 1-1/2" = 1'-0"



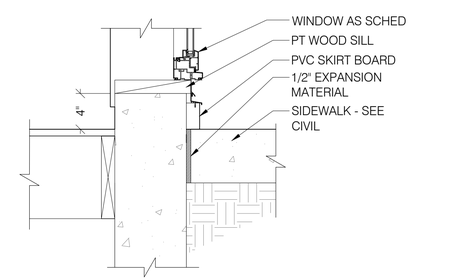
9 JAMB - TYPICAL WINDOW
0 4" SCALE: 3" = 1'-0"



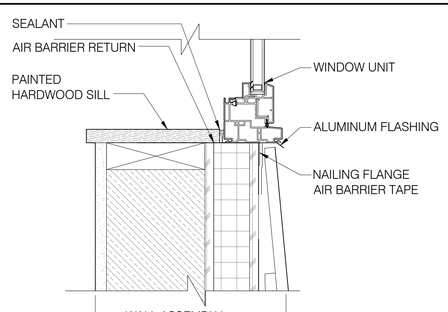
10 SILL - FRONT ENTRY DOOR
0 8" SCALE: 1-1/2" = 1'-0"



11 SILL - ROOFTOP DOOR
0 8" SCALE: 1-1/2" = 1'-0"



12 SILL - FRONT SIDE LIGHTS
0 8" SCALE: 1-1/2" = 1'-0"



13 SILL - TYPICAL WINDOW
0 4" SCALE: 3" = 1'-0"

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LICENSED ARCHITECT 5/4/18 EVAN A CARROLL No. 3687 STATE OF MAINE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
10/25/2018

PROJECT NO. 17024
PROJECT NAME 30 FOX STREET
PORTLAND, MAINE 04101

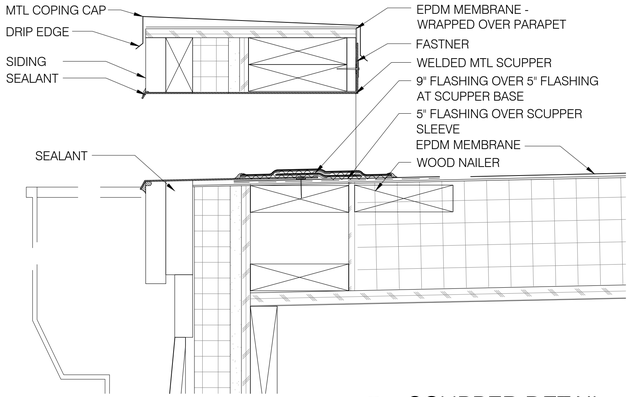
REVISIONS
1 05.18.18
2 08.02.18
3 08.14.18
4 08.29.18
5 09.06.18

PERMIT SET

DRAWN BY AEW
SHEET TITLE DETAILS - 1 OF 2

ISSUE DATE 5/4/18
SHEET SCALE 3/8" = 1'-0"

A
4.1



1 SCUPPER DETAIL
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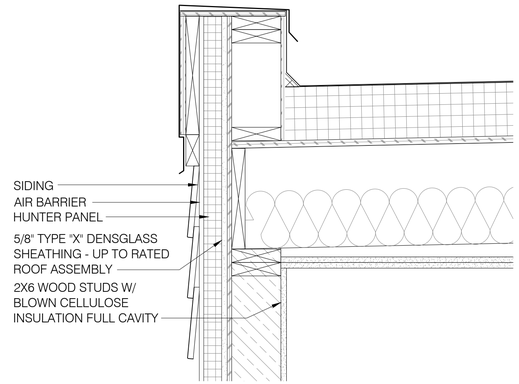
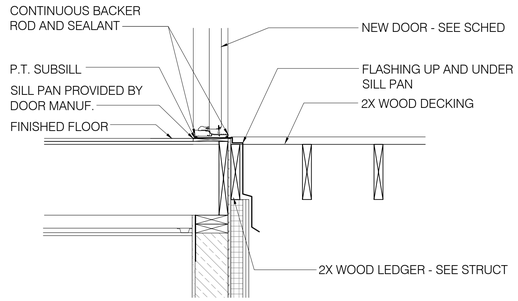
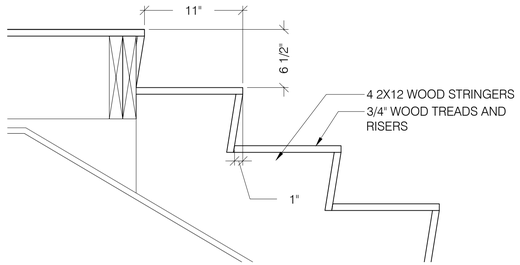


2 T.O. RATED EXT WALL DETAIL
0 8" SCALE: 1-1/2" = 1'-0"



3 DECK DETAIL
0 1'-0" SCALE: 1" = 1'-0"



4 TYP. RISER TREAD DETAIL
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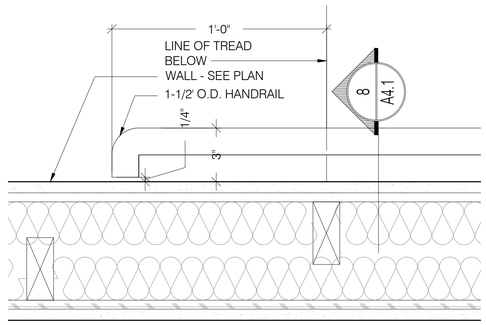
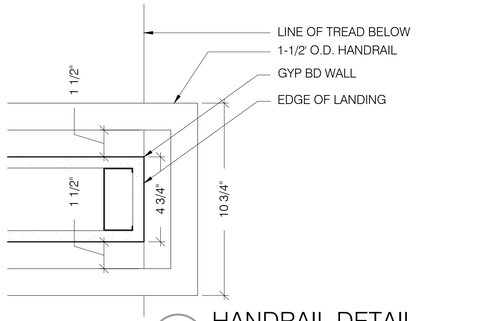


5 HANDRAIL DETAIL
0 4" SCALE: 3" = 1'-0"



6 HANDRAIL DETAIL
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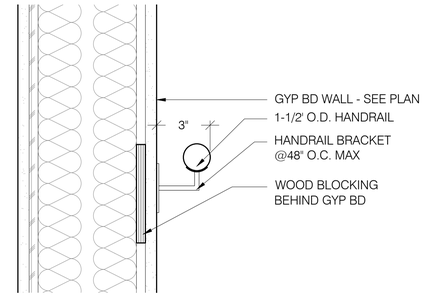

7 HANDRAIL SECTION
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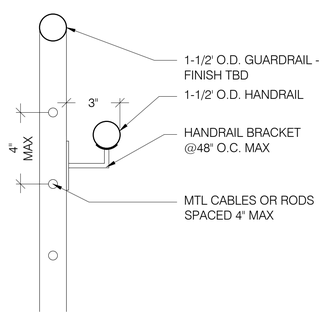

8 HANDRAIL SECTION
0 4" SCALE: 3" = 1'-0"

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PROJECT NO. 17024
PROJECT NAME 30 FOX STREET
PORTLAND, MAINE 04101

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5| 09.06.18

PERMIT SET

DRAWN BY AEW
SHEET TITLE DETAILS - 2 OF 2

ISSUE DATE 5/4/18
SHEET SCALE 3/8" = 1'-0"

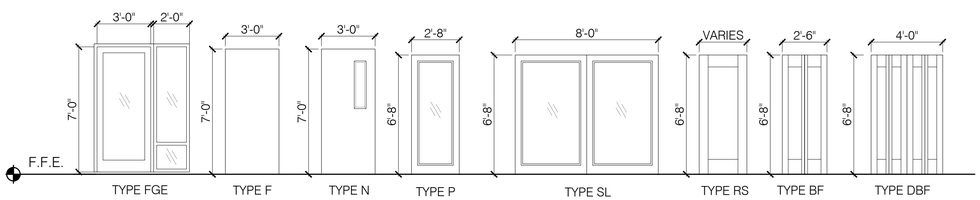
A
4.2

DOOR SCHEDULE

			DOORS					FRAME			
DOOR #	FROM	TO	SIZE	DOOR MATERIAL	FINISH	DOOR TYPE	DOOR RATING	TYPE	FINISH	HARDWARE SET	NOTES
001	EXTERIOR	STAIR	3'-0" X 7'-0"	FIBERGLASS	FACTORY FINISH	FGE	-				1, 2
002	STAIR	COVERED PARKING	3'-0" X 6'-8"	HOLLOW METAL	FIELD FINISH	N	90 MIN.	HM	FIELD FINISH		1
003	COVERED PARKING	MECH / STORAGE	3'-0" X 6'-8"	HOLLOW METAL	FIELD FINISH	F	1-HR	HM	FIELD FINISH		
100	STAIR	UNIT #1	3'-0" X 7'-0"	HOLLOW METAL	FIELD FINISH	F	1-HR	HM	FIELD FINISH		
101	UNIT #1 ENTRY	UNIT #1 ENTRY CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
102	UNIT #1 DINING	UNIT #1 BALCONY	2'-8" X 6'-8"	uPVC	FACTORY FINISH	P	-	uPVC	FACTORY FINISH		1, 2
103	UNIT #1 HALLWAY	UNIT #1 BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
104	UNIT #1 BEDROOM	UNIT #1 BEDROOM CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
105	UNIT #1 HALLWAY	UNIT #1 LAUNDRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
106	UNIT #1 HALLWAY	UNIT #1 BATHROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
107	UNIT #1 HALLWAY	UNIT #1 MASTER BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
108	UNIT #1 MASTER BEDROOM	UNIT #1 MASTER CLOSET	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
109	UNIT #1 MASTER CLOSET	UNIT #1 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
110	UNIT #1 MASTER CLOSET	UNIT #1 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
111	UNIT #1 MASTER CLOSET	UNIT #1 MASTER BATHROOM	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
200	STAIR	UNIT #2	3'-0" X 7'-0"	HOLLOW METAL	FIELD FINISH			HM	FIELD FINISH		
201	UNIT #2 KITCHEN	UNIT #2 PANTRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
202	UNIT #2 LIVING	UNIT #2 BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
203	UNIT #2 BEDROOM	UNIT #2 BEDROOM CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
204	UNIT #2 LIVING	UNIT #2 BATHROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
205	UNIT #2 BATHROOM	UNIT #2 LAUNDRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
300	STAIR	UNIT #3	3'-0" X 7'-0"	HOLLOW METAL	FIELD FINISH	F	1-HR	HM	FIELD FINISH		
301	UNIT #3 ENTRY	UNIT #3 ENTRY CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
302	UNIT #3 HALLWAY	UNIT #3 BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
303	UNIT #3 BEDROOM	UNIT #3 BEDROOM CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
304	UNIT #3 HALLWAY	UNIT #3 LAUNDRY	2'-6" X 6'-8"	SOLID CORE	FIELD FINISH	BF	-	WD	FIELD FINISH		
305	UNIT #3 HALLWAY	UNIT #3 BATHROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
306	UNIT #3 HALLWAY	UNIT #3 MASTER BEDROOM	2'-8" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
307	UNIT #3 MASTER BEDROOM	UNIT #3 MASTER CLOSET	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
308	UNIT #3 MASTER CLOSET	UNIT #3 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
309	UNIT #3 MASTER CLOSET	UNIT #3 MASTER CLOSET	4'-0" X 6'-8"	SOLID CORE	FIELD FINISH	DBF	-	WD	FIELD FINISH		
310	UNIT #3 MASTER CLOSET	UNIT #3 MASTER BATHROOM	3'-0" X 6'-8"	SOLID CORE	FIELD FINISH	RS	-	WD	FIELD FINISH		
312	UNIT #3 LIVING	UNIT #3 DECK	8'-0" X 6'-8"	uPVC	FACTORY FINISH	P	-	uPVC	FACTORY FINISH		1, 2

NOTES:

1. GLAZING TO BE TEMPERED SAFETY GLASS.
2. EXTERIOR DOOR TO BE INSULATED.



DOOR HARDWARE SCHEDULE

HARDWARE SET	HARDWARE TYPE	FINISH	MANUFACTURER	NOTES
A	OVERHEAD DOOR TRACK	T.B.D.	T.B.D.	1
	ELECTRIC OPERATOR			
	BOTTOM-SENSING EDGE			
	WEATHERSTRIPPING			
	GASKETING			
B	BIFOLD DOOR TRACK	T.B.D.	T.B.D.	1
	TOP PIVOTS & LOCKS			
	DOOR GUIDES			
	BOTTOM PIVOTS AND BRACKETS			
	TRACK STOPS			
	PANEL HINGES			
	PANEL ALIGNER			
	DOOR KNOBS			
C	(3) SELF-CLOSING HINGES	POLISHED / BRIGHT CHROME	T.B.D.	1, 2
	STRIKE			
	THRESHOLD			
	DOOR SWEEP			
	WALL MOUNTED DOOR STOP			
	ENTRY LOCKSET			
	PEEPHOLE			
	DEADBOLT			
D	(3) HINGES	POLISHED / BRIGHT CHROME	T.B.D.	1
	STRIKE			
	THRESHOLD			
	DOOR SWEEP			
	DOOR GASKET			
	WALL MOUNTED DOOR STOP			
	KEYCODE ENTRY LOCKSET			
E	(3) HINGES	POLISHED / BRIGHT CHROME	T.B.D.	1
	PASSAGE LOCKSET			
	STRIKE			
F	(3) HINGES	POLISHED / BRIGHT CHROME	T.B.D.	1
	WALL MOUNTED DOOR STOP			
	STORAGE LOCKSET			
G	(3) HINGES	POLISHED / BRIGHT CHROME	T.B.D.	1
	STRIKE			
	WALL MOUNTED DOOR STOP			
	BED & BATH LOCKSET			

NOTES:

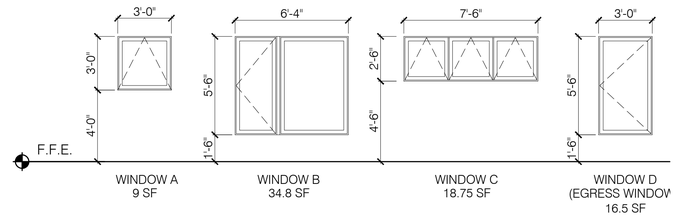
1. COORDINATE DOOR HARDWARE FINISHES AND STYLES WITH OWNER.
2. UNIT ENTRY DOORS TO BE DEADBOLT READY.

WINDOW SCHEDULE

TYPE	SIZE (ROUGH OPENING)	MATERIAL	OPERATION	NOTES
A	3'-0" X 3'-0"	uPVC	AWNING	1, 2, 4
B	6'-4" X 5'-6"	uPVC	PICTURE/CASEMENT	1, 2, 3, 4
C	7'-6" X 2'-6"	uPVC	AWNING	1, 2, 4
D	3'-0" X 5'-6"	uPVC	CASEMENT	1, 2, 3, 4

NOTES:

1. SAFETY GLAZING MAY BE REQUIRED.
2. ALL WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.35.
3. EGRESS WINDOWS SHALL COMPLY WITH IBC 2015.
4. WINDOWS AND GLAZED DOOR SHALL BE THERMALLY BROKEN.



WINDOW SPECIFICATIONS:

1.	Size and window configuration.	See Window Schedule
2.	Color options.	To be selected
3.	Factory Mulling Capabilty.	Preferred
4.	Design Pressure Rating	25
5.	U Factor	0.35 or lower
6.	Material	To be selected
7.	Glazing Type	To be selected
8.	Hardware type.	To be selected
9.	Exterior Washing Capability	Washing from interior preferred
10.	Warranty (Window & glazing units)	10 years
11.	Insect Screens	Standard Insect Screens

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bild ARCHITECTURE

LICENSED ARCHITECT
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EVAN A. CARROLL
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STATE OF MINNESOTA

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DRAWN BY
AEW
SHEET TITLE
SCHEDULES

ISSUE DATE
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SHEET SCALE
1/4" = 1'-0"

A

6.1