

Central Maine Power Company
Attn: Jamie Cough
162 Canco Road
Portland, Maine 04103

June 24, 2013

Subject: Munjoy Heights - Redfern Properties, LLC – Portland
Re: Ability to Serve

Dear Mr. Cough,

On behalf of Redfern Properties, LLC, we are pleased to submit the following request for Central Maine Power Company's ability to serve the proposed development. Munjoy Heights is a 22-unit vertical urban infill development set on the western slopes of Munjoy Hill. Each 4-story unit will have a dedicated garage with approximately 1,800 to 2,600 sf of livable space comprised of 3 bedroom units.

The proposed project is located to the west of Walnut Street in Portland. The proposed lot is a combination of multiple properties which presently include Portland Tax Map 012, Block H, Lots 1, 3, 5, 7, 9, 13, and 22, Block G, Lot 6, and Block F, Lots 4 and 7 that consists of 53,935 square feet (1.22 acres) of land area. There is an existing two story building residing on Block H, Lot 9 which shall remain.

The developer plans to serve the proposed buildings with underground electric service. At this time we have proposed that the new service be established from the existing utility pole across Walnut Street from the project. I have attached a preliminary utility plan to facilitate your review. Please let me know if you have any further questions or comments.

Sincerely,

A handwritten signature in cursive script, appearing to read "William H. Savage".

William H. Savage, P.E.
Project Manager
Acorn Engineering, Inc.

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7/3/2013

William Savage, PE
Acorn Engineering, Inc.
PO Box 3372
Portland, ME 04104
Sent via email to: info@acorn-engineering.com

RE: Ability to Serve Letter for Munjoy Heights-Redfern Properties in Portland, Maine.

Dear Mr. Savage:

CMP has the ability to serve your proposed project located for Munjoy Hill in Portland, Maine in accordance with our CMP Handbook (web link below). We can provide you the desired pad or pole mounted transformers per your request and city approval, in accordance with our CMP Standards Handbook. If you have any questions on the process, or need help in completion of the documents, please feel free to contact me. If this is a single phase, self contained metered project, you will be working directly with the Portland Service Center.

New Service Milestones

- Call 1-800-565-3181 to establish a new account and an SAP work order (completed).
- Submit any electronic drawings (PDF (preferred) or DWG files) of the site layout and proposed electrical connections if you have them.
- Preliminary meetings with CMP to determine the details of job,
- Field planner design appointment to cost out job and develop CMP Invoice.
- Submit invoice for payment.
- Easements signed and payment received.
- Job scheduled for completion after the electrical inspection has been received.

This process can take several months, depending upon several factors including transformer delivery, potential substation upgrades, return of completed paperwork, and other jobs in the system that may be ahead of yours. In addition, contact with the other utilities, including telephone and cable, should be commenced as soon as practical. They may have additional work or charges in addition to the CMP work required to bring your project on line.

For your convenience, here is a link to the CMP Website which contains our Handbook with details on most service requirements:

162 Canco Road Portland, ME 04103
Tel (800) 750-4000
207-842-2367 office
207-458-0382 cell
207-626-4082 fax



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PORTLAND MAINE

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Public Services Department
Michael J. Bobinsky, Director

16 September 2013

Mr. William H. Savage, P.E.,
Project Manager,
Acorn Engineering,
P.O. Box 3372,
Portland, Maine 04104

RE: Handling Wastewater Flows, from "Munjoy Heights," a Proposed Urban Vertical Infill Development, at 83 Walnut Street.

Dear Mr. Savage:

The existing eight inch diameter vitrified clay sewer pipe, located in Sheridan Street, as well as the existing eight inch diameter vitrified clay sewer pipe, located in East Cove Street, have adequate capacity to transport, while The Portland Water District sewage treatment facility, located off Marginal Way, has adequate capacity to treat, the total anticipated increase in wastewater flows of 6,930 GPD, from this proposed development.

The City combined sewer overflow (C.S.O.) abatement consent agreement (with the U.S.E.P.A., and with the Maine D.E.P.) requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects. If The City can be of further assistance, please call 874-8832.

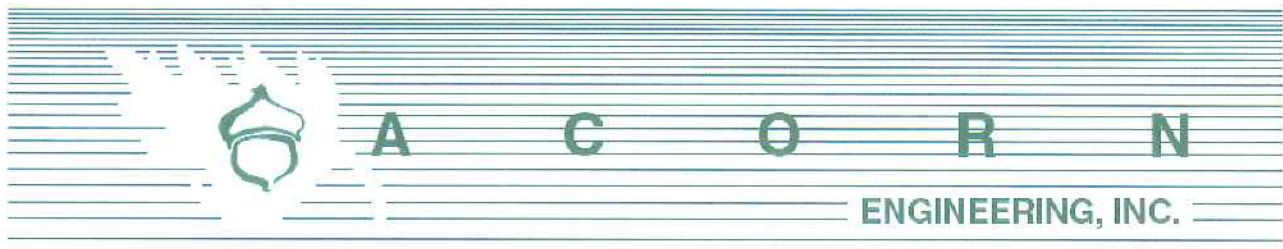
Sincerely,
CITY OF PORTLAND

Frank J Brancely, B.A., M.A.
Senior Engineering Technician

FJB

CC: Jeffrey Levine, Director, Department of Planning, and Urban Development, City of Portland
Barbara Barhydt, Development Review Services Manager, Department of Planning, and Urban Development, City of Portland
David Margolis-Pineo, Deputy City Engineer, City of Portland
Michael Farmer, P.E., Project Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
John Emerson, Wastewater Coordinator, City of Portland
Rhonda Zazzara, Field Inspection Coordinator, City of Portland
Harold Downs, Senior Wastewater Technician, City of Portland
Jane Ward, Administrative Assistant, City of Portland

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Portland Water District
 Attn: Rico Spugnardi, P.E.
 225 Douglas Street
 Portland, Maine 04104

August 19, 2013

Subject: Munjoy Heights - Redfern Properties, LLC – Portland
 Re: Revised Ability to serve with PWD water

Dear Mr. Spugnardi,

On behalf of Redfern Properties, LLC, we are pleased to resubmit the following request for PWD's ability to serve the proposed development. Since the original ability to serve letter on 6/26/13 the proposed boundary line and layout has changed and as a result the number of units has increased from 22 to 29 units. Munjoy Heights is a vertical urban infill development set on the western slopes of Munjoy Hill. Each three to four story unit will have a dedicated garage with approximately 1,900 to 2,400 sf of livable space comprised of 3 bedroom units.

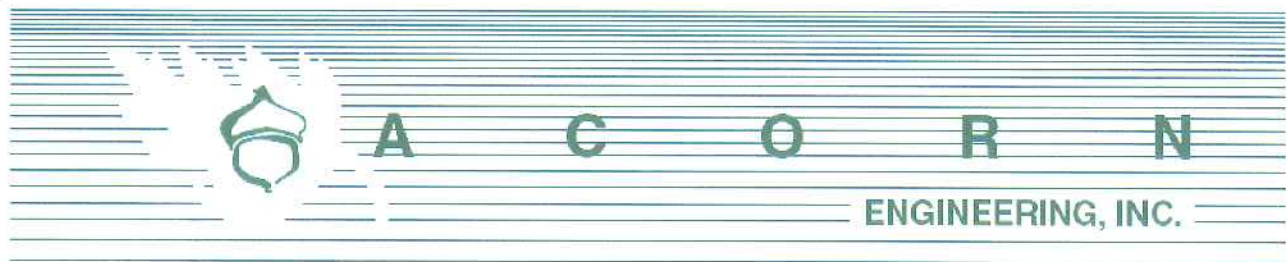
The proposed project is located to the west of Walnut Street in Portland. The proposed lot is a combination of multiple properties which presently include Portland Tax Map 012, Block H, Lots 1, 3, 5, 7, 9 (portion), 13, 17 and 22, Block G, Lot 6, and Block F, Lots 2 (portion), 4, 7, 18, 19 and 20 that consists of 54,652 square feet (1.25 acres) of land area. The existing vacated paper street will also be claimed and is 20,684 square feet (0.47 acres) of land area. There is an existing two story building residing on Block H, Lot 9 which shall remain. The single family on Block F, Lot 19 and 20 and multi-family on Block H, Lot 17 shall be removed, as noted below.

Based upon Table 501.1 of the Maine Subsurface Water Disposal Rules the project anticipates the following design flows.

Anticipated Design Flows				
Development	Unit Size	Number of Units	Gallons per Day per unit	Total Gallons per Day
Existing flow to be removed				
Existing Single Family	2 - Bedroom	1	180	-180
Existing Multi-Family	8 - Bedroom	4	180	-720
Proposed flow				
Munjoy Heights	3 - Bedroom	29	270	7,830
Net Change				6,930

The project anticipates an overall net flow for the development to be 6,930 gallons per day.

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The developer has proposed a new eight inch water main to be placed in Sheridan Street and extend through the development, terminating at a hydrant on the north end of the project. This main would tie into the existing water main in Walnut Street. Any available data you may have on flow data for the nearest hydrant, as well as any project recommendations would be appreciated. I have attached a preliminary utility plan to facilitate your review. Please let me know if you have any further questions or comments.

Sincerely,

A handwritten signature in cursive script, reading 'William H. Savage'.

William H. Savage, P.E.
Project Manager
Acorn Engineering, Inc.

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Anticipated Wastewater Flows from the Proposed Urban Vertical Infill Development:

29 Proposed Three-Bedroom Units @ 270 gpd per unit	= 7,830 GPD
Less 1 Existing Two-Bedroom Single Family House @ 90 gpd per bedroom	= (180) GPD
Less 1 Existing Eight-Bedroom Multi-Family House @ 90 gpd per bedroom	= <u>(720) GPD</u>
Total Proposed Increase in Wastewater Flows for this Project	= 6,930 GPD

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CMP Handbook of Standard Requirements

(<http://www.cmpco.com/MediaLibrary/3/6/Content%20Management/YourAccount/PDFs%20and%20Docs/handbook.pdf>)

If you have any questions, please contact CMP at 1-800-565-3181.

Regards,



Jamie Cough
Energy Services Advisor
Central Maine Power Company
162 Canco Road
Portland, ME 04103
207-842-2367 office
207-458-0382 cell
207-626-4082 fax

162 Canco Road Portland, ME 04103
Tel (800) 750-4000
207-842-2367 office
207-458-0382 cell
207-626-4082 fax



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Portland Water District

FROM SEBAGO LAKE TO CASCO BAY

August 23, 2013

Acorn Engineering, Inc.
PO Box 3372
Portland, ME 04104

Attn: William H. Savage, P.E.
Re: Munjoy Heights; Sheridan Street, Portland
Ability to Serve with PWD Water

Dear Mr. Savage:

The Portland Water District has received your request for an Ability to Serve determination for the noted site submitted on June 24, 2013. Based on the information provided, we can confirm that the District will be able to serve the proposed project as further described in this letter.

Please note that this letter does not constitute approval of this project from the District. Please review this letter for any special conditions specified by the District and to determine the appropriate next steps to take to move your project through the submittal and approval process.

Existing Site Service

According to District records, the project site does currently have existing water service. A 1-inch diameter copper water service line, located as shown on the attached water service card, provides water service to the existing dwelling at 128 North Street Rear. Please refer to the "Conditions of Service" section of this letter for requirements related to the use of this service.

Water System Characteristics

According to District records, there is a two-inch diameter galvanized water main on the west side of Sheridan Street and a public fire hydrant located 150-feet from the site at the corner of Sheridan Street and Walnut Street.

The current data from the nearest hydrant with flow test information is as follows:

Hydrant Location: Walnut Street at Sheridan Street
Hydrant Number: POD-HYD00428
Last Tested: 10/25/1994
Static Pressure: 65 psi
Residual Pressure: Not Measured
Flow: 1,162 GPM

Public Fire Protection

You have indicated that this project will include the installation of a new hydrant. The decision to require new hydrants and to determine their locations is solely that of the local fire



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department. It is your responsibility to contact the Portland Fire Department to ensure that this project is adequately served by existing and/or proposed hydrants.

Domestic Water Needs

The ability to serve request noted that the anticipated design flow for the 29-unit residential development is 6,930 gallons per day. The data noted above indicates there should be adequate pressure and volume of water to serve the domestic water needs of your proposed project.

Private Fire Protection Water Needs

You have not indicated whether this project will require water service to provide private fire protection to the site. Please note that the District does not guarantee any quantity of water or pressure through a fire protection service. Should private fire protection be required, please share these results with your sprinkler system designer so that they can design the fire protection system to best fit the noted conditions. If the data is out of date or insufficient for their needs, please contact the MEANS Division to request a hydrant flow test and we will work with you to get more complete data.

Conditions of Service

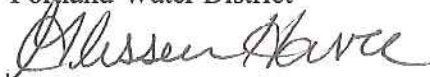
We have reviewed the Utility Plan dated August 16, 2013 for the Munjoy Heights project. Since each of the 29 units is located within a single parcel, the District would prefer not to own and maintain a water main through the private development. We suggest a water service configuration consisting of either separate fire and domestic services or a single combined fire and domestic service with a fire line meter. Either of these scenarios would only have one meter (likely in a pit) and one District account. The condo/homeowner association may choose to install private meters for each unit or split the bill proportionately.

The above configuration would still require an 8-inch main extension of approximately 150-feet from Walnut Street to the edge of the property line. Any existing services that are connected to the 2-inch galvanized water main should be tied over to the new 8-inch main. The 2-inch galvanized main must be terminated. The existing dwelling at 128 North Street Rear may continue to be served by the existing water service connection to North Street.

The District does not currently have an easement for the galvanized water main in the vacated paper street. Easements will be required from the abutting properties for the new main extension.

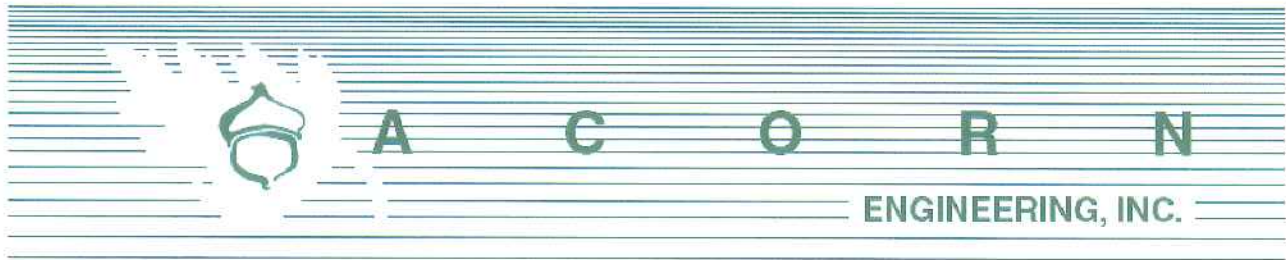
If the District can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District



Glissen Havu, E.I.
Design Engineer

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Unitil Service Corp.
Attn: Kelly Fowler
P.O. Box 3586
Portland, Maine 04104

June 24, 2013

Subject: Munjoy Heights - Redfern Properties, LLC – Portland
Re: Ability to Serve

Dear Kelly Fowler,

On behalf of Redfern Properties, LLC, we are pleased to submit the following request for Unitil Service Corp.'s ability to serve the proposed development. Munjoy Heights is a 22-unit vertical urban infill development set on the western slopes of Munjoy Hill. Each 4-story unit will have a dedicated garage with approximately 1,800 to 2,600 sf of livable space comprised of 3 bedroom units.

The proposed project is located to the west of Walnut Street in Portland. The proposed lot is a combination of multiple properties which presently include Portland Tax Map 012, Block H, Lots 1, 3, 5, 7, 9, 13, and 22, Block G, Lot 6, and Block F, Lots 4 and 7 that consists of 53,935 square feet (1.22 acres) of land area. There is an existing two story building residing on Block H, Lot 9 which shall remain.

The developer plans to serve the proposed buildings with natural gas. Any additional information such as the location of the natural gas line within Walnut Street or any project recommendations would be appreciated. I have attached a preliminary utility plan to facilitate your review. Please let me know if you have any further questions or comments.

Sincerely,

A handwritten signature in cursive script, reading 'William H. Savage'.

William H. Savage, P.E.
Project Manager
Acorn Engineering, Inc.



Unitil
ME GAS OPERATIONS

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August 13, 2013

Mr. Will Savage
Acorn Engineering
P.O.Box 3372
Portland, Maine 04104

Re: Munjoy Heights – Redfern Properties, LLC - Portland

Dear Mr. Savage:

Thank you for your interest in using natural gas for the above referenced project.

Unitil has natural gas in the vicinity of this project to provide service. The evaluation to complete the design, costs and determining if any customer contribution will be needed is in process and will be completed shortly. Unitil welcomes the opportunity for further discussions regarding this project.

If you have any further questions or require additional information, please contact me directly at (207) 541-2536 or at Mathers@unitil.com.

Sincerely,

Bridget L. Mathers
Business Development Representative
Unitil Corporation
(o) 207-541-2505 (f) 207-541-2565

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