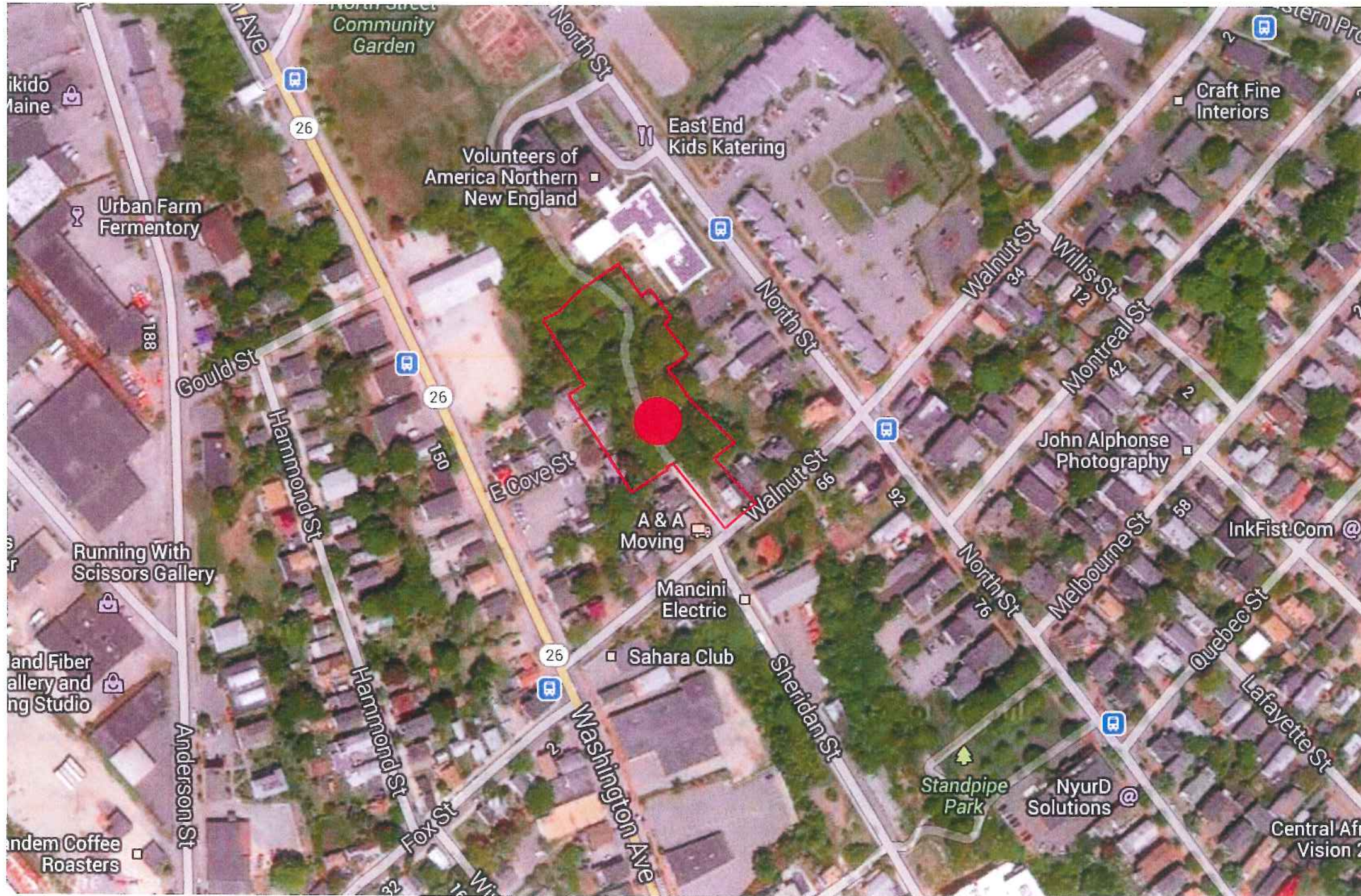


# MUNJOY HEIGHTS

MAY 15, 2013

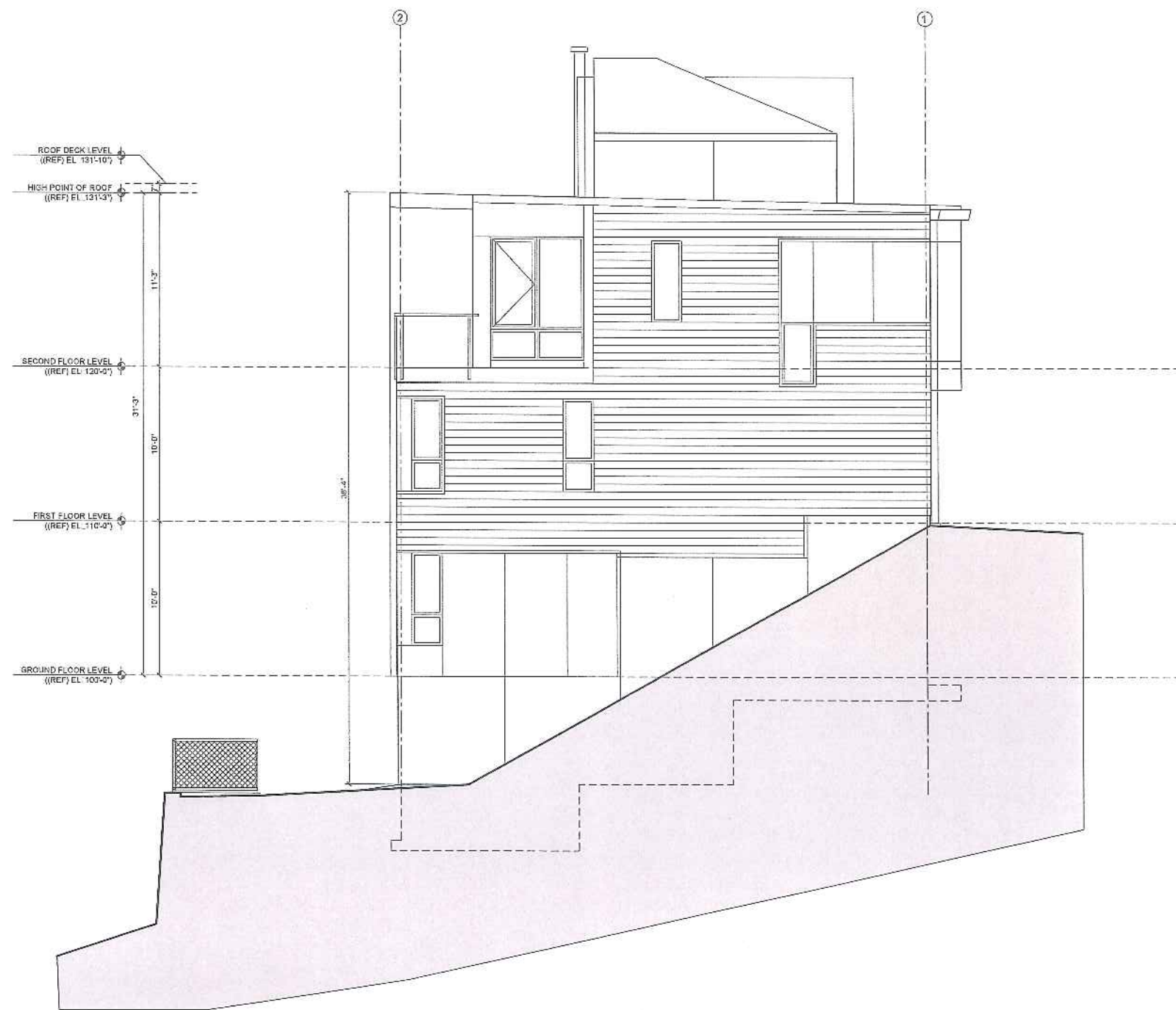






WALNUT STREETSCAPE

PROGRESS PRINT ONLY  
Not for Construction



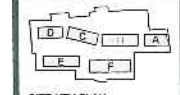
1 EAST ELEVATION  
1/2" = 1'-0"

© 2013 RYAN SENATORE ARCHITECTURE

MUNJOY HEIGHTS  
79 WALNUT STREET  
PORTLAND, MAINE

**RSA**  
RYAN SENATORE  
ARCHITECTURE  
688 CONGRESS ST SUITE 504  
PORTLAND, MAINE 04101  
507-634-8114

CONSULTANTS:  
STRUCTURAL  
SPECIALTY GROUP  
770 S. GARDEN  
PORTLAND, ME 04101  
734-764-6114



SITE KEY PLAN

REVISIONS:  
  
DATE:  
PROJECT N°: 1303  
DRAWN BY:  
CHECKED BY: RJS  
SCALE: AS NOTED

SHEET TITLE:  
EAST ELEVATION

A2-0E





© 2013 RYAN SENATORE ARCHITECTURE

MUNJOY HEIGHTS  
79 WALNUT STREET  
PORTLAND, MAINE

**RSA**  
RYAN SENATORE  
ARCHITECTURE  
565 CONGRESS ST SUITE 504  
PORTLAND, MAINE 04101  
207-952-0414

CONSULTANTS:  
STRUCTURAL: [redacted]  
MECHANICAL/ELECTRICAL/PLUMBING: [redacted]  
FOUNDATION: [redacted]



SITE KEY PLAN

REVISIONS:

DATE:  
PROJECT N°: 1303  
DRAWN BY: [redacted]  
CHECKED BY: RJS  
SCALE: AS NOTED

SHEET TITLE:  
SOUTH ELEVATION - PART A

A2-2

1 SOUTH ELEVATION - PART A  
10'-1/4"

MUNJOY HEIGHTS  
79 WALNUT STREET  
PORTLAND, MAINE

**RSA**  
RYAN SENATORE  
ARCHITECTURE  
552 CONGRESS ST. SUITE 204  
PORTLAND, MAINE 04101  
707-550-5414  
www.rsaarch.com

CONSULTANTS:  
STRUCTURAL  
2200 BROADWAY  
PORTLAND, ME 04101  
207-774-4314



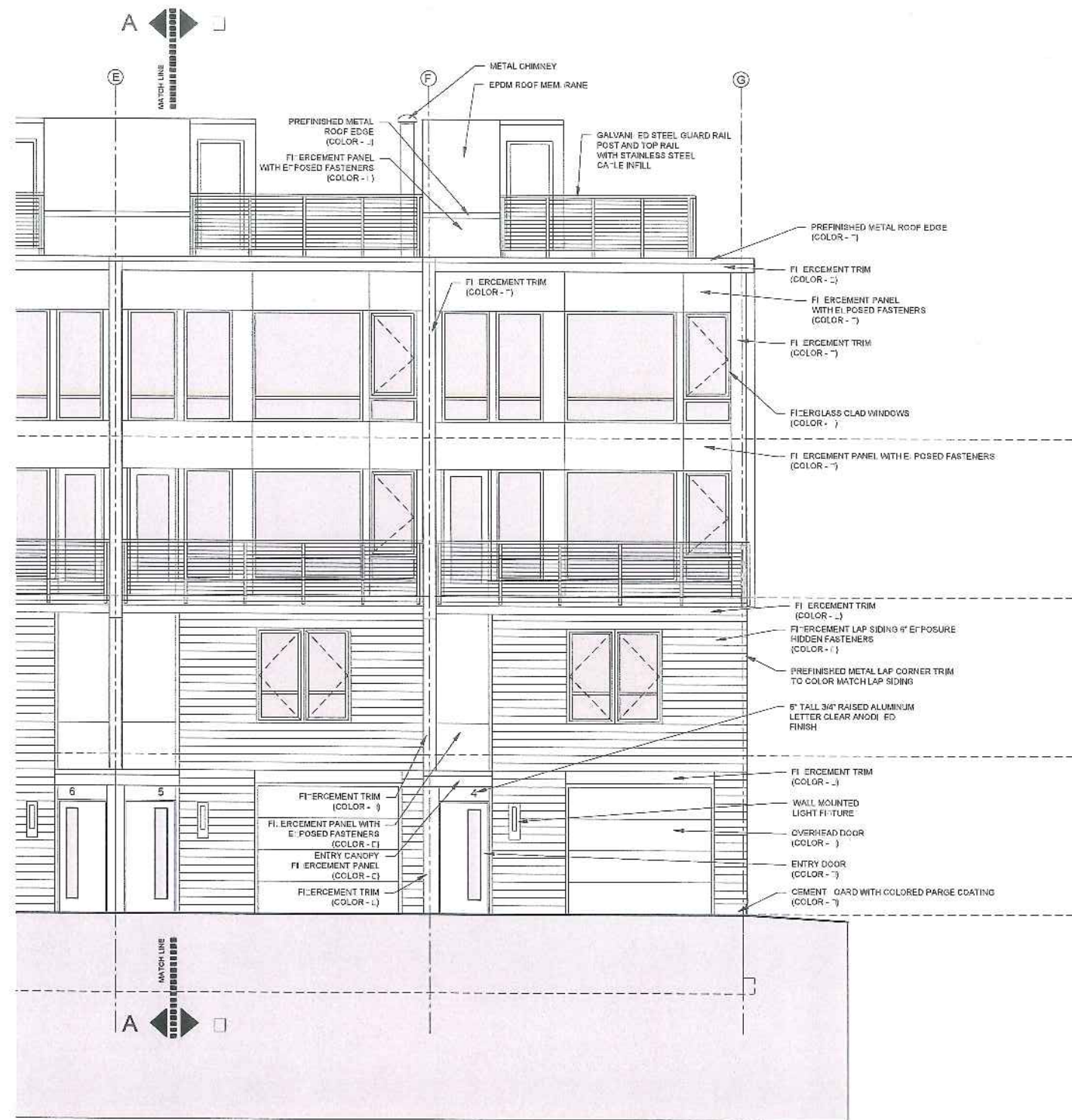
SITE KEY PLAN

REVISIONS

DATE:  
PROJECT N°: 1303  
DRAWN BY:  
CHECKED BY: RJS  
SCALE: AS NOTED

SHEET TITLE:  
SOUTH ELEVATION - PART 1

A2-2



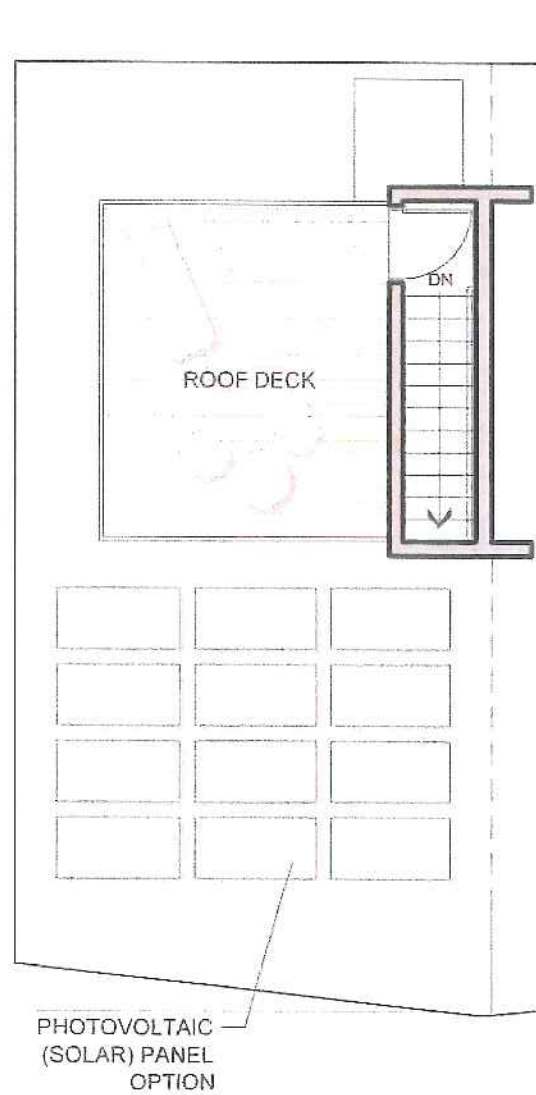
1 SOUTH ELEVATION - PART 1

PROGRESS PRINT ONLY  
Not for Construction  
SEPTEMBER 5, 2013

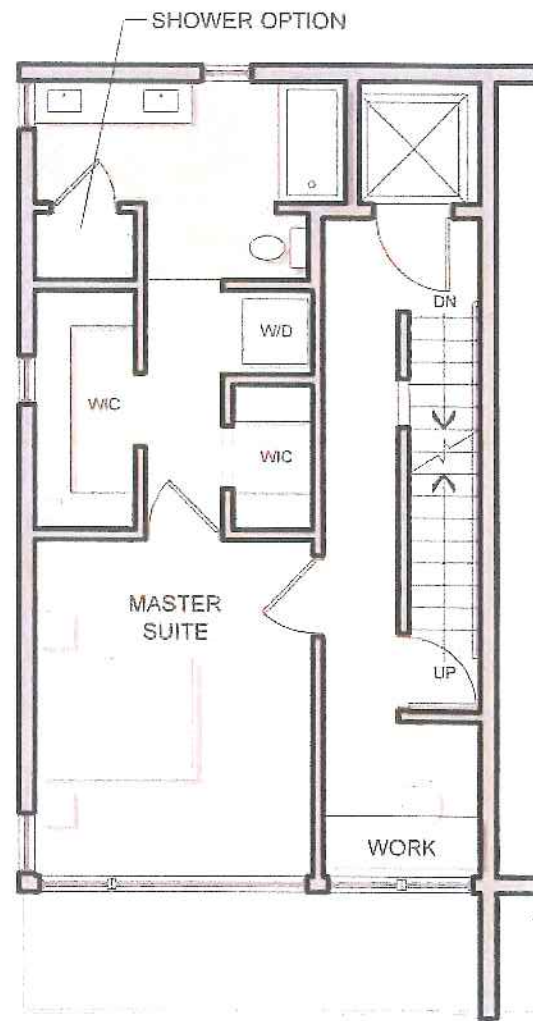


# UNIT A

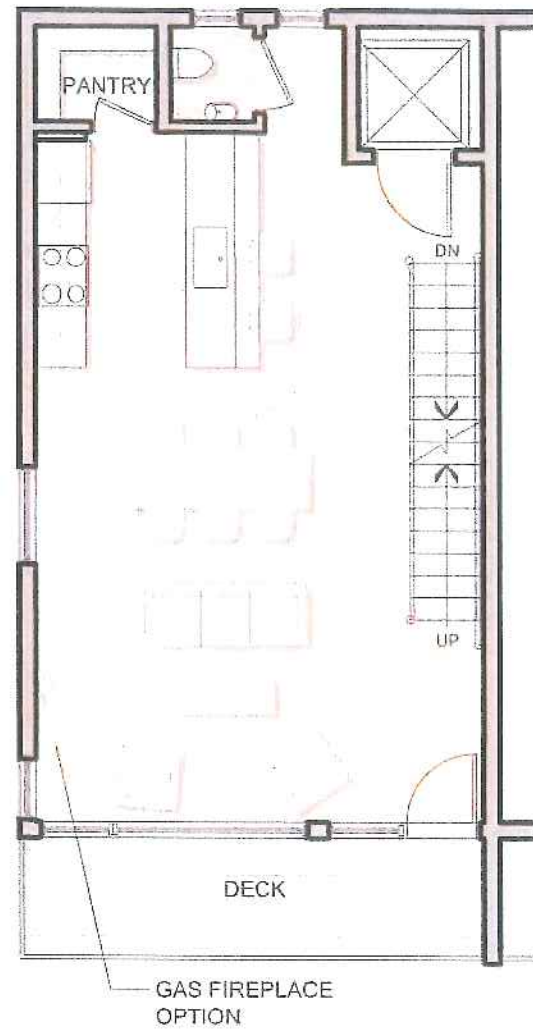
CORNER



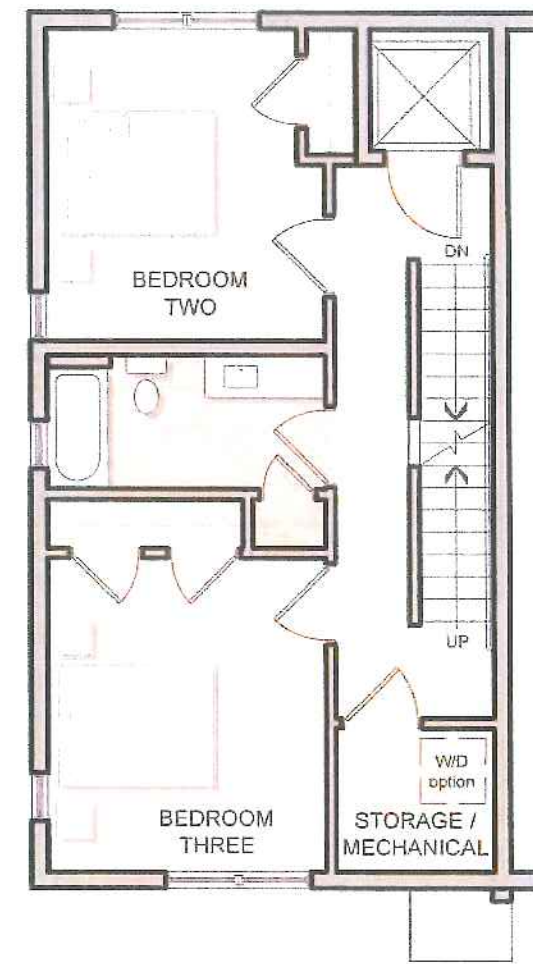
ROOF PLAN



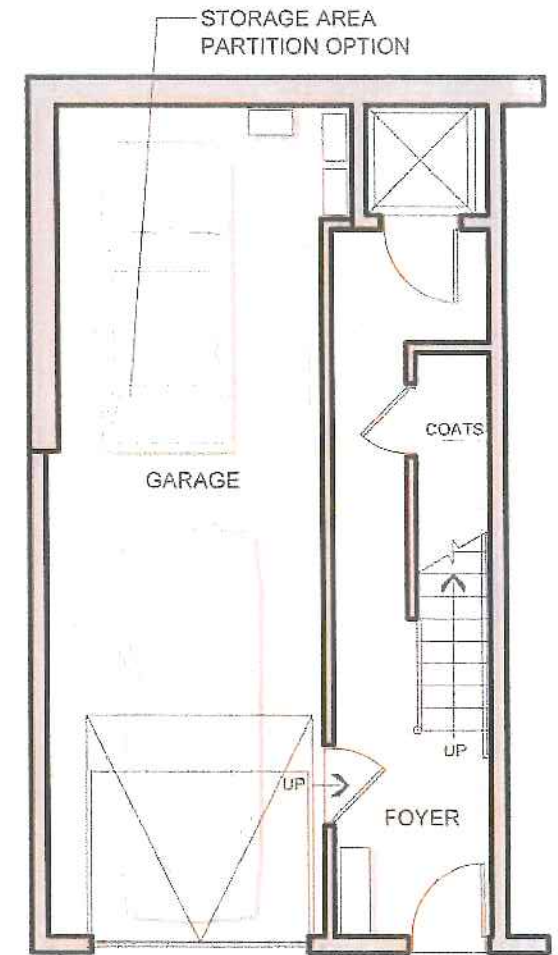
FOURTH FLOOR PLAN



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

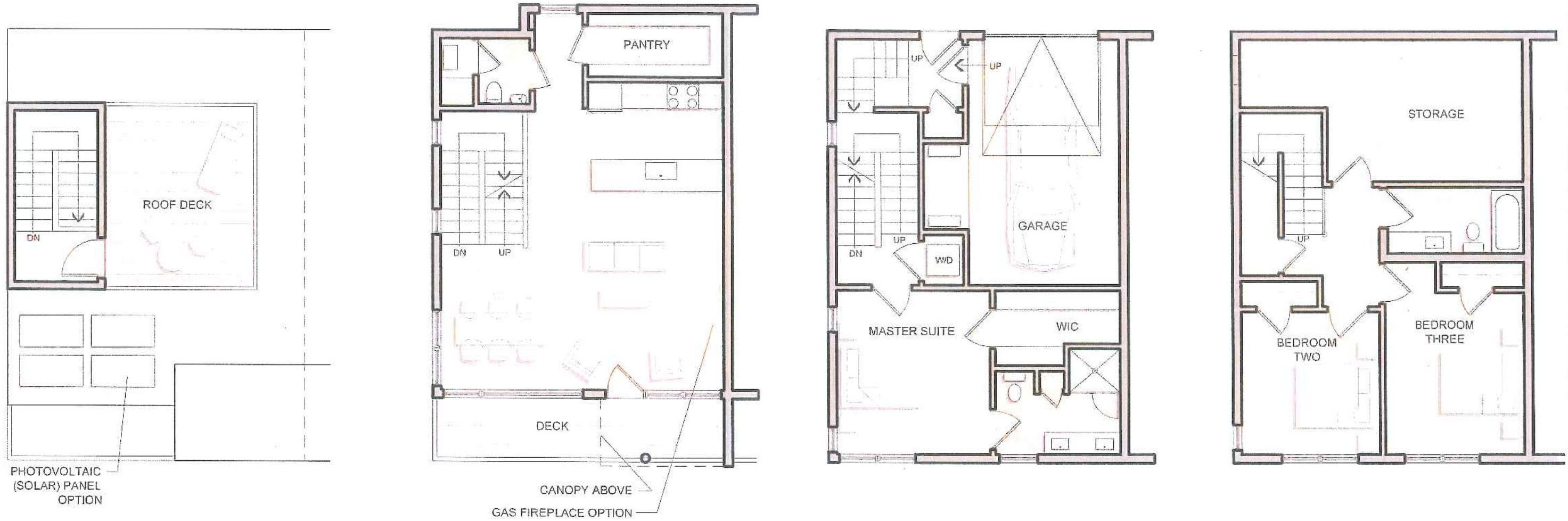
SQUARE FOOTAGE UNIT A - CORNER	
LIVING	2,315 SF
GARAGE	451 SF
DECKS	263 SF

FLOOR PLANS  
SCALE 1/8" = 1'-0"



# UNIT B

CORNER

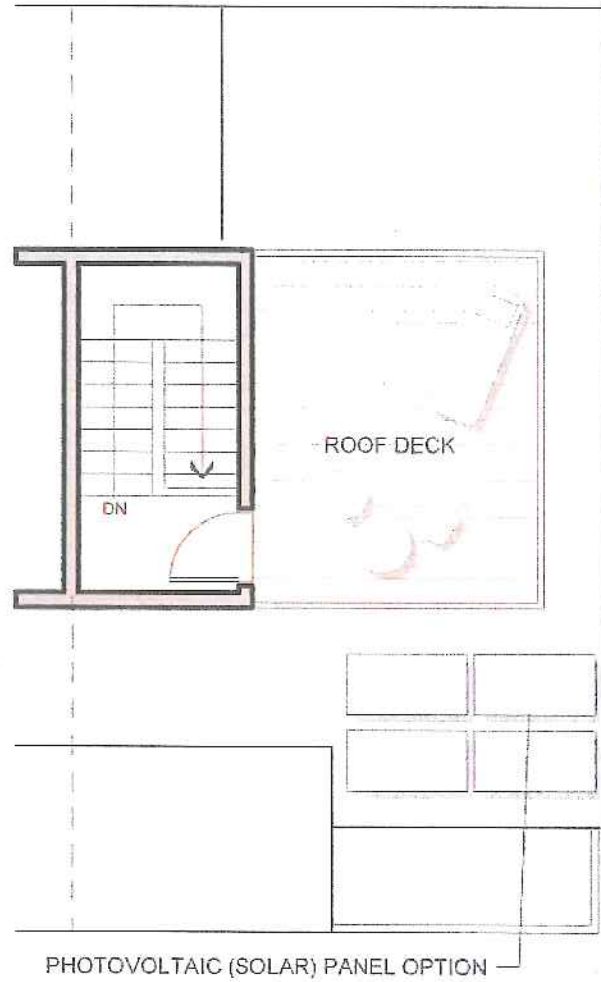


SQUARE FOOTAGE	
UNIT B - CORNER	
LIVING	2,134 SF
GARAGE	277 SF
DECKS	296 SF

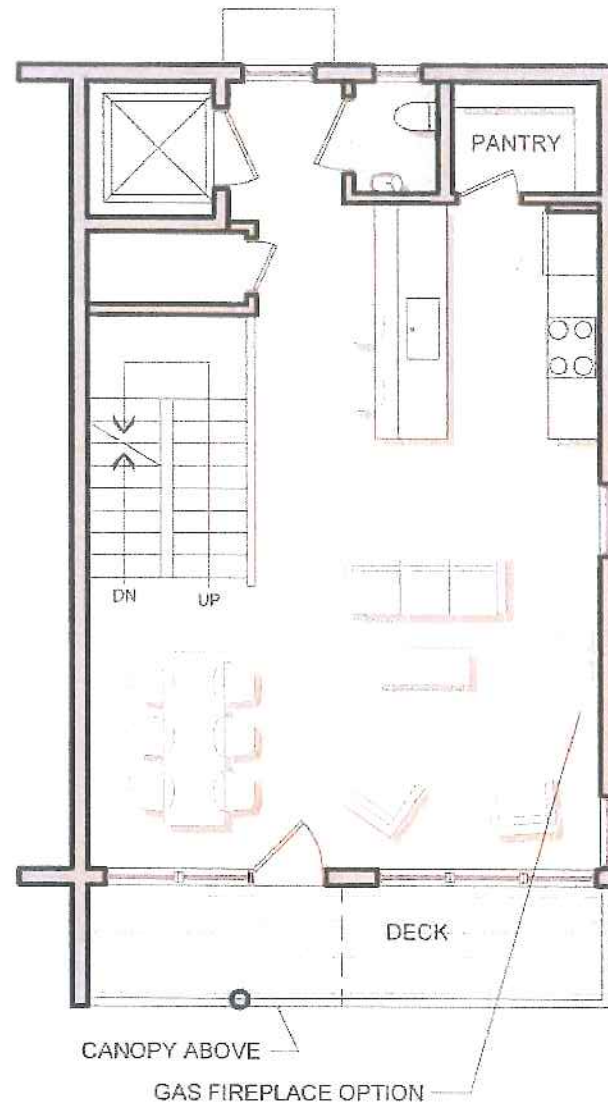
FLOOR PLANS  
SCALE 1/8" = 1'-0"



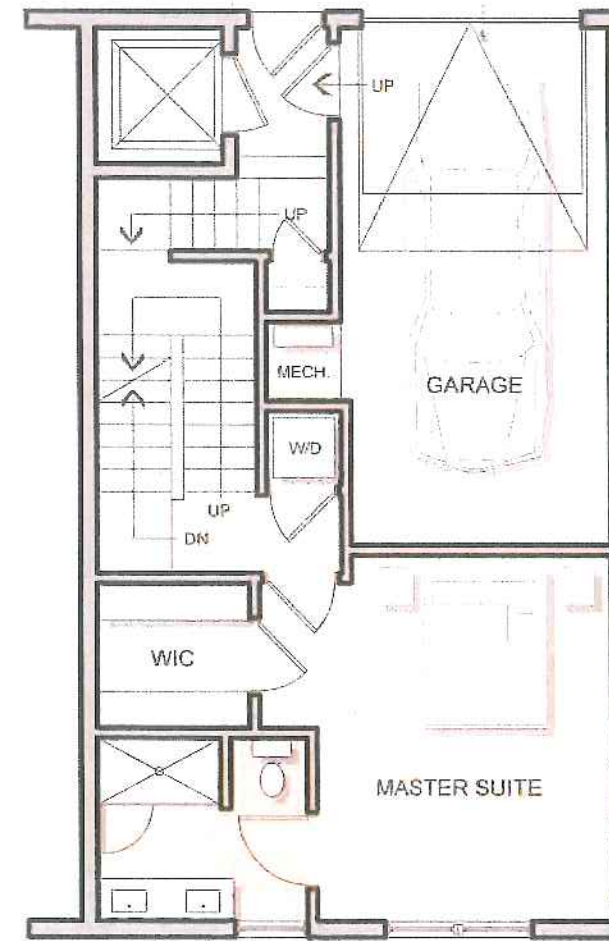
# UNIT C



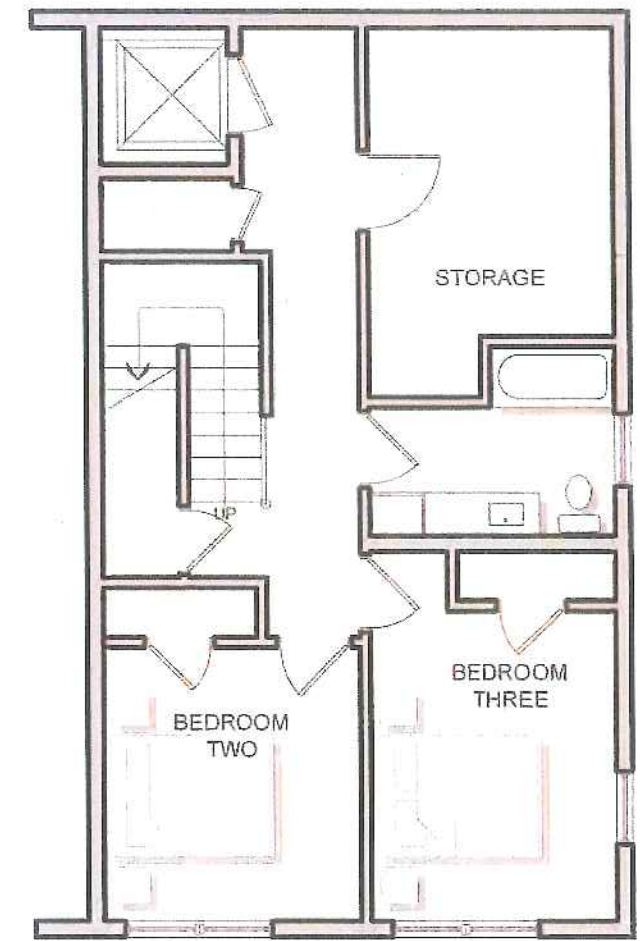
ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

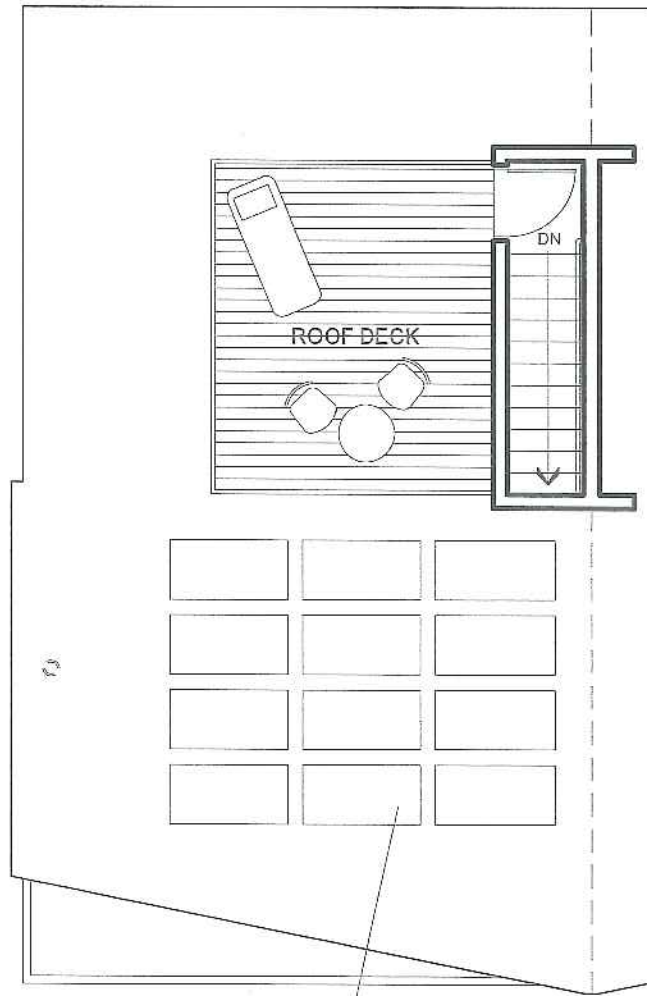


GROUND FLOOR PLAN

SQUARE FOOTAGE UNIT C	
LIVING	2,255 SF
GARAGE	272 SF
DECKS	286 SF

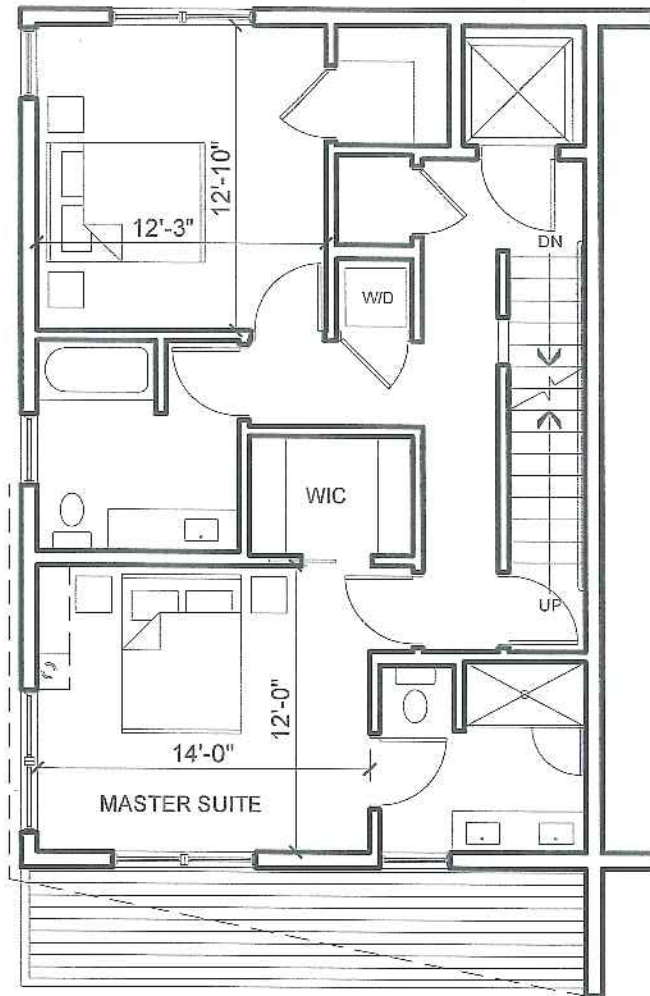
FLOOR PLANS  
SCALE 1/8" = 1'-0"



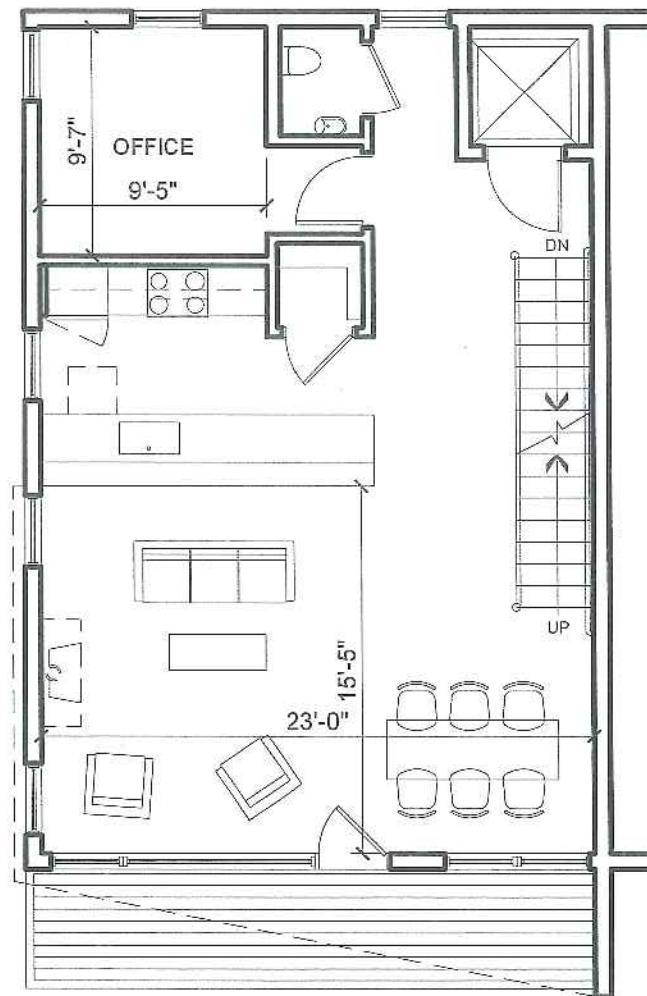


PHOTOVOLTAIC (SOLAR) PANEL OPTION

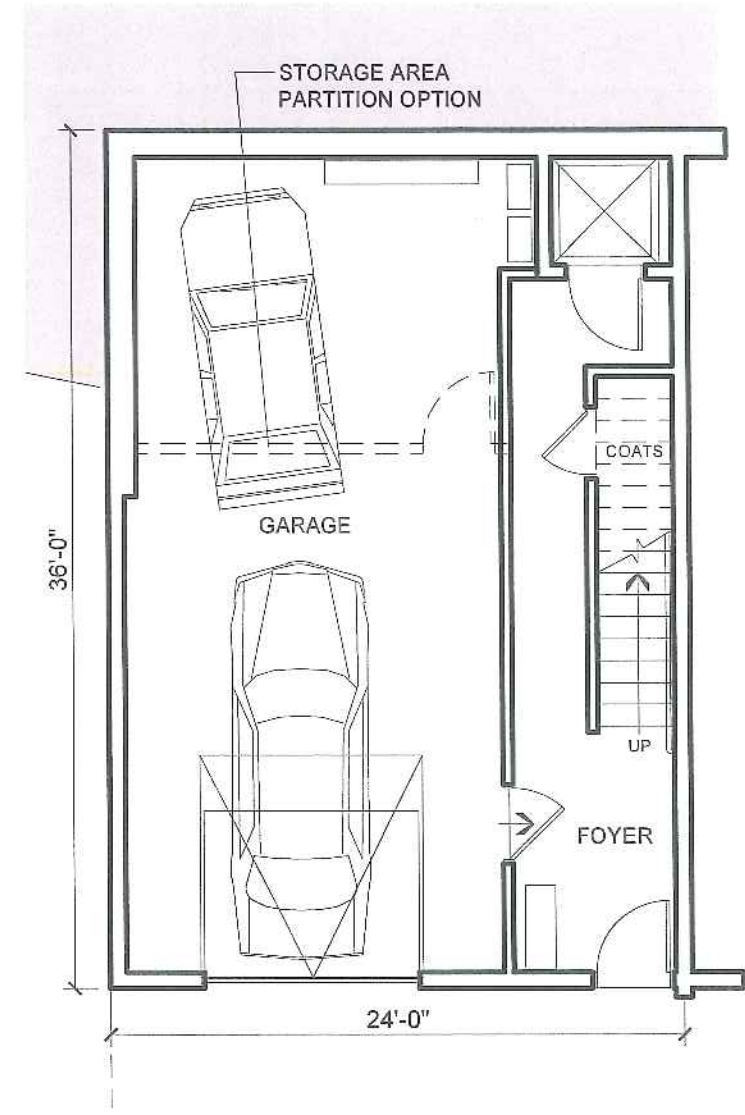
ROOF PLAN



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

SQUARE FOOTAGE UNIT D - WEST	
LIVING	1,981 SF
GARAGE	611 SF
DECKS	286 SF

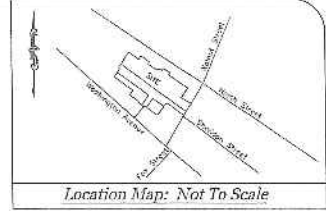


**Plan References:**

1. Subdivision of Lot #1 On Monroey's Neck For Little, Wells, And Moody, dated February 17, 1802 and recorded March 22, 1802 in CCRD Book 36, Page 247.
2. Re-Survey Of Plan Reference 1, dated June 18th by E.C. Jordan, C.E., City Plan 579, 10 and 28/28.
3. Subdivision Of 2366 Kelleys Lot, dated April 10, 1892 and recorded February 16, 1897 in CCRD Book 54, Page 257, and traced June 1923 for City Plan 496/79.
4. City Of Portland Rehabilitation Plans, Sheets 10 & 12, dated 1884 by William A. Goodwin, City Engineer, recorded October 26, 1924 in CCRD Plan Book 2, Pages 16 & 12.
5. Plan Of Lot At Vertices Of Sheridan Street, dated 1928 on file at Owen Haskell, Inc.
6. "Proposed In Portland Me. Surveyed For The Jewish Home For Aged", dated August 1928 by F.C. Jordan & Co. on file at Owen Haskell, Inc.
7. "General Plan And Profile, Department Of Parks And Public Works, City Of Portland, Maine, Reconstruction Of Walnut St., North St. To Washington Ave.", dated May 25, 1984 by Herbert P. Gray, Consulting Engineer, Portland, Maine, City Plan 522/7.
8. "Standard Boundary Survey, Plan Of Property In County Of Cumberland, City Of Portland, Maine For Jewish Home For Aged", dated December 23, 1928 (Working Plan) by Martin & Rowe, Associates, Lincoln, Maine like at Maine Boundary Consultants.
9. City Of Portland, Maine Parks And Public Works Department Engineering Division, North Street Plan And Profile Sta. 11+00 To 14+00", Sheet 6 of 14, dated August 1928 by Woodard & Curran Inc. Consulting Engineers, Portland, Maine, City Plan 522/7.
10. "City Of Portland, Maine Parks And Public Works Department Engineering Division, Sheridan Street Plan And Profile Sta. 9+00 To 13+50", Sheet 5 of 25, dated June 1987 by Woodard & Curran Inc. Consulting Engineers, Portland, Maine, City Plan 522/7.
11. "Plan Of Property In Portland, Maine Made For Nicole D'Entremont Standard Boundary Survey", dated July 15, 1991 by Robert J. Coy, RLS 937, South Portland, Maine, recorded July 16, 1991 in CCRD Book 121, Page 42.
12. "Division Of Land For Nikki Lee Green & Katherine P. Richman, 79 Walnut Street, Portland, Maine", dated April 2006 by Andrew E. Bradford Land Surveying, Inc., Kennebunk, Maine.
13. "Plan Of Property Of W.H. Baxter, Esq.", dated July 1866 by Anderson Rowell & Co., recorded July 1, 1866 in CCRD Plan Book 2, Page 12.
14. "Records Showed Also Of The City Of Portland, Plate 2, dated 1924.
15. Insurance Maps Of Portland, Maine, Volume One, Published By The Standard Map Company, Plate 1, dated 1906, last corrected April 1922.
16. City Of Portland, Maine, Plan 48A, dated 1892.
17. Exhibit Sketch For Proposed Condominiums, Raymond H. A. Alina Waterhouse To Redfern Properties, LLC, Sheridan Street, Portland, Maine", dated July 22, 2012 by Nelson Land Surveys, Portland, Maine.

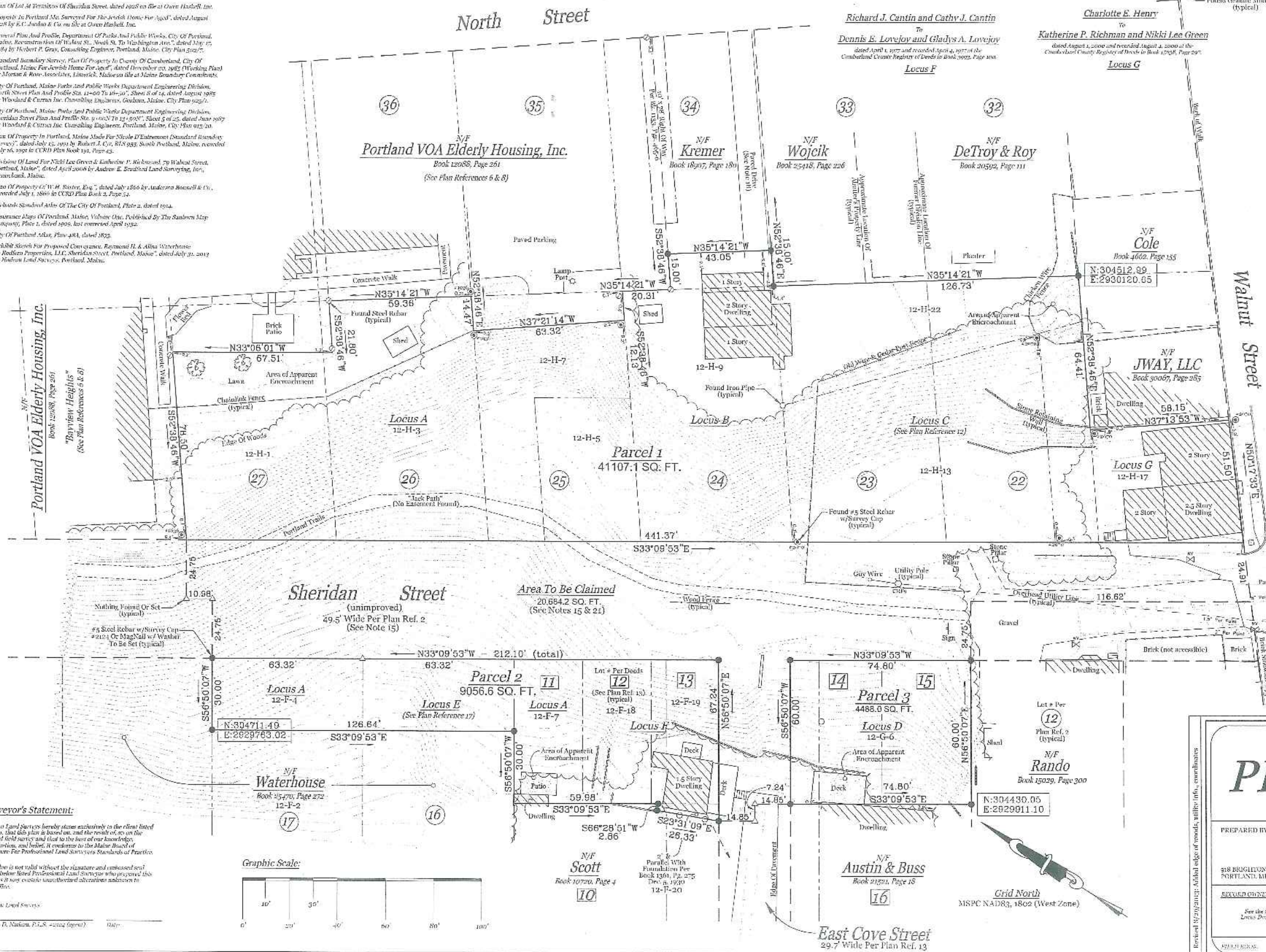
**Locus Deed References:**

- Leonard J. Regan and Francis J. Regan**  
 to  
**North Street Realty Trust**  
 dated September 8, 1978 and recorded 8/10/78 in the Cumberland County Registry of Deeds in Book 7667, Page 7.
- Chester L. Miller**  
 to  
**Earl Maxwell and Cecilia Maxwell**  
 dated September 28, 1921 and recorded 5/13/22 in the Cumberland County Registry of Deeds in Book 2046, Page 148.
- Katherine P. Richman and Nikki Lee Green**  
 to  
**Four Sills, LLC**  
 dated July 10, 2008 and recorded July 20, 2008 at the Cumberland County Registry of Deeds in Book 24966, Page 65.
- Estate of Maybelle E. Haley**  
 to  
**Maybelle H. Norton Personal Representative of Nelson Nadeau and Francis O'Connor**  
 dated June 15, 1978 and recorded July 27, 1978 at the Cumberland County Registry of Deeds in Book 7274, Page 28.
- Raymond H. Waterhouse and Alina Waterhouse**  
 to  
**Raymond H. Waterhouse and Alina Waterhouse**  
 dated September 14, 2007 and recorded September 17, 2007 at the Cumberland County Registry of Deeds in Book 25271, Page 77.



**General Notes:**

1. This plan is not intended to depict limits or extent of the title ownership. An opinion of title should be rendered by a title attorney.
2. The office reserves the right to be held harmless by all 3rd party claims.
3. This survey does not purport to reflect any of the following:  
 a. easements other than those that are visible or specifically stated in the referenced documents.  
 b. building setback compliance or restrictive covenants.  
 c. zoning or other local use regulations.  
 d. the location of any underground utilities or structures.
4. This office reserves the right to be held harmless for unknown or undetectable private records which could affect the results of this survey.
5. Reference is made to "Letter Of Agreement" dated March 11, 2013 between Nelson Land Surveys and the below listed clients, which shall be considered an integral part of this survey.
6. N/F is an abbreviation for Nove or Future.
7. All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds (CCRD).
8. This office does not accept any liability for errors in the Plan Reference listed herein.
9. Locus Parcel is shown on the City of Portland Assessor's Map 12, Block 11, as Lots 2, 3, 5, 7, 9, 11, 17, and 22, Block G as Lot 6, and Block F as Lots 4, 7, 8, 10, 20, and part of 2.
10. Total area of Locus Parcel is 24,667.7 square feet (0.56 acres).
11. The proposed right-of-way lines depicted on this plan are based on the Plan Reference listed herein and measurement found in the field, and City of Portland Engineering Street Notes.
12. The Locus Parcel does not scale on a Special Flood Hazard Area per FEMA's Flood Insurance Rate Map Community Panel Number 220001 0008B and 0008A index dated December 8, 1998. The parcel scales in Zone C.
13. All building owners subject to building lines are from common law and not building insulation, unless noted.
14. CCRD 12-888-100349 at least three business days before performing ANY excavation.
15. Poplar Street was renamed Sheridan Street on August 1, 1880. Poplar Street is listed as "Continued" on the City of Portland City Council Order of the 1997 "Order Exempting Streets From Deeded Variance", as passed on September 3, 1997 and recorded in CCRD Book 12276, Page 29, but only for a section southwesterly of Walnut Street. Since the portion depicted herein is north of East Cove Street, it was not listed, thus any deeded paper streets per the city, see May 12, 2009 Poplar Street Summary by William R. Clark, Jr., PLS 2000, City of Portland Engineering Division.
16. Vertical Datum is NAVD83. Benchmark is City Monument T12-18-017, elevation = 145.08'.
17. The underground utilities shown have been located from field survey information and existing drawings. This office makes no guarantee that the underground utilities shown are complete or that the area, either in-situ or abandoned. The underground utilities shown are approximate locations and are limited as accurately as possible from information available. This office has not physically located the underground utilities.
18. See CCRD Book 1423, Page 905, dated July 25, 1923, from Elmore W. Ramsdell to Catherine Gordon, for right-of-way to North Street.
19. See CCRD Book 429, Page 296, dated April 8, 1880, from Joseph Hardy to Morgan F. Bateschler, for well and water rights and rights to a 10-foot wide passageway from his "park" to North Street.
20. See CCRD Book 898, Page 202, dated July 7, 1911, to Urban J. & Herman Bevilacqua, for sewer and drain rights in Upper Cove Street (a.k.a. East Cove Street).
21. Boundary lines depicted on this plan within the existing right-of-way for Area To Be Claimed are perpendicular or parallel to each right-of-way side-line.

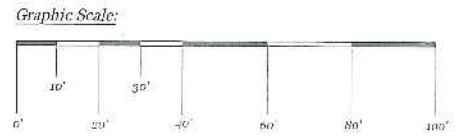


**Surveyor's Statement:**

Nelson Land Surveys hereby states exclusively in the client listed herein that this plan is based on, and the result of, an on the ground field survey and that to the best of our knowledge, information, and belief, it conforms to the Maine Board of Licensure For Professional Land Surveyors Standards of Practice.

This plan is not valid without the signature and embossed seal of the below listed Professional Land Surveyor who prepared this plan as it may contain unauthoritative alterations unknown to this office.

Nelson Land Surveys  
 James P. Nelson, P.L.S. - 2022 (open)      04/20/2013



Plan Depicting The Results Of A Boundary Survey & Topography Survey Made For

# PRELIMINARY

Redfern Properties, LLC  
 115 East Cove Street  
 Portland, Maine

PREPARED BY:  
 Nadeau Land Surveys  
 318 BRIGHAM AVENUE  
 PORTLAND, ME 04103

Professional Land Surveyors  
 Certified Photoduplication Managers  
 PH: (507) 875-7870  
 FAX: (207) 875-7871

SECOND OWNER:	DRAWN BY:	TPS	PLAN DATE:	8/4/2013
See the owner listed Locus Deed Reference	CHECKED BY:	JUN/MJC	SURVEY DATE:	April-Aug. 2013
	INSTR:	Tape, GTS 1000W & Topcon Hyper II GPS	SCALE:	1" = 20'
FULL NAME:	PH: 494-3994 Topcon Ranger	JUN/MJC	01215107	SHEET No:
				2 of 1



# MUNJOY HEIGHTS

79 WALNUT STREET  
PORTLAND, MAINE

## LEGEND:

### EXISTING

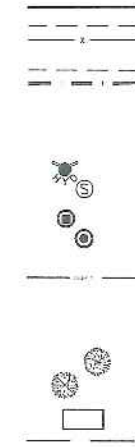
REFER TO THE EXISTING CONDITIONS PLAN FOR ADDITIONAL INFORMATION

0 20' 40'

1" = 20'

- PAVEMENT
- HEAVY DUTY CONCRETE
- STORM DRAIN
- UNDERDRAIN
- SEDIMENTATION BARRIER
- EDGE OF PAVEMENT
- CURB
- SIGN
- LAMP OR LIGHT POLE
- UTILITY POLE
- GUY WIRE
- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- CATCH BASIN
- DRAIN MANHOLE
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- MINOR CONTOURS (1FT)
- MAJOR CONTOURS (5FT)
- TREE LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- EXISTING BUILDING
- PROPERTY LINE

### PROPOSED



## ABBREVIATIONS:

PARTIAL LIST OF ABBREVIATIONS AND THEIR CORRESPONDING MEANING. PLEASE CONTACT THE ENGINEER FOR ANY CLARIFICATION:

- EX = EXISTING
- PROP = PROPOSED
- PVC = POLYVINYL CHLORIDE
- SDR = STANDARD DIMENSION RATIO
- PE = PROFESSIONAL ENGINEER
- PLS = PROFESSIONAL LAND SURVEYOR
- TYP = TYPICAL
- ELEV. = ELEVATION
- INV. = INVERT
- H.P. = HORSEPOWER
- BOT. = BOTTOM
- MAX. = MAXIMUM
- CB = CATCH BASIN
- MH = MANHOLE
- S = SLOPE
- L = LENGTH
- ID = INNER DIMENSION
- DIA. = DIAMETER
- IN. = INCH
- FT. = FEET
- PSI = POUNDS PER SQUARE INCH
- OHL/T/C = OVERHEAD ELECTRIC/TELEPHONE/CABLE
- RD = ROOF DRAIN
- UD = UNDERDRAIN
- PERF. SD = PERFORATED STORMDRAIN

## UTILITIES

### SEWER:

PUBLIC SERVICES ENGINEERING DEPARTMENT  
55 PORTLAND STREET  
PORTLAND, MAINE 04101  
CONTACT: DAVID MARGOLIS-PINEO, P.E.  
(207) 674-8850

### WATER:

PORTLAND WATER DISTRICT  
225 DOUGLAS STREET  
PO BOX 3553  
PORTLAND, MAINE 04104  
ATTN: RICO SFIGNARDI, PE  
(207) 761-8310

### ELECTRIC:

CENTRAL MAINE POWER COMPANY (CMP)  
162 CANCO ROAD  
PORTLAND, MAINE 04103  
CONTACT: JAMIE COUGH  
(207) 842-2367

### TELEPHONE:

FAIRPOINT COMMUNICATIONS  
45 FOREST AVE  
PORTLAND MAINE 04101  
SUE SERRETTE  
(207) 797-1842

### CABLE:

TIME WARNER CABLE  
118 JOHNSON ROAD  
PORTLAND, MAINE 04102  
(877)548-0662

### NATURAL GAS:

UNITIL SERVICE CORP  
PO BOX 3586  
PORTLAND, MAINE 04104  
CONTACT: BRIDGET MATHERS  
(207) 541-2536

**CALL BEFORE YOU DIG**  
**1-888-DIG-SAFE**  
**1-888-344-7233**

PRELIMINARY  
DRAWINGS

## INDEX:

- C-01 COVER SHEET, GENERAL NOTES & LEGEND
- C-02 EXISTING CONDITIONS PLAN - NADEAU LAND SURVEYS
- C-10 SITE PLAN
- C-20 UTILITY PLAN
- C-30 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C-31 GRADING AND ROADWAY PROFILE PLAN
- C-32 WALL 1 & 2 PROFILE PLAN
- C-33 WALL 3 PROFILE PLAN

### GENERAL NOTES:

- THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANIES AND DIG SAFE AT LEAST 4 DAYS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION FOR UTILITIES. OTHERWISE IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF UNDERGROUND UTILITIES AND LOCATE ANY POTENTIAL CONFLICTS WITH THE APPROVED PLANS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN. IF DEEMED NECESSARY BY THE OWNER OR OWNER'S REPRESENTATIVE, ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PREPARE THEIR OWN MATERIAL SCHEDULE BASED ON THE PLANS AND FIELD VERIFICATION BY THE CONTRACTOR. ALL MATERIAL SCHEDULES SHOWN WITHIN THE PLAN SET ARE FOR GENERAL INFORMATION ONLY.
- ALL CONSTRUCTION METHODS, TESTING AND MATERIALS SHALL CONFORM TO THE MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, THE CITY OF PORTLAND AND SERVICING UTILITY REQUIREMENTS, IF ANY. IN CASES WHERE THESE CONFLICT THE MOST STRINGENT SPECIFICATION SHALL APPLY AT NO ADDITIONAL COST TO THE OWNER.
- THE SITE CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS WHICH SHALL RECORD THE ACTUAL LOCATION, DIMENSIONS, ELEVATIONS, MATERIALS OF THEIR WORK, INDICATING THEREON ALL VARIATIONS FROM THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ONE COMPLETE SET OF REPRODUCIBLE RECORD DRAWINGS STAMPED "AS-BUILT".
- THE CONTRACTOR WILL REMAIN SOLELY AND COMPLETELY RESPONSIBLE FOR ENFORCEMENT OF AND COMPLIANCE WITH 1) ALL CONTRACT PLANS AND SPECIFICATIONS AND 2) ALL SITE WORKING CONDITIONS AND SAFETY REQUIREMENTS, DAY AND NIGHT, FOR BOTH PERSONS AND PROPERTY, IN EACH CASE BOTH BY THE CONTRACTOR AND ITS SUBCONTRACTORS. THESE INCLUDE ALL OSHA, NIOSH, U.S. EPA AND ANY OTHER APPLICABLE GOVERNMENTAL REGULATIONS.
- EXISTING CONDITIONS, BOUNDARY SURVEY AND PROPOSED BOUNDARY FROM THE PLAN TITLED "REDFERN PROPERTIES LLC, SHERIDAN STREET AND EAST COVE STREET, PORTLAND, MAINE" BY NADEAU LAND SURVEYS DATED AUGUST 9, 2013.

### LAYOUT NOTES:

- MONUMENTS DELINEATING PROPERTY LINES OR RIGHT OF WAYS SHALL NOT BE DISTURBED DURING CONSTRUCTION OPERATIONS. IN THE CASE A MONUMENT IS DISTURBED, AT THE CONTRACTOR'S EXPENSE, THE MONUMENT SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A REGISTERED LAND SURVEYOR.
- ALL DIMENSIONS ON THE FOLLOWING SHEETS TAKE PRECEDENCE OVER SCALED DIMENSIONS. EACH DRAWING WITH A BAR SCALE MEANS THAT THE DRAWING/DETAIL HAS BEEN SCALED AS ACCURATELY AS POSSIBLE, AND THE BAR SCALE IS FOR GENERAL REFERENCE ONLY. IF NO BAR SCALE IS PRESENT, THEN THERE IS NO SCALE TO THAT DRAWING/DETAIL. AT NO TIME SHOULD DRAWINGS BE SCALED FROM.
- SIGNAGE, STRIPING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A LICENSED PROFESSIONAL LAND SURVEYOR TO PROVIDE A MINIMUM OF TWO TEMPORARY BENCHMARKS WITHIN THE SITE.

### PERMITTING NOTES

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF SITE PLAN - LEVEL II AND SUBDIVISION PERMIT FROM THE CITY OF PORTLAND.
- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF A MAINE CONSTRUCTION GENERAL PERMIT FROM THE MAINE DEP.
- THE CONTRACTOR SHALL REVIEW THE ABOVE REFERENCED PERMITS PRIOR TO SUBMITTING A BID FOR THIS PROJECT, AND INCLUDE COSTS AS NECESSARY TO COMPLY WITH THE CONDITIONS OF THESE PERMITS.

### GRADING AND DRAINAGE NOTES:

- TOPSOIL STRIPPED FROM THE SITE THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED WITHIN THE PROPOSED LIMIT OF WORK AREA. THE CONTRACTOR SHALL NOT ASSUME THAT ANY LOAM WILL BE ACCEPTABLE FOR REUSE WITH THEIR ESTIMATE.

- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY; NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY EASEMENT OR TEMPORARY CONSTRUCTION RIGHTS AS NECESSARY BY ADJACENT LAND OWNERS. THE CONTRACTOR SHALL NOT DISTURB ANY SOIL BEYOND THE PROPERTY LINE WITHOUT NOTIFYING AND OBTAINING SUCH EASEMENT OR TEMPORARY CONSTRUCTION RIGHT FROM THE OWNER.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. THE MINIMUM SLOPE SHALL MEET OR EXCEED 0.5% IN ALL CASES. ALL SLOPES SHALL BE AWAY FROM BUILDINGS AND TOP OF PAVEMENT SHALL BE AT OR BELOW EXISTING FINISH FLOOR ELEVATIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FINAL GEOTECHNICAL REPORT PREPARED BY SUMMIT GEOTECHNICAL SERVICES FOR REDFERN PROPERTIES, LLC.

### EROSION CONTROL NOTES:

- ALL ROUTINE MAINTENANCE ACTIVITIES SHALL BE CONDUCTED IN SUCH A WAY TO LIMIT THE AMOUNT OF DISTURBED AREA AT ONE TIME TO THE EXTENT PRACTICABLE.
- PRIOR TO THE START OF ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL APPLICABLE EROSION CONTROL DEVICES SUCH AS PERIMETER SILT FENCE, AND OTHER APPLICABLE MEASURES. IN THE EVENT THE CONTRACTOR IS NOT SURE A EROSION CONTROL MEASURE SHOULD BE IMPLEMENTED, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD TO CONFIRM IMPLEMENTATION OF ANY EROSION CONTROL DEVICES.
- ALL GROUND AREAS GRADED FOR CONSTRUCTION SHALL BE GRADED, LOAMED, SEEDED AND MULCH SHALL BE APPLIED AS SOON AS POSSIBLE WITHIN 7 DAYS FOLLOWING THE COMPLETION OF ANY SOIL DISTURBANCE, AND PRIOR TO ANY STORM EVENT.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY. THE CONTRACTOR SHALL REFERENCE THE APPROVED EROSION AND SEDIMENTATION CONTROL REPORT FOR TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL DEVICES IN ADDITION TO THE PLAN SET. THE CONTRACTOR SHALL ALSO REFER TO THE MAINE D.E.P.'S PERMIT CONDITIONS, FINDINGS OF FACT AND ORDER (IF ANY), AND THE CURRENT MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL FOR ADDITIONAL INFORMATION.

### UTILITY NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LIST PIT TO DETERMINE THE EXACT LOCATION AND ELEVATION OF UTILITIES TO COORDINATE WITH THE PROPOSED CONNECTIONS OR CROSSING. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE CIVIL ENGINEER FOR FURTHER DIRECTIONS BEFORE ANY ADDITIONAL WORK PROCEEDS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, SPECIFICATIONS, AND THE FIELD CONDITION SHALL BE IMMEDIATELY REPORTED TO THE CIVIL ENGINEER FOR FURTHER DIRECTIONS BEFORE ANY ADDITIONAL WORK PROCEEDS.
- COORDINATE EXIT POINT FOR SECONDARY SERVICE WITH THE ARCHITECT/ELECTRICAL ENGINEER. SECONDARY LINE LOCATIONS NOT PROVIDED BY ACORN ENGINEERING WITHIN THE UTILITY PLAN.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL THE NECESSARY FOR THE INSTALLATION OF THE UTILITIES AND STORMDRAINS WITHIN THE PUBLIC RIGHT OF WAY. THE CONTRACTOR SHALL SUBMIT A MAINTENANCE OF TRAFFIC PLAN TO THE CITY IN ACCORDANCE WITH THE CITY OF PORTLAND TECHNICAL MANUAL PRIOR TO ANY WORK.

### DEMOLITION NOTES:

- THE EXISTING ASPHALT SHOULD BE STRIPPED AND EITHER PROCESSED ON-SITE, REMOVED FROM THE SITE OR DISPOSED OF ON-SITE.
- REFER TO THE FINAL GEOTECHNICAL REPORT PREPARED BY SUMMIT GEOTECHNICAL SERVICES FOR REDFERN PROPERTIES, LLC, FOR BORING LOG INFORMATION.
- ALL DISPOSAL OF DEMOLITION DEBRIS OR WASTE SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE & FEDERAL REGULATIONS. CONTRACTORS SHALL PROVIDE OWNER WITH APPROPRIATE "BILLS OF LADING" DEMONSTRATING PROPER DISPOSAL OF ALL MATERIALS.
- SITE DEMOLITION SHALL NOT OCCUR UNTIL PROPER ABATEMENT PROCEDURES HAVE OCCURRED. ABATEMENT, IF NECESSARY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ISSUED FOR	BY
CITY SUBMISSION	DATE
	7/24/13
REVISION	REV. DATE
DRAWING NAME: COVER SHEET	
PROJECT NAME: MUNJOY HEIGHTS	
CLIENT: REDFERN PROPERTIES, LLC	
P.O. BOX 8816, PORTLAND, MAINE 04104	
DRAWING NO. C-01	



SPACE AND BULK STANDARDS		
ZONE: R5 RESIDENTIAL	REQUIRED	PROVIDED
MINIMUM LOT SIZE	4,500 S.F.	67,286 S.F.
MINIMUM FRONTAGE	40'	76.4'
MINIMUM YARD DIMENSIONS		
FRONT YARD	10'	10'
REAR YARD	20'	20'
SIDE YARD		
	10' - 3 STORY BUILDING	10' - 3 STORY BUILDING
	12' - 4 STORY BUILDING	12' - 4 STORY BUILDING
MAXIMUM LOT COVERAGE	40%	33%
MINIMUM LOT WIDTH	40'	71.6'
MAXIMUM BUILDING HEIGHT	45'	45'
OPEN SPACE RATIO	30%	46%
PARKING REQUIREMENTS	1 SPACE PER UNIT (29)	34

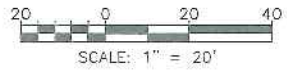
\* A FRONT YARD SET NOT EXCEED THE AVERAGE DEPTH OF FRONT YARDS ON EITHER SIDE OF THE LOT  
 \*\* REFER TO ARCHITECTURAL PLANS FOR BUILDING ELEVATIONS



**LEGEND**

- PAVEMENT
- CONCRETE SIDEWALK
- LANDSCAPED AREA
- CURBING

PRELIMINARY DRAWING



ISSUED FOR	DATE
CITY SUBMISSION	9/23/13

REVISION	REV. DATE

DRAWING NAME: **SITE LAYOUT PLAN**  
 PROJECT NAME: **MUNJOY HEIGHTS**  
 CLIENT: **REDFERN PROPERTIES, LLC**  
 P.O. BOX 8816, PORTLAND, MAINE 04104

**A C C O R N** ENGINEERING, INC.  
 1047  
 1047  
 1"=20'  
 DESIGN BY: WHS  
 DRAWN BY: ZRJ  
 CHECKED BY: WHS

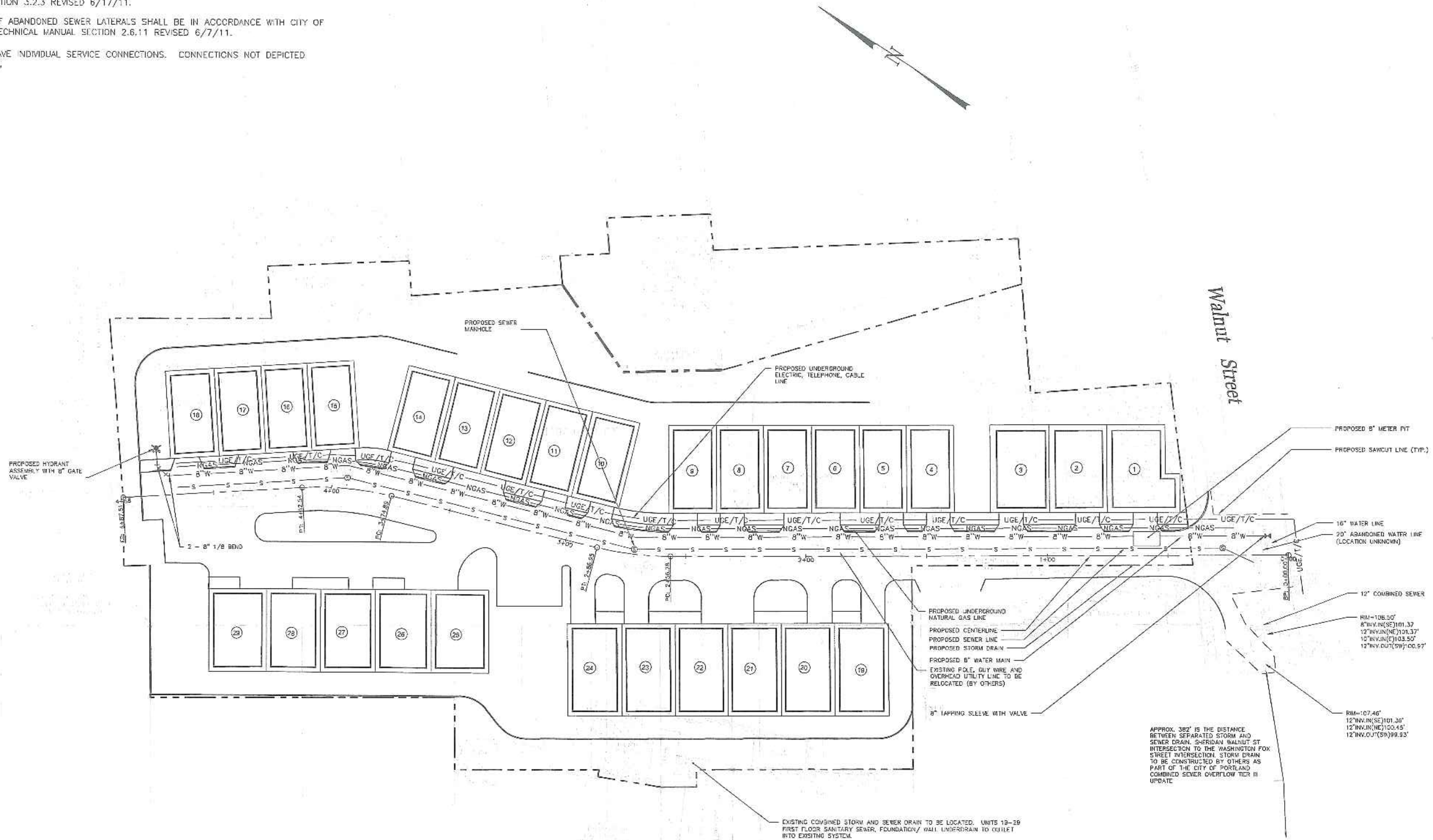
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 JN: 1047  
 SCALE: 1"=20'  
 DESIGN BY: WHS  
 DRAWN BY: ZRJ  
 CHECKED BY: WHS

DRAWING NO. **C-10**



NOTES:

1. UTILITY NOTES WITHIN WALNUT STREET FROM PLAN TITLED SHERIDAN STREET SANITARY SEWER AND STREET RECONSTRUCTION BY WOODARD & CURRAN CONSULTING ENGINEERS, SHEET 5, STAMPED AS-BUILTS 6-20-89.
2. COORDINATE ALL UTILITY ENTRY POINTS WITH ARCHITECTURAL PLANS PRIOR TO START OF CONSTRUCTION.
3. THE CONDOMINIUM ASSOCIATION DOCUMENTS SHALL PROVIDE A HYDRANT MAINTENANCE AGREEMENT IN ACCORDANCE WITH CITY OF PORTLAND TECHNICAL MANUAL SECTION 3.2.3 REVISED 6/17/11.
4. PLUGGING OF ABANDONED SEWER LATERALS SHALL BE IN ACCORDANCE WITH CITY OF PORTLAND TECHNICAL MANUAL SECTION 2.6.11 REVISED 6/7/11.
5. UNITS TO HAVE INDIVIDUAL SERVICE CONNECTIONS. CONNECTIONS NOT DEPICTED FOR CLARITY.



PRELIMINARY  
DRAWING



ISSUED FOR	BY
CITY SUBMISSION	WHS
	9/23/13

REVISION	REV. DATE

DRAWING NAME: UTILITY PLAN  
PROJECT NAME: MUNJOY HEIGHTS  
CLIENT: REDFERN PROPERTIES, LLC  
P.O. BOX 8816, PORTLAND, MAINE 04104

ACCORD ENGINEERING, INC.  
250 WASHINGTON ST., PORTLAND, MAINE 04101  
P.O. BOX 307, PORTLAND, MAINE 04101  
(207) 775-2855

ENGINEERING, INC.  
A C C O R D

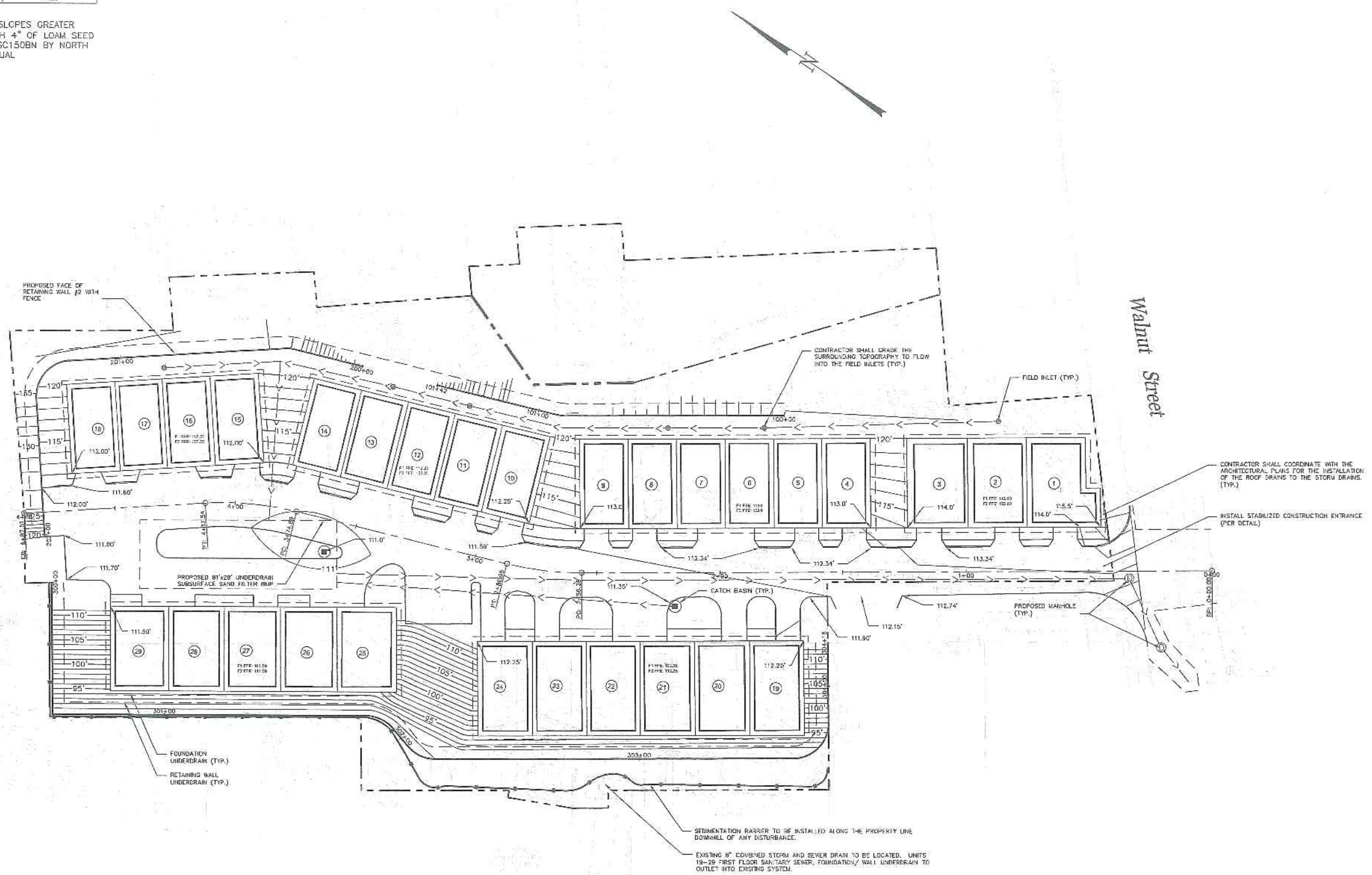
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CHECKED BY:	WHS

DRAWING NO.  
**C-20**

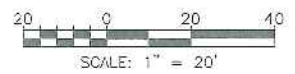


FINISH FLOOR ELEVATIONS		
UNIT NUMBER	FIRST FLOOR ELEVATION	SECOND FLOOR ELEVATION
UNITS 1-3	114'	124'
UNITS 4-9	112'	123'
UNITS 10-14	112.25'	122.25'
UNITS 15-18	112'	112'
UNITS 19-24	102.25'	112.25'
UNITS 25-29	101.50'	111.50'

NOTE:  
 1. ALL DISTURBED AND PROPOSED SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH 4" OF LOAM SEED AND EROSION CONTROL BLANKETS SC150BN BY NORTH AMERICAN GREEN OR APPROVED EQUAL.



PRELIMINARY  
DRAWING



ISSUED FOR	BY
CITY SUBMISSION	JUN 13 9:22/13
REVISION	REV DATE

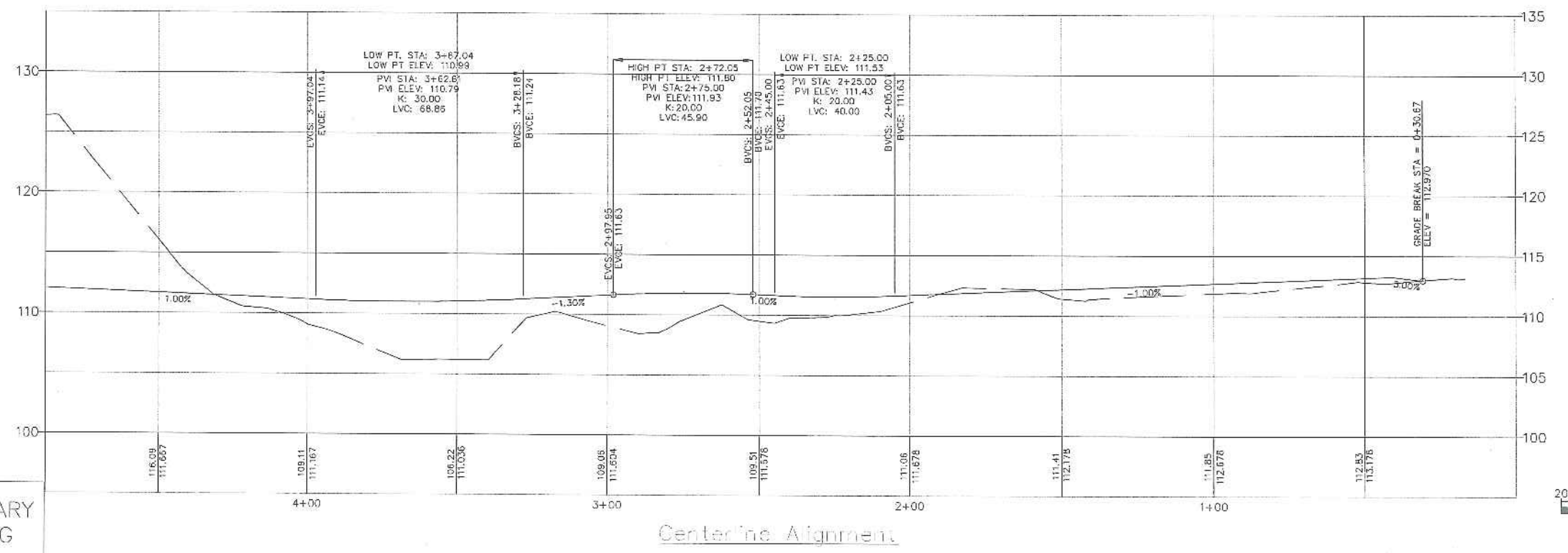
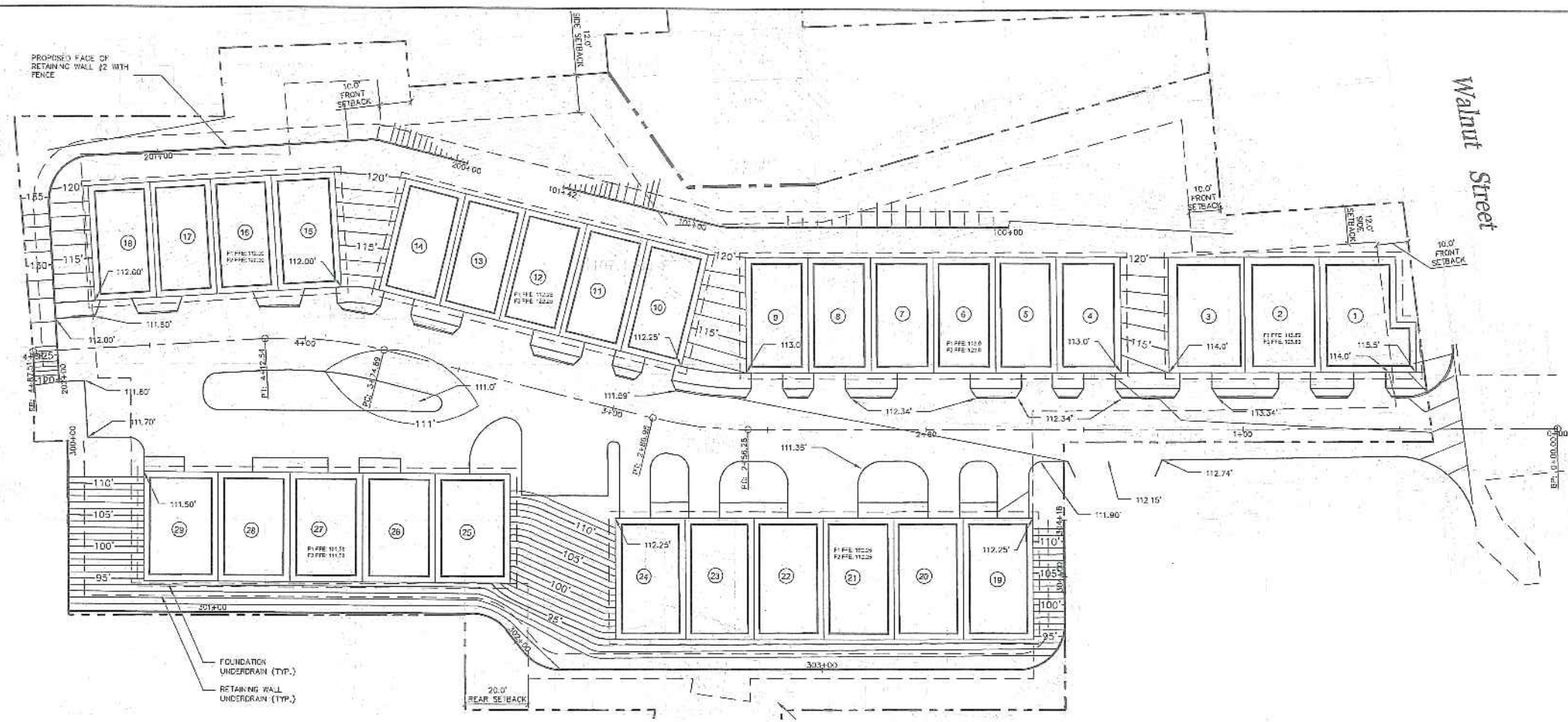
DRAWING NAME: **GRADING, DRAINAGE & EROSION CONTROL PLAN**  
 PROJECT NAME: **MUNJOY HEIGHTS**  
 CLIENT: **REDFERN PROPERTIES, LLC**  
 P.O. BOX 8816, PORTLAND, MAINE 04104

**ACCOR N**  
 ENGINEERING, INC.  
 3372 PORTLAND, MAINE 04104  
 P.O. BOX 3372 PORTLAND, MAINE 04104  
 (207) 775-2855

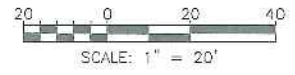
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 JN: 1047  
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 DRAWN BY: ZRJ  
 CHECKED BY: WYS

DRAWING NO.  
**C-30**





PRELIMINARY  
DRAWING



ISSUED FOR	BY
CITY SUBMISSION	WHS
	9/23/13

REVISION	REV	DATE

DRAWING NAME: GRADING AND ROADWAY PROFILE PLAN  
 PROJECT NAME: MUNJOY HEIGHTS  
 CLIENT: REDFERN PROPERTIES, LLC  
 P.O. BOX 8816, PORTLAND, MAINE 04104

**A C O R N**  
ENGINEERING, INC.

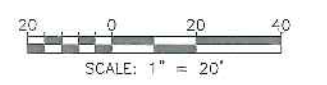
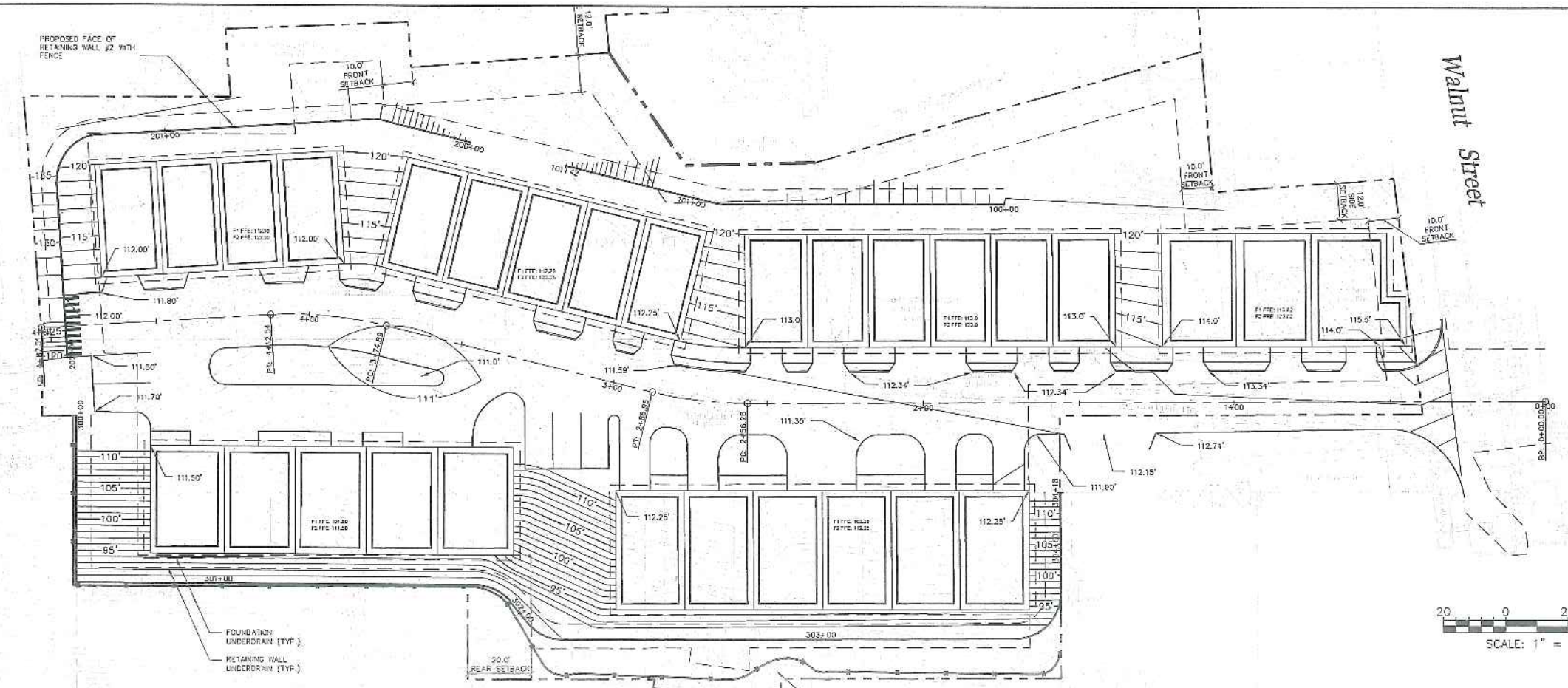
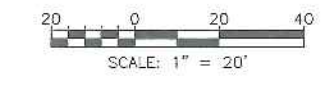
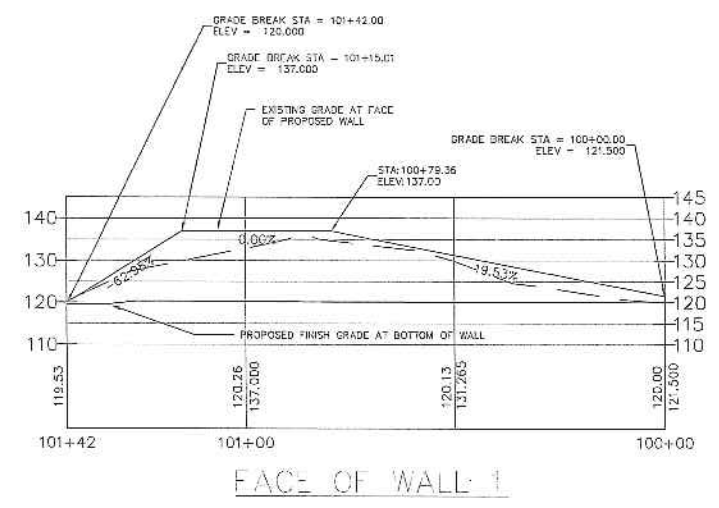
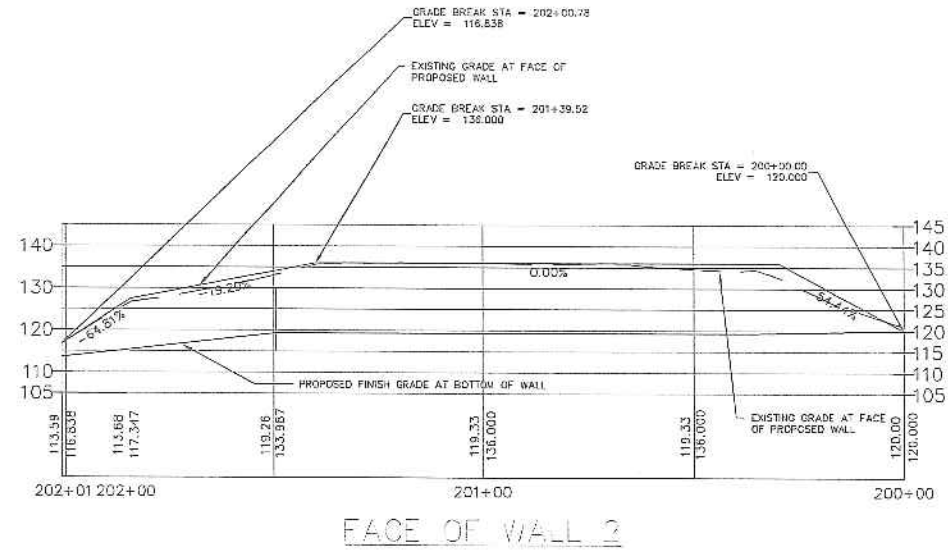
100 N. MAIN ST. 3RD FLOOR, PORTLAND, MAINE 04104  
 2000 FRENCH RD. PORTLAND, MAINE 04104  
 P.O. BOX 3372 PORTLAND, MAINE 04104  
 (207) 775-2055

FILE:	1047_CIVIL
DATE:	9/23/13
JN:	1047
SCALE:	1" = 20'
DESIGN BY:	WHS
DRAWN BY:	ZRJ
CHECKED BY:	WHS

DRAWING NO.  
**C-31**



NOTES:  
 1. SUMMIT GEOENGINEERING SERVICES IN COORDINATION WITH STRUCTURAL INTEGRITY CONSULTING ENGINEERS, INC. SHALL PROVIDE THE RETAINING WALL DESIGN, GLOBAL STABILITY ANALYSIS, AND THE DESIGN OF THE TEMPORARY SOIL RESTRAINT MEASURES, AS REQUIRED.



PRELIMINARY  
DRAWING

ISSUED FOR	DATE
CITY SUBMISSION	9/23/13

REVISION	REV	DATE

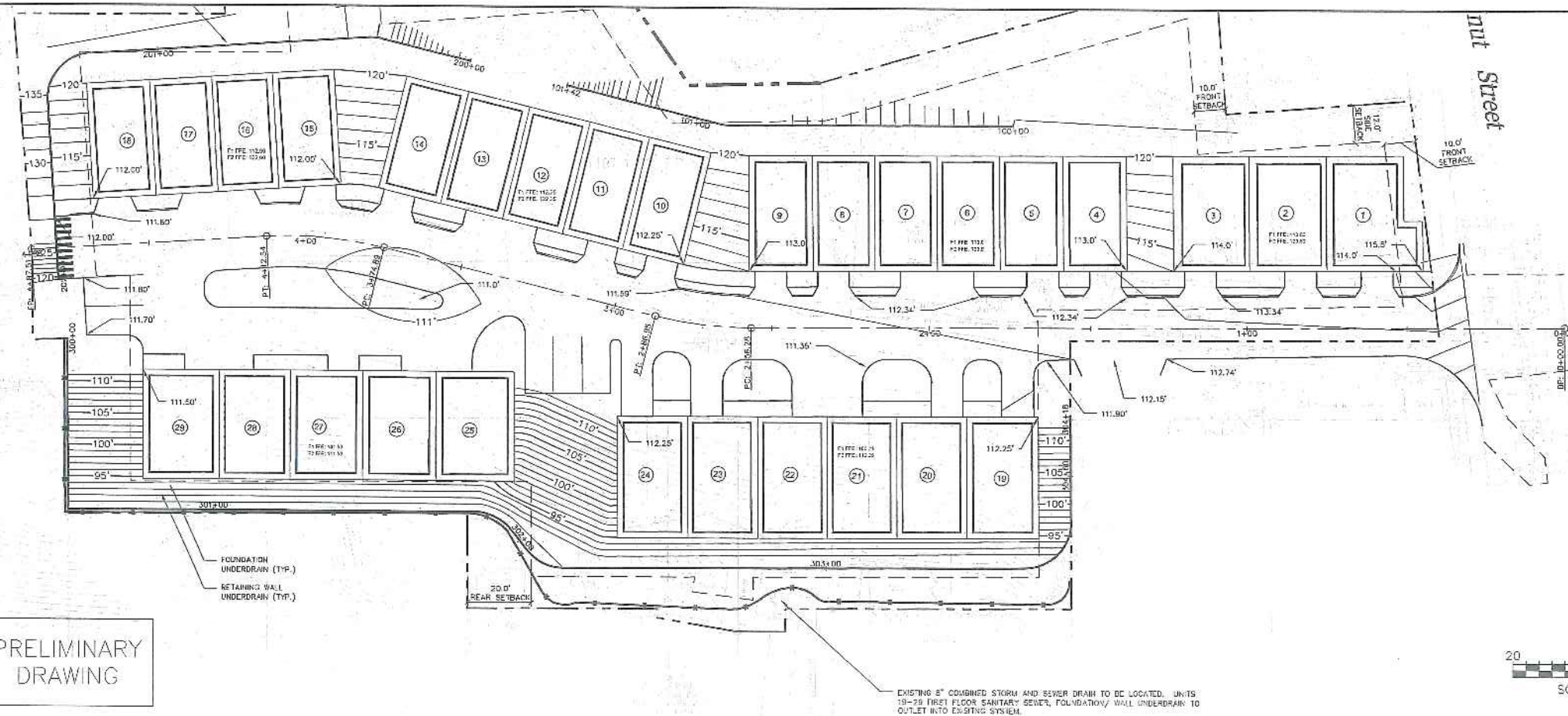
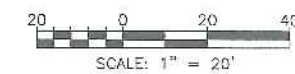
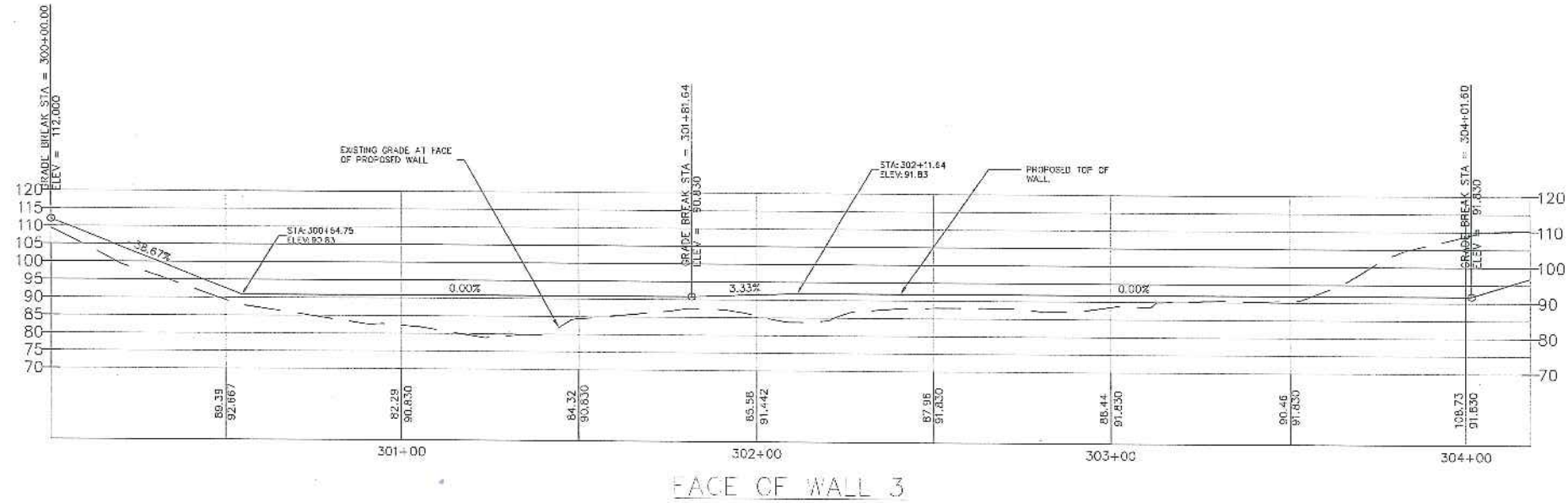
DRAWING NAME: WALL 1 & 2 PROFILE PLAN  
 PROJECT NAME: MUNJOY HEIGHTS  
 CLIENT: REDFERN PROPERTIES, LLC  
 P.O. BOX 8816, PORTLAND, MAINE 04104

FILE: 1047\_CIVIL  
 DATE: 9/23/13  
 JUN: 1047  
 SCALE: 1"=20'  
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 DRAWN BY: ZRJ  
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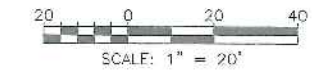
DRAWING NO.  
**C-32**



NOTES:  
 1. SUMMIT GEOENGINEERING SERVICES IN COORDINATION WITH STRUCTURAL INTEGRITY CONSULTING ENGINEERS, INC. SHALL PROVIDE THE RETAINING WALL DESIGN, GLOBAL STABILITY ANALYSIS, AND THE DESIGN OF THE TEMPORARY SOIL RESTRAINT MEASURES, AS REQUIRED.



PRELIMINARY DRAWING



ISSUED FOR	DATE
CITY SUBMISSION	9/23/13

REVISION	REV	DATE

DRAWING NAME: WALL 3 PROFILE PLAN  
 PROJECT NAME: MUNJOY HEIGHTS  
 CLIENT: REDFERN PROPERTIES, LLC  
 P.O. BOX 8816, PORTLAND, MAINE 04104

ACORN ENGINEERING, INC.  
 100 WASHINGTON ST., PORTLAND, MAINE 04104  
 P.O. BOX 307, PORTLAND, MAINE 04104  
 (207) 773-2855

FILE:	1047_CW1
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DRAWN BY:	ZRJ
CHECKED BY:	WHS

DRAWING NO.  
**C-33**





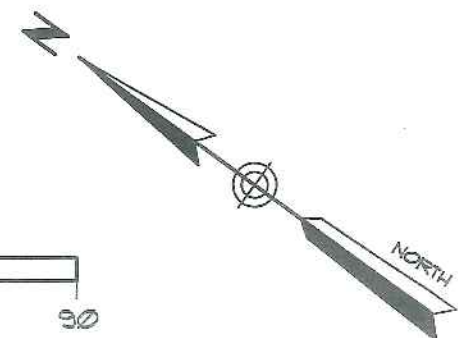
**LEGEND**

TP-1 SUMMIT TEST PIT (MAY 23, 2013)

**NOTE**

PLAN REFERENCE - "SITE CONCEPT, MUNJOY HEIGHTS", DATED MAY 10, 2013, PREPARED BY RYAN SENATORE ARCHITECTURE.

SCALE: 1" = 30'



PROJECT: <b>MUNJOY HEIGHTS</b> SHERIDAN STREET EXTENSION - PORTLAND, ME CLIENT: <b>REDFERN PROPERTIES</b>	TITLE: <b>TEST PIT LOCATION PLAN</b>
	SCALE: 1" = 30' DATE: MAY 24, 2013
DRAWN BY: KRF APPR BY: WAP	
Tel: (207) 516-3313 summitgeoeng.com 640 Main Street Lewiston, Me 04240	PROJ#: 13067 FIGURE: 1