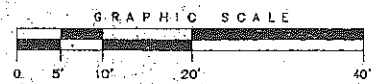


- LEGEND:**
- IRON ROD FOUND
 - UTILITY POLE
 - MANHOLE
 - SIGN
 - FENCE
 - CURB
 - OHW OVERHEAD WIRES
 - SS SANITARY SEWER
 - 72 1' CONTOUR



- NOTES:**
- OWNER OF RECORD: SCOTT SOMERO, BOOK 15824, PAGE 66.
 - THE SURVEYED PREMISES IS COMPRISED OF LOTS 19, 20 AND 21 ON CITY TAX MAP 22 SECTION L.
 - INVERT AND SLOPE OF SEWER IN ANDERSON STREET ARE AS SHOWN ON PORTLAND WATER DISTRICT PORTLAND SEWER SYSTEM INFILTRATION-FLOW ANALYSIS SYSTEM BASE MAPPING STUDY AREA IV DATED 1981 BY HUNTER-BALLEW ASSOCIATES.
 - THE SURVEYED PREMISES LIES WITHIN CITY OF PORTLAND ZONE R-6.
 - THE SURVEYED PREMISES MAY BE SUBJECT TO RIGHTS OF OTHERS IN A PASSAGEWAY.

CERTIFICATION:
 OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

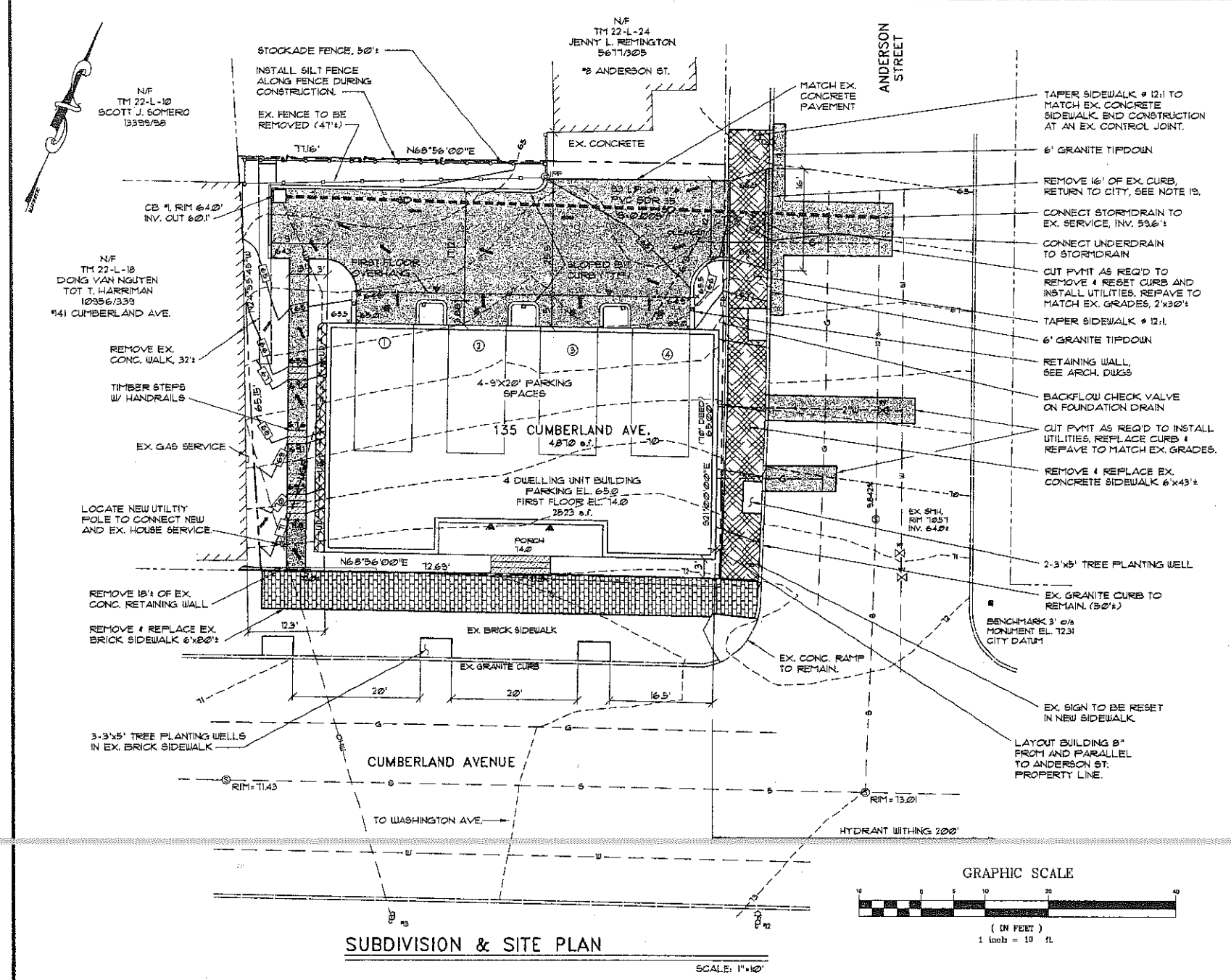
DATE: DEC 18, 2001
 STEPHEN S. SHAW, PLS #779



STANDARD BOUNDARY & TOPOGRAPHIC SURVEY
 OR
 ANDERSON STREET & CUMBERLAND AVENUE
 PORTLAND, MAINE
 MADE FOR
SCOTT SOMERO
 33 SMITH STREET, PORTLAND, MAINE

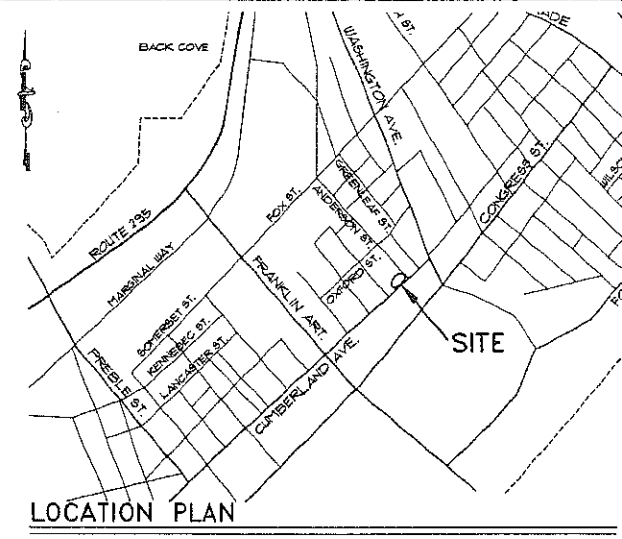
OWEN HASKELL, INC.
 16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424
 PROFESSIONAL LAND SURVEYORS

Drawn By: EC	Date: DEC 18, 2001	Job No.: 2001-236P
Traced By: JLW	Scale: 1" = 10'	Drwg. No.: 1
Check By: SSS	Book No.: 333	



- GENERAL NOTES**
- OWNER/ DEVELOPER: PEOPLES REGIONAL OPPORTUNITY PROGRAM, 510 CUMBERLAND AVENUE, PORTLAND, MAINE 04101.
 - ARCHITECT: TTH ARCHITECTS, PORTLAND, MAINE.
 - ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
 - BOUNDARY AND TOPOGRAPHY TAKEN FROM "STANDARD BOUNDARY & TOPOGRAPHIC SURVEY ON ANDERSON STREET & CUMBERLAND AVENUE, PORTLAND, MAINE, MADE FOR SCOTT SOMERO 33 SMITH STREET, PORTLAND, MAINE" BY OWEN HASKELL, INC. PORTLAND, MAINE DATE DECEMBER 18, 2001. BENCHMARK ELEVATIONS SHOWN ARE BASED ON CITY DATUM.
 - ZONE: EXISTING R6 RESIDENTIAL, TO BE REZONED TO ZONE R-7.
 - TAX MAP REFERENCE: MAP 22, BLOCK L, LOTS 19, 20 & 21.
 - TOTAL PARCEL: 4,810 s.f.
 - BUILDING SHALL HAVE A NUMBER CLEARLY VISIBLE FROM THE ROAD.
 - NO OPEN SPACE OR PUBLIC USE AREA ARE INCLUDED IN THIS SUBDIVISION.
 - RESIDENTIAL UNITS TO BE SERVICED BY PUBLIC GAS, SEWER AND WATER.
 - POWER, TELEPHONE AND CABLE ARE TO BE OVERHEAD.
 - TRASH WILL BE STORED IN BARRELS IN TO THE PARKING AREA FOR COLLECTION BY P.R.O.P. PERSONNEL.
 - CALL DIG-SAFE (1-800-725-4371) PRIOR TO BEGINNING WORK.
 - SOILS, AS SHOWN IN "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE, ARE CLASSIFIED AS HINCKLEY SOILS (3 2-8% SLOPES).
 - OWNER IS TO REMOVE SNOW FROM THE SITE AS NEEDED.
 - EXISTING SIDEWALKS OR CURBS DAMAGED DURING CONSTRUCTION ARE TO BE REPAIRED TO CITY STANDARDS.
 - ALL UTILITY SERVICE CONNECTIONS PROPOSED WITHIN CITY STREETS ARE TO BE INSPECTED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTLAND WHERE APPLICABLE.
 - SEWER SERVICE CONNECTIONS WITHIN THE STREET RIGHT-OF-WAY SHALL REQUIRE A STREET OPENING PERMIT FROM PUBLIC WORKS.
 - ANY CURBING TO BE REMOVED THAT IS NOT REUSED REMAINS THE PROPERTY OF THE CITY OF PORTLAND, CURBING THAT IS REMOVED AND NOT REUSED WILL BE TAKEN TO THE CITY'S OUTER CONGRESS STREET STOCKYARD.
 - LANDSCAPE DESIGN BY ANTHONY MUENCH, LANDSCAPE ARCHITECT, PORTLAND, MAINE.

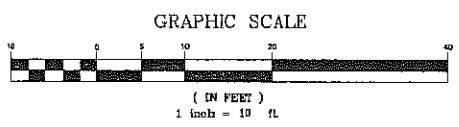
- ZONING REQUIREMENTS**
- ZONE: R-7 - COMPACT URBAN RESIDENTIAL OVERLAY ZONE PERMITTED USES: RESIDENTIAL USES AS PERMITTED IN THE R-6 ZONE THAT COMPLY WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:
- MINIMUM LOT SIZE: NONE
 - MINIMUM STREET FRONTAGE: NONE
 - MINIMUM YARD DIMENSIONS: NONE, EXCEPT THAT ON LOTS OR PORTIONS OF LOTS WHICH ADJACENT TO A LOT UNDER SEPARATE OWNERSHIP WITH EXISTING RESIDENTIAL DEVELOPMENT, THE SIDE OR REAR SETBACKS OF THE R-6 ZONE SHALL APPLY IN AREAS ADJACENT TO SUCH ADJUTING RESIDENTIAL LOT, IN NO CASE, HOWEVER SHALL THIS PROVISION REQUIRE A SETBACK SUCH THAT THE DISTANCE BETWEEN THE EXISTING RESIDENTIAL BUILDING AND THE PROPOSED NEW RESIDENTIAL STRUCTURE EXCEED THE COMBINED ABUTTING R-6 YARD REQUIREMENTS.
- ABUTTING R-6 YARD REQUIREMENTS:
- | | |
|--------------------|---------|
| REAR YARD: | 20 FEET |
| SIDE YARD: | 10 FEET |
| 3 STORY STRUCTURE: | 10 FEET |
- THE WIDTH OF ONE SIDE YARD MAY BE REDUCED ONE FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN 10 FEET.
- MAXIMUM LOT COVERAGE: 100%
 - MAXIMUM RESIDENTIAL DENSITY: 125 s.f. PER DWELLING UNIT
 - MAXIMUM BUILDING HEIGHT: 50 FEET
- PARKING: 1 PARKING SPACE PER DWELLING UNIT



CITY OF PORTLAND SITE PLAN AND SUBDIVISION NOTES

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TYPED RAMP AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDING OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4402. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."

SUBDIVISION & SITE PLAN

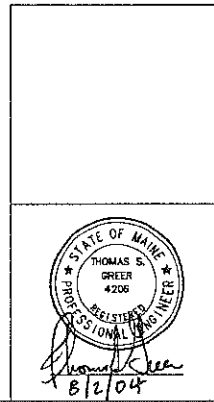


LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- SLOPED BITUMINOUS CURB
--- ABUTTERS PROPERTY	--- CONTOURS
--- EDGE OF PAVEMENT	--- GAS LINE
--- CONTOURS	--- SANITARY SEWER
--- BUILDING	--- STORM DRAIN
--- CURB	--- WATER LINE
--- GAS LINE	--- SILT FENCE
--- OVERHEAD WIRES	--- SPOT GRADE
--- SANITARY SEWER	--- CATCH BASIN
--- WATER LINE	--- WATER SHUT OFF
--- SEWER MANHOLE	--- WALL MOUNTED LIGHT
--- UTILITY POLE	--- CEILING MOUNTED LIGHT
--- SIGN	--- UTILITY POLE
--- FENCE	--- SURFACE DRAINAGE
--- BOUND FOUND	--- PARKING SPACE DESIGNATION
--- IRON PIPE FOUND	--- FENCE LINE
--- GATE VALVE	--- UNDERGROUND ELECTRIC
--- POLE MOUNTED LIGHT	--- FOUNDATION DRAIN
	--- UNDERDRAIN
	--- DRIPSTRIP
	--- BUILDING
	--- BITUMINOUS PAVEMENT
	--- BARKMULCH
	--- BRICK SIDEWALK
	--- CONCRETE SIDEWALK
	--- TIMBER STEPS

SUBDIVISION PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE



REV.	DATE	DESCRIPTION
3	8/2/04	REV'D BUILDING FOOTPRINT
2	9/4/02	CHANGED ONSITE WIRE UTILITIES TO UNDERGROUND
1	1/26/02	REV'D PER CITY REVIEW

PENINSULA COMMUNITY LP II
510 CUMBERLAND AVE., PORTLAND ME
CUMBERLAND STREET
PORTLAND, MAINE

SUBDIVISION PLAN

SCALE: AS SHOWN DRN BY: NRA/JDC
DATE: JUNE 18, 2002 DESG BY: TSG
PROJECT: 02183 CHK BY: TSG

CAD FILE: 01417 PLOT DATE: 7/25/02 FILE SCALE: 1"=10'

Cumberland Avenue - South Anderson Street
PROP FAMILY HOUSING
PORTLAND, MAINE



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6144
ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 08/02/04

PROJECT No. 0203

DRAWN BY: SA

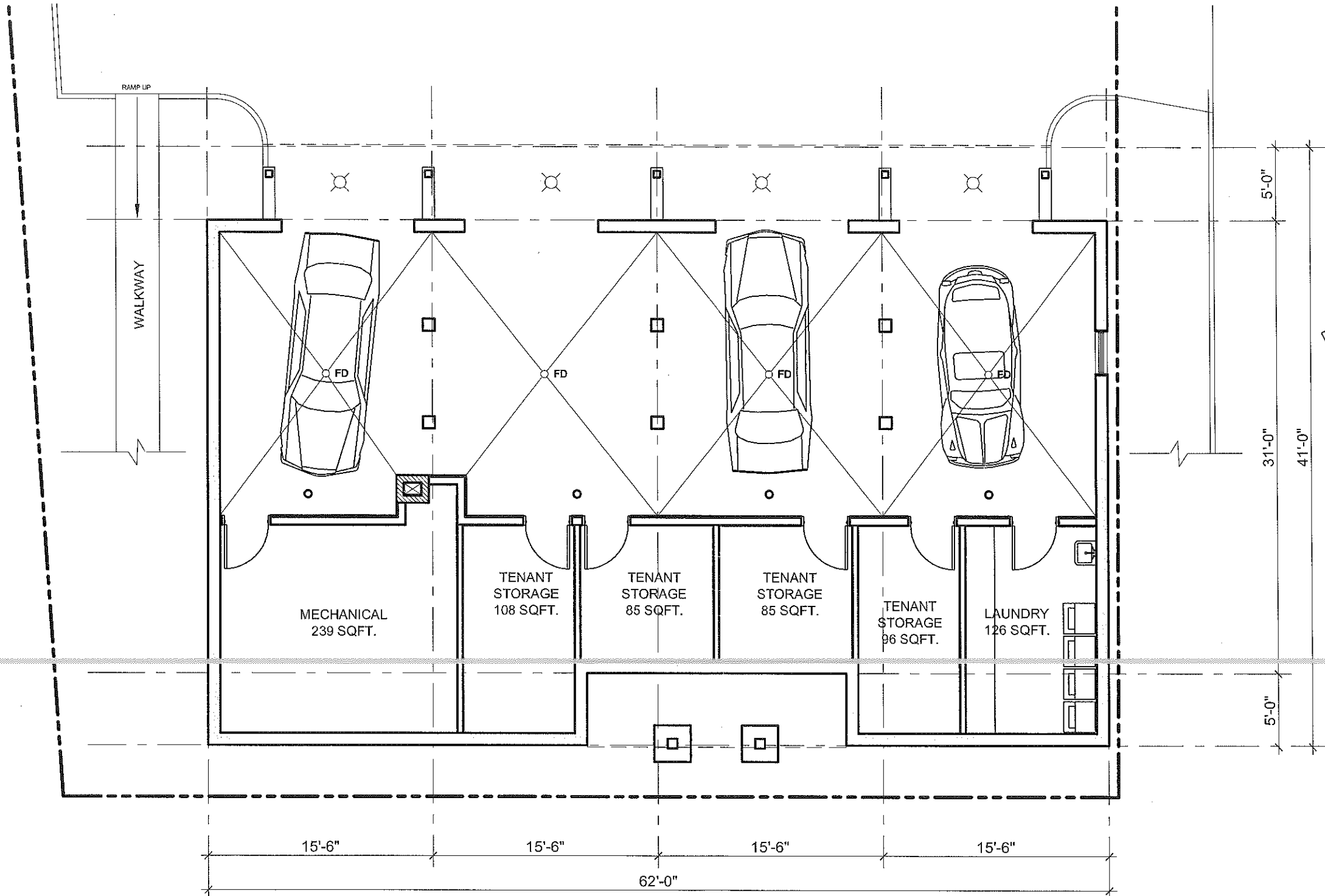
CHECKED BY: TST

SCALE: NOTED

SHEET TITLE:

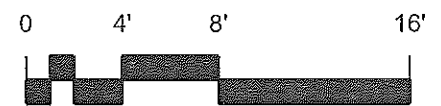
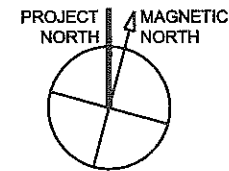
BASEMENT
FLOOR PLAN

A2.0



PROGRESS PRINT ONLY
Not for Construction

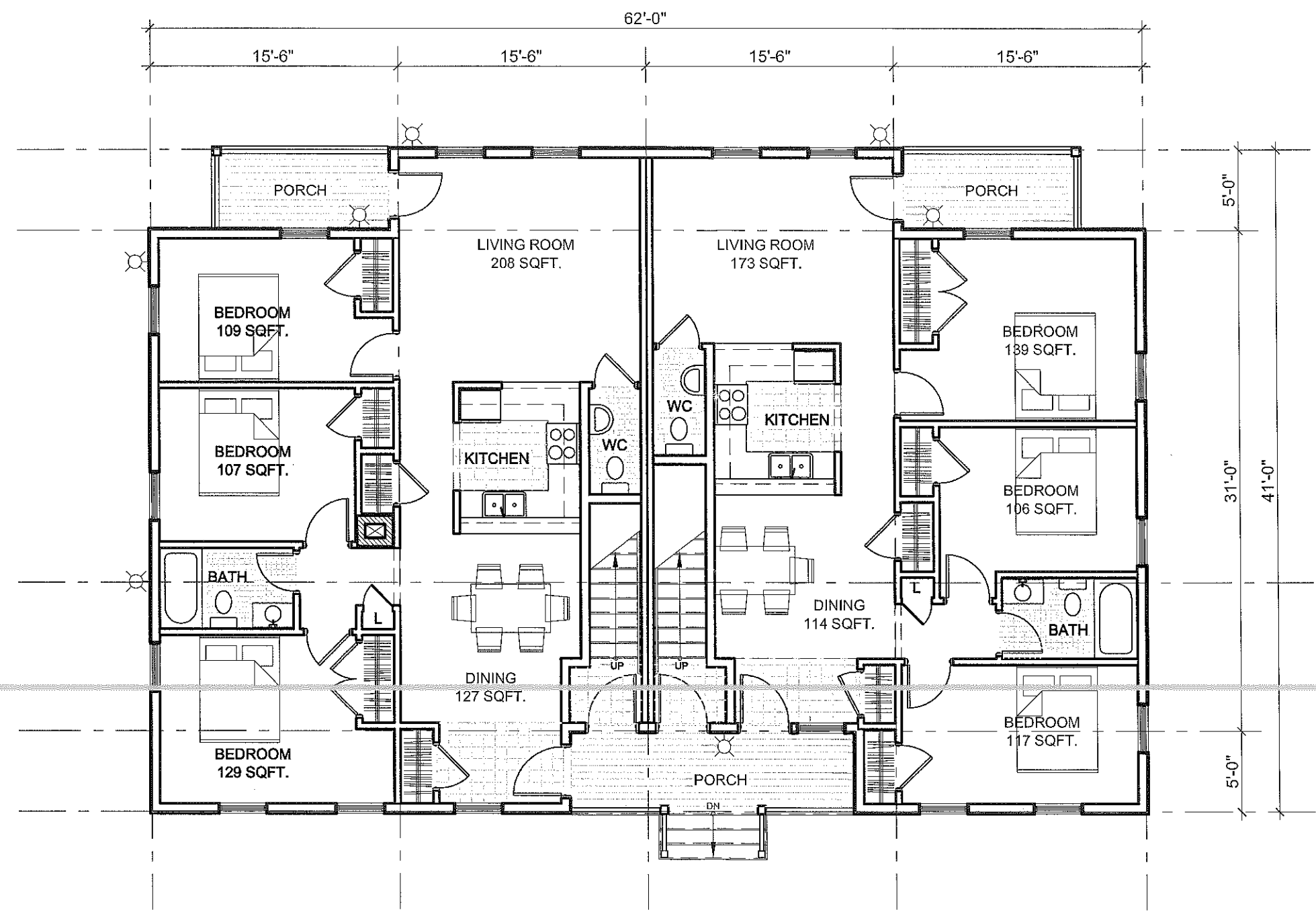
1 BASEMENT FLOOR PLAN
A2.0 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

Cumberland Avenue - South Anderson Street

PROP FAMILY HOUSING
PORTLAND, MAINE



PROGRESS PRINT ONLY
Not for Construction



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 08/02/04

PROJECT No. 0203

DRAWN BY: SA

CHECKED BY: TST

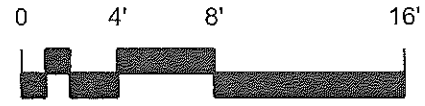
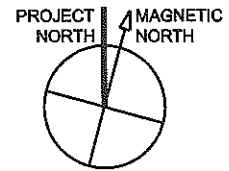
SCALE: NOTED

SHEET TITLE:

BASEMENT
FLOOR PLAN

A2.1

1 1ST FLOOR PLAN
A2.1 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

Cumberland Avenue - South Anderson Street
PROP FAMILY HOUSING
PORTLAND, MAINE



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 08/02/04

PROJECT No. 0203

DRAWN BY: SA

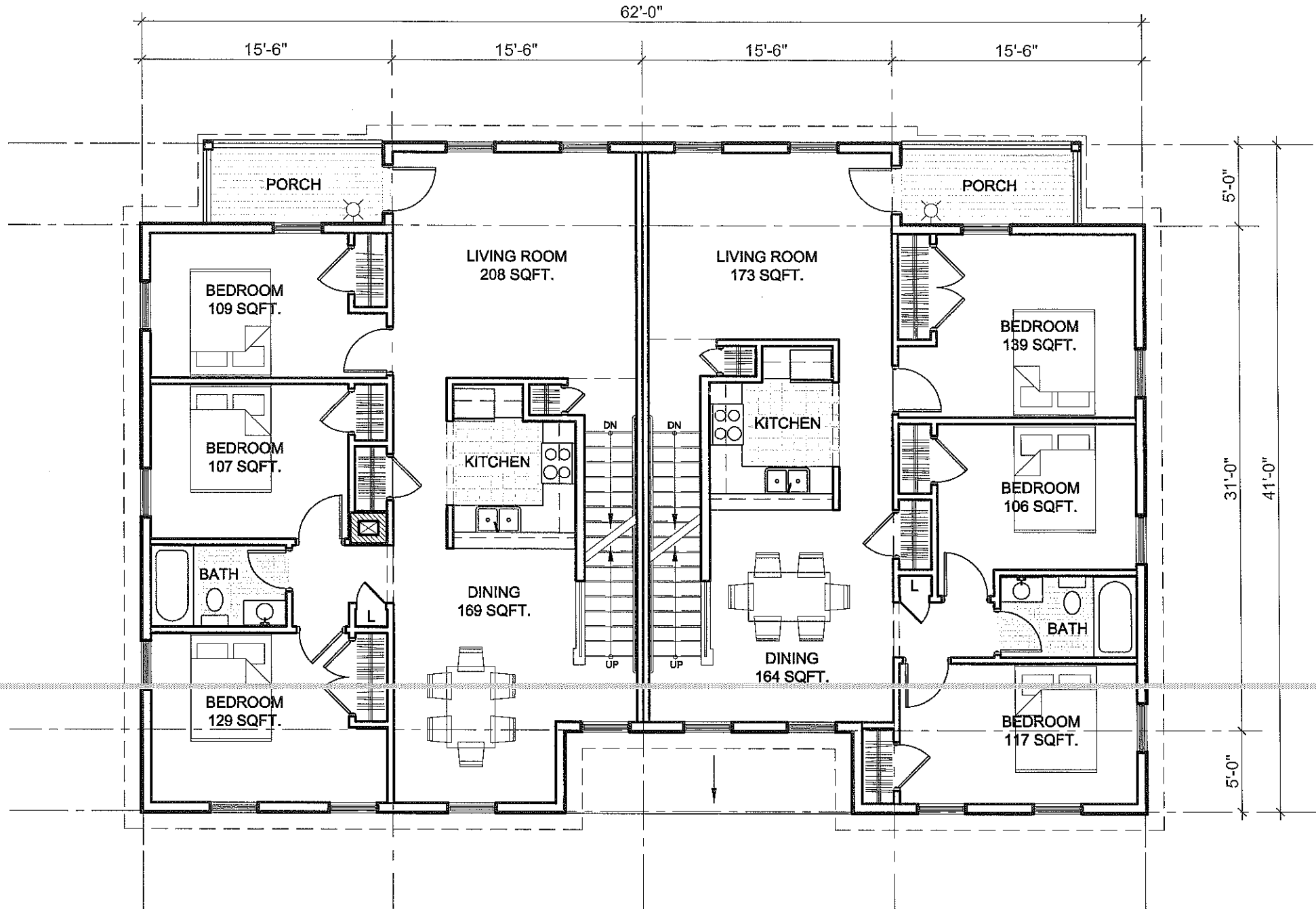
CHECKED BY: TST

SCALE: NOTED

SHEET TITLE:

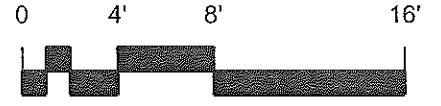
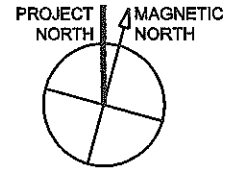
SECOND FLOOR PLAN

A2.2



PROGRESS PRINT ONLY
Not for Construction

1 2ND FLOOR PLAN
A2.2 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

Cumberland Avenue - South Anderson Street

PROP FAMILY HOUSING
PORTLAND, MAINE



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING

CONSULTANTS:



EXISTING ADJACENT
BUILDING

1 SOUTH ELEVATION
A3.1 1/8" = 1'-0"

PROGRESS PRINT ONLY
Not for Construction

DATE: 08/02/04

PROJECT No. 0203

DRAWN BY: SA

CHECKED BY: TST

SCALE: NOTED

SHEET TITLE:

ELEVATION

A3.1

Cumberland Avenue - South Anderson Street

PROP FAMILY HOUSING
PORTLAND, MAINE

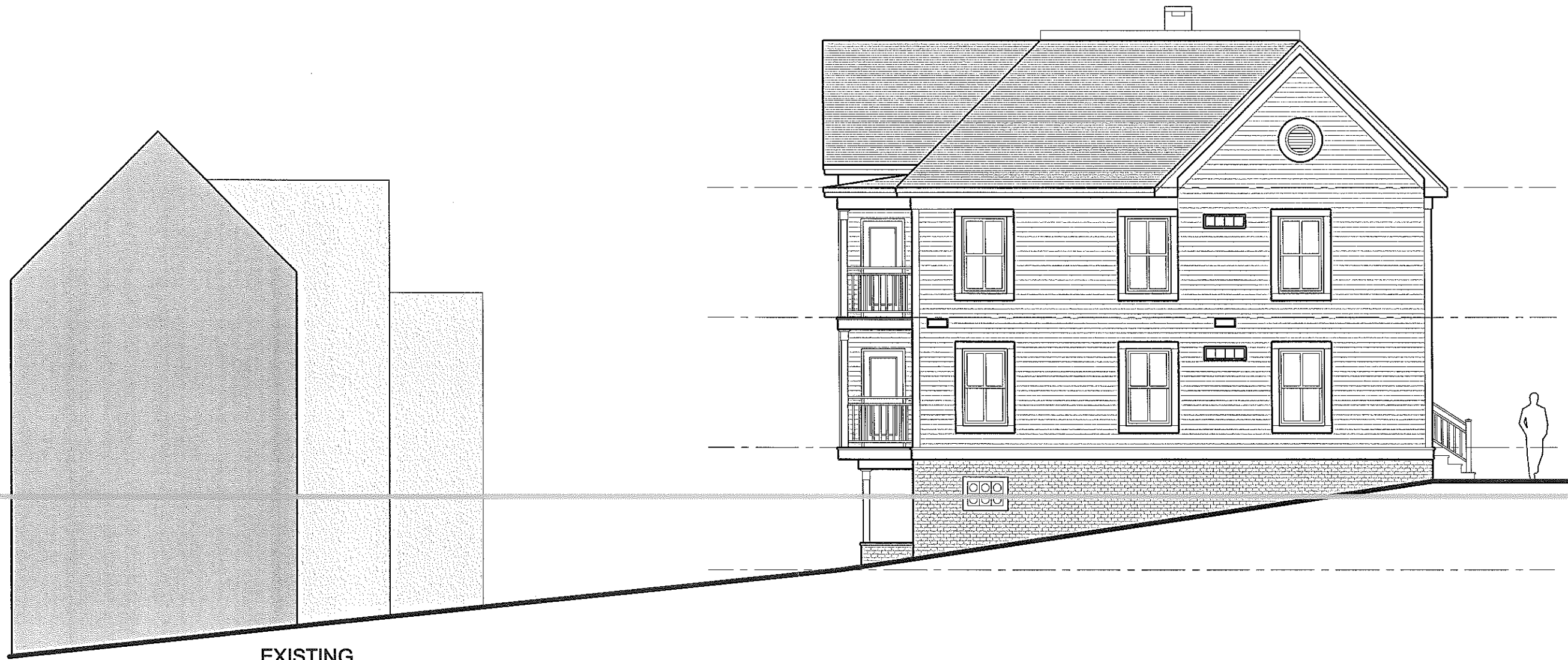
TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 08/02/04
PROJECT No. 0203
DRAWN BY: SA
CHECKED BY: TST
SCALE: NOTED

SHEET TITLE:
ELEVATION

A3.2



EXISTING
ADJACENT HOUSE

PROGRESS PRINT ONLY
Not for Construction

1 WEST ELEVATION
A3.2 1/8" = 1'-0"

Cumberland Avenue - South Anderson Street

PROP FAMILY HOUSING
PORTLAND, MAINE



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:



EXISTING ADJACENT
BUILDING

1 NORTH ELEVATION
A3.3 1/8" = 1'-0"

PROGRESS PRINT ONLY
Not for Construction

DATE: 08/02/04

PROJECT No. 0203

DRAWN BY: SA

CHECKED BY: TST

SCALE: NOTED

SHEET TITLE:

ELEVATION

A3.3

Cumberland Avenue - South Anderson Street

PROP FAMILY HOUSING
PORTLAND, MAINE



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 08/02/04

PROJECT No. 0203

DRAWN BY: SA

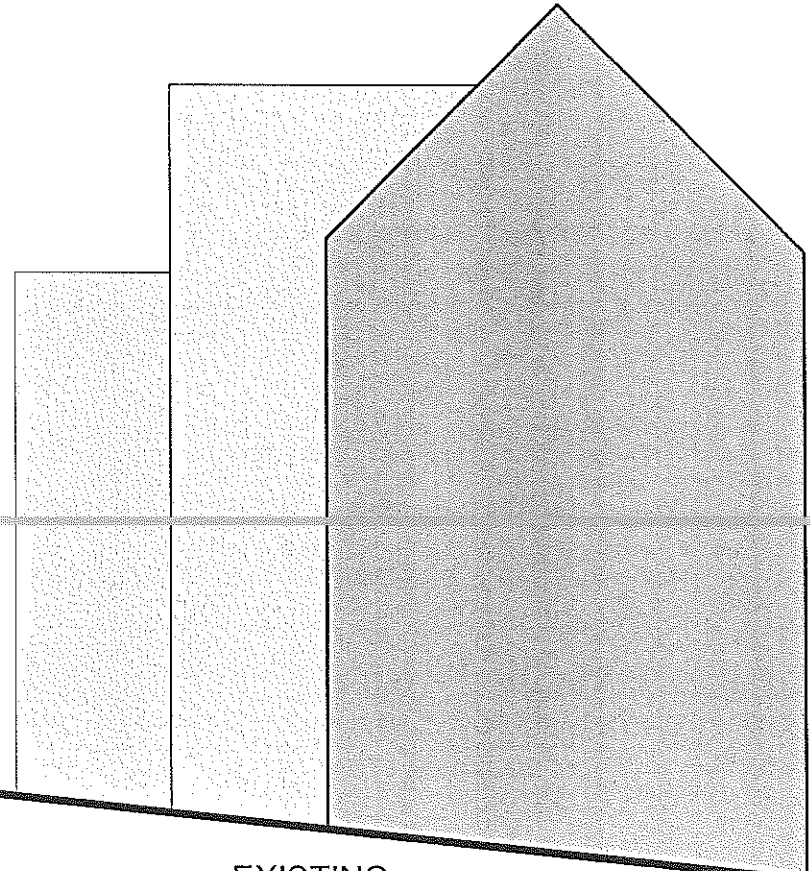
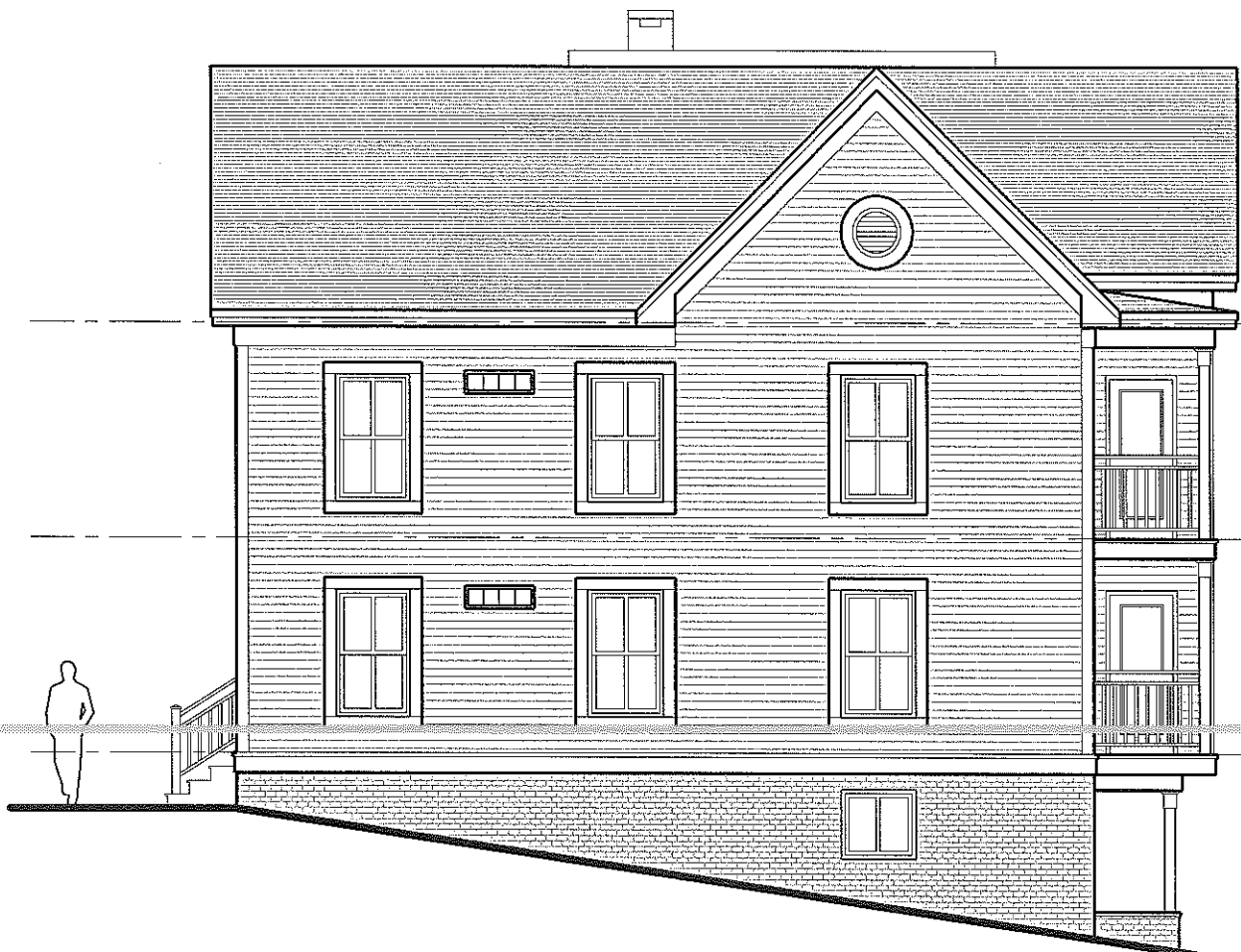
CHECKED BY: TST

SCALE: NOTED

SHEET TITLE:

ELEVATION

A3.4



EXISTING
ADJACENT HOUSE

1 EAST ELEVATION
A3.4 1/8" = 1'-0"

PROGRESS PRINT ONLY
Not for Construction

PBM1

**CITY OF PORTLAND, MAINE
MEMORANDUM**

TO: Chair Caron and Members of the Portland Planning Board

FROM: Kandice Talbot, Planner

DATE: July 9, 2002

RE: PROP, 9-unit Subdivision, Anderson Street

Introduction

People's Regional Opportunity Program (PROP) is proposing a 9-unit subdivision with associated parking on Anderson Street. The site is currently being used for parking for Maine Housing Authority parking. The site is approximately 16,717 sq. ft. and zoned B-5. The plan is subject to site plan and subdivision review.

The applicant is proposing this project in two phases. The first phase will consist of the front building, paving, site grading, modular wall and associated rough grading. The second phase will consist of the two rear buildings, paving and finish site grading.

After Planning Board recommendation, the City Council voted to approve a B-5 designation for this site on May 20, 2002. Since the zone change request, the plan has been altered slightly to move the front building up to Anderson Street. As the Board is aware, there is a Portland Water District easement with an existing water line that runs through the site. The applicant had proposed to relocate the water line, but because of associated costs is not proposing to relocate the pipe at this time.

The area bisected by Cove and Anderson Streets, similar to other areas in the East Bayside neighborhood and contains a mixture of industrial, commercial, and residential uses. The closest residential use is a multi-family building located adjacent to the artist live/work parcel to the north. The strongest residential presence is located to the south of Fox Street in Kennedy Park and to the east along Hammond Street. There is a distinct separation between the more industrial uses of Cove and Anderson Streets and the residences of Hammond Street. This separation is created by a sharp change in topography. It is this topographical difference, rather than the zone boundary, which defines and delineates the change from residential to commercial/industrial uses.

The industrial/commercial uses in the vicinity include the Portland Housing Authority Maintenance facility, Screen Printing, Valve Services, Hardware Consultants, and Emerson Apparatus.

Traffic

Access to the site is from a driveway off Anderson Street. The applicant is providing a 9-space parking lot on the northwest corner of the site. There is some concern with parking space #2, which does not meet City standards for a parking space.

As stated previously, the proposed development will eliminate space currently used by Portland Housing Authority. It appears from the plans that a retaining wall will be constructed on the Portland Housing Authority parcel, which area would be suitable for parking, however, the plans do not indicate that it will be used for parking. The applicant should clarify what is proposed for this area.

Granite curb currently exists along Anderson Street. The applicant is proposing to install a sidewalk along the frontage of Anderson Street. The applicant should specify a construction detail for concrete sidewalk on the detail sheet.

Building Design

The proposed buildings are 3 stories high. The façade of the building will consist of vinyl clapboard siding with wood columns, corner and eave trim, frieze and fascia boards. Elevations of the building are included as Attachment 6D.

Staff has some concerns with the building located right on Anderson Street. The facade facing Anderson Street appears to be the back of the building. It is staff's recommendation that the building have a front on Anderson Street. Also, to provide continuity of buildings, staff is asking the applicant to look at aligning the rear buildings with the Artist Live/work building to the north.

Sewers, Water, Solid Waste Disposal

Utility lines in Anderson Street will serve the development. A letter from the Portland Water District is included as Attachment 2. The applicant will need a letter from Public Works stating that there will be adequate sewer capacity. The applicant is proposing that electric, telephone and cable will be underground to the rear buildings and overhead to the building directly on Anderson Street. Staff has requested that the applicant explain why the utilities to the front building cannot be underground.

The applicant is proposing three (3) separate sanitary sewer connections into the existing combined sewer in Anderson Street. Instead, public works is requesting that the applicant install a sanitary manhole on-site and connect all proposed laterals into the structure. Public Works is also requesting that only one pipe outlet this structure and connect into the Anderson Street sanitary sewer main, minimizing the impact to the City sewer. Public Works memo is included as Attachment 4.

The applicant is providing an enclosed dumpster for solid waste disposal on-site. A detail of the dumpster enclosure will need to be submitted to staff for review. The applicant has explained that the dumpster will be accessed from the northerly side by tenants to dispose of their solid waste and will be accessed from the southerly side by a solid waste contractor to remove the solid waste. Staff is recommending that the applicant provide an easement from Portland Housing Authority allowing them access through the site for solid waste removal.

Landscaping

The applicant has not proposed any landscaping for the site. The subdivision ordinance requires that there be two (2) trees per unit, therefore a total of 18 trees are required. Also, the applicant should also provide foundation plantings for the building.

A line of street trees placed along the vacated Cove Street right-of-way may enhance the alignment of residential building along Anderson Street.

Soil and Drainage

The applicant is proposing two ditches directing both on/off-site runoff around the two proposed structure in the rear. These ditches outlet on the existing off-site Portland Housing Authority parking lot to the south and the proposed project parking lot to the north. This ditch runoff crossing the proposed parking lot then drains overland into Anderson Street. The Development Review Coordinator is recommending that a piped storm drain system be designed to intercept runoff from these ditches prior to crossing parking lots and/or prior to crossing the property line into Anderson Street. The Development Review comments are included as Attachment 5.

Lighting

The applicant will need to submit information regarding lighting.

Multiple-Family Design Standard

1. Exterior Design

The design provides positive visual interest by incorporating appropriate architectural elements. Front porches, roofline configuration, size, number and spacing of windows, corner board and trim details are an excellent expression of the neighborhood architectural character.

2. Respects Existing Relationship of Buildings to Street

The front building is sited at the street line like other buildings in the neighborhood. However, the rear of the building is facing Anderson Street. As stated previously, staff is recommending that the front of the building face Anderson Street.

3. Open Spaces

The porches help enhance the sense of open space on the site for residents. There will also be some open space area between the two rear buildings.

4. Design of Windows and Storage Area

The submitted building elevations and floor plans indicate there are an adequate number of windows in each dwelling for sunlight and air. The porch areas increase the opportunity for light and air. Each unit will have a storage area in the basement.

5. Parking

The B-5 zone does not require off-street parking, however the applicant is providing 9 parking spaces on-site.

Fire

A hydrant is located within 200 ft. of the property. All multi- family apartments are required to have sprinklers unless each unit has a direct means of egress.

Financial and Technical Capacity

Financial and technical capacity information has been submitted and is included as Attachment 1A.

Neighborhood Meeting

The applicant did revise the plan slightly, by moving the front building forward up to Anderson Street. During the zone change process, the applicant proposed relocating the water line, which runs through the property in the Portland Water District easement. Because of costs they decided not to relocate the water line. Staff is recommending that the applicant hold another neighborhood meeting because of the changes to the plan.

Issues to be Resolved Prior to Public Hearing

Public Works Issues

Sewer Capacity Letter

Landscaping

Lighting

Overhead Utilities

Fire

Anderson Street Façade

Development Review Coordinator's Issues

Attachments:

1. Applicant's Submittal
2. ~~Portland Water District Letter~~
3. Letter from Staff to Applicant dated June 28, 2002
4. Public Works' Memo dated July 2, 2002
5. DRC's Memo dated July 2, 2002
6. Plans

PBR1

PLANNING BOARD REPORT #52-02

**PROP MULTI-FAMILY DEVELOPMENT
ANDERSON STREET
SITE PLAN AND SUBDIVISION REVIEW**

Submitted to:
Portland Planning Board
Portland, Maine

August 13, 2002

Submitted by:
Kandice Talbot, Planner

I. INTRODUCTION

People's Regional Opportunity Program (PROP) is proposing a 9-unit subdivision with associated parking on Anderson Street. The site is currently being used for overflow parking for Maine Housing Authority. The site is approximately 16,717 sq. ft. and zoned B-5. The plan is subject to site plan and subdivision review.

The Portland Housing Authority will submit a separate site plan applicant for parking and circulation changes for their property adjacent to the PROP parcel.

The applicant is proposing this project in two phases. The first phase will consist of the front building, paving, site grading, modular wall and associated rough grading. The second phase will consist of the two rear buildings, paving and finish site grading.

189 notices were sent to area property owners. A neighborhood meeting for the project was held during the rezoning process.

II. FINDINGS

Zoning:	B-5 Urban Commercial Mixed Use Zone
Land Area:	16,717 sq. ft.
Buildings:	3
Dwellings:	9
Parking Spaces:	9
Building Height:	35 ft.

After Planning Board recommendation, the City Council voted to approve a B-5 designation for this site on May 20, 2002. Since the zone change request, the plan has been altered slightly to move the front building up to Anderson Street. As the Board is aware, there is a Portland Water District easement with an existing water line that runs through the site. The applicant had proposed to relocate the water line, but because of associated costs is not proposing to relocate the pipe at this time.

The area bisected by Cove and Anderson Streets, is similar to other areas in the East Bayside neighborhood and contains a mixture of industrial, commercial, and residential uses. The closest residential use is a multi-family building located adjacent to the artist live/work parcel to the north. The strongest residential presence is located to the south of Fox Street in Kennedy Park and to the east along Hammond Street. There is a distinct separation between the more industrial uses of Cove and Anderson Streets and the residences of Hammond Street. This separation is created by a sharp change in topography. It is this topographical difference, rather than the zone boundary, which defines and delineates the change from residential to commercial/industrial uses.

The industrial/commercial uses in the vicinity include the Portland Housing Authority Maintenance facility, Screen Printing, Valve Services, Hardware Consultants, and Emerson Apparatus.

III. STAFF REVIEW

This plan has been reviewed by staff for conformance with the applicable review standards of the site plan and subdivision ordinances.

SITE PLAN REVIEW

1/2. Traffic

Access to the site is from a driveway off Anderson Street. The applicant is providing a 9-space parking lot on the northwest corner of the site. Four (4) parking spaces will be constructed during phase I, with the remaining five (5) parking spaces will be constructed during phase II.

Granite curb currently exists along Anderson Street. The applicant is proposing to install a concrete sidewalk along the frontage of Anderson Street.

3. Bulk, location, height of building and proposed uses will not cause health or safety problems

There are no known health or safety issues associated with the plan.

4. Bulk, location, height of buildings minimizes the diminution in value or utility to surrounding structures

The proposed building is 3 stories high -- well below the 45 foot B-5 height limit. Given that this proposal replaces an open gravel lot and has a strong residential design, this development should increase the value and utility of surrounding properties.

5. Sewers, water, solid waste disposal

Utility lines in Anderson Street will serve the development. A letter from Portland Water District is included as Attachment 2. A letter from Public Works stating that there is adequate sewer capacity is included as Attachment 2. The applicant is proposing that electric, telephone and cable will be underground.

The applicant had originally proposed three (3) separate sanitary sewer connections into the existing combined sewer in Anderson Street. Instead, Public Works requested that the applicant install a sanitary manhole on-site and connect all proposed laterals into the structure. Public Works also requested that only one pipe outlet this structure and connect into the Anderson Street sanitary sewer main, minimizing the impact to the City sewer. The applicant has revised the plans to reflect this recommendation. Public Works has reviewed the plans and finds them acceptable. Public Works memo is included as Attachment 9.

The applicant is providing an enclosed dumpster for solid waste disposal on-site. The applicant has explained that the dumpster will be accessed from the northerly side by tenants to dispose of their solid waste and will be accessed from the southerly side by a solid waste contractor to remove the solid waste. Staff is recommending that the applicant provide an easement from Portland Housing Authority allowing them access through their site for solid waste removal. A potential condition of approval is:

- That the applicant provide to staff an easement from Portland Housing Authority allowing access through their site for access to the applicant's dumpster.

There is an existing passageway that goes through the property. The applicant has provided insurance coverage respecting the passageway shown on the PROP parcel. Additionally, there is no building proposed within the passageway. This information is included as Attachment 6. The passageway currently has a water line going through it. Staff is recommending that the applicant provide a utility easement to the City in the event the City needs to maintain the water line. A potential condition of approval is:

- That the applicant provide an utility easement for the utility line running through the existing passageway located on the property.

6/7. Landscaping

The applicant has submitted a landscape plan, which is included as Attachment 14D. The applicant is proposing a number of Red Pine, Hemlock, Red Maple, Green Ash, Cornelian Cherry, Flowering Crab, European Cranberry, and Dogwood around the site. The applicant is also proposing some foundation plantings around the proposed buildings. Four (4) street trees are proposed along Anderson Street.

The City Arborist has reviewed the plan and is recommending the following comments:

- * The applicant has proposed a dense buffer of Pines on the eastern property line. Normally, this dense buffer would be encouraged, however, because of the grade difference between the abutting Hammond Street property and this property, there is a fear that the area behind the buffer could become a screening for illegal behavior. I am recommending that the applicant reduce the number of trees proposed within this area.
- * I would recommend that the applicant install approximately nine (9) additional shade trees around the two rear buildings. Please see the attached site plan showing the recommended location of the shade trees.
- * I have reviewed the plant list. Based on the Technical and Design Standards and Guidelines the size for the proposed Hemlock should be 5-6 ft. tall and size of the Cornelian Cherry and Flowering Crab should be at least 2 inch caliper.

The City Arborist's memo is included as Attachment 12. A potential condition of approval is:

- That the applicant revise the landscape plan to reflect the City Arborist's memo dated August 9, 2002 for review and approval by the City Arborist.

8. Soil and Drainage

The applicant proposed two ditches directing both on/off-site runoff around the two proposed structures in the rear. These ditches were proposed to outlet on the existing off-site Portland Housing Authority parking lot to the south and the proposed project parking lot to the north. This ditch runoff would then drain overland into Anderson Street. The City Engineering Consultant recommended that a piped storm drain system be designed to intercept runoff from these ditches prior to crossing parking lots and/or prior to crossing the property line into Anderson Street. The applicant has revised the plans to direct runoff to a catch basin at the rear of the property, and piped into Anderson Street.

The Development Review Coordinator has reviewed and approved the plans as they address the DRC's previous comments.

9. Lighting

The applicant is proposing a pole-mounted light for the residential parking area. The applicant is also proposing two 12 ft. pole mounted lights for the walking path between the rear residential buildings. Catalogue cuts of the lighting are included as Attachment 7. Staff is recommending that the applicant provide the height of the pole mounted light in the parking area and to provide to staff a photometric plan which has been superimposed on the site plan to better determine if the proposed lighting will meet the City's lighting standards. A potential condition of approval is:

- That the applicant provide the height of the pole mounted light in the parking area and provide an overall photometric plan for the site for review by staff.

10. Fire

Gaylen McDougall of the Fire Department has reviewed the plan and finds it acceptable. A fire hydrant is located about 115 feet from the site and each of the three buildings will have sprinklers.

11. City Infrastructure

The development is proposed to be consistent with off-premises infrastructure existing or planned by the City.

12. Multiple-Family Design Standard

A. Exterior Design

The design provides positive visual interest by incorporating appropriate architectural elements. Front porches, roofline configuration, size, number and spacing of windows, corner board and trim details are an excellent expression of the neighborhood architectural character.

B. Respects Existing Relationship of Buildings to Streets

The front building is sited at the street line like other buildings in the neighborhood. Although there is no entrance to the building on Anderson Street, the Anderson Street façade does have a number of details, such as windows along the street and the gable to the street. Also, the street trees along Anderson Street have been added to minimize the impact of the street side façade.

C. Open Spaces

The porches help enhance the sense of open space on the site for residents. There will also be open space area and a patio area between the two rear buildings.

D. Design of Windows and Storage Area

The submitted building elevations and floor plans indicate there are an adequate number of windows in each dwelling unit for sunlight and air. The porch areas increase the opportunity for light and air. Each unit will have a storage area in the basement.

E. Parking

The B-5 zone does not require off-street parking, however the applicant is providing 9 parking spaces on-site.

13. Natural Resources

This site is a small vacant lot in a densely developed neighborhood. There are no known adverse impacts on groundwater quantity and quality, surface water quantity and quality, wetlands, unusual natural areas, wildlife and fisheries habitat. Public water and sewer serve the site.

SUBDIVISION REVIEW

1. Water or Air Pollution

There are no known water or air pollution issues. Public water and sewer serve the development. It is not in a flood plain.

2./3. Water Supply

See Site Plan Review, section #5.

4. Soil Erosion

See Site Plan Review, section #8.

5. Traffic

The small number of dwellings proposed will have a minimal impact on the surrounding roadway system. No traffic related concerns were identified in the review. See also Site Plan Review, section #1.

6/7. Sanitary Waste and Storm Water

Existing sanitary waste lines in Anderson Street will be used. There is adequate capacity in the sewer system to accommodate this development. See Attachment 2.

8. Scenic, Natural Beauty, Aesthetics

This site is a vacant lot in an urban neighborhood. The project will improve the aesthetic quality of the neighborhood. There are no known natural or manmade resources that will be adversely affected by this proposal.

9. Land Development Plan

The proposal is in conformance with the Comprehensive Plan.

10. Financial and Technical Capacity

Financial and technical capacity information has been submitted. See Attachment 1.

IV. STAFF RECOMMENDATION

This project, as proposed meets the Subdivision and Site Plan ordinance, along with the B-5 zoning. The Zoning Administrator's memo is included as Attachment 8.

V. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #52-02, the Planning Board finds:

A. That the plan is in conformance with the site plan ordinance of the land use code.

Potential conditions of approval:

1. That the applicant provide to staff an easement from Portland Housing Authority allowing access through their site for access to the applicant's dumpster.
2. That the applicant provide a utility easement for the utility line running through the existing passageway located on the property. *or provide evidence of,*
3. That the applicant revise the landscape plan to reflect the City Arborist's memo dated August 9, 2002 for review and approval by the City Arborist.
4. That the applicant provide the height of the pole mounted light in the parking area and provide an overall photometric plan for the site for review by staff.

B. That the plan is in conformance with the subdivision ordinance of the land use code.

C. That the proposed Section Recording of two phases meets/does not meet the requirements of Section 14-495(h) of the subdivision ordinance.

Attachments

1. Applicant's Submittal
2. Utility Letters
3. Letter from Staff to Applicant dated June 28, 2002
4. Public Works' Memo dated July 2, 2002
5. DRC's Memo dated July 2, 2002
6. Letter from Applicant's Attorney Regarding Passageway dated July 22, 2002
7. Applicant's Submittal dated July 26, 2002
8. Zoning Administrator's Memo dated August 7, 2002
9. Public Works' Memo dated August 8, 2002
10. Abutter's Letter
11. DRC's Memo dated August 9, 2002
12. City Arborist's Memo dated August 9, 2002
13. Elevations
14. Plans

113 Anderson Street, Portland, Maine – Narrative to Site Plan Check List

(34) This nine unit project will be phased. Phase I consists of the three unit (triplex) to be constructed parallel to Anderson Street. Phase II will consist of two triplexes located perpendicular to the old Cove Street right of way. Parking for Phase I will consist of four spaces. Five additional parking spaces will be added with Phase II along with a modular block retaining wall. As each Phase will be submitted separately to the Maine State Housing Authority, the site will be subdivided and have recorded access easements accordingly.

(35) The triplexes consist of eight modules, including the roof, and will be placed on a concrete foundation containing a basement. The floors and ceilings will be double framed. The exterior will be sheathed in vinyl clapboard with wood trim, frieze and fascia boards. The roof will be of 30 year asphalt shingles.

(39) Solid waste will be accomplished via a dumpster located on the south property line and accessed from the service yard of the Portland Housing Authority.

(41) The drainage patterns will change only slightly from the existing conditions. Phase I and Phase II will utilize the existing sewer and catch basin #1 on Anderson Street.

(42) Phase I construction will occur within a 12 week time frame. Phase II will occur within 6 +/- months later and take up to 16 week.

(43) Phase I and Phase II construction must be reviewed and receive approval of the Maine State Housing Authority and the State Fire Marshall's office for NFPA Life Safety 100 Code Compliance and ADA for accessibility.

(44) There are no outstanding applications.

(16) The two phases are bisected by a 40 foot wide Portland Water District right-of-way (see Site Plan). Additional easements will afford access to Phase II through Phase I and parking for Phase II on Phase I land. Phase I will have access to the common area to be located between buildings 2 and 3 in Phase II.

February 27, 2002



KeyBank N.A.
One Canal Plaza
Portland, ME. 04101

Mr. Grant Lee
Executive Director
People's Regional Opportunity Program
510 Cumberland Ave.
Portland, Maine 04101

RE: Anderson-Cumberland-Grant/Mellon Streets LIHTC Project

Dear Grant:

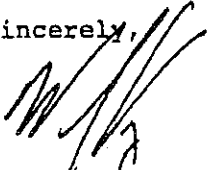
The purpose of this letter is to confirm Key Bank National Association's strong interest in providing construction financing for the above mentioned project, a proposal that would develop 29 units of residential affordable housing in the Greater Portland area. We would also be very interested in the acquisition of any Low Income Housing Tax Credits associated with the project.

The construction loan portion would be based on the following parameters:

Borrower:	People's Regional Opportunity Program
Facility:	Commercial Real Estate Construction Loan
Purpose:	To finance the construction of 29 residential rental housing units
Amount:	\$2,770,000
Term:	The sooner of 12 months from closing or construction completion.
Origination Fee:	1/2%
Interest Rate:	A rate equal to the LIBOR Rate plus 250 Basis Points. This is a sub-prime below market rate in consideration of this project.
Collateral:	First Mortgage on Real Estate plus Assignment of all Tax Credit proceeds and permanent financing. Also, first security interest in all building materials used in the project.
Loan to Value:	80%
Managing Agency:	People's Regional Opportunity Program or designee

We look forward to working with you in developing the above project. Please be advised the foregoing does not constitute an offer, agreement or commitment to provide such funding. A formal binding commitment may only be given after more extensive due diligence and completion of our internal approval process, which may impact the terms discussed above. Furthermore, any formal commitment issued by Key Bank National Association must be in writing and would contain more extensive terms and conditions.

Sincerely,



W. Scott Fox
Senior Vice President
Community Development Lending

133-141
ANDERSON ST.

1B

PURCHASE AND SALE AGREEMENT

THIS AGREEMENT made as of the 19 day of February, 2002, by and between PEOPLES REGIONAL OPPORTUNITY PROGRAM (hereinafter referred to as "Buyer"), a Maine not-for-profit corporation, with a principal office in City of Portland, County of Cumberland and State of Maine, whose mailing address is 510 Cumberland Avenue, Portland, Maine 04102, Cumberland, ME, 04105, and PORTLAND HOUSING AUTHORITY, a Maine quasi-municipal corporation with a principal office in Portland, County of Cumberland and State of Maine, whose mailing address is 14 Baxter Blvd., Portland, Maine 04102, and PORTLAND HOUSING DEVELOPMENT CORPORATION, a Maine not-for-profit corporation with a principal office in Portland, County of Cumberland and State of Maine, whose mailing address is 14 Baxter Blvd., Portland, Maine 04102 (hereinafter collectively referred to as "Seller").

WITNESSETH:

WHEREAS, the Seller desires to sell to Buyer and Buyer desires to purchase from Seller, Seller's respective interest in and to two (2) certain parcels of land (hereinafter referred to as the "real estate") situated on the easterly side of Anderson Street in the City of Portland County of Cumberland, and State of Maine, referenced as follows: Parcel One: 133-141 Anderson Street, being a portion of City of Portland Tax Map Sheet 12, comprising a portion of Block A, a portion of discontinued Cove Street, Block B Lot 6, a portion of Block C, being a portion of Lot 1, and the westerly half of the passage situated between Blocks B and C, as more fully delineated on Exhibits 1 and 2 annexed hereto and incorporated herein by reference, said parcel to have 114 feet of frontage on said Anderson Street; and Parcel Two: being the northerly portion of City of Portland Tax Map Sheet 12, Block B, Lot 3 and a portion of Sheet 10, Block C, Lot 6, comprising 6,618 square feet

NOW, THEREFORE, in consideration of Buyer's earnest money deposit and other good and valuable considerations paid, the receipt and sufficiency whereof is hereby

acknowledged, and by the mutual covenants, representations, warranties and agreements herein contained, the parties hereto agree as follows:

A. Purchase and Sale of Real Estate:

Buyer agrees to purchase from Seller, and Seller agrees to sell to Buyer, on the terms and conditions hereinafter set forth, the real estate hereinabove described.

B. Purchase Price:

The purchase price shall be \$32,000.00, which shall be payable as follows: \$1.00 to be deposited upon acceptance of this offer and the balance in cash or certified check at closing.

C. Purchase and Sale Agreement Subject to the Following Conditions:

1. **EFFECTIVE DATE:** The effective date of this agreement is the date on which all parties have completed execution. The use of days to mark an event or within which to complete a task shall be determined by calendar days from the effective date hereof, which the parties agree is: 02/20/02

2. **EARNEST DEPOSIT:** Seller acknowledges receipt of \$1.00 as earnest money deposit and Buyer agrees that the said deposit is to be held in escrow pending closing hereof by Seller.

3. **CONVEYANCE OF TITLE/CLOSING:** Seller shall execute and deliver to Buyer a deed, conveying good and merchantable title in accordance with standards adopted by the Maine Bar Association; and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on or before 07/31, 2002. The actual time and place of closing shall be by mutual agreement of the parties.

4. **DEED:** The property shall be conveyed by Quitclaim deed, and shall be free and clear of all encumbrances except covenants, restrictions and easements of record and land use ordinances and regulations; and real estate taxes affecting the property which are not yet due and payable.

5. **POSSESSION/OCCUPANCY:** Possession/occupancy of the premises shall be given immediately at closing.

1D

6. **RISK OF LOSS:** Until the closing, the risk of loss or damage to the premises, by fire or otherwise, is assumed by Seller and Seller agrees to keep the property insured for normal casualty risks.

7. **PRORATIONS:** The following items where applicable shall be prorated as of the date of closing: real estate taxes based on City of Portland fiscal year. Buyer and Seller shall each pay their transfer taxes as required by the State of Maine.

8. **ACCESS:** Buyer, its agents, architects, engineers, contractors and employees shall have the right to access the real estate on and after the effective date hereof for any and all reasons reasonably associated with preparation of site plan/subdivision review or requests to the Planning Board and/or City Council for zone change, including testing.

9. **BROKERS:** Both Buyer and Seller acknowledge that neither has taken any steps which would obligate Seller to pay a commission to any real estate broker in contemplation of this closing. Seller shall not be responsible for any such commissions. Each party hereby indemnifies the other party and holds the other party harmless from any claims made by a real estate broker to a commission from this sale based on an alleged agreement with the party who is obligated by this indemnity agreement.

10. **DEFAULT:** In the event of default by Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this contract and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, specific performance.

11. **PRIOR STATEMENTS:** Any representations, statements and agreements are not valid unless contained herein. This agreement completely expresses the obligations of the parties.

12. **BINDING EFFECT:** This agreement shall inure to the benefit of and shall be binding on the successors and/or assignees of the parties hereto.

13. **MODIFICATIONS:** No modifications to this contract shall be binding on the parties unless the same be reduced to writing and signed by the parties.

14. **NOTICES:** Notices required by this contract shall be in writing and delivered by First Class Mail, postage prepaid, addressed as follows:

IE

To Buyer: Robert E. Cain
Peoples Regional Opportunity Program
510 Cumberland Avenue
Portland, Maine 04102

Copy to: John E. Geary, Esq.
P.O. Box 6129
Falmouth, Maine 04105

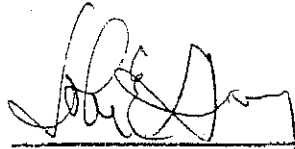
To Seller: Peter Howe, Executive Director
Portland Housing Authority
14 Baxter Blvd.
Portland, Maine 04101

Copy to:

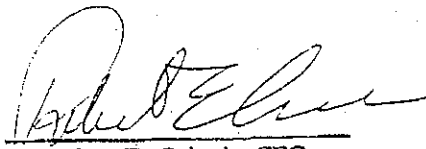
IN WITNESS WHEREOF the parties have caused this Agreement to be signed
and sealed by a duly authorized officer or agent, respectively.

Dated: February 20, 2002

Peoples Regional Opportunity Program



Witness



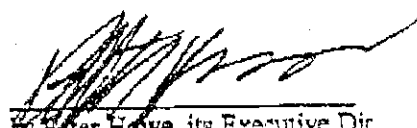
By Robert E. Cain, its CFO
Buyer
TIN: 01-0274725

Dated: February 17, 2002

Portland Housing Authority




Witness



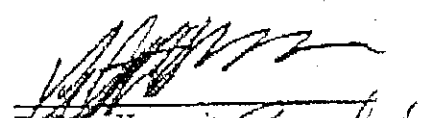
By Peter Howe, its Executive Dir.
TIN: 01-6001034

Dated: February 19, 2002

Portland Housing Development Corporation



Witness



By Peter Howe, its President
TIN: 22-2527595

IF

Robert Cain - ANDERSON ST

From: peter@porthouse.org
To: "Bob Cain" <REC@propeople.org>
Date: 2/14/02 1:50 PM
Subject: ANDERSON ST

Another thing to make your life more interesting! Has anyone looked at how the 20' wide passage that travels through your parcel effects the development? the passageway was created by Moses Gould in the 1850's, see book 269, page 37 (Gould to McAloon). I haven't a clue what it allows or if anyone actually still lives who has any rights to it. Something for the Lawyers.
Peter

16

Robert Cain - sale of anderson st land

From: peter@porthouse.org
To: "Bob Cain" <REC@propeople.org>
Date: 2/13/02 10:18 AM
Subject: sale of anderson st land

Bob,

We have had an estimate done of the cost to excavate, fence and pave our maintenance area after we split off the parcel to PROP and we are looking at about \$30,000 so lets talk about that as being the cost of the site to PROP.

How reasonable is that?

Let me know

Peter

PS see you this afternoon.

14

June 14, 2002

Brian Conroy, P. E.
Central Maine Power
162 Canco Road
Portland, ME 04103-4274

RE: Anderson Street PROP Family Housing

Dear Mr. Conroy:

On behalf of the People's Regional Opportunity Program, I am contacting you regarding their development of property located at Anderson Street here in Portland. They are proposing the construction of three, three dwelling unit buildings. We would greatly appreciate it if you could forward to us a letter stating the ability of Central Maine Power to service this project. Following is the pertinent information that I believe you will need in order to do this.

Primary Plan Reviewer: Kandice Talbot, 874-8901
Project: Anderson Street PROP Family Housing
Street Address: 113 Anderson Street
CDL #: Chart 12, Block b, Lots 9
Type of use: Residential.

Capacity Information: There are to be 3 buildings containing 3 units each with
3 bedrooms per unit for a combined total of 27 bedrooms.

Sincerely,


T. Scott Teas, AIA

I

June 14, 2002

Janet Coo
Northern Utilities Gas Company
PO Box 508
Portsmouth, NH 03802

RE: Anderson Street PROP Family Housing

Dear Ms. Coo:

On behalf of the People's Regional Opportunity Program, I am contacting you regarding their development of property located at 113 Anderson Street here in Portland. They are proposing the construction of three, three dwelling unit buildings. We would greatly appreciate it if you could forward to us a letter stating the ability of Northern Utilities to service this project. Following is the pertinent information that I believe you will need in order to do this.

Primary Plan Reviewer: Kandice Talbot, 874-8901
Project: Anderson Street PROP Family Housing
Street Address: 113 Cumberland Avenue
CDL #: Chart 12, Block B, Lot 9
Type of use: Residential.

Capacity Information: A single boiler of approximately 400 mbh will be used to heat each building (3 buildings total) and to provide domestic hot water. There will be no other requirements for gas.



T. Scott Teas, AIA

15

June 14, 2002

Mr. Frank Brancely
Department of Public Works
City of Portland
55 Portland Street
Portland, Maine 04101

RE: Anderson Street PROP Family Housing

Dear Frank,


On behalf of the People's Regional Opportunity Program, I am contacting you regarding their development of property located at 113 Anderson Street here in Portland. They are proposing the construction of three, three dwelling unit buildings. We would greatly appreciate it if you could forward to us a letter stating the acceptability of the calculated flow (see below) into the sewer on Anderson Street. Following is the pertinent information that I believe you will need in order to do this.

Primary Plan Reviewer: Kandice Talbot, 874-8901
Project: Anderson Street PROP Family Housing
Street Address: 113 Anderson Street
CDL #: Chart 12, Block B, Lots 9
Type of use: Residential.

Calculated Flow: Based on the "Handbook of Subsurface Wastewater Disposal in Maine," the total flow is estimated at 2430 gpd. This was calculated as follows:

Capacity Information: There are to be 3 buildings containing 3 units each with 3 bedrooms per unit for a combined total of 27 bedrooms.

3 bedroom unit @ 270 gpd x 9 units = 2430 gpd total

Sincerely,

I. Scott Teas, AIA

1K

June 14, 2002

Jim Pandiscio
Portland Water District
PO Box 3553-225 Douglas St.
Portland, ME 04104

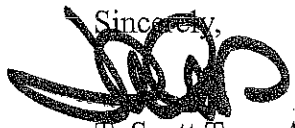
RE: Anderson Street PROP Family Housing

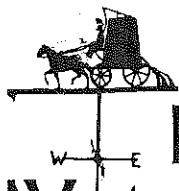
Dear Jim,

On behalf of the People's Regional Opportunity Program, I am contacting you regarding their development of property located at 113 Anderson Street here in Portland. They are proposing the construction of a three, three unit buildings. We would greatly appreciate it if you could forward to us a letter stating the ability of the Portland Water District to service this project. Following is the pertinent information that I believe you will need in order to do this.

Primary Plan Reviewer: Kandice Talbot, 874-8901
Project: Anderson Street PROP Family Housing
Street Address: 113 Anderson Street
CDL #: Chart 12, Block B, Lots 9
Type of use: Residential.

Capacity Information: There are to be 3 buildings containing 3 units each with 3 bedrooms per unit for a combined total of 27 bedrooms.

Sincerely,

T. Scott Teas, AIA



Portland Water District

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

Att. 2

Customer Service Hotline (207) 761-8310

(207) 774-5961

FAX (207) 879-5837

June 20, 2002

T. Scott Teas, AIA
TFH Architects
100 Commercial St.
Portland, Me. 04101

RECEIVED

JUN 24 2002

TFH ARCHITECTS, P.A.

Re: Anderson Street PROP Family Housing.

Scott:

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed three, three unit residences near the intersection of Anderson and Fox Streets. Checking District records, I find there is an 12" water main on the north east side of the street in Anderson St. as well as a 20" main on the south side of the street in Fox Street.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the needs of your proposed project. A map of the area is included with nearest main and hydrants indicated.

Hydrant Location: Anderson St. @Everett St.

Hydrant # 004

Static pressure = 95 PSI

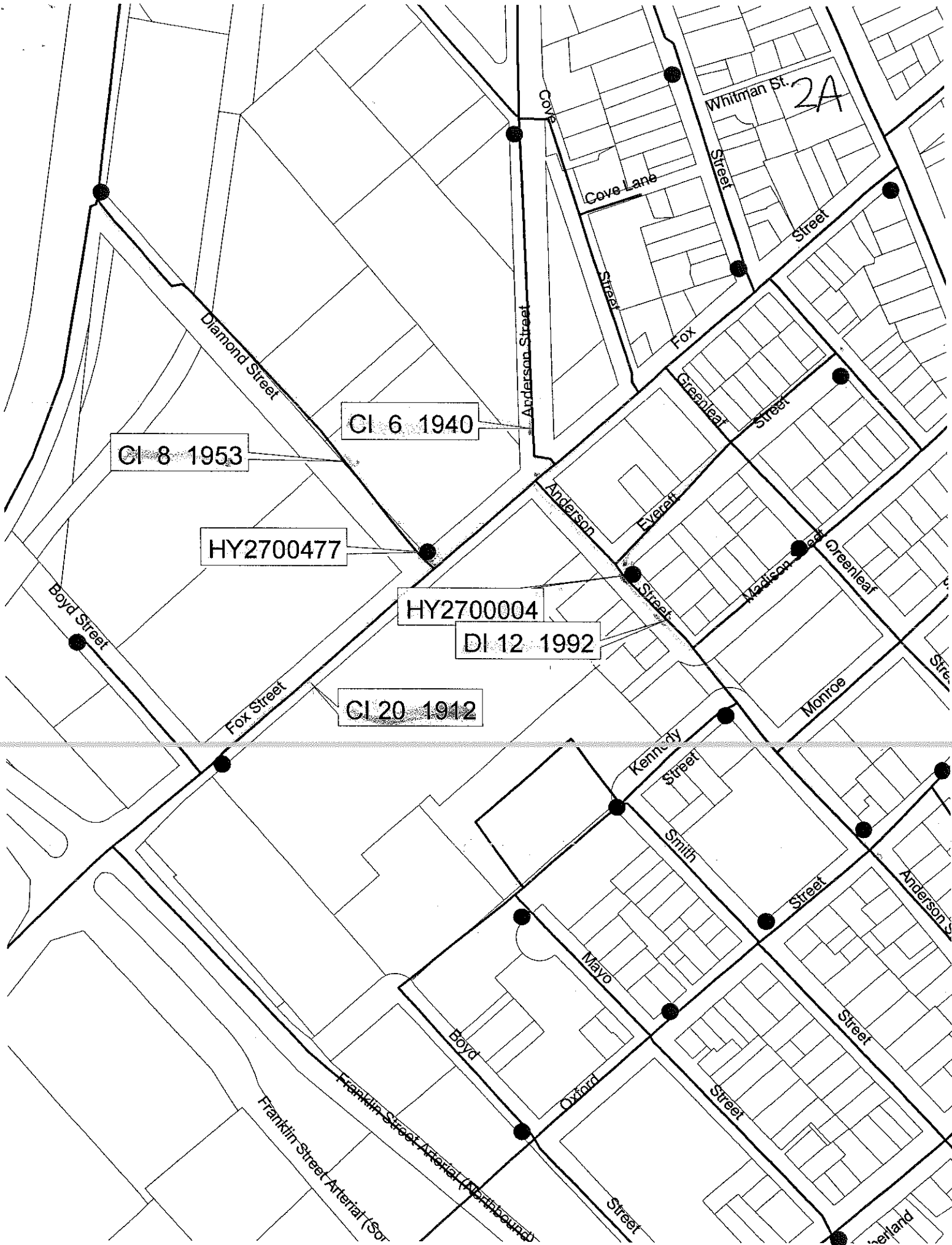
Flow = 1248 GPM

Last Tested = 6/11/91

If the district can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District

Jim Pandiscio
Means Coordinator



CI 8 1953

CI 6 1940

HY2700477

HY2700004

DI 12 1992

CI 20 1912

Whitman St. 2A

Diamond Street

Anderson Street

Cove Lane

Street

Street

Fox

Greenleaf

Street

Anderson

Everet

Street

Madison

Street

Greenleaf

Monroe

Kennedy

Street

Smith

Street

Street

Anderson

Street

Mayo

Boyd

Oxford

Street

Street

Franklin Street Arterial (Southbound)

Franklin Street Arterial (Northbound)

Benland

Department of Public Works



Att. 2b
William J. Bray
Director

CITY OF PORTLAND

July 25, 2002

Mr. Scott Teas, AIA
TFH Architects
100 Commercial Street
Portland, ME 04101

**RE: The Capacity to Handle Wastewater Flows,
From a Nine Unit, Peoples Regional Opportunity Program (P.R.O.P.) Project
(At the N.E. Corner of Anderson and Cove Streets)**

Dear Mr. Teas:

The existing forty eight inch (48") inch diameter brick sanitary interceptor sewer located in Anderson Street, has adequate capacity to transport the anticipated wastewater flows of 2,430 GPD, from the proposed construction of three (3), three (3) dwelling unit buildings at the northeast corner of Anderson and Cove Streets.

The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to treat the total anticipated wastewater flows of 2,430 GPD, from the proposed nine P.R.O.P. units.

Anticipated Wastewater Flows from the P.R.O.P. Units

Three (3) bedroom unit at 270 gpd x three (3) units/building x three (3) buildings = 2,430 gpd

Total Proposed Increase in Wastewater Flows for this Project = 2,430 gpd

The City's combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and the Maine D.E.P., requires C.S.O. abatement, as well as Stormwater mitigation, from all projects, in order to offset any increase in sanitary flows.

If I can be of further assistance, please call me at (207) 874-8828.

Sincerely yours,
CITY OF PORTLAND

William B. Goodwin, P.E.
Environmental Engineer

WBG:jw

cc: William J. Bray, P.E., Director of Public Works
Alexander Q. Jaegerman, Acting Co-Director, Dept of Planning, and Urban Development, City of Portland
Kandice Talbot, Planner, Department of Planning & Urban Development, City of Portland
Eric J. Labelle, P.E., City Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Anthony W. Lombardo, P.E., Project Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Todd F. Merkle, Field Inspections Coordinator
Frank J. Brancely, Senior Engineering Technician, City of Portland
Desk File

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

AH. 3
Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

June 28, 2002

Mr. Scott Teas
TFH Architects
100 Commercial Avenue
Portland, ME 04101

RE: PROP 9-Unit Subdivision, Anderson Street
ID #2002-0140, CBL #012-B-009

Dear Mr. Teas:

After review of the 9-unit subdivision proposed at Anderson Street, the following comments have been generated:

1. Parking lot space #2 does not appear to be a standard 9' x 19' parking space. The plan should dimension the parking space out to show whether it is an actual parking space.
2. The applicant must submit utility capacity letters from the appropriate utility companies.
3. How will the dumpster be accessed? It appears that trash will be picked up from the Portland Housing Authority property. It also appears that a portion of the dumpster is located on the Portland Housing Authority property. An easement from Portland Housing Authority shall be submitted allowing access to the dumpster and allowing the dumpster on their property. The plan shows a fence enclosure around the dumpster. What type of fence enclosure is proposed?
4. The façade of the building right on Anderson Street appears to be the back of the building. It is a recommendation that the building have a front on Anderson Street. It may be possible to accomplish this by moving the porch to the Anderson Street side. Also, is it possible to push the rear buildings back to align with the Artist Live/Work Building to provide continuity?
5. A landscaping plan must be provided. The subdivision ordinance requires that there be two (2) trees per unit, therefore a total of 18 trees will be required.
6. Is there any lighting proposed on the site for the parking lot? If so, catalogue cuts and a photometric plan shall be submitted.
7. The plans show that a modular block wall will be installed during Phase I on the abutting Portland Housing Authority property. What is the purpose of this wall?

3A

8. The easement language for the Portland Water District must be submitted to staff to determine that pavement, utilities and dumpster location are allowed within the Portland Water District easement.
9. The site plan shows underground electric to the two rear buildings, however, it shows overhead electric to the front building. What is the reason for this?
10. The plan does not show a sprinkler system.
11. Please submit a porch detail showing materials to be used.
12. Because the front building has been relocated since the rezoning process, a neighborhood meeting will be required for this site. As you are aware, a notice must go out 7 days prior to the neighborhood meeting and the neighborhood meeting must be held at least 7 days prior to the public hearing on this project. Also, if labels are needed, they are available in the Planning office for \$1 a sheet.

The Development Review Coordinator and Public Works Engineer are currently reviewing the plans. Once comments are received, I will forward them accordingly. The PROP 9-unit proposal is scheduled for a workshop on July 9th at 3:30p.m. in Room 209 at City Hall.

Sincerely,



✓ Kandice Talbot
Planner

CC: Sarah Hopkins, Development Review Services Manager

AH. 5



02P140

TO: Kandi Talbot – Planner
FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.
RE: PROP Family Housing – 113 Anderson Street
DATE: July 2, 2002

Sebago Technics made a site visit on Thursday, June 27, 2002 and has reviewed the Site Plan/Subdivision Package and supporting documentation for PROP Family Housing at 113 Anderson Street. The following comments are submitted in outline format:

1. **Stormwater Management**

- A. The existing site is a combination of lawn and gravel parking. The construction of the three buildings and paved drive, parking and sidewalks will increase runoff from the site. No detention is proposed. The existing catch basin #1 noted on the plans is part of the combined sewer system. A letter must be obtained from Public Works stating that additional stormwater may be introduced into the combined system and that adequate capacity exists for both sewer and stormwater runoff.
- B. The grading plan shows two ditches directing both on/off-site upgradient runoff around the two proposed easterly structures (Phase 2). These ditches outlet onto the existing off-site Portland Housing Authority parking lot to the south and the proposed project parking lot to the north, creating possible icy/hazardous conditions during cold weather. This ditch runoff crossing the proposed parking lot then drains overland into Anderson Street. We recommend that a piped storm drain system be designed to intercept runoff from these ditches prior to crossing parking lots and/or prior to crossing the property line into Anderson Street.
- C. The proposed development will eliminate space currently used by Portland Housing Authority for vehicular parking. Construction of the proposed retaining wall with associated grading on the abutting Portland Housing Authority lot appears to be suitable for parking, but is not labeled as such. Elimination of this lawn area could create additional runoff, especially if the area is to provide future parking. Please clarify.

5A

2. Road Access/Circulation

- A. Proposed parking space number "2" does not meet City standards for a parking space. Vehicles using this space would obstruct the porch walkway to the Phase1 building. Please revise the parking layout.
- B. It appears that there is little space available on site to place snow, especially with five spaces abutting the property line. Please indicate snow removal stockpile areas or methods for removal.
- C. Dumpster location/access by residents/waste hauler raises concern. It appears that residents are to access the dumpster from the north and the waste hauler from the south. Does a typical dumpster container facilitate this use/approach? Typically, a container is accessed from the same side by all users. The applicant may have to obtain an easement for access to the dumpster from Portland Housing Authority property since two different lots are being used. The may want to combine the dumpster location to require only one dumpster pick-up.

3. Grading/Erosion Control

- A. The design of retaining walls will need to be done by a licensed professional and plans submitted.
- B. No silt fence, construction entrance, inlet protection or other BMP is proposed on the plan. These items (and/or additional BMPs) need to be added to the plans.

4. Utility Installation/Location

- A. A sewer manhole may be required at the property line and one connection made to the main in Anderson Street. Cleanouts should be located on the plan for the three proposed sewer lines.
- B. The existing water line shown (in what we believe is referred to as Cove Lane), between the two Phase 2 dwellings is a 2-inch line, installed in 1937, believed to be galvanized pipe according to Portland Water District (conversation on 07-01-02). This line is labeled as ¾-inch at the top of the plan. This line is not suitable according to the Portland Water District for water/fire protection service(s) to these two buildings, if necessary.
- C. A profile should be drawn showing sewer pipe sizes, slopes and inverts of the proposed sewer service(s). These lines cross the existing 6-inch cast iron water main in Cove Street and include other utility crossings, such as underground electric, gas and stormdrain.

5B

5. **Buffers**

- A. Recommend a vegetated buffer be planted along the southern property line to separate different uses.

6. **Details**

- A. Two planting details are included as items 8 and 9. Their proposed locations and species should be noted on the appropriate plan.
- B. Dumpster enclosure details are needed.
- C. Erosion control notes, seeding notes and details shall be placed on the plans so that the contractor will have them in the field.
- D. Appropriate BMP details shall be included on detail plan sheet.

Please contact our office with any questions.

TS:jc

John E. Geary, Esquire

Att. 6

Attorney and Counselor at Law
173 Gray Road
P. O. Box 6129
Falmouth, Maine 04105

Telephone (207) 878-9020
Fax (207) 878-9041
e-mail: jeg@groupgeary.net

July 22, 2002

Penny Littell, Esquire
Office of Corporation Counsel
City of Portland
389 Congress Street
Portland, Maine 04101

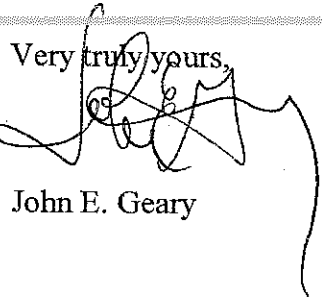
**Re: People's Regional Opportunity Program
Subdivision application: Anderson Street**

JUL 25 2002

Dear Ms. Littell:

Regarding PROP's pending application for Site Plan/Subdivision Plan approval for its Anderson Street project [in two phases], please be advised that Lawyers Title Insurance Corp. has agreed to provide affirmative insurance coverage respecting the Passage Way shown on Portland Assessor's Map 12 to the extent that it is included in Phase II of PROP's proposed plan. The Passage Way does not extend into Phase I of the plan.

I have enclosed a copies of my title commitments to PROP in this regard.

Very truly yours,

John E. Geary

enclosures
cc: Bob Cain, PROP

LOT 1
Lawyers Title Insurance Corporation

A LANDAMERICA COMPANY

NATIONAL HEADQUARTERS
Richmond, Virginia
COMMITMENT FOR TITLE INSURANCE

LoA

LAWYERS TITLE INSURANCE CORPORATION, A Virginia corporation, herein called the Company, for valuable consideration, hereby commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest covered hereby in the land described or referred to in Schedule A, upon payment of the premiums and charges therefor; all subject to the provisions of Schedule A and B and to the Conditions and Stipulations hereof.

This Commitment shall be effective only when the identity of the proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A hereof by the Company, either at the time of the issuance of this Commitment or by subsequent endorsement.

This Commitment is preliminary to the issuance of such policy or policies of title insurance and all liability and obligations hereunder shall cease and terminate six (6) months after the effective date hereof or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue such policy or policies is not the fault of the Company. This Commitment shall not be valid or binding until countersigned by an authorized officer or agent.

IN WITNESS WHEREOF, the Company has caused the Commitment to be signed and sealed, to become valid when countersigned by an authorized officer or agent of the Company, all in accordance with its By-Laws. This Commitment is effective as of the date shown in Schedule A as "Effective Date."

CONDITIONS AND STIPULATIONS

1. The term "mortgage," when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquires actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions and Stipulations.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in under taking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and Stipulations and the exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.

Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.

Lawyers Title Insurance Corporation

A LANDAMERICA COMPANY

By: *Janet A. Alpert*

Attest: *J. L. Dewey*



Lawyers Title Insurance Corporation
Commitment for Title Insurance
Schedule A

6B

Case No. 02-Cum-04

1. Effective Date: May 15, 2002 at 4:30 P.M.

2. Policy or policies to be issued:

- | | | |
|-----|--|---------------------|
| (a) | ALTA Owner's Policy 1992
Proposed Insured:
Peoples Regional Opportunity Program or assigns | Amount \$300,000.00 |
| (b) | ALTA Loan Policy, 1992
Proposed Insured:
Key Bank, N.A. | Amount \$300,000.00 |
| (c) | Proposed Insured: | Amount \$ |

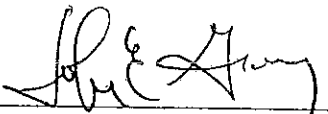
3. Title to the fee simple estate or interest in the land described or referred to in this commitment is at the effective date hereof vested in :

Portland Housing Authority

4. The land referred to in this commitment is described as follows:

All those certain parcels of land with the buildings thereon situated at 131-141 Anderson Street, Portland, Cumberland County, State of Maine, all more particularly described in Exhibit A attached hereto and made a part hereof.

Countersigned at: Falmouth, Maine



John E. Geary, Authorized Agent

Schedule A- Page 1

This commitment is invalid unless the insuring provisions and Schedules A and B are attached.

EXHIBIT A – LOT 1

6C

A certain lot or parcel of land situated on the easterly side line of Anderson Street in the City of Portland, County of Cumberland and State of Maine, and being Lot 1 as shown on Subdivision Plan, Peoples Regional Opportunity Program, Portland Housing Development, Anderson Street, PHA, Portland, Maine dated June 18, 2002, Pinkham & Greer, Consulting Engineers, Inc., [drawing C1], bounded and described as follows:

Beginning at a point on the easterly side line of Anderson Street at the southwesterly corner of land now or formerly of Random Orbiting, Inc. as described in a deed recorded in the Cumberland County Registry of Deeds in Book 16834, Page 78; thence, N88° 00' 00"E along said land of Random Orbiting, Inc. a distance of 27.51 feet to a point; thence turning and running S01° 07' 15"E a distance of 133.66 feet through the now-discontinued Cove Street to a point; thence turning and running N75° 32' 36"W a distance of 63.28 feet through the now-discontinued Cove Street and along and forming the northerly boundary of remaining land of Portland Housing Authority to a point on the easterly side line of said Anderson Street; thence turning and running N14° 54' 55" E along the said easterly side line of Anderson Street a distance of 120.78 feet to the point of beginning. Containing 5,663 square feet.

All courses are Magnetic North.

Together with a right of way for foot and vehicular traffic and a parking easement, both for the benefit of the occupants of the within Lot 1 over and on Lot 2 as shown on said Plan, and being more particularly shown on Site Plan, Peoples Regional Opportunity Program, Portland Housing Development, Anderson Street, PHA, Portland, Maine, dated June 18, 2002, Pinkham and Greer, Consulting Engineers, Inc [drawing C2].

And subject to a right of way for foot and vehicular traffic to and from said Anderson Street and to and from said Lot 2 across the parking areas of the within Lot 1, and a parking easement for a portion of one vehicle on the parking areas on the within Lot 1, as more particularly shown on the said Site Plan, and an access and use easement from said Lot 2 across paved walkways on the within Lot 1 to the trash can storage area, as shown on the said Site Plan, all for the benefit of the occupants of said Lot 2.

Lawyers Title Insurance Corporation
Schedule B- Section 1
Requirements

6D

The following are the requirements to be complied with:

Item (a) Payment to or on account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.

Item (b) Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record, to wit:

Note: As used herein recorded shall mean recorded with the Cumberland County Registry of Deeds.

1. All outstanding real estate taxes, water, sewer and other municipal betterment assessments and charges to be paid at or prior to the closing.
2. Duly authorized, executed and recorded deed(s) from Portland Housing Authority vesting fee simple title in Peoples Regional Opportunity Program or assigns. Real Estate Transfer Tax forms plus a check made out to the appropriate county Registry of Deeds in the amount of the Transfer Tax must accompany the deed to be recorded in this transaction.
3. Duly authorized, executed and recorded mortgage from Peoples Regional Opportunity Program or assigns to Key Bank, N.A. securing its loan. NOTE: A creditors' rights exception will be added to Schedule B-Part I of the policy if the mortgage is not recorded within ten (10) days of its execution.

Lawyers Title Insurance Corporation
Schedule B- Section 2
Exceptions

6E

Case No. :02-Cum-04

The policy or policies to be issued will contain exceptions as to the following unless the same are disposed of in satisfaction of the Company.

A. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date he proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.

Note: As used herein recorded shall mean recorded with the Cumberland County Registry of Deeds.

1. Taxes assessed as of April 1, 2002 and for subsequent years. NOTE: Sellers are quasi-governmental agencies and are currently exempt from real property taxes.

2. Persons in possession.

Note: Upon receipt of an executed Owner's and Purchaser's Affidavit and Indemnity, this exception will be deleted or amended in accordance with the facts disclosed thereby.

3. Rights or claims of parties in possession and easements or claims of easements not shown by the public records, boundary-line disputes, overlaps, encroachments, any matters not of record which would be disclosed by an accurate survey and inspection of the premises.

Note: Upon receipt of a current Mortgage Loan Inspection Plan, or survey with Surveyor's Affidavit, this exception will be deleted or amended in accordance with the facts disclosed thereby. (Loan Policy)

4. Any lien, or right to a lien, for services, labor or materials, heretofore or hereafter furnished, imposed by law and not shown by the public records.

Note: Provided this is not a construction loan, upon receipt of an executed Owner's and Purchaser's Affidavit and Indemnity indicating no such rights, this exception will be deleted from the policy. (Loan Policy)

5. Title to and rights of the public and others entitled thereto in and to any portion of the insured premises located within the bounds of adjacent streets, roads and ways.

6. Subject to an easement to Portland Water District to maintain a water line in the area of the now discontinued Cove Street recorded in Book 15330, Page 143.

Copy Lot 2

Lawyers Title Insurance Corporation

A LANDAMERICA COMPANY

NATIONAL HEADQUARTERS
Richmond, Virginia
COMMITMENT FOR TITLE INSURANCE

6F

LAWYERS TITLE INSURANCE CORPORATION, A Virginia corporation, herein called the Company, for valuable consideration, hereby commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest covered hereby in the land described or referred to in Schedule A, upon payment of the premiums and charges therefor; all subject to the provisions of Schedule A and B and to the Conditions and Stipulations hereof.

This Commitment shall be effective only when the identity of the proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A hereof by the Company, either at the time of the issuance of this Commitment or by subsequent endorsement.

This Commitment is preliminary to the issuance of such policy or policies of title insurance and all liability and obligations hereunder shall cease and terminate six (6) months after the effective date hereof or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue such policy or policies is not the fault of the Company. This Commitment shall not be valid or binding until countersigned by an authorized officer or agent.

IN WITNESS WHEREOF, the Company has caused the Commitment to be signed and sealed, to become valid when countersigned by an authorized officer or agent of the Company, all in accordance with its By-Laws. This Commitment is effective as of the date shown in Schedule A as "Effective Date."

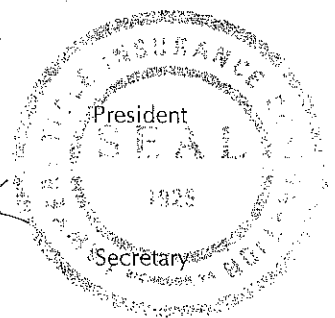
CONDITIONS AND STIPULATIONS

1. The term "mortgage," when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquires actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions and Stipulations.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in under taking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and Stipulations and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.

Lawyers Title Insurance Corporation
A LANDAMERICA COMPANY

By: *Janet A. Alpert*

Attest: *J. H. Dwyer*



Lawyers Title Insurance Corporation
Commitment for Title Insurance
Schedule A

66

Case No. 02-Cum-04

1. Effective Date: May 15, 2002 at 4:30 P.M.

2. Policy or policies to be issued:

- | | | |
|-----|--|---------------------|
| (a) | ALTA Owner's Policy 1992
Proposed Insured:
Peoples Regional Opportunity Program or assigns | Amount \$600,000.00 |
| (b) | ALTA Loan Policy, 1992
Proposed Insured:
Key Bank, N.A. | Amount \$600,000.00 |
| (c) | Proposed Insured: | Amount \$ |

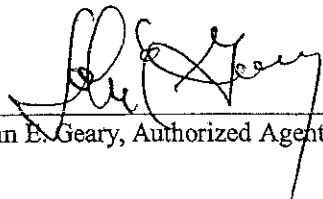
3. Title to the fee simple estate or interest in the land described or referred to in this commitment is at the effective date hereof vested in :

Portland Housing Authority and Portland Housing Development Corp.

4. The land referred to in this commitment is described as follows:

All those certain parcels of land with the buildings thereon situated at 19-29 Cove Street [discontinued], Portland, Cumberland County, State of Maine, all more particularly described in Exhibit A attached hereto and made a part hereof.

Countersigned at: Falmouth, Maine



John E. Geary, Authorized Agent

Schedule A- Page 1

This commitment is invalid unless the insuring provisions and Schedules A and B are attached.

EXHIBIT A – LOT 2

6H

A certain lot or parcel of land situated easterly of the easterly side line of Anderson Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a point 27.51 feet distant from the easterly side line of said Anderson Street on a course N 88° 00' 00" E as marked from a point forming the northwesterly corner of land now or formerly of Portland Housing Authority as described in a deed recorded in the Cumberland County Registry of Deeds in Book 5038, Page 232; said point of beginning also forming the northeasterly corner of Lot 1 as shown on a plan entitled Subdivision Plan, Peoples Regional Opp. Program, Portland Housing Development, Anderson Street PHA, Portland, Maine, dated June 18, 2002, by Pinkham & Greer, Consulting Engineers, to be recorded; thence, turning and running S01° 07' 15"E through now-discontinued Cove Street a distance of 133.66 feet to a point in now-discontinued Cove Street; thence, turning and running S75° 32' 36"E through now-discontinued Cove Street and along remaining land of Portland Housing Development as described in a deed recorded in the said Registry of Deeds in Book 12639, Page 206, a distance of 102.9 feet to a point on the easterly side line of land now or formerly of Robert A. DiDonato, et al., as described in a deed recorded in the said Registry of Deeds in Book 6420, Page 257; thence, turning and running N00° 08' 40" E along said land now or formerly of DiDonato, et al., a distance of 26.84 feet to a point marking the northwesterly corner of said land now or formerly of DiDonato, et al.; thence, turning and running N87° 58' 17"E along said land now or formerly of DiDonato, et al., a distance of 60.69 feet to a point on said land now or formerly of DiDonato et al., forming an intersection with the southwesterly corner of land now or formerly of Remo A. DiMillo as described in a deed recorded in the said Registry of Deeds in Book 2993, Page 435, and the southeasterly corner of land now or formerly of Remo A. DiMillo as described in a deed record in said Registry of Deeds in Book 4031, Page 71; thence, turning and running N74° 59' 02" W along said land now or formerly of DiMillo as described in said Book 4031, Page 71, a distance of 34.14 feet to a point marking the southwesterly corner of said land now or formerly of DiMillo as described in Book 4031, Page 71; thence, turning and running N01° 07' 15"W along said land now or formerly of DiMillo and crossing a Passage Way as shown on said Plan a distance of 59.20 feet to a point on the northerly side line of said Passage Way and the southerly line of land now or formerly of Scott R. Webber, et al., as described in a deed recorded in said Registry of Deeds in Book 11167, Page 136; thence, turning and running S87° 58' 17"W along said land now or formerly of Webber, et al., and the northerly side line of said Passage Way a distance of 26.37 feet to a point on the said side line of said Passage Way at the southwesterly corner of said land now or formerly of Webber, et al.; thence, turning and running N00° 08' 40"E along said land now or formerly of Webber, et al., and along land now or formerly of Margaret Donatelli as described in a deed recorded in said Registry of Deeds in Book 10944, Page 208, a distance of 66.65 feet to a point on the westerly line of said land now or formerly of Donatelli at a point marking the southeasterly corner of land now or formerly of Random Orbiting, Inc., as described in deeds recorded in said Registry of Deeds in Book 16255, Page 147 and Book 16834, Page 80; thence, turning and running

6I

S88° 00' 00"W along said land now or formerly of Random Orbiting, Inc. a distance of 102.67 feet to the point of beginning; containing 16,717 sq. ft.; and being Lot 2 as shown on said Plan.

All bearings are magnetic north.

Subject to an easement to Portland Water District as described in a deed recorded in the said Registry of Deeds in Book 15330, Page 143; and further subject to an unrecorded easement benefiting said Portland Water District for maintenance of a water line within the Passage Way as shown on said Plan.

And together with an easement and right of way for foot and vehicular traffic to and from said Anderson Street and to and from the within Lot 2 across the parking areas of Lot 1, as shown of said Plan, and a parking easement for two (2) vehicles and for a portion of one additional vehicle on the parking areas on said Lot 1, and an access and use easement from the within Lot 2 across paved walkways on the said Lot 1 to the trash can storage area of said Lot 1, as more particularly shown on Site Plan, Peoples Regional Opportunity Program, Portland Housing Development, Anderson Street, PHA, Portland, Maine, dated June 18, 2002, Pinkham and Greer, Consulting Engineers, Inc [drawing C2], and all for the benefit of the occupants of the within Lot 2.

Lawyers Title Insurance Corporation
Schedule B- Section 1
Requirements

6J

The following are the requirements to be complied with:

Item (a) Payment to or on account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.

Item (b) Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record, to wit:

Note: As used herein recorded shall mean recorded with the Cumberland County Registry of Deeds.

1. All outstanding real estate taxes, water, sewer and other municipal betterment assessments and charges to be paid at or prior to the closing.
2. Duly authorized, executed and recorded deed(s) from Portland Housing Authority and Portland Housing Development Corp. vesting fee simple title in Peoples Regional Opportunity Program or assigns. Real Estate Transfer Tax forms plus a check made out to the appropriate county Registry of Deeds in the amount of the Transfer Tax must accompany the deed to be recorded in this transaction.
3. Duly authorized, executed and recorded mortgage from Peoples Regional Opportunity Program or assigns to Key Bank, N.A. securing its loan. NOTE: A creditors' rights exception will be added to Schedule B-Part I of the policy if the mortgage is not recorded within ten (10) days of its execution.

Lawyers Title Insurance Corporation
Schedule B- Section 2
Exceptions

OK

Case No. :02-Cum-04

The policy or policies to be issued will contain exceptions as to the following unless the same are disposed of in satisfaction of the Company.

A. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date he proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.

Note: As used herein recorded shall mean recorded with the Cumberland County Registry of Deeds.

1. Taxes assessed as of April 1, 2002 and for subsequent years. NOTE: Sellers are quasi-governmental agencies and are currently exempt from real property taxes.

2. Persons in possession.

Note: Upon receipt of an executed Owner's and Purchaser's Affidavit and Indemnity, this exception will be deleted or amended in accordance with the facts disclosed thereby.

3. Rights or claims of parties in possession and easements or claims of easements not shown by the public records, boundary-line disputes, overlaps, encroachments, any matters not of record which would be disclosed by an accurate survey and inspection of the premises.

Note: Upon receipt of a current Mortgage Loan Inspection Plan, or survey with Surveyor's Affidavit, this exception will be deleted or amended in accordance with the facts disclosed thereby. (Loan Policy)

4. Any lien, or right to a lien, for services, labor or materials, heretofore or hereafter furnished, imposed by law and not shown by the public records.

Note: Provided this is not a construction loan, upon receipt of an executed Owner's and Purchaser's Affidavit and Indemnity indicating no such rights, this exception will be deleted from the policy. (Loan Policy)

5. Title to and rights of the public and others entitled thereto in and to any portion of the insured premises located within the bounds of adjacent streets, roads and ways. NOTE: There is a way entitled "Passage" shown on City of Portland Assessor's Tax Map 12 between Hammond Street and the now discontinued Cove Street, to which title cannot be readily determined. This policy insures against loss or damage, including reasonable attorney's fees, for claims for the forced removal of the improvements from the above referenced passage.

6. Subject to an easement to Portland Water District to maintain a water line in the area of the now discontinued Cove Street recorded in Book 15330, Page 143.

7. Subject to an apparent easement to Portland Water District to maintain a water line in the above reference passage.

AH.7

TFH ARCHITECTS 100 COMMERCIAL STREET PORTLAND MAINE 04101 TELÉPHONE 207-775-6141 ARCHITECTURE AND PLANNING

Kandice Talbot, Planner
Planning & Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

July 26, 2002

RE: 113 Anderson Street, Portland, Maine – Narrative to Planning Board Public Hearing

Dear Kandice:

We offer the following in response to your Memorandum of July 9, 2002 regarding the People's Regional Opportunity Program's development of three, three-unit triplexes at 113 Anderson Street here in Portland:

Traffic

1. The parking lot has been modified to bring all parking spaces, I believe, into compliance with City of Portland Technical and Design Standards.
2. The space created by the retaining wall on the Portland Housing Authority parcel is for parking. The site plan has been revised to indicate this.
3. A construction detail for the concrete sidewalk has been included for your review.

Building Design

1. Given the industrial nature of the properties across the street we feel that creating a central green space between the three buildings is an appropriate gesture. This will allow the residents to exit their homes into an outdoor space with a residential feel rather than industrial. We have added street plantings along Anderson Street in order to minimize the impact of the Street side facade.

Sewers, Water, Solid Waste Disposal

1. A letter of adequate sewer capacity has been included with this submission for review.
2. Utilities for all three buildings will be underground.
3. A single sanitary sewer connection will be made to the existing combined sewer as requested. The site plan has been revised to indicate this.
4. A dumpster enclosure detail has been provided for review.

7A

5. An easement from Portland Housing Authority granting access for solid waste removal is currently under negotiation.

Landscaping

1. Additional trees have been added to the site plan.

Soil and Drainage

1. The drainage ditches have been modified to reduced off site runoff as recommended. They will now direct runoff to a catch basin at the rear of the property.
2. The owner, PROP, is the responsible for the removal of snow from the site. The site plan has been revised to indicate this.

Lighting

1. Catalogue cuts for the exterior light fixtures has been included for review.

Fire

1. Each of the three buildings will have sprinklers.

Please let us know if you need any further information. Thank you.

Sincerely,

Chris Cavendish

Department of Public Works



7B
William J. Bray
Director

CITY OF PORTLAND

July 25, 2002

Mr. Scott Teas, AIA
TFH Architects
100 Commercial Street
Portland, ME 04101

RE: The Capacity to Handle Wastewater Flows,
From a Nine Unit, Peoples Regional Opportunity Program (P.R.O.P.) Project
(At the N.E. Corner of Anderson and Cove Streets)

Dear Mr. Teas:

The existing forty eight inch (48") inch diameter brick sanitary interceptor sewer located in Anderson Street, has adequate capacity to transport the anticipated wastewater flows of 2,430 GPD, from the proposed construction of three (3), three (3) dwelling unit buildings at the northeast corner of Anderson and Cove Streets.

The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to treat the total anticipated wastewater flows of 2,430 GPD, from the proposed nine P.R.O.P. units.

Anticipated Wastewater Flows from the P.R.O.P. Units

Three (3) bedroom unit at 270 gpd x three (3) units/building x three (3) buildings = 2,430 gpd

Total Proposed Increase in Wastewater Flows for this Project = 2,430 gpd

The City's combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and the Maine D.E.P., requires C.S.O. abatement, as well as Stormwater mitigation, from all projects, in order to offset any increase in sanitary flows.

If I can be of further assistance, please call me at (207) 874-8828.

Sincerely yours,
CITY OF PORTLAND

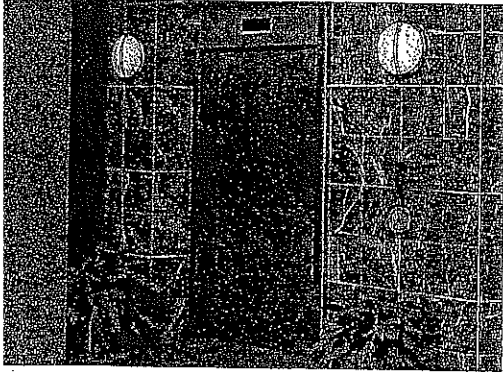
William B. Goodwin
William B. Goodwin, P.E.
Environmental Engineer

WBG:jw

cc: William J. Bray, P.E., Director of Public Works
Alexander Q. Jaegerman, Acting Co-Director, Dept of Planning, and Urban Development, City of Portland
Kandice Talbot, Planner, Department of Planning & Urban Development, City of Portland
Eric J. Labelle, P.E., City Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Anthony W. Lombardo, P.E., Project Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Todd F. Merkle, Field Inspections Coordinator
Frank J. Brancely, Senior Engineering Technician, City of Portland
Desk File

Decorative Indoor/Outdoor Wall

Arco, Bristol, Lumironde,
Lumilyte, Lumistyle



Ruggedly constructed fixtures ideally suited to walkways, exterior walls and interior halls.

Arco

Die-cast aluminum backplate and guard. Heavy pressed ceramic-coated glass for even diffusion of light. Fully gasketed, suitable for wet locations.

Bristol

Die-cast, corrosion-resistant aluminum guards and housings, full gasketing for use in wet locations. Thermal shock-resistant glass-sandblasted inside for even diffusion of light.

Lumironde/Lumiquad

Diffuser/housing of injection molded polycarbonate is one piece, sealed to inner pan.

Lumilyte/Lumistyle/Lumicap

One-piece, shatter-resistant polycarbonate diffuser and housing. Corrosion-resistant aluminum chassis. Fully gasketed. Wall mounting only.

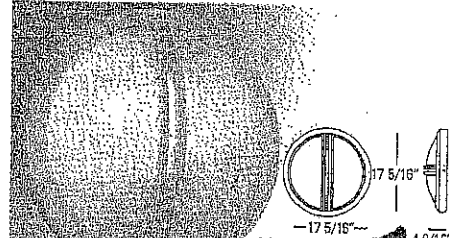
Opalex

Tough-service unit with injection-molded opal polycarbonate diffuser. Stainless steel Allen Head screws for improved vandal resistance.

UL Listed: Suitable for Wet Location

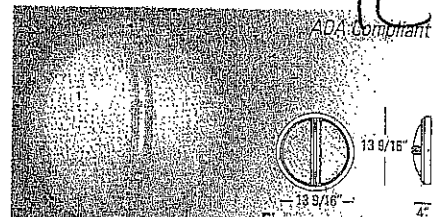
*7W lamp rated to start at 0° F
9W lamp rated to start at 25° F
13W lamp rated to start at 32° F

Arco Round



Lamp:	Incandescent	Fluorescent
	(1) A19 100W Max	(2) 26W Quad 2-Pin Magnetic HPF 120V
White	4533WH	4533WHH1
Black	4533BK	4533BKH1
Satin Alum	4533SA	4533SAH1

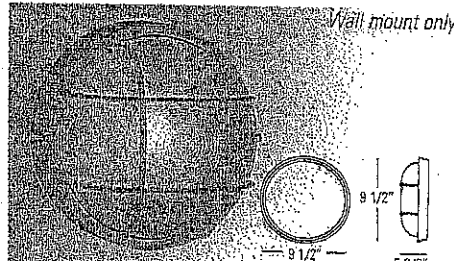
Ballast Options: H2, E1, E2



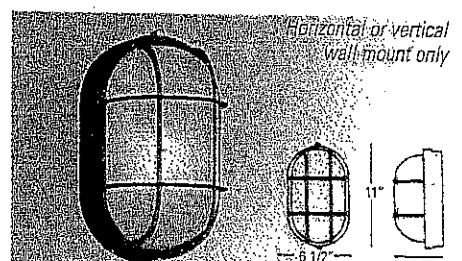
Lamp:	Incandescent	Fluorescent
	(1) A19 100W Max	(2) 13W* Twin Tube 2-Pin Magnetic NPF 120V
White	4532WH	4532WHN1
Black	4532BK	4532BKN1
Satin Alum	4532SA	4532SAN1

Ballast Options: H1, H2, E1, E2

Bristol

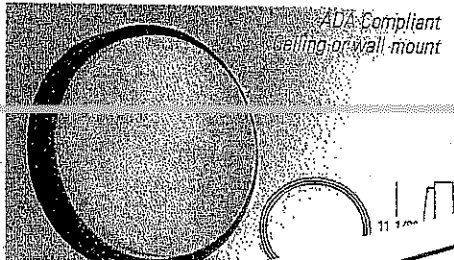


Lamp:	Incandescent	Fluorescent
	(1) A19 100W Max	(2) 7W or 9W* Twin Tube 2-Pin Magnetic NPF 120V
White	3655WH	3625WH
Bronze	3654BZ	3624BZ
Black	3663BK	3613BK

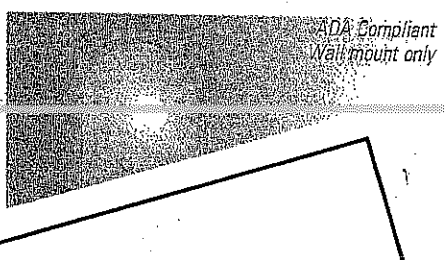


Lamp:	Incandescent	Fluorescent
	(1) A19 100W Max	(2) 7W or 9W* Twin Tube 2-Pin Magnetic NPF 120V
White	3652WH	3622WH
Bronze	3651BZ	3621BZ
Black	3660BK	3610BK

Lumironde

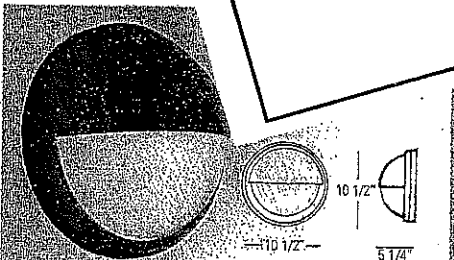


Lamp:	Fluor
	(2) 18W NPF 12
White	6731WH
Black	6731BK2

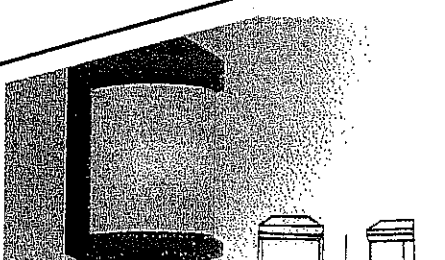


CEILING MOUNTED
PORCH LIGHT

Lumilyte



Lamp:	Incandescent	Fluorescent
	(1) A19 75W Max	(2) 9W* Twin Tube 2-Pin Magnetic NPF 120V
White	6560WH	6566WH
Bronze	6561BZ	6567BZ
Black	6562BK	6568BK



Lamp:	Incandescent
	(1) A19 75W Max
White	6590WH
Black	6591BK

7D
SAR



The Archetype®
revision 2/14/00 • sar.pdf

Type:
Job:
Catalog number:

Approvals:

ISA SAR 70 DB
4 1/2 1 P 1 HS

Mfg. Fixture Electrical Module Finish Options
See page 2 See pages 3-4

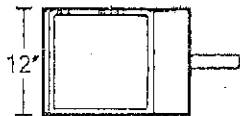
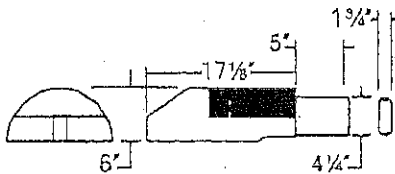
Optional
Vertical
Slipfit Mount
See page 5

Date: July 27, 2002
Page: 1 of 5

Select pole from Kim Pole Catalog. If pole is provided by others indicate O.D. for arm fitting.

Specifications

Max weight (150HPS) = 25 lb



Housing: One piece die-cast aluminum with integral cooling ribs over the optical chamber and electrical compartment. Solid barrier wall separates optical and electrical compartments. Double-thick wall with gussets on the support-arm mounting end. Housing forms a half cylinder with 58° front face plane providing a recess to allow a flush single-latch detail. All hardware is stainless steel or electro-zinc plated steel.

Lens Frame: One piece die-cast aluminum lens frame with 1" minimum depth around the gasket flange. Integral hinges with stainless steel pins provide no-tool mounting and removal from housing. Single die-cast aluminum cam-latch provides positive locking and sealing of the optical chamber by a one piece extruded and vulcanized silicone gasket. Clear 3/8" thick tempered glass lens retained by eight steel clips with full silicone gasketing around the perimeter.

Reflector Module: Specular Alzak® optical segments rigidly mounted in an aluminum frame, which attaches to the housing as a one piece module. Reflector module is field rotatable in 90° increments. MH and HPS sockets are porcelain 4KV pulse rated medium base. All reflector modules are factory prewired with quick-disconnect plug and include silicone seal at the penetration of the internal barrier wall in the luminaire housing.

Electrical Module: All electrical components are UL and CSA recognized, mounted on a single plate and factory prewired with quick-disconnect plugs. Electrical module attaches to housing with no-tool hinges and latches, accessible by opening the lens frame only. All ballasts are high power factor rated -20°F. starting.

Support Arm: One piece extruded aluminum with internal bolt guides and fully radiussed top and bottom. Luminaire-to-pole attachment is by internal draw bolts, and includes a pole reinforcing plate with wire strain relief. Arm is circular cut for specified round pole.

Finish: Super TGIC thermoset polyester powder coat paint, 2.5 mil nominal thickness, applied over a chromate conversion coating; 2500 hour salt spray test endurance rating. Standard colors are Black, Dark Bronze, Light Gray, Platinum Silver, or White. Custom colors are available and subject to additional charges, minimum quantities and longer lead times. Consult representative.

Certification: UL Listed to U.S. and Canadian safety standards for wet locations. Fixture manufacturer shall employ a quality program that is audited to ISO9001 standards.

CAUTION: Fixtures must be grounded in accordance with local codes or the National Electrical Code. Failure to do so may result in serious personal injury.

POLE MOUNTED
PARKING LOT LIGHT

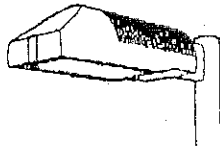


7E
SAR

The Archetype®
revision 2/14/00 • sar.pdf

Type:
Job:

Page: 2 of 5



Standard Features

<p>Mounting</p> <p>3SY configuration is available for round poles only.</p>	<p>Plan View:</p> <p>Wall Mount</p> <p>EPA: 0.7 1.4 1.2 1.9 1.9 2.5</p> <p>Cat. No.: <input checked="" type="checkbox"/> 1SA <input type="checkbox"/> 2SB <input type="checkbox"/> 2SL <input type="checkbox"/> 3ST <input type="checkbox"/> 3SY <input type="checkbox"/> 4SC <input type="checkbox"/> 1W</p>																																															
<p>Fixture</p> <p>Cat. No. designates fixture and light distribution. Also see the Kim Site/Roadway Optical Systems Catalog for detailed information on reflector design and application.</p>	<p>Fixture Light Distribution: Type II Type III Type IV Forward Throw Type V Square</p> <p>Cat. No.: <input type="checkbox"/> SAR2 <input type="checkbox"/> SAR3 <input checked="" type="checkbox"/> SAR4 <input type="checkbox"/> SAR5</p>																																															
<p>Electrical Module</p> <p>HPS = High Pressure Sodium. MH = Metal Halide</p>	<p>Cat. Nos. for Electrical Modules available:</p> <table border="1"> <tr> <td><input type="checkbox"/> 70HPS120</td> <td><input type="checkbox"/> 100HPS120</td> <td><input type="checkbox"/> 150HPS120</td> </tr> <tr> <td><input type="checkbox"/> 70HPS208</td> <td><input type="checkbox"/> 100HPS208</td> <td><input type="checkbox"/> 150HPS208</td> </tr> <tr> <td><input type="checkbox"/> 70HPS240</td> <td><input type="checkbox"/> 100HPS240</td> <td><input type="checkbox"/> 150HPS240</td> </tr> <tr> <td><input type="checkbox"/> 70HPS277</td> <td><input type="checkbox"/> 100HPS277</td> <td><input type="checkbox"/> 150HPS277</td> </tr> <tr> <td><input type="checkbox"/> 70HPS347</td> <td><input type="checkbox"/> 100HPS347</td> <td><input type="checkbox"/> 150HPS347</td> </tr> </table>	<input type="checkbox"/> 70HPS120	<input type="checkbox"/> 100HPS120	<input type="checkbox"/> 150HPS120	<input type="checkbox"/> 70HPS208	<input type="checkbox"/> 100HPS208	<input type="checkbox"/> 150HPS208	<input type="checkbox"/> 70HPS240	<input type="checkbox"/> 100HPS240	<input type="checkbox"/> 150HPS240	<input type="checkbox"/> 70HPS277	<input type="checkbox"/> 100HPS277	<input type="checkbox"/> 150HPS277	<input type="checkbox"/> 70HPS347	<input type="checkbox"/> 100HPS347	<input type="checkbox"/> 150HPS347																																
<input type="checkbox"/> 70HPS120	<input type="checkbox"/> 100HPS120	<input type="checkbox"/> 150HPS120																																														
<input type="checkbox"/> 70HPS208	<input type="checkbox"/> 100HPS208	<input type="checkbox"/> 150HPS208																																														
<input type="checkbox"/> 70HPS240	<input type="checkbox"/> 100HPS240	<input type="checkbox"/> 150HPS240																																														
<input type="checkbox"/> 70HPS277	<input type="checkbox"/> 100HPS277	<input type="checkbox"/> 150HPS277																																														
<input type="checkbox"/> 70HPS347	<input type="checkbox"/> 100HPS347	<input type="checkbox"/> 150HPS347																																														
<p>Lamp Watts Type Line Volts 150 HPS 120</p>	<table border="1"> <tr> <td>Lamp</td> <td>ED-17, Clear</td> <td>ED-17, Clear</td> <td>ED-17, Clear</td> </tr> <tr> <td>Socket</td> <td>Medium Base</td> <td>Medium Base</td> <td>Medium Base</td> </tr> <tr> <td>ANSI Code</td> <td>S-62</td> <td>S-54</td> <td>S-55</td> </tr> </table> <table border="1"> <tr> <td><input checked="" type="checkbox"/> 70MH120</td> <td><input type="checkbox"/> 100MH120</td> <td><input type="checkbox"/> 150MH120</td> <td><input type="checkbox"/> 175MH120</td> </tr> <tr> <td><input type="checkbox"/> 70MH208</td> <td><input type="checkbox"/> 100MH208</td> <td><input type="checkbox"/> 150MH208</td> <td><input type="checkbox"/> 175MH208</td> </tr> <tr> <td><input type="checkbox"/> 70MH240</td> <td><input type="checkbox"/> 100MH240</td> <td><input type="checkbox"/> 150MH240</td> <td><input type="checkbox"/> 175MH240</td> </tr> <tr> <td><input type="checkbox"/> 70MH277</td> <td><input type="checkbox"/> 100MH277</td> <td><input type="checkbox"/> 150MH277</td> <td><input type="checkbox"/> 175MH277</td> </tr> <tr> <td><input type="checkbox"/> 70MH347</td> <td><input type="checkbox"/> 100MH347</td> <td><input type="checkbox"/> 150MH347</td> <td><input type="checkbox"/> 175MH347</td> </tr> </table> <table border="1"> <tr> <td>Lamp</td> <td>ED-17, Clear</td> <td>ED-17, Clear</td> <td>ED-17, Clear</td> <td>ED-17, Clear</td> </tr> <tr> <td>Socket</td> <td>Medium Base</td> <td>Medium Base</td> <td>Medium Base</td> <td>Medium Base</td> </tr> <tr> <td>ANSI Code</td> <td>M-98</td> <td>M-90</td> <td>M-102</td> <td>M-57</td> </tr> </table>	Lamp	ED-17, Clear	ED-17, Clear	ED-17, Clear	Socket	Medium Base	Medium Base	Medium Base	ANSI Code	S-62	S-54	S-55	<input checked="" type="checkbox"/> 70MH120	<input type="checkbox"/> 100MH120	<input type="checkbox"/> 150MH120	<input type="checkbox"/> 175MH120	<input type="checkbox"/> 70MH208	<input type="checkbox"/> 100MH208	<input type="checkbox"/> 150MH208	<input type="checkbox"/> 175MH208	<input type="checkbox"/> 70MH240	<input type="checkbox"/> 100MH240	<input type="checkbox"/> 150MH240	<input type="checkbox"/> 175MH240	<input type="checkbox"/> 70MH277	<input type="checkbox"/> 100MH277	<input type="checkbox"/> 150MH277	<input type="checkbox"/> 175MH277	<input type="checkbox"/> 70MH347	<input type="checkbox"/> 100MH347	<input type="checkbox"/> 150MH347	<input type="checkbox"/> 175MH347	Lamp	ED-17, Clear	ED-17, Clear	ED-17, Clear	ED-17, Clear	Socket	Medium Base	Medium Base	Medium Base	Medium Base	ANSI Code	M-98	M-90	M-102	M-57
Lamp	ED-17, Clear	ED-17, Clear	ED-17, Clear																																													
Socket	Medium Base	Medium Base	Medium Base																																													
ANSI Code	S-62	S-54	S-55																																													
<input checked="" type="checkbox"/> 70MH120	<input type="checkbox"/> 100MH120	<input type="checkbox"/> 150MH120	<input type="checkbox"/> 175MH120																																													
<input type="checkbox"/> 70MH208	<input type="checkbox"/> 100MH208	<input type="checkbox"/> 150MH208	<input type="checkbox"/> 175MH208																																													
<input type="checkbox"/> 70MH240	<input type="checkbox"/> 100MH240	<input type="checkbox"/> 150MH240	<input type="checkbox"/> 175MH240																																													
<input type="checkbox"/> 70MH277	<input type="checkbox"/> 100MH277	<input type="checkbox"/> 150MH277	<input type="checkbox"/> 175MH277																																													
<input type="checkbox"/> 70MH347	<input type="checkbox"/> 100MH347	<input type="checkbox"/> 150MH347	<input type="checkbox"/> 175MH347																																													
Lamp	ED-17, Clear	ED-17, Clear	ED-17, Clear	ED-17, Clear																																												
Socket	Medium Base	Medium Base	Medium Base	Medium Base																																												
ANSI Code	M-98	M-90	M-102	M-57																																												
<p>Finish</p> <p>Super TGIC powder coat paint over a chromate conversion coating.</p>	<p>Color: Black Dark Bronze Light Gray Platinum Silver White *Custom Color</p> <p>Cat. No.: <input type="checkbox"/> BL-P <input checked="" type="checkbox"/> DB-P <input type="checkbox"/> LG-P <input type="checkbox"/> PS-P <input type="checkbox"/> WH-P <input type="checkbox"/> CC-P</p> <p>* Custom colors subject to additional charges, minimum quantities and extended lead times. Consult representative. Custom color description: _____</p>																																															

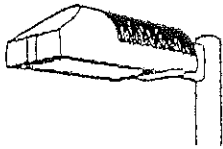
7F



SAR
The Archetype®
revision 2/14/00 • sar.pdf

Type:
Job:

Page: 3 of 5



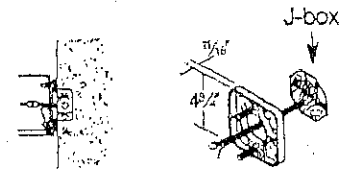
Optional Features

Wall Mounting

Cat. No. **1W**
Select from Mounting on page 2.

Fixture mounts to 3" or 4" Junction Boxes by a cast aluminum adapter plate with fixture mounting bolts.

NOTE: Junction Box in wall must provide adequate fixture support. See NEC sections 370-13, 17 and 410-14, 16. Quick-disconnect plug and wiring are provided to allow field connections prior to fixture mounting.



Wall mount using adapter plate 3" or 4" J-box in wall (by others)

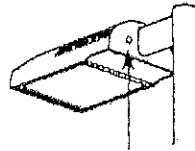
Photocell Control

Cat. No. (See right)
 No Option

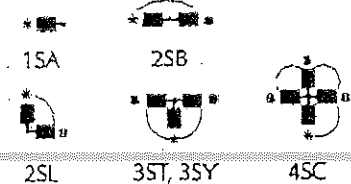
Fixture supplied with an internal photocell with the sensor on the fixture-end facing the pole. For multiple-fixture pole mountings, one fixture has a photocell to operate the others. Not available if wall mounted (1W).

Mounting Configuration:
* - Fixture with Photocell Sensor
S - slave unit(s)
No fixture wattage limit.

- | | |
|-------------------------------|-------------|
| Cat. No. | Line Volts: |
| <input type="checkbox"/> A-30 | 120V |
| <input type="checkbox"/> A-31 | 208V |
| <input type="checkbox"/> A-32 | 240V |
| <input type="checkbox"/> A-33 | 277V |
| <input type="checkbox"/> A-35 | 347V |



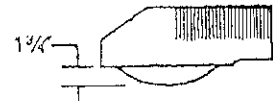
Photocell Sensor



Convex Glass Lens

Cat. No. CGL
 No Option

The 3/16" thick clear convex tempered glass lens replaces the standard flat glass lens. Provides increased lens presence and provides a subtle improvement in uniformity where pole spacing is extreme. Increases effectiveness of houseside shielding.

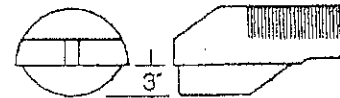


Polycarbonate Shield

Cat. No. LS
 No Option

Supplied with a one piece vacuum formed, clear, UV stabilized convex polycarbonate, fully gasketed, replacing the standard tempered glass lens.

CAUTION: Use only when vandalism is anticipated to be high. Useful life is limited by UV discoloration from sunlight and metal halide lamps.



76



KIM LIGHTING

SAR

The Archetype®

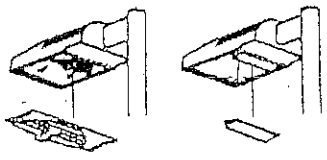
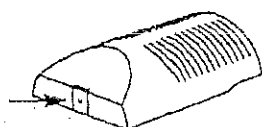

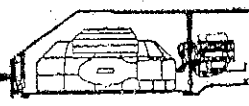
revision 2/14/00 • sar.pdf

Type:

Job:

Page: 4 of 5

Optional Features

<p>House-side Shield Cat. No. (See right) <input type="checkbox"/> No Option</p>	<p>(Types II, III, and IV only). Fixtures with the standard flat glass lens are available with stamped aluminum louvers that pass streetside light and block houseside light, and a blackened panel added to the reflector to reduce houseside reflections. Fixtures with the optional convex glass lens are available with a formed aluminum shield that passes streetside light and blocks houseside light, and a black anodized panel added to the reflector to reduce houseside reflections. Use with clear lamps only, as coated lamps reduce effectiveness.</p> <p>Cat. No. <input checked="" type="checkbox"/> HS Recommended for use with clear lamps only. Effectiveness is reduced for coated lamps. Not for use with Type V light distributions.</p> <p><input type="checkbox"/> HSC For use with all fixtures with convex glass lens. Not for use with Type V light distributions.</p>	 <p>HS for flat lens</p> <p>HSC for convex lens</p>
<p>Tamper-Resistant Latch Cat. No. <input type="checkbox"/> TL <input type="checkbox"/> No Option</p>	<p>Standard die-cast latch is provided with a captive 10-32 stainless steel flat socket-head screw to prevent unauthorized opening.</p> <p>NOTE: Required only for vandal protection in locations where fixtures can be reached by unauthorized persons.</p>	
<p>Horizontal Slipfitter Mount Cat. No. <input type="checkbox"/> HSF <input type="checkbox"/> No Option</p>	<p>Replaces standard mounting arm with a slipfitter which allows fixture to be mounted to a horizontal pole davit-arm with 2" pipe-size mounting end (2 1/4" O.D.). Cast aluminum clamp-type slipfitter with set screw anti-rotation lock. Bolts to housing from inside the electrical compartment using mounting holes for the standard support arm. Davit-arm must be field drilled at a set screw location to insure against fixture rotation. Finished to match fixture and arm.</p>	<p>Davit-arm with 2" pipe-size fixture mount (by others)</p>  <p>Horizontal Slipfitter Mount by Kim</p>
<p>Special Options for Street Lighting Cat. No. <input type="checkbox"/> AF <input type="checkbox"/> No Option</p>	<p>Air Filter (AF): Allows for ventilation through the optical chamber, filtering all air particles above 500 microns. Multi-layer disc assembly mounted on solid wall between optical compartment and latch cavity.</p>	 <p>Air Filter</p>

7H
SAR



The Archetype®
revision 2/14/00 • sar.pdf

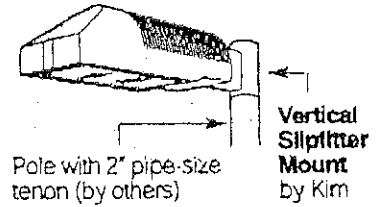
Type:
Job:

Page: 5 of 5

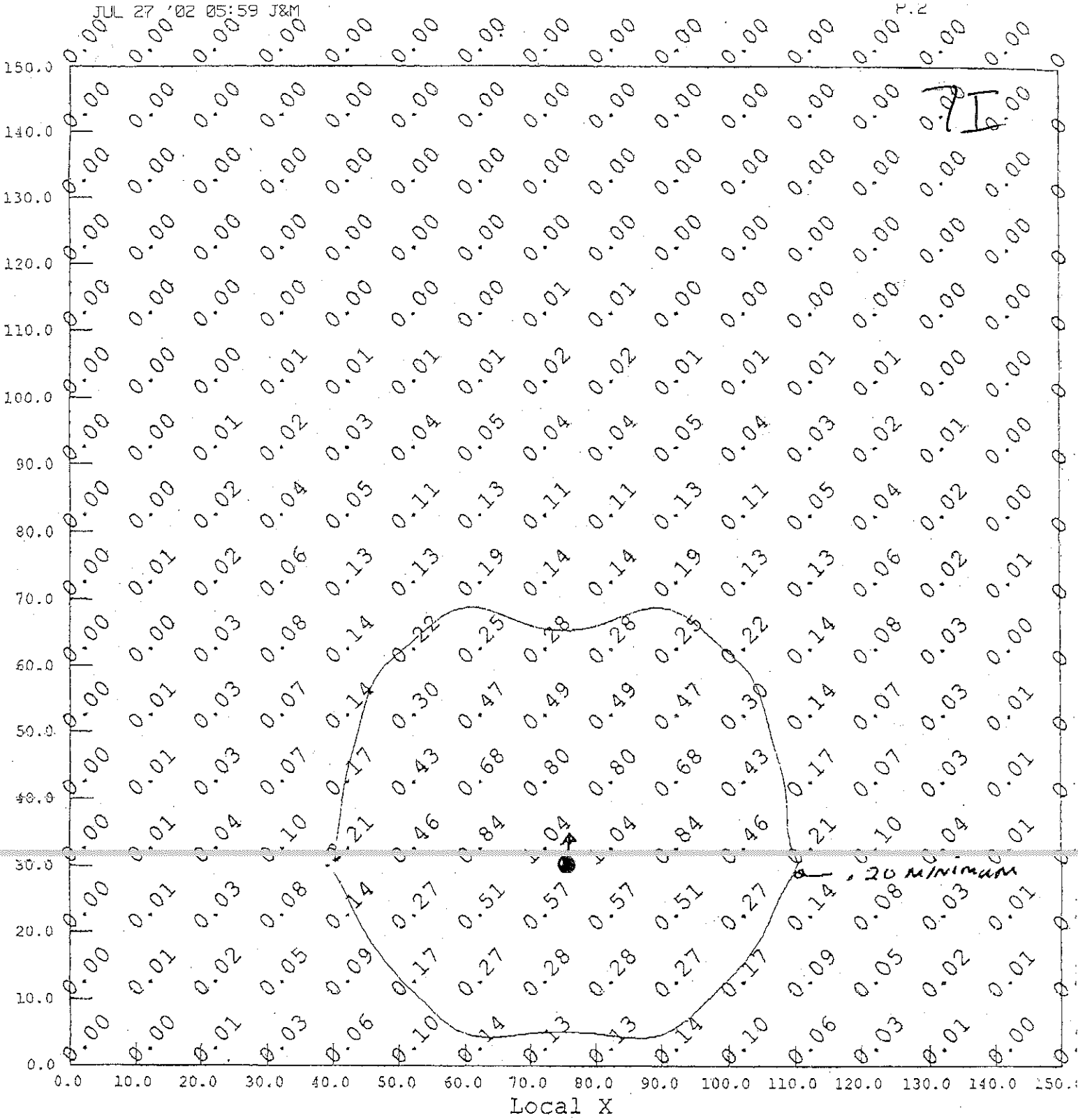
Optional Features

Vertical Slipfitter Mounts
Cat. No. includes Mounting
Cat. No. (See right)
 No Option

Allows fixture with standard support arm to be mounted to poles having a 2" pipe-size tenon (2 3/8" O.D. x 4 1/2" min. length). All mounting configurations can be used (1SA, 2SB, 2SL, 3ST, 3SY, 4SC). 4" square or round die-cast aluminum with flush cap, secured by four 3/8" stainless steel set point allen screws, finished to match fixture and arm.



<p>Cat. No.</p> <p><input type="checkbox"/> VSF-1SA</p> <p><input type="checkbox"/> VSF-2SB</p> <p><input type="checkbox"/> VSF-2SL</p> <p><input type="checkbox"/> VSF-3ST</p> <p><input type="checkbox"/> VSF-3SY</p> <p><input type="checkbox"/> VSF-4SC</p> <p>Round</p>	<p>Stainless steel set screws</p>	<p>Cat. No.</p> <p><input type="checkbox"/> SVSF-1SA</p> <p><input type="checkbox"/> SVSF-2SB</p> <p><input type="checkbox"/> SVSF-2SL</p> <p><input type="checkbox"/> SVSF-3ST</p> <p><input type="checkbox"/> SVSF-4SC</p> <p>Square</p>	<p>Mounting Configuration</p> <p>1SA - single arm mount</p> <p>2SB - 2 at 180°</p> <p>2SL - 2 at 90°</p> <p>3ST - 3 at 90°</p> <p>3SY - 3 at 120°</p> <p>4SC - 4 at 90°</p>
--	-----------------------------------	--	---



30% loss factor included
 20'0" TO bottom of lens

70 WATT METAL HALIDE

Site, Arbitrary Grid, Horizontal Illuminance

Scale: 1" = 20'0"

ARCHITECTURAL
AREA
LIGHTING

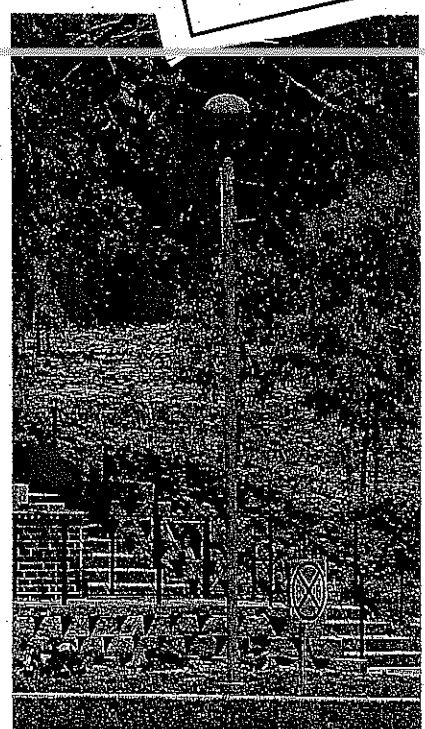
75

SL VG
Vandal Guard

2-

The SL VG Vandal Guard fixture is the new standard for vandal resistant lighting. The small size and pure forms of the Vandal Guard make it a perfect compliment to any site lighting design such as parks, schools and pedestrian areas. A high performance reflector system delivers higher levels of illumination, at lower wattages, than old style vandal fixtures. A segmented, specular and semi-specular optical system combined with a vertical lamp orientation delivers better quality lighting while saving energy. The housing and cage are a one piece high strength casting. The Vandal Guard can be post top or arm mounted.

POLE MOUNTED
PEDESTRIAN PATH LIGHT

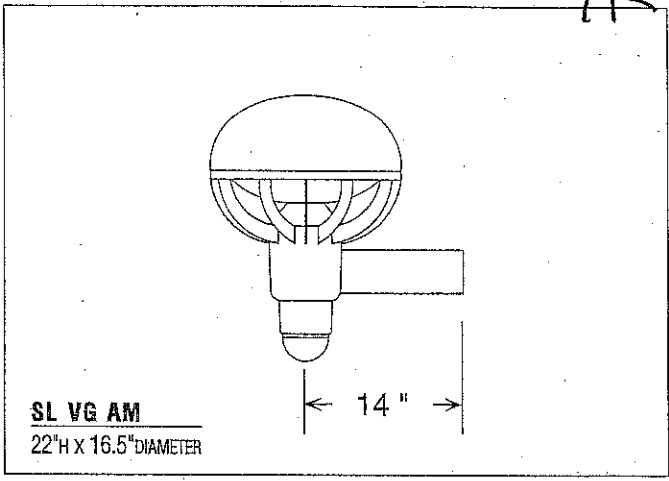
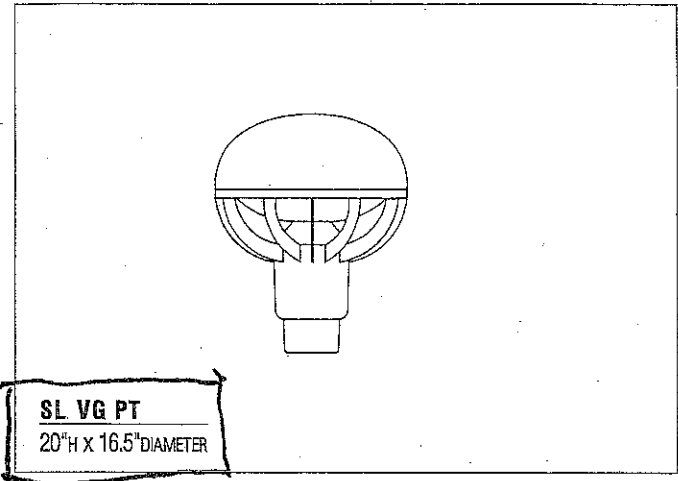


SL VG PT3 PR4-4R14

SL VG PT5 PR4-4R10

2-2

7K



SL VG PT
20"H X 16.5"DIAMETER

SL VG AM
22"H X 16.5"DIAMETER

Catalog Numbers

		METAL HALIDE			HPS			WT.	EPA
		70	100	175	70	100	150		
SL VG PT3	POST TOP MOUNT, TYPE 3 DISTRIBUTION	•	•	•	•	•	•	36	1.43
SL VG PT5	POST TOP MOUNT, TYPE 5 DISTRIBUTION	•	•	•	•	•	•	36	1.43
SL VG AM3	WITH ARM, TYPE 3 DISTRIBUTION	•	•	•	•	•	•	42	1.86
SL VG AM5	WITH ARM, TYPE 5 DISTRIBUTION	•	•	•	•	•	•	42	1.86

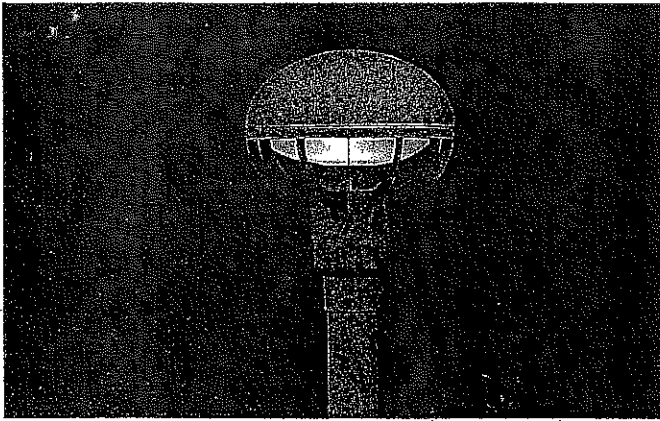
*ED-17 LAMPS ONLY
*CONSULT THE FACTORY FOR SPECIAL SIZE TENONS OR MOUNTING ARRANGEMENTS FOR NEW OR EXISTING POLES.

EXAMPLES

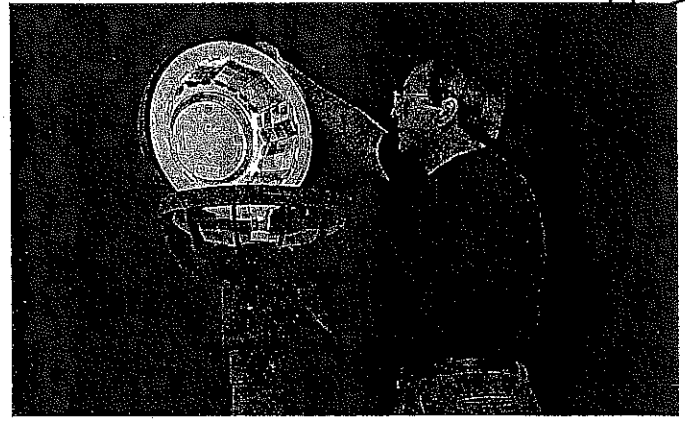
FIXTURE	LAMP	VOLTAGE	ARM	BASE-POLE	COLOR	OPTIONS
SL VG AM3	100HPS	277	•	•	DBZ	WPS
SL VG PT5	150HPS	120	•	PR4-4R10-125	BLK	BC2-4
SL VG PT3	175MH	120	•	DB6-4R14-226	WHT	GFI
2-SL VG AM5	175MH	277	•	PR5-5R14-188	LGY	BANNER ARMS

OPTIONS

HSS	House side shield
LXN	Polycarbonate lens in lieu of acrylic
LDL	Lightly diffused lens to conceal the fixture interior
WPS	Wall mounting plate for AM (arm) versions

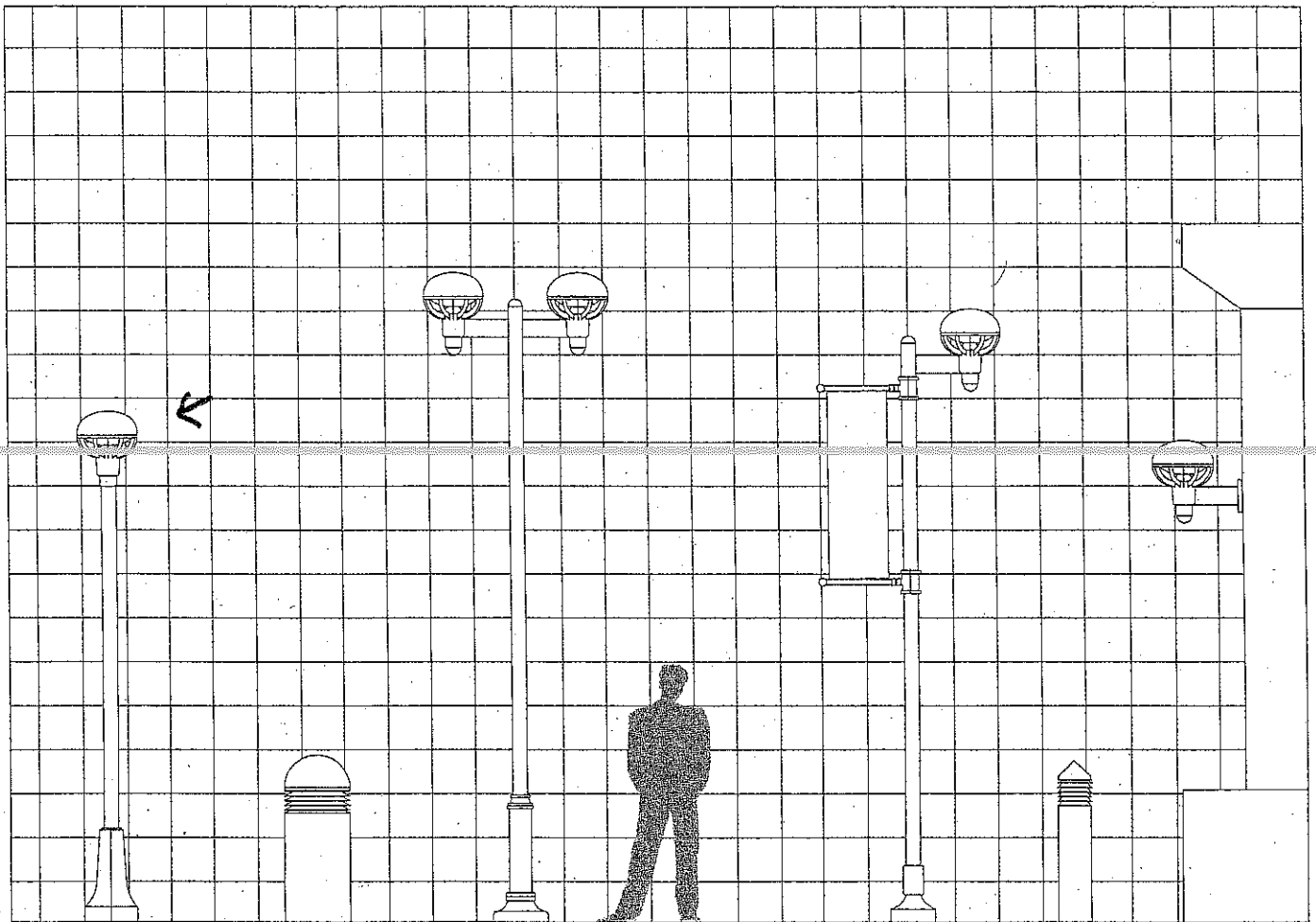


An optional feature on the SL VG is an LDL (lightly diffused lens) to conceal the optical chamber and lamp.



The vandal guard features a segmented, high performance reflector system. The gasketed top assembly is removable for lamp access. The housing has an integral ballast compartment with easy side access for servicing.

Typical Configurations



SCALE: 1/4"=1'

HEAD	SL VG-PT	CB18R	2-SL VG-AM	SL VG-AM	CB9S	SL VG-AM
ARM	•	•	•	•	•	•
POLE	PR4-4R10	•	DB6-4R14	PR4-4R13	•	•
OPTIONS	BC5-4	•	•	2-BBS4-18 BC2-4	•	WPS

Specifications

7M

2-4

HOUSING

Housing shall be cast aluminum. Aluminum shall be certified as pure #356 alloy, free of any porosity, foreign materials or cosmetic fillers. Castings shall be of uniform wall thickness with no warping or mold shifting. Minimum wall thickness shall be 3/16". The top ring, cage and ballast housing shall be a one piece, high strength casting. Electrical components are mounted in the fixture within a sealed compartment. The ballast compartment shall be sealed with a cast aluminum cover and a silicone gasket. All hardware shall be tamper resistant stainless steel.

The lens shall be one piece molded acrylic, sealed in the housing with silicone gaskets to prevent dust, insect or moisture contamination.

ELECTRICAL

All electrical components shall be U.L. listed. Ballasts are high power factor rated for -30° starting. Ballast shall be mounted to the cast housing for maximum heat dissipation. Medium base porcelain sockets shall be 4KV rated, mounted base up in the housing. The electrical assembly shall be prewired with quick disconnects for installation and servicing.

REFLECTOR MODULE

The optical assembly shall consist of an outer housing of spun aluminum that is completely sealed to prevent dust, insect or moisture contamination. The reflector module shall consist of segmented, specular and semispecular Alzak® panels precisely formed and positioned within the housing. The reflector module shall be rotatable on ninety degree increments for proper field positioning.

MOUNTING

Post top mounting: the housing shall slip a four inch O.D. pole and be secured to the pole with three stainless steel set screws.

Arm mounting: the arm shall be 6063 T-6 extruded aluminum, circumferentially welded to the fixture housing. The arm shall have an internal, cast aluminum end plate welded inside the arm. The plate shall be tapped to accept two 3/8-16 bolts for pole mounting.

FINISH

Fixture finish shall consist of cleaning, etching, and rinsing followed by a protective chromate primer, deionized water rinse, oven dry off and top coated with a thermoset TGIC super polyester powder coat finish. The finish shall meet the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.

RELAMPING

Four captive, stainless steel, allen head screws are loosened to remove the top for relamping.

CERTIFICATION

Fixtures shall be listed with ETL Testing Laboratories for wet location use.

WARRANTY

Fixture shall carry a limited warranty of three years. Ballast components shall carry the ballast manufacturer's limited warranty.

Photometrics

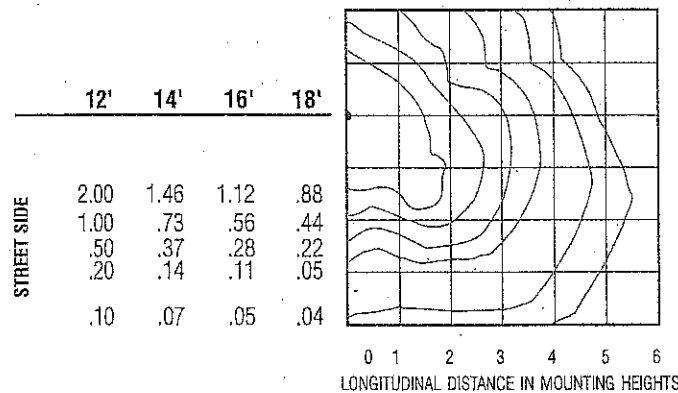
Complete photometric data for all reflector configurations is available in IES formatted files on 3.5" disks. Call your local AAL representative for a copy. All testing is performed by a certified independent laboratory.

To substitute another lamp in the luminaire chart, multiply the chart values by the conversion factor. Mounting height is to the lamp center.

LAMP TYPE	LUMENS	▼CONVERSION FACTOR
* 70w MH, clear	5000	.36
100w MH, clear	8500	.61
175w MH, clear	14000	1.00
70w HPS, clear	6400	.46
100w HPS, clear	9500	.68
150w HPS, clear	16000	1.14

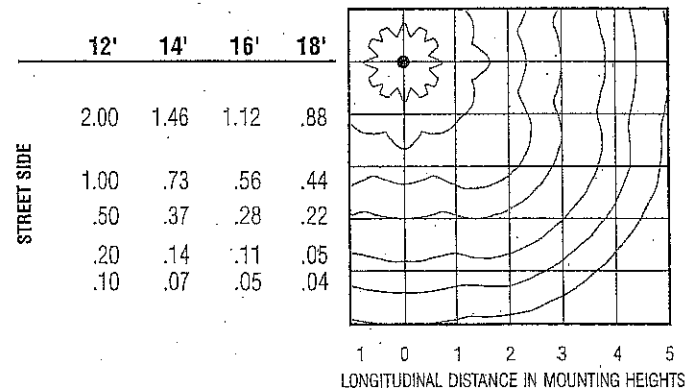
SL VG PT3-175MH

Horizontal footcandles
175w MH ED-17 12' mounting height



* SL VG PT5-175MH

Horizontal footcandles
175w MH ED-17 12' mounting height



From: Marge Schmuckal
To: Kandi Talbot
Date: Wed, Aug 7, 2002 12:44 PM
Subject: 113 Anderson Street - lot #1 & lot #2

Att. 8

Kandi,

I have reviewed the plans for the development of three buildings consisting of 3 dwelling units each proposed on two lots.

All of these buildings are located within the B-5 business zone which does allow multi-family dwellings as a use. The B-5 zone is very liberal for zoning purposes. No minimum setbacks are required, no minimum street frontage is required (which impacts lot #2), no off street parking is required (although nine spaces are proposed in total).

There is a maximum building height of 65 feet, and the buildings show approximately 39 feet to the ridge. There is also a maximum of 60 dwelling units per acre or 726 sq. ft of land area per dwelling unit. Both lots exceed this minimum.

All zoning issues have been met.

Marge Schmuckal
Zoning Administrator
8/7/02

CC: Sarah Hopkins

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Engineering Copy

Alt. 9

2002-0140
Application I. D. Number

PROP
Applicant
510 Cumberland Avenue, Portland, ME 04101
Applicant's Mailing Address

06/18/2002
Application Date
PROP Family Housing
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 842-2988 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

113 - 113 Anderson St, Portland, Maine
Address of Proposed Site
012 B009001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify)

12600
Proposed Building square Feet or # of Units
Acreage of Site
B5
Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input checked="" type="checkbox"/> Subdivision
of lots <u>2</u> | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input checked="" type="checkbox"/> Other <u>9 Units</u> |

Fees Paid: Site Plan \$500.00 Subdivision _____ Engineer Review _____ Date 06/19/2002

Engineering Comments

PUBLIC WORKS ENGINEERING7/2/02

We have reviewed the application and plans dated 6/18/02 and offer the following comments:

1. According to the City's "sidewalk material policy", adopted by City Council in September 2001, the applicant is required to build concrete sidewalk along the frontage of the property. A construction for concrete sidewalk should be specified on the detail sheet, C3.
2. As a result of the utility trenches proposed on the plans, the applicant will be required to remove and reset existing granite curb. The "site plan", sheet C2 should specify the quantity and limits of granite curb to be reset.
3. The applicant proposes three (3) separate sanitary sewer connections into the existing combined sewer in Anderson Street. According to the proximity of these laterals in relationship to each other, it does not appear to be physically possible to make connections into the main line sewer as proposed. Instead, Public Works is requesting the applicant install a sanitary manhole onsite and connect all proposed laterals into the structure. We are also requesting that only one pipe outlet this structure and connect into the Anderson Street sanitary sewer main, minimizing the impact to the City sewer.
4. Public Works is requesting the applicant remove the existing granite curb terminal ends, also referred to as "bugs". City Technical Standards require modified site entrances to specify granite tipdown curb, six (6) feet in length on both side of the entrance.
5. The applicant or their representative should contact Carol Merritt at Public Works to determine, in advance of receiving approvals, the required street opening and utility connection permit costs associated with this proposal. I have estimated the cost, based on the construction limits specified on the plans, to exceed \$3,000.

PUBLIC WORKS ENGINEERING REVIEW...#2 8/8/02

I have reviewed the plans dated 7/30/02 and find them in conformance with the request made, by Public Works, in the previous memo. Therefore, I am approving the submitted plans on behalf of Public Works.

Performance Guarantee Required* Not Required

Att. 10

East Bayside Studios Condominium Owners Assoc.
145 Anderson Street - Portland Maine - 04101

Kandice Talbot
Planning Division, City Hall, 4th Floor
389 Congress street Portland, Maine 04010

Dear Kandice Talbot,

This is a note concerning PROP's plans to build housing on the empty lot next to us at 139 Anderson Street. (#2002-0140). We understand that the project is still in the development phase, and that PROP and the City of portland are welcoming input from members of the community about it.

We wholly approve of PROP's mission to increase the availability of affordable housing in Portland – in fact, several of us were assisted by PROP, the Maine State Housing Authority, and other housing programs, which helped put work/live housing within our reach.

It is our firm belief that the new development, like ours, should be owner-occupied. Another residential development with owners who have an abiding stake in its upkeep would help to stabilize this transitional neighborhood – and in fact define it as an innovative area for future mixed-use growth in Portland.

Thank you for taking this request into account. We'd welcome the chance to talk with you about this development, and we trust you'll keep us informed about its progress and provide us with an opportunity to address your board about this issue and any others that may arise.

Sincerely,

Joe Kievitt, President

East Bayside Studios Condominium Owners
Assoc. 207.228.5022

Att. 11

TO: Kandice Talbot, Planner

FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.

DATE: August 9, 2002

RE: PROP, Anderson Street Project

I have reviewed the most recent submittal for the proposed 9-unit development on Anderson Street. The applicant has addressed my previous concerns and comments. I find this plan acceptable as designed.

Please contact our office with any questions.

AH. 12

TO: Kandice Talbot, Planner
FROM: Jeff Tarling, City Arborist
DATE: August 9, 2002
RE: PROP, Anderson Street Project

I have recently reviewed the landscape plan for the multi-family development proposed on Anderson Street. I offer the following comments:

- The applicant has proposed a dense buffer of Pines on the eastern property line. Normally, this dense buffer would be encouraged, however, because of the grade difference between the abutting Hammond Street property and this property, there is a fear that the area behind the buffer could become a screening for illegal behavior. I am recommending that the applicant reduce the number of trees proposed within this area.
- I would recommend that the applicant install approximately nine (9) additional shade trees around the two rear buildings. Please see the attached site plan showing the recommended location of the shade trees.
- I have reviewed the plant list. Based on the Technical and Design Standards and Guidelines the size for the proposed Hemlock should be 5-6 ft. tall and size of the Cornelian Cherry and Flowering Crab should be at least 2 inch caliper.

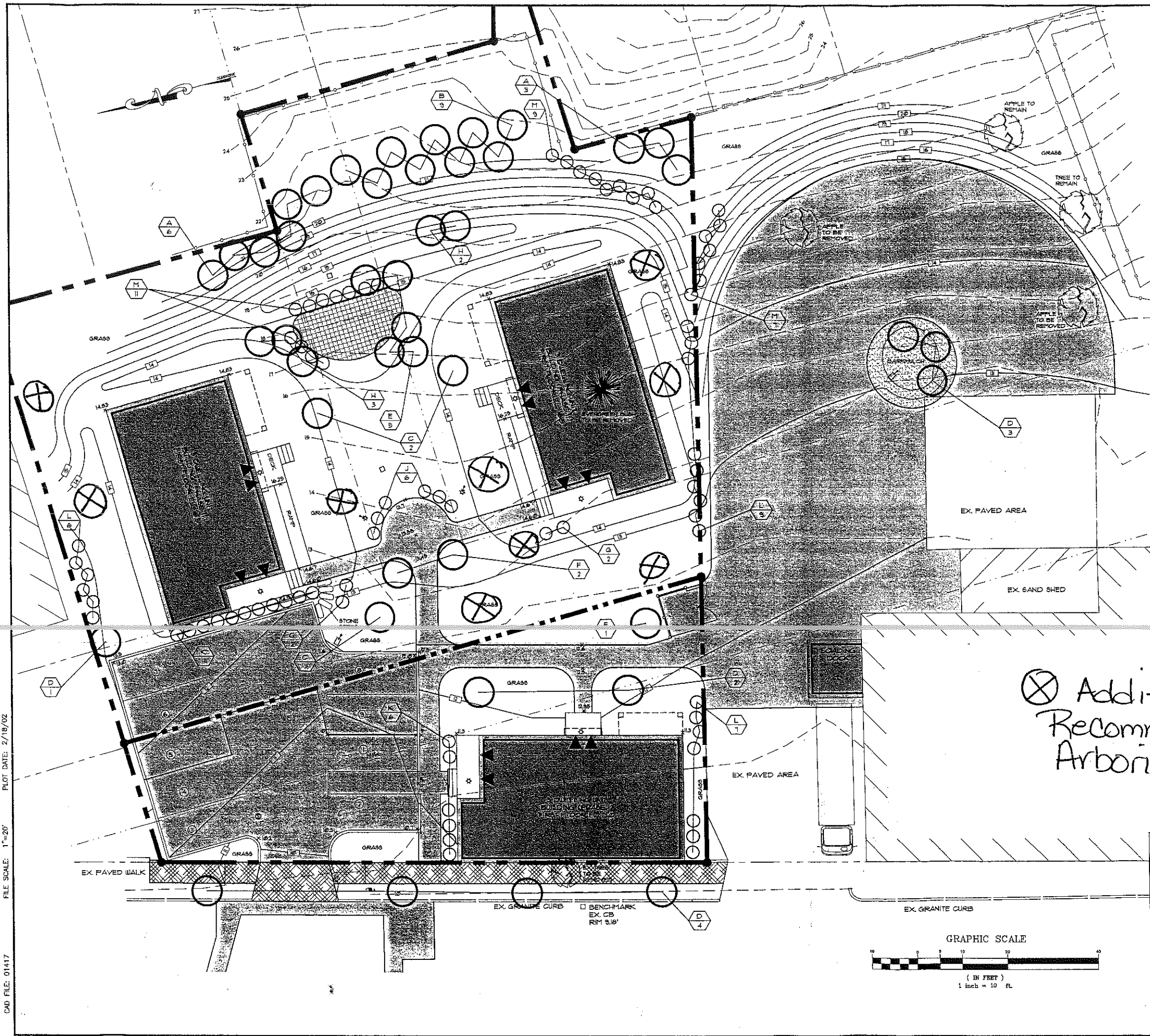
The applicant may contact me prior to installation of landscaping to discuss best locations for the proposed landscaping. Any questions, please do not hesitate to contact me.

LEGEND

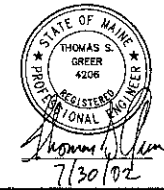
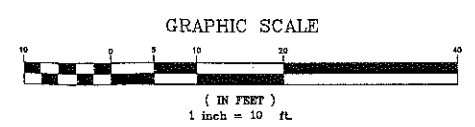
EXISTING	PROPOSED
— PROPERTY LINE	— LOT LINE
--- ABUTTERS PROPERTY EASEMENT	● IRON PIN TO BE SET W/ PLASTIC CAP INSCRIBED PLS #112
— BUILDING	① MULTIFAMILY BUILDING
— ZONING DISTRICT	② PHASE I PARKING DESIGNATION
— EDGE OF PAVEMENT	③ PHASE II PARKING DESIGNATION
— CONTOURS	— HANDICAP PARKING
— CURB	— EDGE OF PAVEMENT
— CHEAT	— SLOPED BITUMINOUS CURB
— GAS LINE	— CONTOURS
— OVERHEAD ELEC. & TEL.	— GAS LINE
— SANITARY SEWER	— OVERHEAD ELECTRIC
— STORM DRAIN	— SANITARY SEWER
— UNDERGROUND ELECTRIC	— STORM DRAIN
— WATER LINE	— UNDERGROUND ELECTRIC
— SEWER MANHOLE	— WATER LINE
— DRAIN MANHOLE	— FOUNDATION DRAIN
— CATCH BASIN	— SPOT GRADE
— UTILITY POLE	— SURFACE DRAINAGE
— TREE	— SEWER MANHOLE
— CHAINLINK FENCE LINE	— DRAIN MANHOLE
— PICKET FENCE	— UTILITY POLE
— GAS VALVE	— POLE MOUNTED LIGHT
— HYDRANT	— "DOWN" LIGHT FROM OVERHANG OR PORCH CEILING
— GATE VALVE	— WATER SHUT OFF
	— BITUMINOUS PAVEMENT
	— BARKMULCH BED
	— CONCRETE SIDEWALK

PLANT LIST


SYMBOL	COMMON NAME/BOTANICAL NAME	SIZE	QUANTITY
A	RED PINE / <i>pinus resinosa</i>	5'-7' tall	9
B	HEMLOCK / <i>tsuga canadensis</i> 'Canadian'	4-5' tall	9
C	RED MAPLE / <i>acer rubrum</i> 'Red Sunset'	2 1/2" cal.	2
D	GREEN ASH / <i>fraxinus lanceolata</i> Marshall's Seedless	2 1/2" cal.	10
E	CORNELIAN CHERRY / <i>prunus</i>	1 1/2" cal.	5
F	FLOWERING CRAB / <i>malus</i> 'Snowdrift'	1 1/2" cal.	3
G	EUROPEAN CRANBERRY / <i>vitiburnum opulus</i>	3-4' tall	4
H	DOGWOOD / <i>cornus kousa</i>	5-6' tall	5
J	DWARF WINGED EUONYMUS / <i>e. alatus compacta</i>	15"-18" tall	6
K	NORTHERN BAYBERRY / <i>myrica pennsylvanica</i>	18-24" tall	17
L	LILAC 'MISS KIM' / <i>syringa patula</i>	7-3' tall	22
M	ROSA RUGOSA / <i>rugosa rosea</i> 'rubrum' 4' 'alba'	18-24" tall	27



CAD FILE: 01417
 PLOT DATE: 2/18/02
 FILE SCALE: 1"=20'



REV.	DATE	DESCRIPTION
		PH I: PENINSULA COMMUNITY LP PH II: PENINSULA COMMUNITY LP II 510 CUMBERLAND AVE., PORTLAND ME
		ANDERSON STREET PORTLAND, MAINE
		LANDSCAPE PLAN
SCALE:	AS SHOWN	DRN BY: RJB/JDC
DATE:	JUNE 18, 2002	DESIGN BY: TSG
PROJECT:	01417	CHK BY: TSG

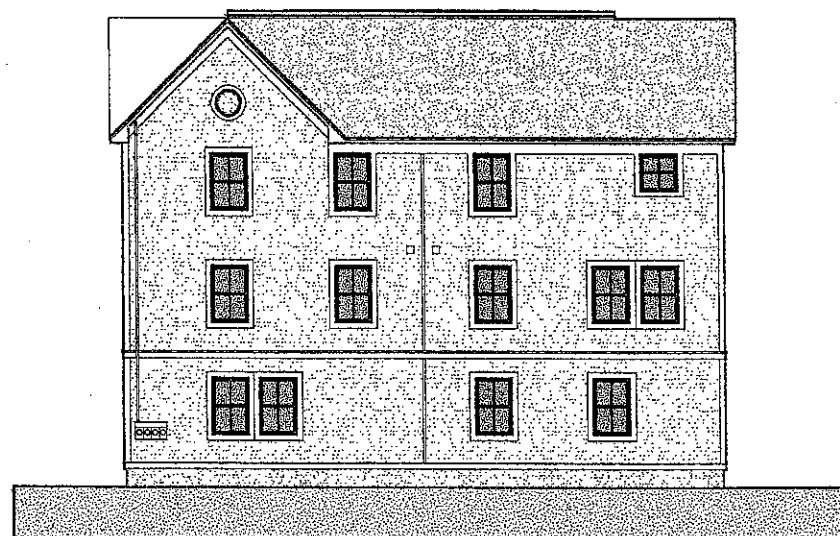
Att. 13




2 LEFT SIDE
1/16" = 1'-0"



1 FRONT
1/16" = 1'-0"




4 RIGHT SIDE
1/16" = 1'-0"



3 BACK
1/16" = 1'-0"

PROGRESS PRINT ONLY
Not for Construction

ANDERSON STREET, BLDG. 1, 2 AND 3
PROP FAMILY HOUSING
PORTLAND, MAINE


TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 6/18/02
PROJECT No. 0114
DRAWN BY: CSC
CHECKED BY: TST
SCALE: AS NOTED

SHEET TITLE:
ELEVATIONS:
BLDG. 1,
BLDG. 2 OPP. HAND
BLDG. 3 SIMILAR

A2-1

**CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES**

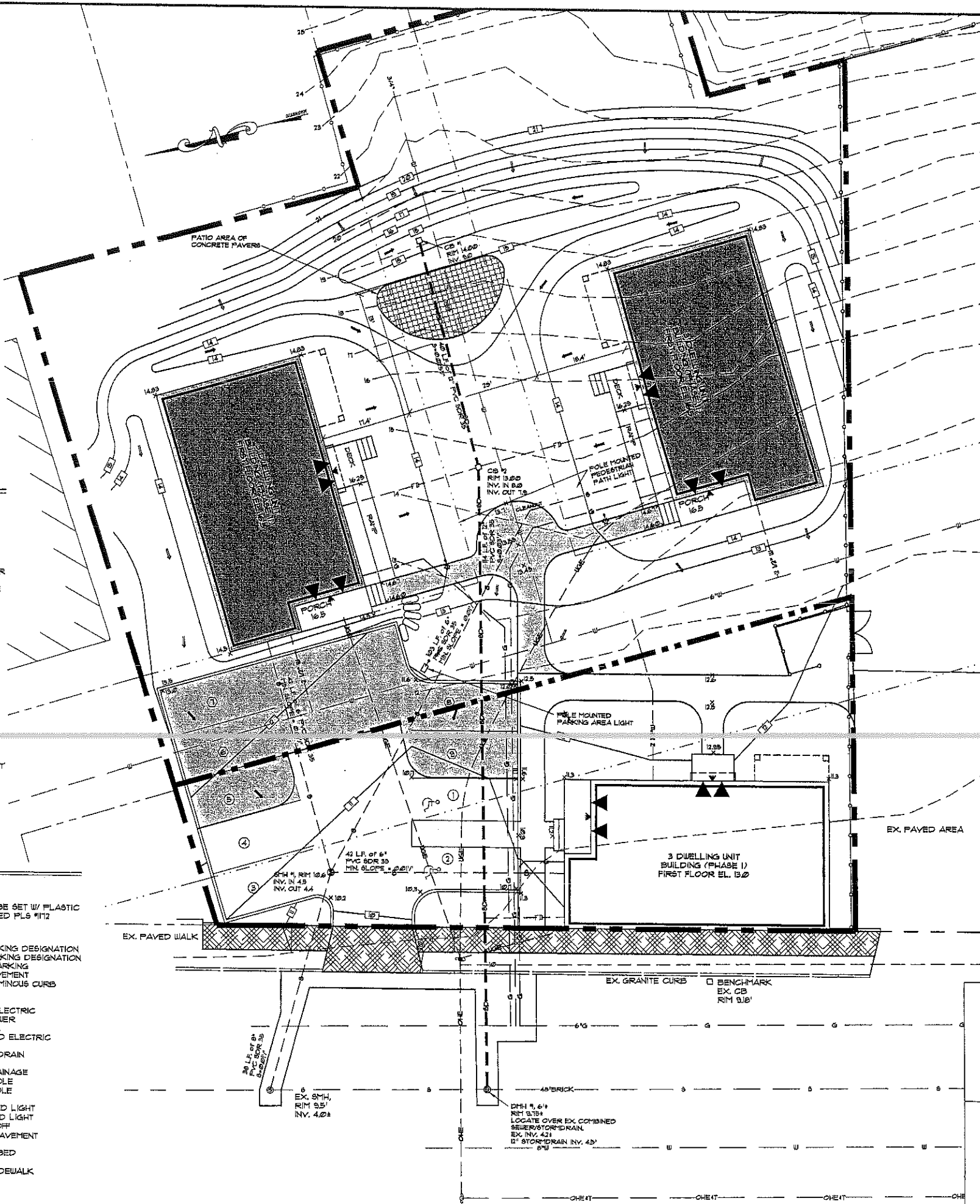
- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- SEE PLAN FOR INSTALLATION OF POWERLINE UTILITIES, OVERHEAD OR UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TYPICAL RAMP AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH BARKMULCH OR LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.

SITE NOTES

- ELEVATIONS ARE BASED ON AN CITY DATUM, ELEVATION OF 9.18 AT THE RIM OF AN EXISTING CATCHBASIN IN ANDERSON STREET.
- ALL HOUSES SHALL HAVE A NUMBER CLEARLY VISIBLE FROM THE ROAD.
- CALL DIG-SAFE (1-800-225-4977) PRIOR TO BEGINNING WORK.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR THE LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TYPICAL RAMP AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES. EXISTING SIDEWALKS OR CURBS DAMAGED DURING CONSTRUCTION ARE TO BE REPAIRED TO CITY STANDARDS.
- ALL UTILITY SERVICE CONNECTIONS PROPOSED WITHIN CITY STREETS ARE TO BE INSPECTED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTLAND WHERE APPLICABLE.
- ANY STREET OPENING PERMIT FROM PUBLIC WORKS.
- ANY CURBING TO BE REMOVED THAT IS NOT REUSED REMAINS THE PROPERTY OF THE CITY OF PORTLAND. CURBING THAT IS REMOVED AND NOT REUSED WILL BE TAKEN TO THE CITY'S OUTER CONGRESS STREET STOCKYARD.

LEGEND

EXISTING	PROPOSED	LOT LINE
--- PROPERTY LINE	--- LOT LINE	--- IRON PIN TO BE SET W/ PLASTIC CAP INSCRIBED PLS #112
--- ADJUTERS PROPERTY	--- BUILDING	--- BUILDING
--- EASEMENT	① PHASE I PARKING DESIGNATION	② PHASE II PARKING DESIGNATION
--- BUILDING	--- SLOPED BITUMINOUS CURB	--- HANDICAP PARKING
--- ZONING DISTRICT	--- CONTOURS	--- EDGE OF PAVEMENT
--- EDGE OF PAVEMENT	--- GAS LINE	--- SLOPED BITUMINOUS CURB
--- CONTOURS	--- OVERHEAD ELEC. 4 TEL.	--- CONTOURS
--- CURB	--- SANITARY SEWER	--- GAS LINE
--- GAS LINE	--- STORM DRAIN	--- OVERHEAD ELECTRIC
--- OVERHEAD ELEC. 4 TEL.	--- UNDERGROUND ELECTRIC	--- SANITARY SEWER
--- SANITARY SEWER	--- WATER LINE	--- STORM DRAIN
--- STORM DRAIN	--- SEWER MANHOLE	--- UNDERGROUND ELECTRIC
--- UNDERGROUND ELECTRIC	--- DRAIN MANHOLE	--- WATER LINE
--- WATER LINE	--- CATCH BASIN	--- FOUNDATION DRAIN
--- SEWER MANHOLE	--- UTILITY POLE	--- SPOT GRADE
--- DRAIN MANHOLE	--- TREE	--- SURFACE DRAINAGE
--- CATCH BASIN	--- CHAINLINK FENCE LINE	--- SEWER MANHOLE
--- UTILITY POLE	--- PICKET FENCE	--- DRAIN MANHOLE
--- TREE	--- GAS VALVE	--- UTILITY POLE
--- CHAINLINK FENCE LINE	--- HYDRANT	--- POLE MOUNTED LIGHT
--- PICKET FENCE	--- GATE VALVE	--- WALL MOUNTED LIGHT
--- GAS VALVE		--- WATER SHUT OFF
--- HYDRANT		--- BITUMINOUS PAVEMENT
--- GATE VALVE		--- BARKMULCH BED
		--- CONCRETE SIDEWALK



14B

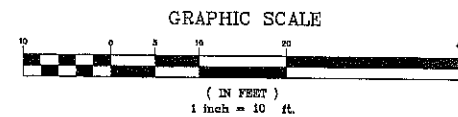
SITE PLAN APPROVED BY THE
CITY OF PORTLAND PLANNING BOARD

DATE _____

PHASING:

PHASE I: LOT #1 BUILDING, PAVING, SITE GRADING

PHASE II: LOT #2 BUILDINGS, PAVING (SHADED AREA), ASSOCIATED SITE GRADING, LANDSCAPING FOR LOTS 1 & 2.



PLOT DATE: 2/18/02
FILE SCALE: 1"=20'
CAD FILE: 01417



REV.	DATE	DESCRIPTION
2	8/9/02	REV'D PER CITY REVIEW
1	7/29/02	REV'D PER CITY REVIEW

PH I: PENINSULA COMMUNITY LP
PH II: PENINSULA COMMUNITY LP II
510 CUMBERLAND AVE., PORTLAND ME

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

ANDERSON STREET
PORTLAND, MAINE
RECORDING PLAT
SITE PLAN - PHASE II

SCALE: AS SHOWN	DRN BY: RJB/JDC
DATE: JUNE 18, 2002	DESG BY: TSG
PROJECT: 01417	CHK BY: TSG

C3

140

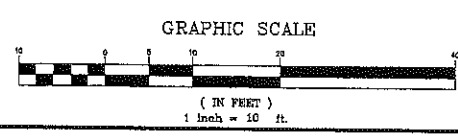
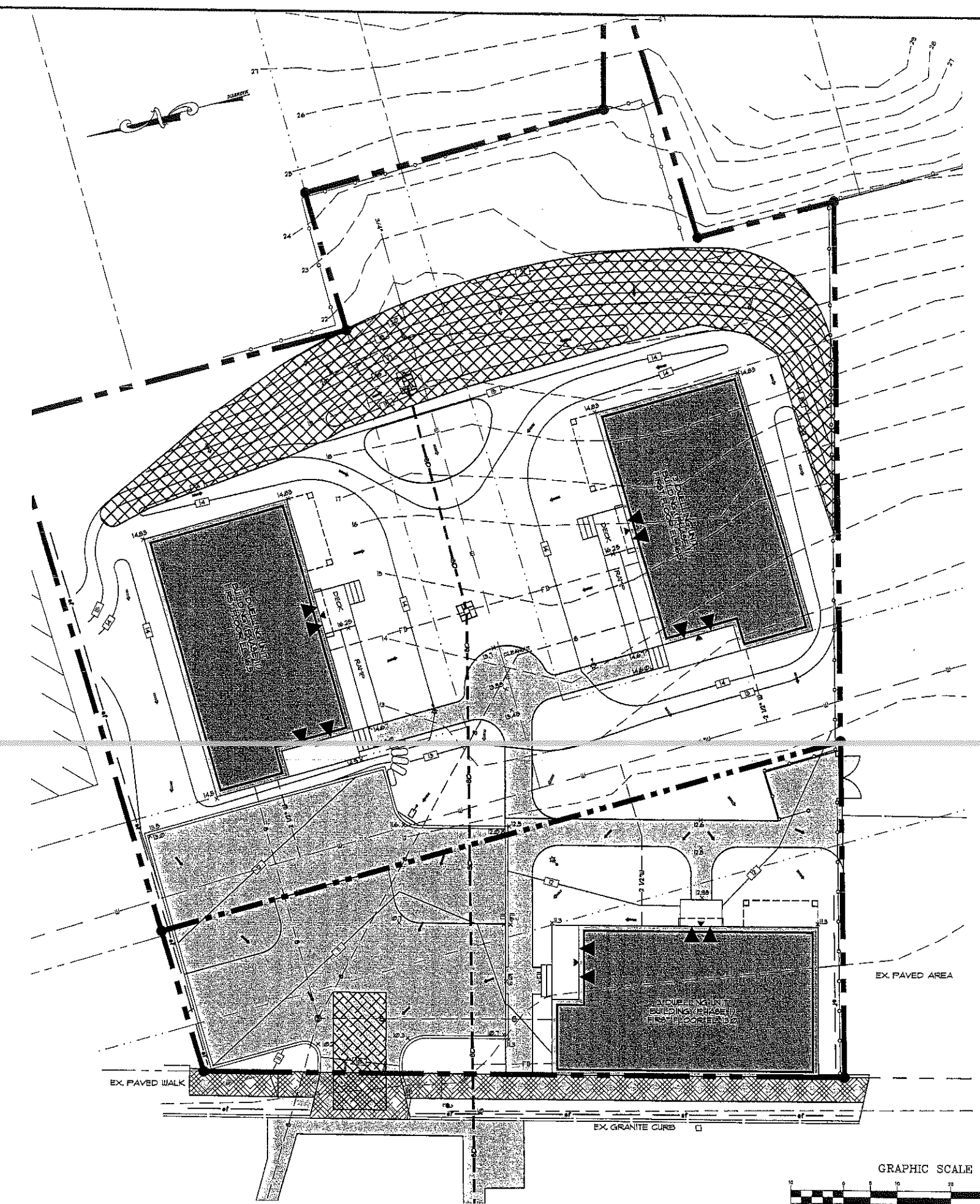
LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- LOT LINE
--- ADJUTERS PROPERTY EASEMENT	● IRON PIN TO BE SET W/ PLASTIC CAP INSCRIBED FL 6 #112
--- BUILDING	□ BUILDING
--- ZONING DISTRICT	① PHASE I PARKING DESIGNATION
--- EDGE OF PAVEMENT	② PHASE II PARKING DESIGNATION
--- CONTOURS	--- SLOPED BITUMINOUS CURB
--- CURB	--- CONTOURS
--- GAS LINE	--- GAS LINE
--- OHE 4T OVERHEAD ELEC. 4 TEL.	--- OHE OVERHEAD ELECTRIC
--- S SANITARY SEWER	--- S SANITARY SEWER
--- SD STORM DRAIN	--- SD STORM DRAIN
--- UGE UNDERGROUND ELECTRIC	--- UGE UNDERGROUND ELECTRIC
--- W WATER LINE	--- W WATER LINE
--- SM SEWER MANHOLE	--- FFD FOUNDATION DRAIN
--- DM DRAIN MANHOLE	--- SG SPOT GRADE
--- CB CATCH BASIN	--- SD SURFACE DRAINAGE
--- UP UTILITY POLE	--- SM SEWER MANHOLE
--- T TREE	--- DM DRAIN MANHOLE
--- CFL CHAINLINK FENCE LINE	--- UP UTILITY POLE
--- PF PICKET FENCE	--- FM FOLE MOUNTED LIGHT
--- GV GAS VALVE	--- WM WALL MOUNTED LIGHT
--- H HYDRANT	--- WS WATER SHUT OFF
--- GV GATE VALVE	--- BP BITUMINOUS PAVEMENT
	--- BARK/MULCH BED
	--- CS CONCRETE SIDEWALK

EROSION CONTROL LEGEND

□	CATCH BASIN PROTECTION WITH HAYBALES
▨	EROSION CONTROL MESH
▩	STABILIZED ENTRANCE
—	SILT FENCE

CAD FILE: 01417
FILE SCALE: 1"=20'
PLOT DATE: 2/19/02



REV.	DATE	DESCRIPTION
1	8/3/02	REV'D PER CITY REVIEW

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

PH I: PENINSULA COMMUNITY LP
PH II: PENINSULA COMMUNITY LP II
510 CUMBERLAND AVE., PORTLAND ME

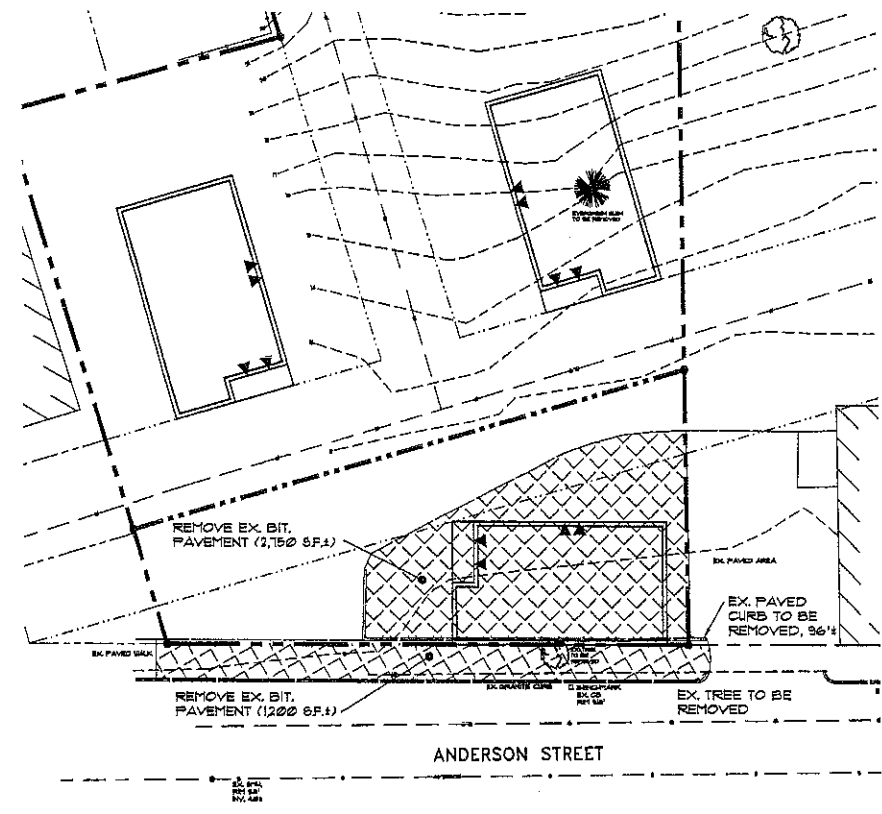
ANDERSON STREET
PORTLAND, MAINE

EROSION CONTROL PLAN

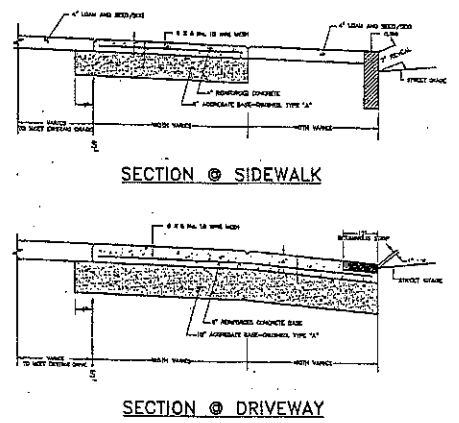
SCALE: AS SHOWN	DRN BY: RJB/JDC
DATE: JULY 29, 2002	DESIGN BY: TSG
PROJECT: 01417	CHK BY: TSG

C4

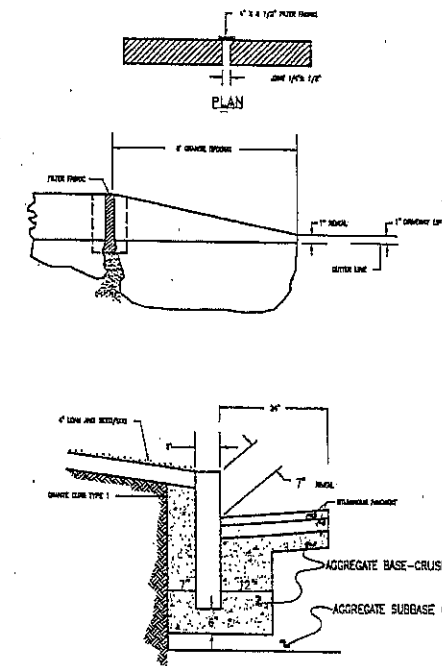
1AE



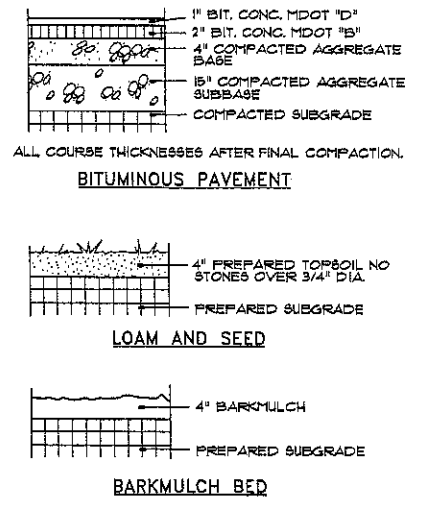
3 CONCRETE SIDEWALK AND DRIVEWAY CONSTRUCTION NOT TO SCALE



2 CURB INSTALLATION NOT TO SCALE



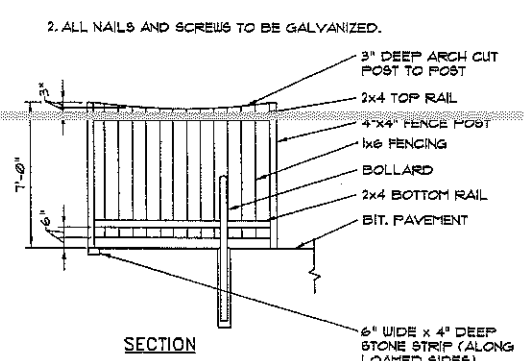
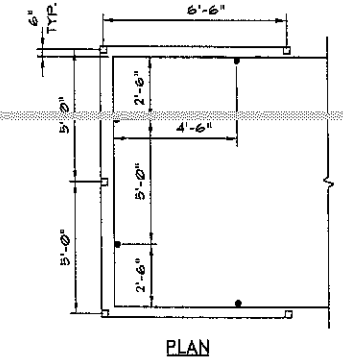
1 SURFACING DETAILS NOT TO SCALE



NOTES:

1. ALL WOOD TO BE PRESSURE TREATED TO A MIN. NET OF 40 LBS. CCA PER CUBIC FOOT OF WOOD AND EACH PIECE SHALL BEAR THE AMERICAN WOOD PRESERVERS BUREAU QUALITY MARK LP-22 "GROUND CONTACT USE."

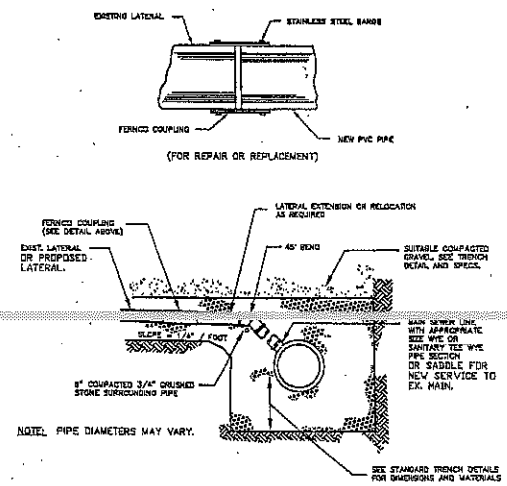
2. ALL NAILS AND SCREWS TO BE GALVANIZED.



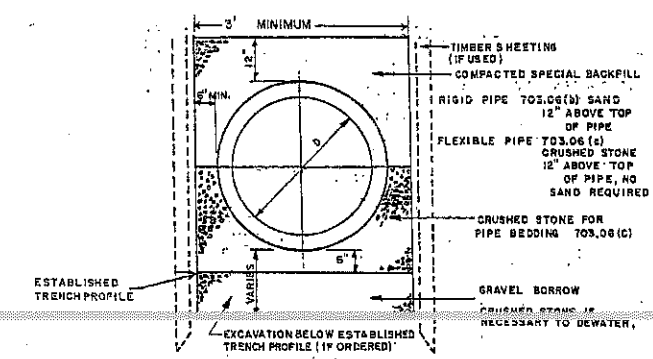
7 DUMPSTER ENCLOSURE DETAIL NOT TO SCALE

1. LOCATIONS AND ELEVATIONS OF STIES SHOWN ON THE PLANS ARE TO BE CONSIDERED AS APPROXIMATE AND MAY BE ADJUSTED AS DIRECTED TO SUIT FIELD CONDITIONS.

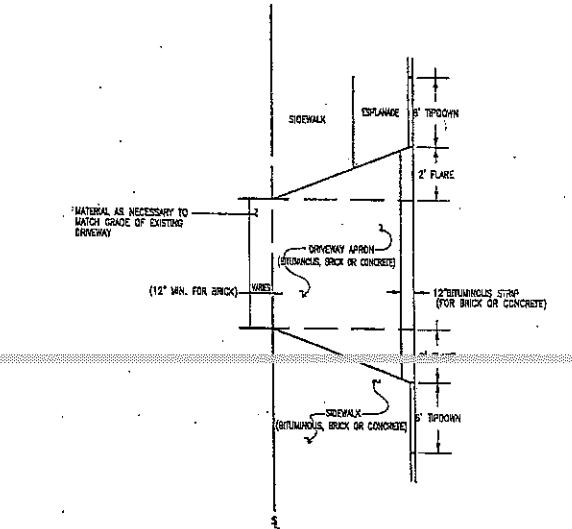
2. HOSE CONNECTIONS AND CATCH BASIN CONNECTIONS TO THE MAIN LINE OF THE SEWER SHALL CONSIST OF AN APPROPRIATE "Y" BRANCH CONNECTION AS SHOWN ON THE PLANS, OR AS DIRECTED. ACTUAL "Y" LOCATIONS FOR HOSE CONNECTIONS AND CATCH BASIN CONNECTIONS SHALL BE DETERMINED DURING CONSTRUCTION. THE CONTRACTOR SHALL KEEP A COMPLETE RECORD OF "Y" LOCATIONS WHICH SHALL BE GIVEN TO THE CITY OF PORTLAND UPON COMPLETION OF THE CONTRACT.



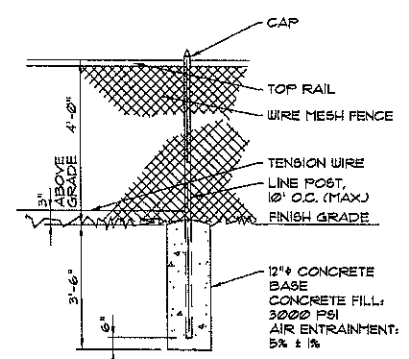
6 TYP. EXISTING LATERAL CONNECTION NOT TO SCALE



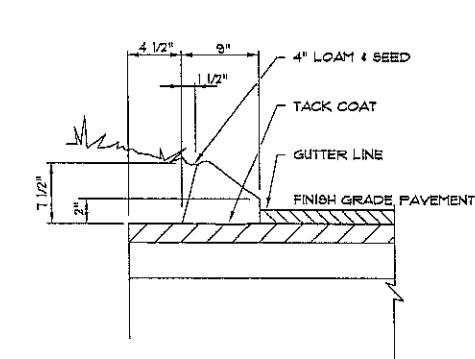
5 TRENCH SECTION NOT TO SCALE



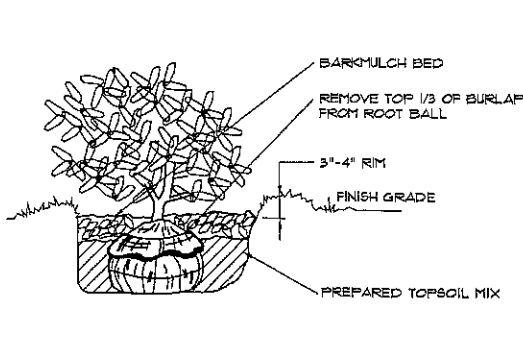
4 SIDEWALK & DRIVEWAY CONSTRUCTION NOT TO SCALE



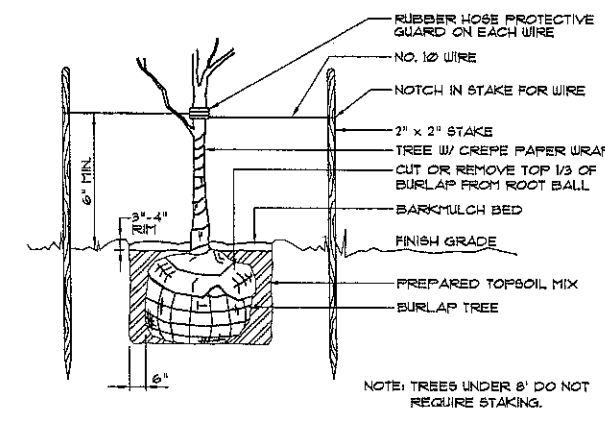
11 CHAINLINK FENCE DETAIL NOT TO SCALE



10 BITUMINOUS CURB DETAIL NOT TO SCALE



9 SHRUB PLANTING DETAIL NOT TO SCALE



8 TREE PLANTING DETAIL NOT TO SCALE



REV.	DATE	DESCRIPTION
2	8/3/02	REV'D PER CITY REVIEW
1	7/28/02	REV'D PER CITY REVIEW

PH I: PENINSULA COMMUNITY LP
PH II: PENINSULA COMMUNITY LP II
510 CUMBERLAND AVE., PORTLAND ME

ANDERSON STREET
PORTLAND, MAINE

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

DETAILS

SCALE: AS SHOWN DRN BY: RJB/JDC
DATE: JUNE 18, 2002 DESG BY: TSG
PROJECT: 01417 CHK BY: TSG

PLOT DATE: 2/18/02 FILE SCALE: 1"=20' CAD FILE: 01417

**PROP MULTIFAMILY SUBDIVISION AMENDMENT
VICINITY OF 113 ANDERSON STREET
SUBDIVISION REVIEW
PEOPLE'S REGIONAL OPPORTUNITY PROGRAM, APPLICANT**

Submitted to:
Portland Planning Board
Portland, Maine
November 18, 2003

Submitted by:
Kandice Talbot, Planner

I. INTRODUCTION

People's Regional Opportunity Program (PROP) is requesting review of an amendment to the approved 9-unit subdivision plan. The amendment is for the relocation of a sewer easement.

Section 14-496(c) states that "The planning authority may approve alterations to an approved recording plat when all of the following conditions are met; otherwise, a new subdivision plat must be submitted to the planning board:

1. The rearrangement of lot lines does not increase the number of lots within a block or other subdivision unit or area;
2. The alteration will not affect any street, alley, utility easement or drainage easement;
3. The alteration meets all of the minimum requirements of this article, article III of this chapter on zoning and other applicable state and local codes;
4. The alteration is approved by the public works authority and the fire department.

Because the amendment requires a new sewer easement, the Planning Board must approve the amendment.

189 notices were sent to area residents. A notice also appeared in the November 10th and November 11th editions of the *Portland Press Herald*.

II. STAFF REVIEW

The proposed development has been reviewed by staff for conformance with the relevant review standards of the subdivision ordinance.

III. PROPOSED AMENDMENT

The Anderson Street subdivision plan was approved in August, 2002. There is an existing passageway that goes through the site. The approved subdivision plan misidentified a sewer easement as a stormwater easement and also misidentified a stormwater easement as a sewer easement.

During construction, it was determined that an existing sewer line ran along the passageway through the site. This existing sewer line serves some of the residential buildings on Hammond Street. Because this sewer line does serve additional properties other than this site, a sewer easement is necessary. The plan has been revised to show a 20 ft. sewer easement through the site. Public Works would prefer a 30 ft. wide easement to get equipment in to work on the sewer if necessary. The applicant will need to submit the sewer easement language for review and approval by staff. A potential condition of approval is:

- that the applicant revise the subdivision to show a 30 ft. wide sewer easement and that the applicant provide sewer easement language for review and approval by staff.

IV. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #53-03 relevant to standards for subdivision regulations, and other findings as follows:

1. That the plan is in conformance with the subdivision standards of the land use code.

Potential Conditions of Approval:

- i. that the applicant revise the subdivision to show a 30 ft. wide sewer easement and that the applicant provide sewer easement language for review and approval by staff.

*6-0
Tevarian
absent*

Attachments:

1. Applicant's Letter
2. Public Works' Memo dated November 13, 2003
3. August, 2002 Approved Plan
4. Amended Subdivision Plan

Att. 1

TFH ARCHITECTS 100 COMMERCIAL STREET PORTLAND MAINE 04101 TELEPHONE 207-775-6141 ARCHITECTURE AND PLANNING

October 20, 2003

Alex Jaegerman
Director of Planning
Portland City Hall
389 Congress Street
Portland, ME 04101

Re: PROP Phase I / Anderson Street Subdivision Plan

Dear Alex,

This letter is a follow up to our discussion regarding the revised subdivision plan / utility easement dilemma for Anderson Street. As discussed, we are in hopes of being on the Planning Board agenda for the 28th so that the revised plan can be approved by the Board.

In order to achieve a comfort level between now and then, a letter from you on City of Portland letterhead, similar to that attached (drafted by Cito Selinger), would be appreciated. Thank you for the understanding and support. Please give me a call if you have any questions or concerns.

Under separate transmittal, Pinkham & Greer's submission for Anderson Street (C1 Subdivision Plan and C2 Site Plan) has been delivered to your office today. I noted that the mylars do not have an embossed stamp. If required please give Tom Greer a call (781-5242) so that they can be stamped prior to filing.

Sincerely,

A handwritten signature in blue ink that reads "Scott / mro". The signature is stylized and written in a cursive-like font.

T. Scott Teas, NCARB, AIA
Principal

AH.2

From: Anthony Lombardo
To: Kandi Talbot
Date: Thu, Nov 13, 2003 7:12 AM
Subject: Re: Anderson Street

A 30 feet wide easement is preferred.

>>> Kandi Talbot 11/12/03 7:26:02 PM >>>

Tony,

Is a 20 ft. sewer easement adequate if work needed to be done on a sewer? Thanks.

Kandi



ZONING REQUIREMENTS

- ZONE: B-5 - URBAN COMMERCIAL MIXED USE ZONE
PERMITTED USES: RESIDENTIAL, MULTIFAMILY DWELLINGS
- | | |
|---------------------------------|------------------------|
| 1. MINIMUM LOT SIZE: | NONE |
| 2. MINIMUM FRONTAGE: | NONE |
| 3. YARD DIMENSIONS: | NONE |
| FRONT SETBACK: | NONE |
| SIDE SETBACK: | NONE |
| REAR SETBACK: | NONE |
| 4. MAXIMUM LOT COVERAGE: | 100% |
| 5. MAXIMUM RESIDENTIAL DENSITY: | 60 DWELLING UNITS/ACRE |
| 6. MAXIMUM BUILDING HEIGHT: | 65 FEET |
- PARKING: 1 PARKING SPACE PER DWELLING UNIT

PLAN REFERENCE

- STANDARD BOUNDARY SURVEY EXISTING CONDITIONS PLAN COVE STREET PORTLAND, MAINE DATED JANUARY 1995 REVISED THROUGH 11-16-95 BY DEB ASSOCIATES RECORDED PLAN BOOK 193 PAGE 510.
- PLAN OF DIVISION OF LOTS BETWEEN LITTLE, WEEKS AND MOODY RECORDED BOOK 36 PAGE 247.

LOCUS DEED REFERENCE

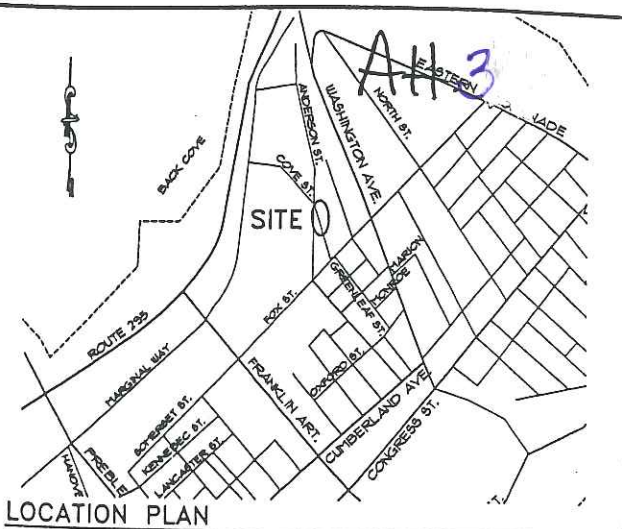
- CITY OF PORTLAND TO PORTLAND HOUSING DEVELOPMENT CORPORATION BOOK 12633 PAGE 206 (12-B-9 AND 12-C-1).
- PORTLAND RENEWAL AUTHORITY TO THE CITY OF PORTLAND BOOK 3211 PAGE 181 PARCEL ONE = 12-C-1 + PARCEL TWO = 12-B-9.
- IRVING G. MAINES TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2515 PAGE 110, 136.
- PAUL E. AND MAE E. BOYINGTON TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2569 PAGE 257.
- MICHAEL T. KANE ET. AL TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2581 PAGE 211.
- ELIZABETH M. GRIBBEN TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2546 PAGE 449.

SURVEY NOTES

- UTILITIES SHOWN ON PLAN ARE LOCATED APPROXIMATELY AND SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION. LOCATIONS SHOWN ARE BASED ON PHYSICAL LOCATIONS AND OR MAPS FROM RESPECTIVE UTILITIES.
- ELEVATIONS SHOWN ARE BASED ON CITY DATUM.

**CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES**

- LANDSCAPING SHALL MEET THE "ARBORETCULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- SEE PLAN FOR INSTALLATION OF POWERLINE UTILITIES, OVERHEAD OR UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPOUN RAFTS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH BARK/MULCH OR LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."

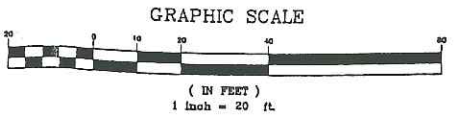
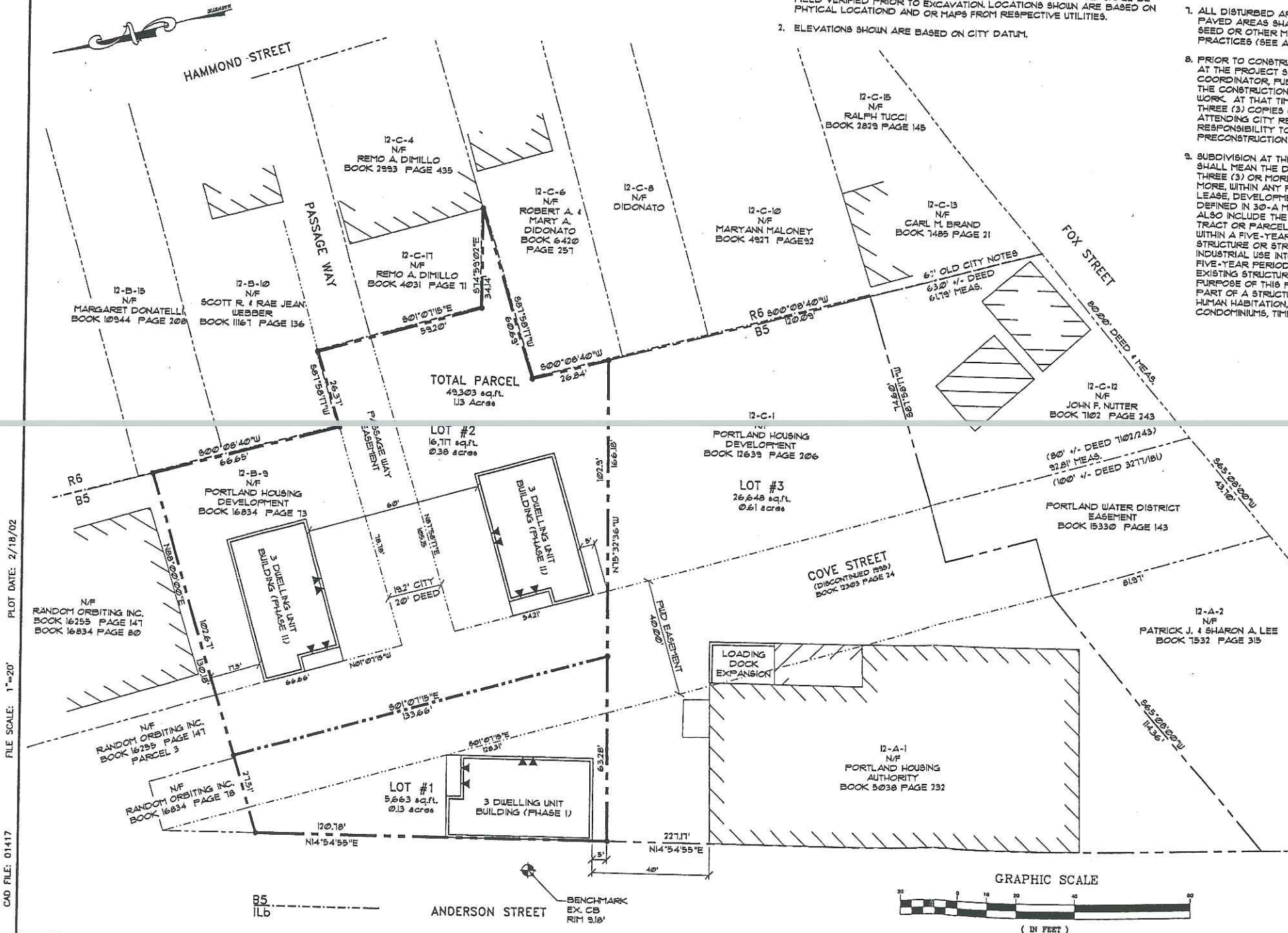


GENERAL NOTES

- OWNER: PEOPLES REGIONAL OPPORTUNITY PROGRAM, 510 CUMBERLAND AVENUE, PORTLAND, MAINE 04101, AND PORTLAND HOUSING DEVELOPMENT 14 BAXTER BLVD., PORTLAND, MAINE 04101.
- ARCHITECT: TPH ARCHITECTS, PORTLAND, MAINE.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- BOUNDARY AND TOPOGRAPHY BY DANIEL J. DALFONSO, L.L.S., SOUTH PORTLAND, MAINE. BENCHMARK RIM OF EX. CATCHBASIN IN ANDERSON STREET.
- ZONE: B-5 URBAN COMMERCIAL.
- TAX MAP REFERENCE: MAP 12, BLOCK B, LOT 9.
- TOTAL PARCEL: 27,655 s.f.
- BUILDINGS SHALL HAVE NUMBERS CLEARLY VISIBLE FROM THE ROAD.
- NO OPEN SPACE OR PUBLIC USE AREA ARE INCLUDED IN THIS SUBDIVISION.
- BUILDINGS TO BE SERVICED BY PUBLIC GAS, SEWER AND WATER.
- POWER, TELEPHONE AND CABLE ARE TO BE OVERHEAD & UNDERGROUND.
- TRASH WILL BE STORED IN THE ENCLOSURE OUTDOORS FOR COLLECTION BY PROP PERSONNEL.
- CALL DIG-SAFE (1-800-325-4911) PRIOR TO BEGINNING WORK.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES" CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT, DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
- SOILS AS SHOWN IN "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE, 1987.
- THIS PROJECT IS THE SUBDIVISION OF 27,655 s.f. OF LAND INTO 2 LOTS FOR 3-BUILDINGS WITH 3 RESIDENTIAL DWELLING UNITS IN EACH.
- OWNER IS TO REMOVE SNOW AS NEEDED.
- EASEMENTS:
A PARKING AND ACCESS EASEMENT IS GRANTED TO LOT 2 FROM LOT 1.
A PARKING AND ACCESS EASEMENT IS GRANTED TO LOT 1 FROM LOT 2.
A DUMPSTER ACCESS AND USE EASEMENT IS GRANTED TO LOT 2 FROM LOT 1.
A DUMPSTER ACCESS AND TRASH REMOVAL EASEMENT IS GRANTED TO LOT 1 AND 2 OVER LOT 3.
- THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DEMINIMUS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
- LANDSCAPE DESIGN BY ANTHONY MUENCH, LANDSCAPE ARCHITECT, PORTLAND, MAINE.

SUBDIVISION PLAN APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE _____



CAD FILE: 01417 PLOT DATE: 2/18/02 FILE SCALE: 1"=20'

2	5/3/02	REV'D PER CITY REVIEW
1	1/23/02	REV'D PER CITY REVIEW
REV.	DATE	DESCRIPTION

PH I: PENINSULA COMMUNITY LP
PH II: PENINSULA COMMUNITY LP II
510 CUMBERLAND AVE., PORTLAND ME

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

**ANDERSON STREET
PORTLAND, MAINE**

SUBDIVISION PLAN

SCALE: AS SHOWN DRN BY: RJB/JDC
DATE: JUNE 18, 2002 DESG BY: TSG
PROJECT: 01417 CHK BY: TSG

C1

T:\00_TFH Projects\PROP 0129_Anderson Street.swap\RECEIVED\New Folder\0147 base redesign.dwg, C1 SUB, 11/13/2003 10:10:32 AM

Att. 4

LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- LOT LINE
--- ADJUTERS PROPERTY	--- SEWER EASEMENT
--- EASEMENT	● IRON PIN TO BE SET W/ PLASTIC CAP INSCRIBED PLS #1172
--- BUILDING	□ BUILDING
--- ZONING DISTRICT	

ZONING REQUIREMENTS

ZONE: B-5 - URBAN COMMERCIAL MIXED USE ZONE
PERMITTED USES: RESIDENTIAL, MULTIFAMILY DWELLINGS

1. MINIMUM LOT SIZE:	NONE
2. MINIMUM FRONTAGE:	NONE
3. YARD DIMENSIONS:	
FRONT SETBACK:	NONE
SIDE SETBACK:	NONE
REAR SETBACK:	NONE
4. MAXIMUM LOT COVERAGE:	100%
5. MAXIMUM RESIDENTIAL DENSITY:	60 DWELLING UNITS/ACRE
6. MAXIMUM BUILDING HEIGHT:	65 FEET
PARKING: 1 PARKING SPACE PER DWELLING UNIT	

PLAN REFERENCE

- STANDARD BOUNDARY SURVEY EXISTING CONDITIONS PLAN COVE STREET PORTLAND, MAINE DATED JANUARY 1995 REVISED THROUGH 11-16-95 BY OEST ASSOCIATES RECORDED PLAN BOOK 199 PAGE 510.
- PLAN OF DIVISION OF LOTS BETWEEN LITTLE, WEEKS AND MOODY RECORDED BOOK 36 PAGE 247.

LOCUS DEED REFERENCE

- CITY OF PORTLAND TO PORTLAND HOUSING DEVELOPMENT CORPORATION BOOK 12639 PAGE 206 (12-B-9 AND 12-C-1).
- PORTLAND RENEWAL AUTHORITY TO THE CITY OF PORTLAND BOOK 3277 PAGE 181 PARCEL ONE = 12-C-1 & PARCEL TWO = 12-B-9.
- IRVING G. MAINES TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2575 PAGE 170, 1960.
- PAUL E. AND MAE E. BOYINGTON TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2569 PAGE 252.
- MICHAEL T. KANE ET. AL TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2587 PAGE 211.
- ELIZABETH M. GRIBBEN TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2546 PAGE 449.

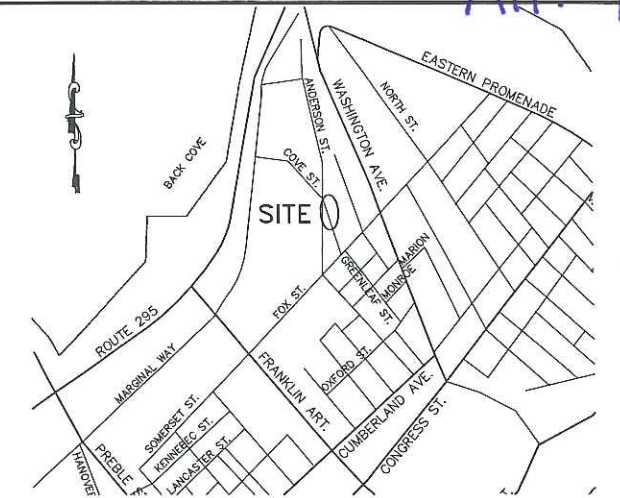
SURVEY NOTES

- EXISTING UTILITIES SHOWN ON PLAN ARE LOCATED APPROXIMATELY AND SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION. LOCATIONS SHOWN ARE BASED ON PHYSICAL LOCATION AND/OR MAPS FROM RESPECTIVE UTILITIES.
- ELEVATIONS SHOWN ARE BASED ON CITY DATUM.

**CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES**

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- SEE PLAN FOR INSTALLATION OF POWERLINE UTILITIES, OVERHEAD OR UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH BARKMULCH OR LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORK'S REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.

SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."



LOCATION PLAN

SCALE: 1"=1000'

GENERAL NOTES

- OWNERS: PEOPLES REGIONAL OPPORTUNITY PROGRAM, 510 CUMBERLAND AVENUE, PORTLAND, MAINE 04101, AND PORTLAND HOUSING DEVELOPMENT 14 BAXTER BLVD. PORTLAND, MAINE 04101.
- ARCHITECT: TFH ARCHITECTS, PORTLAND, MAINE.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- BOUNDARY AND TOPOGRAPHY BY DANIEL J. DALFONSO, LLS, SOUTH PORTLAND, MAINE.
- BENCHMARK: RIM OF EX. CATCHBASIN IN ANDERSON STREET.
- ZONE: B-5 URBAN COMMERCIAL.
- TAX MAP REFERENCE: MAP 12, BLOCK B, LOT 9.
- TOTAL PARCEL: 22,655 s.f.
- BUILDINGS SHALL HAVE NUMBERS CLEARLY VISIBLE FROM THE ROAD.
- NO OPEN SPACE OR PUBLIC USE AREA ARE INCLUDED IN THIS SUBDIVISION.
- BUILDINGS TO BE SERVICED BY PUBLIC GAS, SEWER AND WATER.
- POWER, TELEPHONE AND CABLE ARE TO BE OVERHEAD & UNDERGROUND.
- TRASH WILL BE STORED IN THE ENCLOSURE OUTDOORS FOR COLLECTION BY PROP PERSONNEL.
- CALL DIG-SAFE (1-800-225-4977) PRIOR TO BEGINNING WORK.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT, DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
- SOILS AS SHOWN IN "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE ARE CLASSIFIED AS DEERFIELD.
- THIS PROJECT IS THE SUBDIVISION OF 22,655 s.f. OF LAND INTO 2 LOTS FOR 3-BUILDINGS WITH 3 RESIDENTIAL DWELLING UNITS IN EACH.
- OWNER IS TO REMOVE SNOW AS NEEDED.
- EASEMENTS:
A PARKING AND ACCESS EASEMENT IS GRANTED TO LOT 2 FROM LOT 1.
A PARKING AND ACCESS EASEMENT IS GRANTED TO LOT 1 FROM LOT 2.
A DUMPSTER ACCESS AND USE EASEMENT IS GRANTED TO LOT 2 FROM LOT 1.
A DUMPSTER ACCESS AND TRASH REMOVAL EASEMENT IS GRANTED TO LOT 1 AND 2 OVER LOT 3.
- THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DEMINUS CHANGE WHICH THE DIRECTOR OF PLANNING AND ZONING MAY PERMIT.
- LANDSCAPE DESIGN BY ANTHONY MUENCH, LANDSCAPE ARCHITECT, PORTLAND, MAINE.

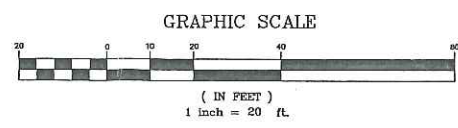
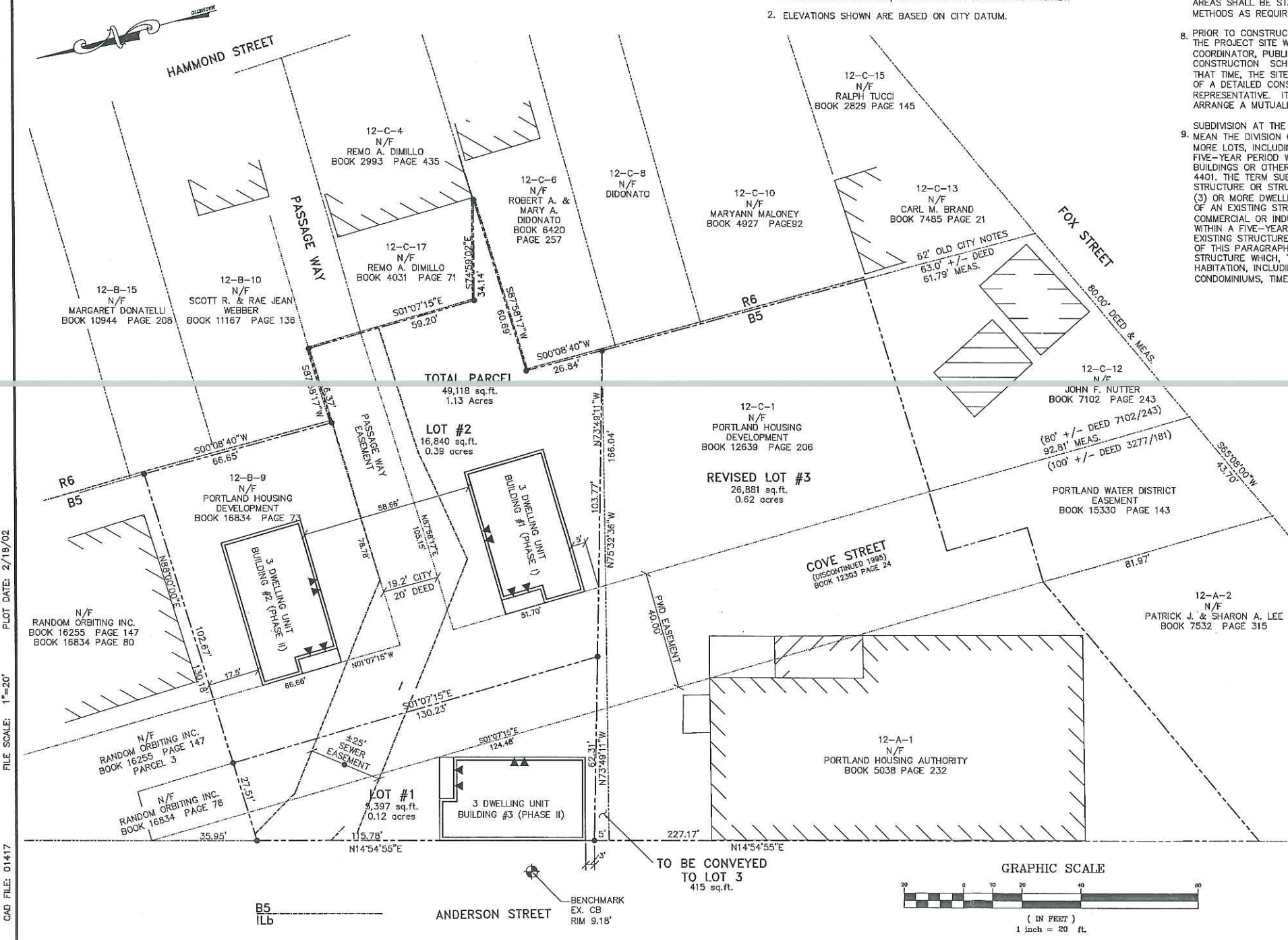
**CITY OF PORTLAND
SUBDIVISION ALTERATION APPROVAL**

ALTERATIONS TO THE ORIGINAL APPROVED RECORDING PLAT HAVE BEEN APPROVED BY THE CITY OF PORTLAND DEPARTMENT OF PLANNING AND DEVELOPMENT IN COMPLIANCE WITH SECTION 14-496(3) OF THE SUBDIVISION ORDINANCE.

APPROVED ALTERATIONS INCLUDE:
ADDED A 20' SEWER EASEMENT ACROSS THE PROPERTY.

THIS IS A REVISION OF THE SUBDIVISION PLAN SIGNED BY THE PLANNING BOARD ON MARCH 4, 2003 AND SUPERSEDES THE RECORDING PLAT RECORDED AT THE REGISTRY OF DEEDS ON MARCH 4, 2003 BOOK 203, PAGE 87.

DIRECTOR OF PLANNING AND DEVELOPMENT
DATE _____



REV.	DATE	DESCRIPTION
6	10/10/03	ADDED SEWER EASEMENT
5	5/20/03	REVISED PROPERTY PER ON-SITE CONDITIONS
4	4/9/03	REV'D: PHASES, APPROVAL BLOCK
3	3/19/03	REV'D PHASES, ADDED EX. SEWER
2	8/9/02	REV'D PER CITY REVIEW
1	7/29/02	REV'D PER CITY REVIEW

PH I: PENINSULA COMMUNITY LP
PH II: PENINSULA COMMUNITY LP II
510 CUMBERLAND AVE., PORTLAND ME
ANDERSON STREET
PORTLAND, MAINE

PINKHAM & GREER

CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

SUBDIVISION PLAN

SCALE: AS SHOWN	DRN BY: RJB/JDC
DATE: JUNE 18, 2002	DSG BY: TSG
PROJECT: 01417	CHK BY: TSG

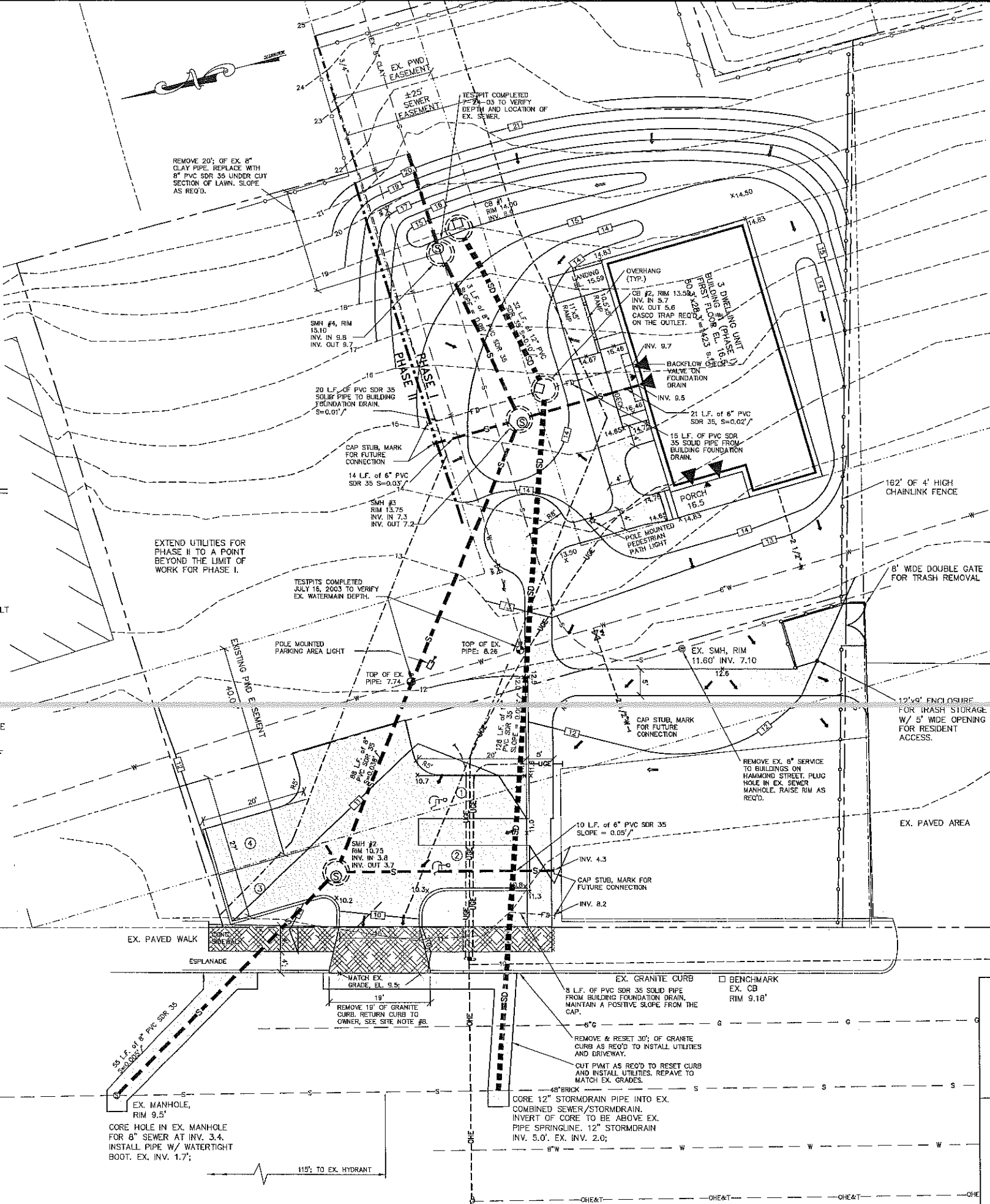
C1

CITY OF PORTLAND SITE PLAN AND SUBDIVISION NOTES

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
 - THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
 - SEE PLAN FOR INSTALLATION OF POWERLINE UTILITIES, OVERHEAD OR UNDERGROUND.
 - SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
 - ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH BARKMULCH OR LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
 - PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL

SITE NOTES

- ELEVATIONS ARE BASED ON AN CITY DATUM. ELEVATION OF 9.18 AT THE RIM OF AN EXISTING CATCHBASIN IN ANDERSON STREET.
- ALL HOUSES SHALL HAVE A NUMBER CLEARLY VISIBLE FROM THE ROAD.
- CALL DIG-SAFE (1-800-225-4977) PRIOR TO BEGINNING WORK.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR THE LATEST EDITION (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES. EXISTING SIDEWALKS OR CURBS DAMAGED DURING CONSTRUCTION ARE TO BE REPAIRED TO CITY STANDARDS.
- ALL UTILITY SERVICE CONNECTIONS PROPOSED WITHIN CITY STREETS ARE TO BE INSPECTED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTLAND WHERE APPLICABLE.
- SEWER SERVICE CONNECTIONS WITHIN THE STREET RIGHT-OF-WAY SHALL REQUIRE A STREET OPENING PERMIT FROM PUBLIC WORKS.
- ANY CURBING TO BE REMOVED THAT IS NOT REUSED REMAINS THE PROPERTY OF THE CITY OF PORTLAND. CURBING THAT IS REMOVED AND NOT REUSED WILL BE TAKEN TO THE CITY'S OUTER CONGRESS STREET STOCKYARD.



LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- LOT LINE
--- ABUTTERS PROPERTY	--- SEWER EASEMENT
--- EASEMENT	• IRON PIN TO BE SET W/ PLASTIC CAP INSCRIBED PLS #1172
--- BUILDING	□ BUILDING
--- ZONING DISTRICT	① PHASE I PARKING DESIGNATION
--- EDGE OF PAVEMENT	② PHASE II PARKING DESIGNATION
--- CURBS	--- HANDICAP PARKING
--- GAS LINE	--- EDGE OF PAVEMENT
--- OVERHEAD ELEC. & TEL.	--- SLOPED BITUMINOUS CURB
--- SANITARY SEWER	--- CONTOURS
--- STORM DRAIN	--- GAS LINE
--- UNDERGROUND ELECTRIC	--- OVERHEAD ELECTRIC
--- WATER LINE	--- SEWER MANHOLE
--- SEWER MANHOLE	--- DRAIN MANHOLE
--- DRAIN MANHOLE	--- CATCH BASIN
--- CATCH BASIN	--- UNDERGROUND ELECTRIC
--- UTILITY POLE	--- WATER LINE
--- TREE	--- FOUNDATION DRAIN
--- CHAINLINK FENCE LINE	--- SPOT GRADE
--- PICKET FENCE	--- SURFACE DRAINAGE
--- HYDRANT	--- SEWER MANHOLE
--- GATE VALVE	--- CATCHBASIN
	--- UTILITY POLE
	--- POLE MOUNTED LIGHT
	--- WALL MOUNTED LIGHT
	--- WATER SHUT OFF
	--- BITUMINOUS PAVEMENT
	--- BARKMULCH BED
	--- CONCRETE SIDEWALK
	--- TESTPIT REQUIRED TO LOCATE EX. UTILITY

CITY OF PORTLAND SITE PLAN ALTERATION APPROVAL

ALTERATIONS TO THE ORIGINAL APPROVED RECORDING PLAT HAVE BEEN APPROVED BY THE CITY OF PORTLAND DEPARTMENT OF PLANNING AND DEVELOPMENT IN COMPLIANCE WITH SECTION 14-496(3) OF THE SUBDIVISION ORDINANCE.

APPROVED ALTERATIONS INCLUDE:

- ADDED A 20' SEWER EASEMENT ACROSS THE PROPERTY.

THIS IS A REVISION OF THE SITE PLAN SIGNED BY THE PLANNING BOARD ON MARCH 4, 2003 AND SUPERSEDES THE RECORDING PLAT RECORDED AT THE REGISTRY OF DEEDS ON MARCH 4, 2003 BOOK 203, PAGE 86.

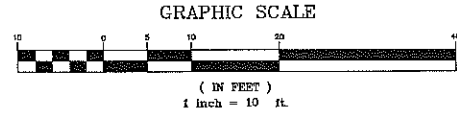
DIRECTOR OF PLANNING AND DEVELOPMENT

DATE _____

PHASING:

PHASE I: LOT #2 BUILDING #1, PAVING (SHADED AREA), UTILITY INSTALLATION, ASSOCIATED SITE GRADING, PARTIAL LANDSCAPE INSTALLATION.

PHASE II: LOT #2 BUILDING #2, LOT #1 BUILDING #3, PAVING AND FINISH SITE GRADING.



REV.	DATE	DESCRIPTION
10	10/10/03	ADDED SEWER EASEMENT
9	7/24/03	REV'D UTILITY LAYOUT & INVERTS
8	7/18/03	REV'D UTILITY INVERT ELEVATIONS
7	5/19/03	ADJUSTED BUILDING LOCATION PER ON-SITE REVIEW
6	4/9/03	REV'D PHASES, UPPER SIDEWALK & BUILDING RAMP, ADJUSTED UTILITY INVERTS & SIZES, APPROVAL BLOCK
5	3/20/03	REV'D PHASES, ADDED EX. SEWER
4	11/4/02	REV'D PER MSHA REVIEW
3	9/5/02	REV'D PER CITY REVIEW
2	8/9/02	REV'D PER CITY REVIEW
1	7/29/02	REV'D PER CITY REVIEW

PH I: PENINSULA COMMUNITY LP
PH II: PENINSULA COMMUNITY LP II
510 CUMBERLAND AVE., PORTLAND ME

PINKHAM & GREER

ANDERSON STREET
PORTLAND, MAINE
RECORDING PLAT
SITE PLAN - PHASE I

Scale: AS SHOWN DRN BY: RJB/JDC
Date: JUNE 18, 2002 DESG BY: TSG
Project: 01417 CHK BY: TSG

C:\Documents and Settings\DavidMLocal Settings\Temporary Internet Files\OLK501417 BASE REDESIGN.dwg, SITE PH1, 11/13/2003 10:03:27 AM

PLOT DATE: 2/18/02
FILE SCALE: 1"=20'
CAD FILE: 01417

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

August 21, 2003

Mr. Grant Lee
PROP
510 Cumberland Avenue
Portland, ME 04101

RE: PROP 9-Unit Subdivision, Anderson Street
ID #2002-0140, CBL #012-B-009

Dear Mr. Lee:

Upon receipt of a revised site plan and upon a site visit, the following issue has arisen:

1. The revision shows a relocated city sanitary sewer line, which falls outside of the existing right-of-way/easement. Therefore, a new easement would have to be created.
 - a. Creation of an easement to an approved subdivision requires planning board approval.
2. A site visit verified that the pipe has already been relocated prior to planning board approval.

In order to obtain approval, you must apply for an after-the-fact amendment to your site plan, at which time the City will review the changes and schedule the amendment for the planning board.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
✓Kandice Talbot, Planner
Eric Labelle, City Engineer
Todd Merkle, Public Works
Chris Cavendish, TFH Architects, 100 Commercial Street, Portland, ME 04101

O:\PLAN\DEV\REVW\ANDERSON113\AMENDMENT8-21-03.DOC