

LOCATION PLAN
SCALE: 1"=1000'

ZONING REQUIREMENTS
ZONE: B-5 - URBAN COMMERCIAL MIXED USE ZONE
PERMITTED USES: RESIDENTIAL, MULTIFAMILY DWELLINGS

1. MINIMUM LOT SIZE:	NONE
2. MINIMUM FRONTAGE:	NONE
3. YARD DIMENSIONS:	NONE
FRONT SETBACK:	NONE
SIDE SETBACK:	NONE
REAR SETBACK:	NONE
4. MAXIMUM LOT COVERAGE:	100%
5. MAXIMUM RESIDENTIAL DENSITY:	60 DWELLING UNITS/ACRE
6. MAXIMUM BUILDING HEIGHT:	65 FEET

PARKING: 1 PARKING SPACE PER DWELLING UNIT

LEGEND

EXISTING

- PROPERTY LINE
- ABUTTING PROPERTY
- WATER DISTRICT EASEMENT
- SEWER EASEMENT
- BUILDING

PROPOSED

- BUILDING
- PARKING DESIGNATION

PLAN REFERENCE

- STANDARD BOUNDARY SURVEY EXISTING CONDITIONS PLAN COVE STREET PORTLAND, MAINE DATED JANUARY 1995 REVISED THROUGH 11-16-95 BY OEST ASSOCIATES RECORDED PLAN BOOK 199 PAGE 510.
- PLAN OF DIVISION OF LOTS BETWEEN LITTLE, WEEKS AND MOODY RECORDED BOOK 36 PAGE 241.

LOCUS DEED REFERENCE

- CITY OF PORTLAND TO PORTLAND HOUSING DEVELOPMENT CORPORATION BOOK 12639 PAGE 206 (12-B-9 AND 12-C-1).
- PORTLAND RENEWAL AUTHORITY TO THE CITY OF PORTLAND BOOK 3211 PAGE 181 PARCEL ONE = 12-C-1 4 PARCEL TWO = 12-B-9.
- IRVING G. MAINES TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2515 PAGE 170, 1960.
- PAUL E. AND MAE E. BOYINGTON TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2563 PAGE 252.
- MICHAEL T. KANE ET. AL TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2581 PAGE 211.
- ELIZABETH M. GRIBBEN TO SLUM CLEARANCE AND REDEVELOPMENT AUTHORITY BOOK 2546 PAGE 443.

SURVEY NOTES

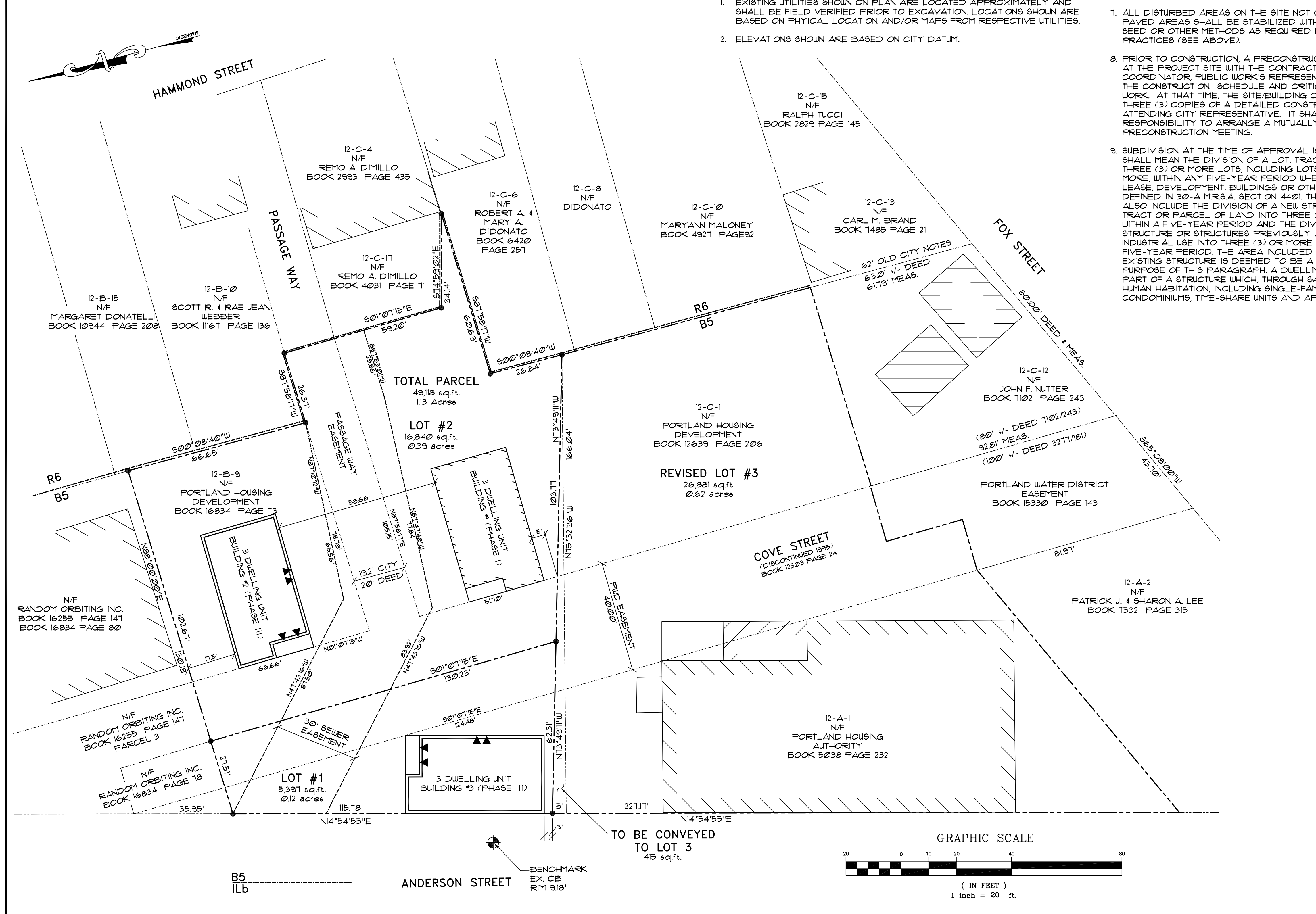
- EXISTING UTILITIES SHOWN ON PLAN ARE LOCATED APPROXIMATELY AND SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION. LOCATIONS SHOWN ARE BASED ON PHYSICAL LOCATION AND/OR MAPS FROM RESPECTIVE UTILITIES.
- ELEVATIONS SHOWN ARE BASED ON CITY DATUM.

CITY OF PORTLAND SITE PLAN AND SUBDIVISION NOTES

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN, APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- SEE PLAN FOR INSTALLATION OF POWERLINE UTILITIES, OVERHEAD OR UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIFDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH BARKMULCH OR LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE-BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."

GENERAL NOTES

- OWNERS: PEOPLES REGIONAL OPPORTUNITY PROGRAM, 510 CUMBERLAND AVENUE, PORTLAND, MAINE 04101, AND PORTLAND HOUSING DEVELOPMENT 14 BAXTER BLVD. PORTLAND, MAINE 04101.
- ARCHITECT: TFH ARCHITECTS, PORTLAND, MAINE.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- BOUNDARY AND TOPOGRAPHY BY DANIEL J. DALFONSO, L.L.S., SOUTH PORTLAND, MAINE.
- BENCHMARK: RIM OF EX. CATCHBASIN IN ANDERSON STREET.
- ZONE: B-5 URBAN COMMERCIAL.
- TAX MAP REFERENCE: MAP 12, BLOCK B, LOT 9.
- TOTAL PARCEL: 22,655 s.f.
- BUILDINGS SHALL HAVE NUMBERS CLEARLY VISIBLE FROM THE ROAD.
- NO OPEN SPACE OR PUBLIC USE AREA ARE INCLUDED IN THIS SUBDIVISION.
- BUILDINGS TO BE SERVICED BY PUBLIC GAS, SEWER AND WATER.
- POWER, TELEPHONE AND CABLE ARE TO BE OVERHEAD & UNDERGROUND.
- DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR DISPOSE OF TRASH. AFTER CONSTRUCTION TRASH WILL BE STORED IN THE ENCLOSURE OUTDOORS FOR COLLECTION BY PROP PERSONNEL.
- CALL DIG-SAFE (1-800-225-4911) PRIOR TO BEGINNING WORK.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT, DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
- SOILS AS SHOWN IN "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE ARE CLASSIFIED AS DEERFIELD.
- THIS PROJECT IS THE SUBDIVISION OF 22,655 s.f. OF LAND INTO 2 LOTS FOR 3-BUILDINGS WITH 3 RESIDENTIAL DWELLING UNITS IN EACH.
- DURING CONSTRUCTION CONTRACTOR IS TO BE RESPONSIBLE FOR REMOVING SNOW. AFTER CONSTRUCTION OWNER IS TO REMOVE SNOW AS NEEDED.
- EASEMENTS:
A PARKING AND ACCESS EASEMENT IS GRANTED TO LOT 2 FROM LOT 1.
A PARKING AND ACCESS EASEMENT IS GRANTED TO LOT 1 FROM LOT 2.
A DUMPSTER ACCESS AND USE EASEMENT IS GRANTED TO LOT 2 FROM LOT 1.
A DUMPSTER ACCESS AND TRASH REMOVAL EASEMENT IS GRANTED TO LOT 1 AND 2 OVER LOT 3.
- THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DEMINIMUS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
- LANDSCAPE DESIGN BY ANTHONY MUENCH, LANDSCAPE ARCHITECT, PORTLAND, MAINE.



CITY OF PORTLAND SUBDIVISION ALTERATION APPROVAL

ALTERATIONS TO THE ORIGINAL APPROVED RECORDING PLAT HAVE BEEN APPROVED BY THE CITY OF PORTLAND DEPARTMENT OF PLANNING AND DEVELOPMENT IN COMPLIANCE WITH SECTION 14-496(3) OF THE SUBDIVISION ORDINANCE.

APPROVED ALTERATIONS INCLUDE:

ADDING GAS SERVICE, SUMP PUMPS AND DRIPSTRIPS TO BUILDINGS #2 & #3, CHANGING THE WATER SERVICE SIZE FOR BUILDINGS #2 & #3, CHANGING THE CONCRETE SIDEWALK TO BRICK, CHANGING THE STONE STEPS TO CONCRETE STEPS AND ELIMINATING THE PATIO AREA PAVERS.

THIS IS A REVISION OF THE SUBDIVISION PLAN SIGNED BY THE PLANNING BOARD ON MARCH 4, 2003 AND SUPERSEDES THE RECORDING PLAT RECORDED AT THE REGISTRY OF DEEDS ON MARCH 4, 2003 BOOK 203, PAGE 81.

DATE _____

REV.	DATE	DESCRIPTION
8	1/14/05	ISSUED FOR BID
7	11/21/03	REV'D WIDTH OF SEWER EASEMENT
6	10/10/03	ADDED SEWER EASEMENT
5	5/20/03	REVISED PROPERTY PER ON-SITE CONDITIONS
4	4/9/03	REV'D PHASES, APPROVAL BLOCK
3	3/19/03	REV'D PHASES, ADDED EX. SEWER
2	8/9/02	REV'D PER CITY REVIEW
1	7/29/02	REV'D PER CITY REVIEW

PH I: PENINSULA COMMUNITY LP
PH III: PENINSULA COMMUNITY LP II
510 CUMBERLAND AVE., PORTLAND ME

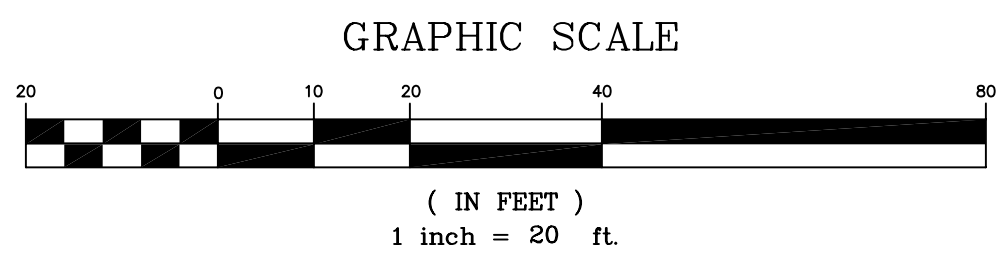
**ANDERSON STREET
PORTLAND, MAINE
PROP HOUSING PHASE III
SUBDIVISION PLAN**

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

STATE OF MAINE
THOMAS S. GREER
4206
REGISTERED PROFESSIONAL ENGINEER

SCALE: AS SHOWN	DRN BY: JDC/TFH
DATE: JUNE 18, 2002	DESIGN BY: TSG
PROJECT: 01417	CHK BY: TSG

C1



PLOT DATE:
FILE SCALE:
CAD FILE: