

Addendum #1

To

Construction Documents

For

**Peoples Regional Opportunity Program
Phase III Scattered Site Affordable Housing
Anderson & Cumberland Streets, Portland, Maine 04101
North Street, Westbrook, Maine 04101**

January 28, 2005

TO:

Bidders of record

FROM:

TFH Architects
100 Commercial St.
Portland, Maine 04101

SUBJECT:

Phase III Affordable Housing

CC:

Peoples Regional Opportunity Program
DeStefano & Associates
Maine State Housing Authority

This ADDENDUM supplements and amends the original Plans and Specifications dated January 14, 2005. This ADDENDUM is not a Change Order. It provides clarifications of or proposed changes to the Contract Documents. The Owner must approve all changes. A formal Change Order must be executed for any adjustments to the Contract Sum or the Contract Time

The purpose of this ADDENDUM is to respond to questions, provide coordination and clarification to the previous drawings and specifications.

PREVIOUS ADDENDUM

None

ATTACHMENTS TO THE ADDENDUM

- 1-1 Drawing C6 (Portland, all sites), dated 1/14/05
- 1-2 Drawing C3.0 (Westbrook, all sites) , dated 1/14/05
- 1-3 Drawing M1.1 (Portland Anderson 2), dated 1/25/05
- 1-4 Drawing M1.2 (Portland Anderson 2), dated 1/25/05
- 1-5 Drawing M1.1 (Portland Anderson 3), dated 1/25/05
- 1-6 Drawing M1.2 (Portland Anderson 3), dated 1/25/05
- 1-7 Drawing M1.1 (Portland Anderson 2), dated 1/14/05
- 1-8 SkC-1, dated 1/28/05
- 1-9 SkC-2, dated 1/28/05
- 1-10 SkC-3, dated 1/28/05
- 1-11 SkC-4, dated 1/28/05
- 1-12 SkA-1, dated 1/28/05
- 1-13 SkA-2, dated 1/28/05
- 1-14 SkA-3, dated 1/28/05
- 1-15 SkA-4, dated 1/28/05

CHANGES TO THE SPECIFICATIONS

- 1-16 Section 02200, Add table on SkC-3 to the end of Specification for clarification of excavation and sub grade preparation.

CHANGES TO THE GEO-TECH REPORTS

None

CHANGES TO THE DRAWINGS

<u>Item</u>	<u>Sheet</u>	<u>Detail</u>	<u>Description</u>
1-17	C1	Anderson	The phase line shown on Sheet C3 is for the owners use. Work is required on both sides of the link to blend in the grading and utilities.
1-18	C1	Anderson	For building #3 extend the 2 ½ “ water line to the building and use it for domestic service. Delete the split of the 4” water at the building.
1-19	C1	Anderson	For buildings 2 and 3, add tapping sleeve and gate valve for the 4” taps to the existing water main.
1-20	C1	Anderson	Replace the entire sidewalk along Anderson St with brick. Finish per City Standards.
1-21	C1	Cumberland	Replace the entire sidewalk towards Cumberland Avenue with brick sidewalk. The entire sidewalk will be disturbed when the shoring system is installed. Finish per City Standards.
1-22	C1	Cumberland	Delete 4 floor drains and connection to storm drain system.
1-23	C1.0	23 North	Add 8’ of 8” pipe, stub and cap for future use. See SkC-4.
1-24	A1.0, A1.1, A1.2,		All sites Add note 11 for underlay @ linoleum floors.
1-25	A.0, A1.1, A1.2,		All sites Add note 11 for underlay @ linoleum floors.
1-26	A2.3	3, 4	All sites Add soffits above upper cabinets for vent duct.
1-27	A4.0	Anderson 3,4	Add geotech fabric per Geotech reports
1-28	A4.0	15, 17 North St. 3,4	Add geotech fabric per Geotech reports
1-29	A1.0, A1.1, A1.2,		All sites General Finish notes - Add note 11 for underlay @ linoleum floors.

NEW DRAWINGS

<u>Item</u>	<u>Sheet</u>	<u>Detail</u>	<u>Description</u>
1-30	M1.1	17 North	Heating plan
1-31	M1.2	17 North	Plumbing plan
1-32	M1.1	23 North	Heating plan
1-33	M1.2	23 North	Plumbing plan
1-34	SkC-1	-	Replace legend on sheet C1 with attached SkC-1
1-35	SkC-2	-	Add drip strip on the south side of Anderson Building 2 under the gas meter 15’ +/-.

QUESTIONS & CLARIFICATIONS

- 1-13 QUESTION
Are drywall subs required to use bid form included in “instructions to bidders” or can we submit on our own format?.

ANSWER

Please submit all bids on the form provided to insure fair evaluation and submission of all the required information.

1-14 QUESTION

Do we need to submit our price in one lump sum or by building.

ANSWER

Refer to the enclosed bid form in the specifications. Bids are to be submitted for either Portland sites only, Westbrook sites only or all sites.

1-15 QUESTION

09260 Page 3, 2.3C calls for U301 wall (2x5/8"FC each side of studs), wall type 1D shows only 2x5/8"FC on one side (only practical way to construct this wall). Should we ignore statement in the spec?

ANSWER

Refer to partition type 1D for proper construction. The noted specification section is incorrect.

1-16 QUESTION

I am unable to find any location for sound deadening board referred to in 09260 page 3, 2.4. Please clarify?

ANSWER

Sound deadening board is not used. Delete the above specification paragraph.

1-17 QUESTION

All ceiling references on A4.0, A4.1 show wood strapping at drywall ceilings. Floor ceiling assemblies on page G1.1 call for resilient channel at ceilings. Please clarify your intent.

ANSWER

Resilient channels are to be used where floor ceiling assemblies are rated. It is the contractor's option to use wood strapping when unrated.

1-18 QUESTIONS

Anderson building 2 drawing E1.1 first floor two-door porch there are two wall-mounted fixture. What are they?

Anderson building 3 drawing E1.1 first floor two-door porch there are two wall-mounted fixture. What are they?

15 North Street drawing E1.1 first floor two-door porch there are two wall-mounted fixture. What are they?

15 North Street drawing E1.1 the second floor porch at the bottom of page. What is the fixture type?

Anderson building 3 drawing E1.1 the second floor porch at the bottom of page. What is the fixture type?

17 North Street drawing E1.1 at the basement doorway there is a wall-mounted fixture. What is it?

17 North Street drawing E1.1 the second floor porch at the bottom of page. What is the fixture type?

23 North Street drawing E1.1 the second floor porch at the bottom of page. What is the fixture type?

ANSWER

Fixture Type H which can be wall or ceiling mounted.

1-19 QUESTIONS

Anderson building 2 drawing E1.1 note number 8 calls out fixture type "CC". What are they?

Anderson building 3 drawing E1.1 note number 8 calls out fixture type "CC". What are they?

15 North Street drawing E1.1 note number 8 calls out fixture type "CC". What are they?

17 North Street drawing E1.1 note number 8 calls out fixture type "CC". What are they?

23 North Street drawing E1.1 note number 8 calls out fixture type "CC". What are they?

ANSWER

Add the following fixture to the fixture schedules for each building

'CC' Metalux – WS-232A-120-EB82-F3T8 – Surface Mounted

1-20 QUESTION

What sizes are the service conductors for each building?

ANSWER

Two 4"C 3, 350 MCM THHN copper for each building.

1-21 QUESTION

Central Maine Power requires the loads for each building and signed by a licensed Electrical Engineer. Who is the Electrical Engineer?

ANSWER

Bennett Engineering is the electrical engineer of record, see cover sheet for address. Please route any questions through the Architect per the Bid Instructions.

1-22 QUESTION

We have called Bennett Engineering and they no knowledge of these drawings

ANSWER

Please route any questions through the Architect per the Bid Instructions.

1-23 QUESTION

On the first floors of the buildings sheet vinyl is called for in the entryways leading to the second floor units. Does the sheet vinyl continue on the steps or would you prefer vinyl treads and risers? If sheet vinyl continues on stairs does it also continue on the landings to the second floor units or is that to be carpet?

ANSWER

The vestibules and entryways are to be linoleum per the drawings. The first run of stairs should be vinyl/rubber treads and risers with vinyl or rubber stringer protection of the walls. The first landing up will transition to carpet.

1-24 CLARIFICATION

CCA treatment for pressure treated lumber on residential projects was banned on 1/1/04. There are currently a number of available substitutes for this material. Sub-contractors and suppliers should provide the appropriate level of chemical concentrations for the given exposure (i.e. ground contact, above ground, etc.). Fasteners should be stainless steel whenever in contact with pressure treated lumber. Any substitute will require submittal data with performance equal to stainless steel fasteners. Joist hangers should be Simpson Strong's 'Zmax' series. Anchor bolts should have a heavy duty galvanizing. No aluminum should be used in contact with pressure treated lumber. Copper flashing is to be used where visible, flexible membrane flashing can be used where concealed.

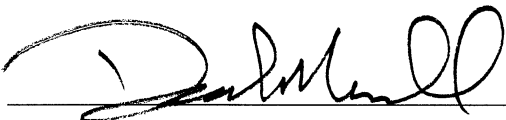
1-25 CLARIFICATION

All bidders are responsible for reviewing the information contained in the specification Manual **through** division 1. Failure to do so will not be grounds for changes to the Contract.

ARCHITECT'S SUPPLEMENTARY INSTRUCTIONS

None

CERTIFICATION

By:  Date: 1/28/05

END of ADDENDUM #1

LEGEND

EXISTING

---	PROPERTY LINE
---	ABUTTERS PROPERTY
---	WATER DISTRICT EASEMENT
---	SEWER EASEMENT
///	BUILDING
---	ZONING DISTRICT
●	IRON PIN W/ PLASTIC CAP PLS *11T2, INSTALLED W/ PHASE I
---	EDGE OF PAVEMENT
---	CONTOURS
---	CURB
—G—	GAS LINE
—OHE#T—	OVERHEAD ELEC. & TEL.
—S—	SANITARY SEWER
—SD—	STORM DRAIN
—UG—	UNDERGROUND ELECTRIC
—W—	WATER LINE
⊙	SEWER MANHOLE
⊙	DRAIN MANHOLE
□	CATCH BASIN
☼	UTILITY POLE
☼	TREE
—	PICKET FENCE
—	CHAINLINK FENCE LINE
—	CHAINLINK FENCE LINE
—	INSTALLED W/ PHASE I
⊙	GAS VALVE
⊙	HYDRANT
⊙	GATE VALVE
⊙	POLE MOUNTED LIGHT
⊙	INSTALLED W/ PHASE I
⊙	PHASE I PARKING DESIGNATION
⊙	HANDICAP PARKING

PROPOSED

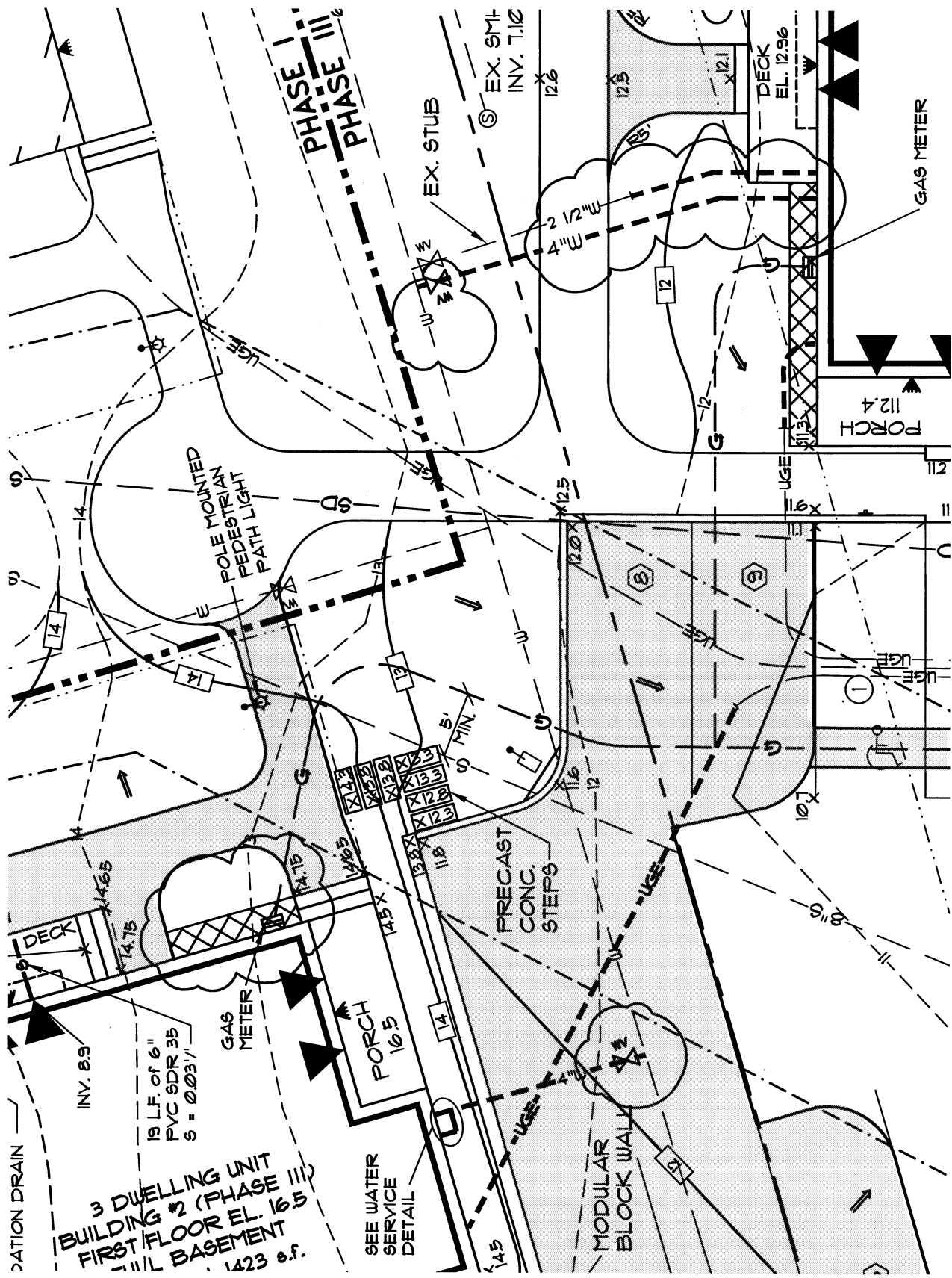
⊙	BUILDING
⊙	PARKING DESIGNATION
---	EDGE OF PAVEMENT
---	SLOPED BITUMINOUS CURB
---	CONTOURS
—G—	GAS LINE
—S—	SANITARY SEWER
—UG—	UNDERGROUND ELECTRIC
—W—	WATER LINE
—FD—	FOUNDATION DRAIN
⊙	GAS METER
→	SPOT GRADE
⊙	SURFACE DRAINAGE
⊙	POLE MOUNTED LIGHT
⊙	WALL MOUNTED LIGHT
⊙	WATER SHUT OFF
⊙	D RIPSTRIP
---	BITUMINOUS PAVEMENT
---	BARKMULCH BED
---	BRICK SIDEWALK

ANDERSON

PARTIAL C-3, C4
C-5

1/28/05

SKC-1



3 DWELLING UNIT
 BUILDING 2 (PHASE III)
 FIRST FLOOR EL. 16.5
 1st BASEMENT
 1423 s.f.

ANDERSON ST
 PARTIAL C3
 11/20/2014
 SKL-2

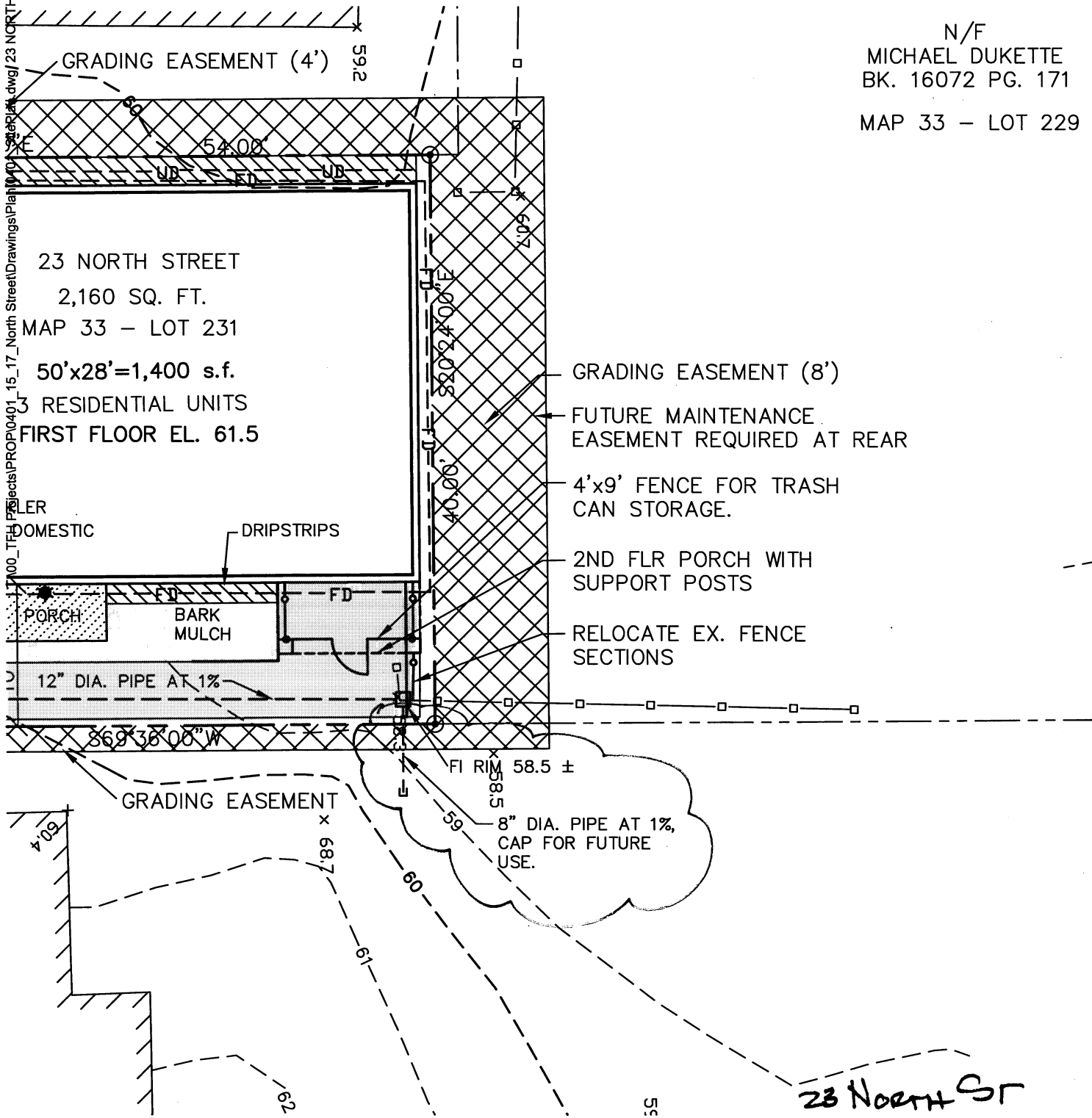
Prop Phase Three
 Summary of Building Prep Requirements
 Site Bid Assumptions
 1/11/2005

Location	Timber Shoring	Dewatering	Proof Rolling	Base	Slab & Foundation Wall Backfill
135 Anderson, Lot #1 Building 3	No	Yes	Yes	Native	Structural
135 Anderson, Lot #2 Building 2	No	Yes	Yes	4" Crushed Stone & Fabric	Structural
135 Cumberland Ave. Building	Yes	Possible	Yes	Native	Structural
Parking				6" Structural Fill	
Ash					Reuse on site
15-17 North Street	No	Possible	No	4" Crushed Stone & Fabric	Structural
23 North Street	No	Yes	Yes	Structural Fill	Structural

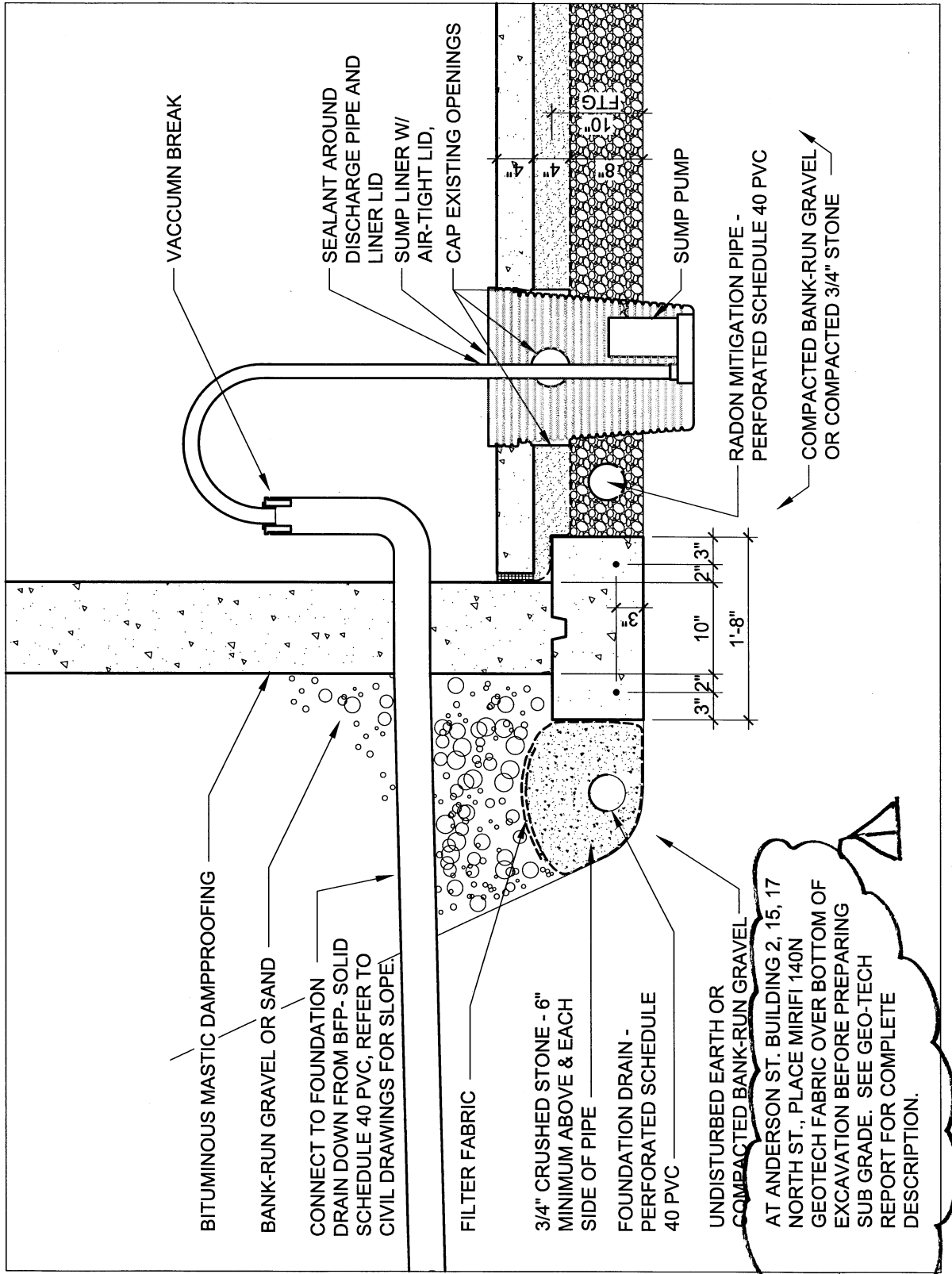
SKC-3

0:\Projects\PROP\0401_15_17_North Street\Drawings\Plan\0401_15_17_North Street.dwg/23 NORTH, 1/27/2005 3:47:10 PM

N/F
MICHAEL DUKETTE
BK. 16072 PG. 171
MAP 33 - LOT 229

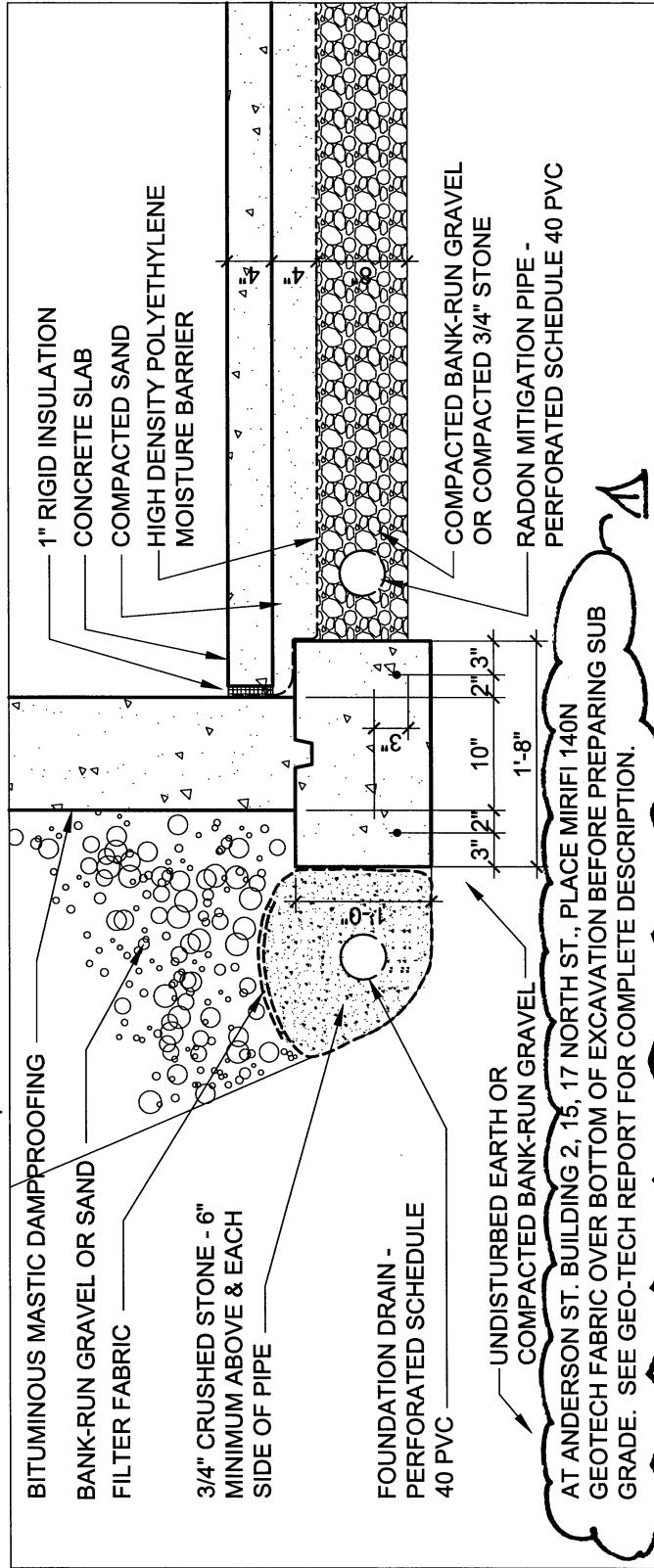


23 North St
PARTIAL C.I.O
1/28/05
SKC-4



4 SUMP
A4-0 3/4" = 1'-0"

1/28/05 SKA-1



3 FOUNDATION WALL FOOTING

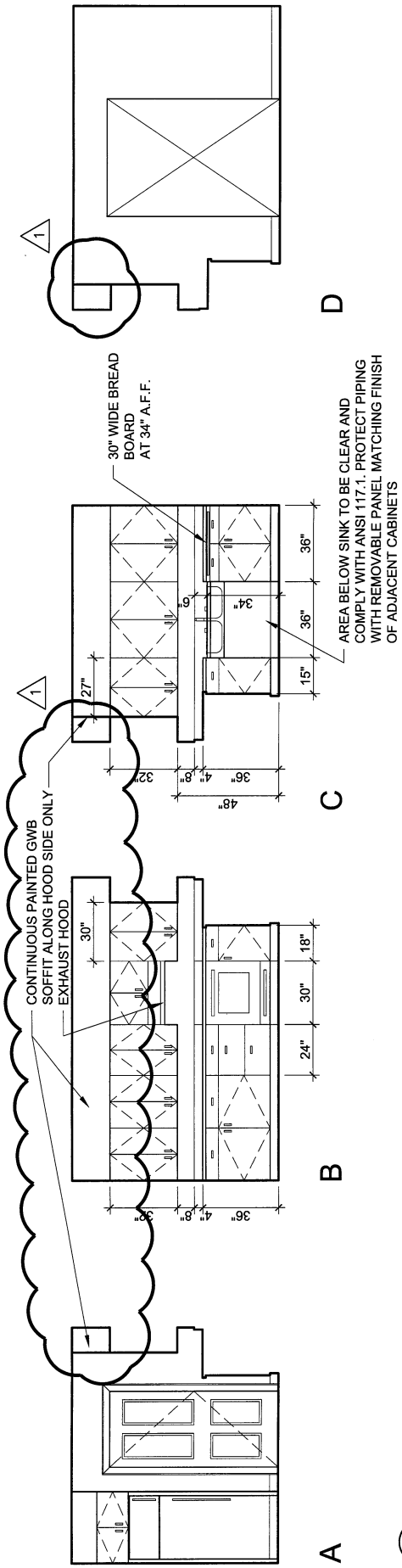
A4-0 3/4" = 1'-0"

1/29/05 SKA-2

ROOM FINISH GENERAL NOTES	
1	ALSO SEE INTERIOR ELEVATIONS FOR GRAPHIC DEPICTIONS OF EXTENT OF FINISHES
2	INSTALL MOISTURE RESISTANT GWB IN BASEMENTS AND ALL AREAS WHERE PLUMBING FIXTURES EXIST
3	CLOSETS SHALL BE FINISHED AS THE ROOMS THEY SERVICE
4	ALL SPACES DESIGNATED AS CLOSET OR 'CL.' ARE TO RECEIVE ONE CLOTHING ROD 5'-2" AFF AND ONE 12" WIRE SHELF ABOVE THE ROD ALONG THE WALL OPPOSITE THE DOOR UNLESS NOTED OTHERWISE.
	ALL SPACES DESIGNATED AS LINEN CLOSETS (LIN) OR PANTRY (PAN) ARE TO RECEIVE FOUR 12" WIRE SHELVES SPACED AT 1'-6" OC STARTING AT FINISH FLOOR.
	ALL LAUNDRY CLOSETS ARE TO RECEIVE ONE 12" WIRE SHELF AT 4'-6" A.F.F.
5	PROVIDE APPROPRIATE BLOCKING IN WALLS OF ALL BATHROOMS BEHIND FIXTURES, PARTITIONS AND ACCESSORIES. PROVIDE BLOCKING FOR GRAB BARS IN WALLS OF 1ST FLOOR AS WELL AS TOWNHOUSE BATHROOMS. SEE SHEET A2.3
6	PROVIDE APPROPRIATE BLOCKING IN WALLS FOR DOOR STOPS
7	BOTTOM EDGE OF GWB ON WALL SURFACES TO BE HELD UP 1/2" FROM CONCRETE FLOOR SURFACES
8	PROVIDE VINYL TRANSITIONS STRIPS AT ALL FLOOR TRANSITIONS
9	UNLESS OTHERWISE NOTED IN DRAWINGS THE TYPICAL WALL TYPE IS 'NA'. ALL OTHER PARTITION TYPES WILL BE INDICATED.
10	INSTALL MOISTURE RESISTANT GWB IN WALKER DRYER CLOSETS
11	INSTALL 1/4" PLYWD. UNDERLAY AT ALL AREAS WHERE LINOLEUM IS TO BE INSTALLED.

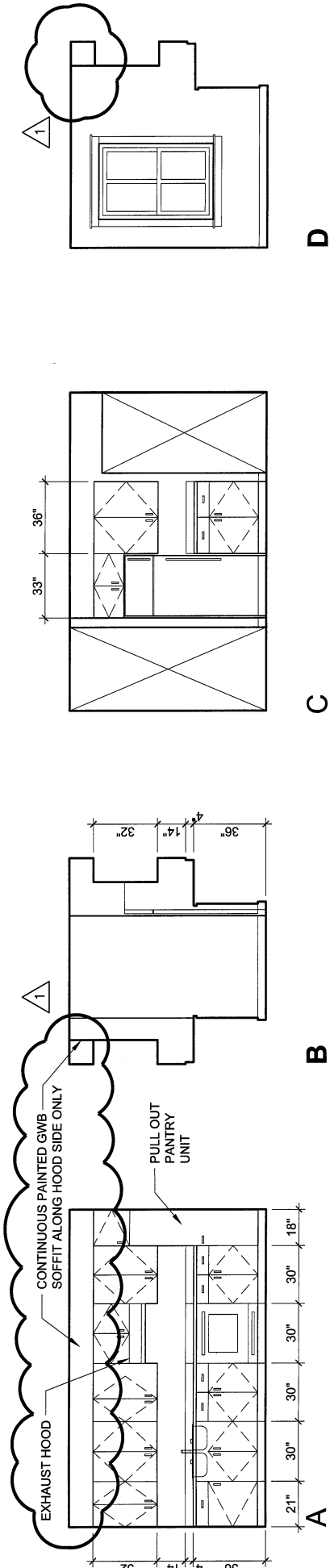
1

1/28/05
SKA-3



3 KITCHEN ELEVATIONS @ ACCESSIBLE 1ST FLOOR UNIT

1/4" = 1'-0"



4 KITCHEN ELEVATIONS @ FRONT TOWNHOUSE UNIT (BACK UNIT REVERSED)

1/4" = 1'-0"

1/28/05
SKA-4