

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED	
Permit No: 01-1383	Issue Date: 16 2001
CBL: 012 B005001	
Location of Construction: 145 Anderson St	Owner Name: Random Orbit Llc
Business Name:	Contractor Name: Wright Ryan Construction, Inc
Lessee/Buyer's Name	Permit Type: Multi Family

Location of Construction: 145 Anderson St	Owner Name: Random Orbit Llc	Owner Address: 70 Merrill St	Phone:
Business Name:	Contractor Name: Wright Ryan Construction, Inc	Contractor Address: 10 Danforth Street Portland	Phone: 2077733625
Lessee/Buyer's Name	Phone:	Permit Type: Multi Family	Zone: B-5

Past Use: Vacant Land	Proposed Use: 8 Unit Multi Family Residential dwellings	Permit Fee:	Cost of Work: \$0.00	CEO District: 1
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Proposed Project Description: "the Artist's Studio"	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: JA
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Signature: _____ Date: _____

Zoning Approval

Permit Taken By: mjn	Date Applied For: 11/08/2001	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 13 Zone C <input checked="" type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2001-0092 Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>10/31/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____	
	ok with conditions Date: <i>11/08/01</i>			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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Applicant: Wright-Ryan Const. - Peter Haber Date: 10/31/01

Address: 145 Anderson St

C-B-L: 012-B-005, 7, 18

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - B-5 - Planning Board Approved zone change to B5

Council passed
12/19/2000

Interior or corner lot -

Proposed Use/Work - Construct New Bldg - 8 units Artist Live/work Studio

Sevage Disposal - City

Lot Street Frontage - No min. frontage

Front Yard - None req

Rear Yard - None req

Side Yard - None req

Projections - Rear Stairs 4' x 32' -

Width of Lot - N/A

Height - 65' max - \approx 40' scaled

Lot Area - Nomin. lot size 11,790 #

Lot Coverage/ Impervious Surface - 100% Allowed - less is being shown

Area per Family - N/A

Off-street Parking - No off-street parking req - 8 spaces shown

Loading Bays - N/A

Site Plan - Major & Subdivision
#2001-0092

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 Zone C

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2001-0092

Application I. D. Number

05/18/2001

Application Date

8 artist studio's/ condo units

Project Name/Description

Random Orbit, LLC

Applicant

70 Merrill St, Portland, ME 04101

Applicant's Mailing Address

Bass, Peter

Consultant/Agent

Applicant Ph: (207) 772-6005 Applicant Fax: 2077726005

Applicant or Agent Daytime Telephone, Fax

145 - 145 Anderson St, Portland, Maine

Address of Proposed Site

012 ~~1400001~~ B-005

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

1 Subdivision:

i. That construction details, such as new sidewalk, curb installation, pipe trenching, sewer connection, silt fence installation, catch basin sediment filter installation, temporary construction entrance, etc. Be submitted.

2 Site Plan:

i. That the applicant revise the site plan to include two (2) street trees along Anderson Street and provide foundation plantings around the building. The proposed landscaping shall be reviewed and approved by the City Arborist.

Approval Conditions of Zoning

1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

2 Separate permits shall be required for any new signage.

3 Separate permits shall be required for future decks, sheds, pools, and/or garages.

2001-0092

1303

Application ID Number: 1-1245

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 145 Anderson St
still 11/8/01 OK [Signature]

Approval Date: 10/31/2001

Given On Date: 10/30/2001

OK to Issue Permit Name: Marge Schmuckal Date: 10/31/2001 Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for any new signage.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

Create Date: 10/31/2001 By: mes Update Date: 10/31/2001 By: mes

October 29, 2001

Mike Nugent
Manager of Inspection Services
City Hall
389 Congress Street
Portland, ME 04101

Re: East Bayside Studios, 145 Anderson Street, Portland, ME

Dear Mr. Nugent,

This is to inform you that we will be coordinating with Structural Design Consultants for special inspections per 1705.0 BOCA on the above-mentioned project.

Sincerely,



David Lloyd
Architect

CC:
Peter Haber
Peter Bass

STORMWATER ASSESSMENT
PROPOSED EAST BAYSIDE STUDIOS

145-147 Anderson Street, Portland, Maine

May 16, 2001

By

Stephen W. Tibbetts, P.E.

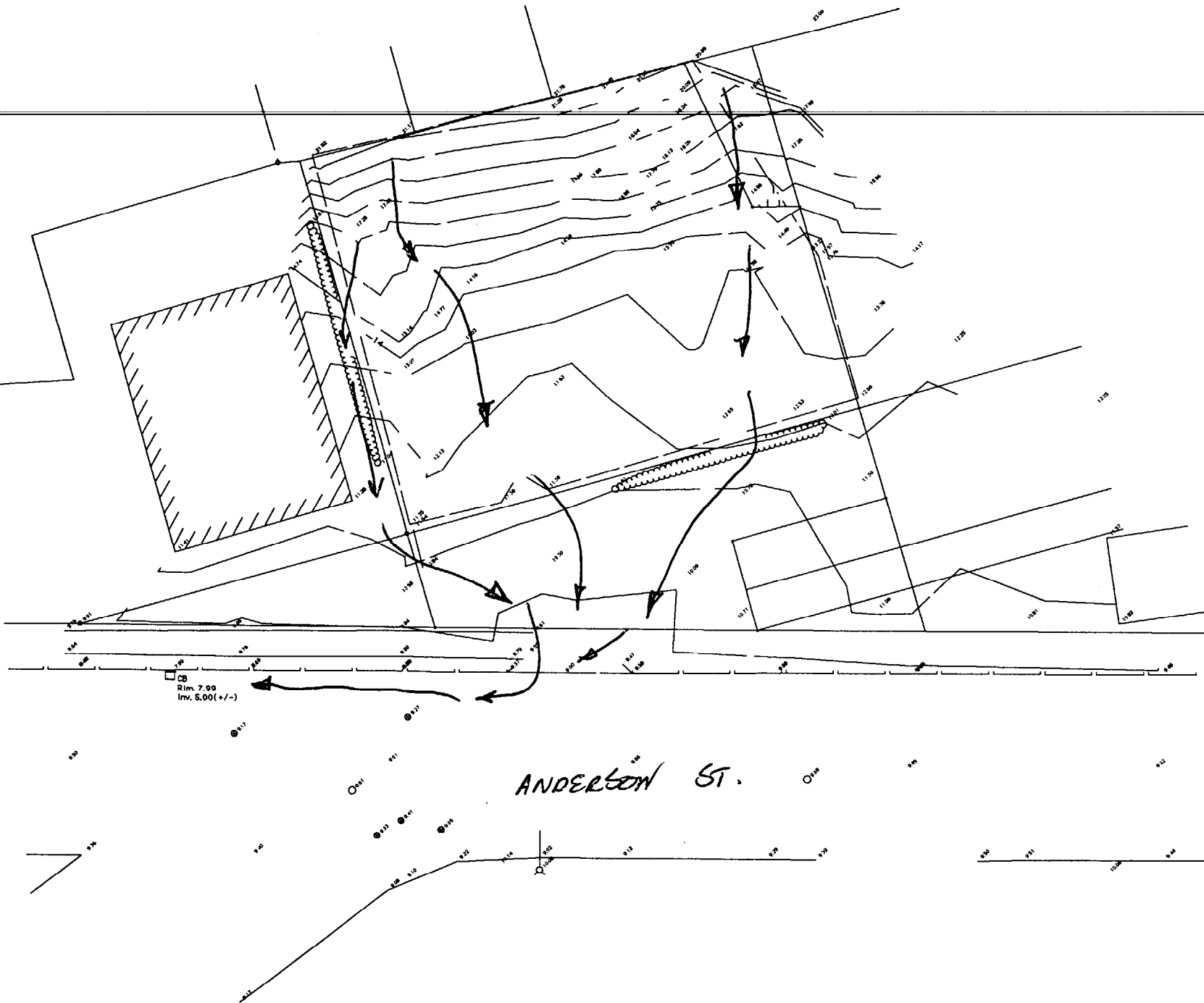
108 Maine Street • Brunswick, Maine

DESCRIPTION OF EXISTING DRAINAGE PATTERNS:

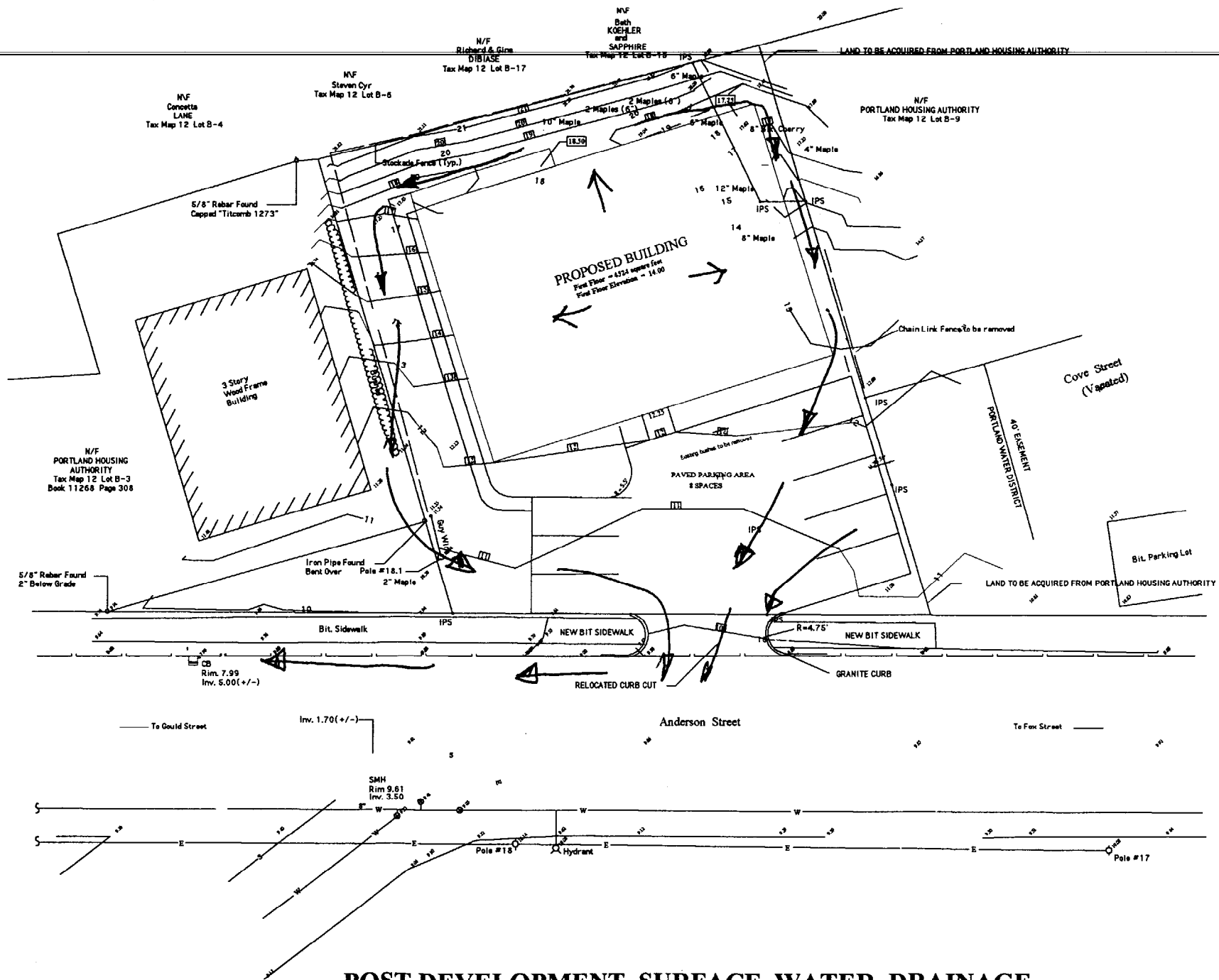
Figure 1 shows the existing drainage patterns on the 11,700 square foot lot. Surface water drainage flows from the back of the lot to the front where it enters Anderson Street. Once on Anderson Street, it flows to the north where it enters an existing catch basin 55 feet north of the property line. The soils on the site are extremely poorly drained, consisting of marine clay fill. As a result, runoff rates are currently high due to the imperviousness of this soil cover.

DESCRIPTION OF POSTDEVELOPMENT DRAINAGE:

Figure 2 shows the post development surface water drainage patterns after the proposed building and parking have been built. The site will be graded to insure that surface water flows from around the back of the building following alongside the building until it reaches the front parking area. From here it will flow out of the driveway entrance where it will flow along Anderson street to the north until it reaches the existing catch basin. Post development drainage patterns will remain essentially unchanged from the existing conditions. No other storm water management measures are proposed for this project.



EXISTING SURFACE WATER DRAINAGE
SCALE: 1" = 30'



POST DEVELOPMENT SURFACE WATER DRAINAGE

SCALE: 1" = 30'

Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

<p>Applicant <u>RANDOM ORBIT, LLC</u></p> <p>Applicant's Mailing Address <u>70 MERRILL ST PORTLAND 04101</u></p> <p>Consultant/Agent <u>PETER BASS</u></p> <p>Applicant/Agent Daytime telephone and FAX <u>772-6005</u> <u>FAX - SAME</u></p> <p>Proposed Development (Check all that apply) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Other(Specify) <u>ARTIST LIVE/WORK</u></p>	<p>Application Date <u>5/18/2001</u></p> <p>Project Name/Description <u>EAST BAYSIDE Studios</u> <u>ARTIST LIVE/WORK CONDOMINIUMS</u></p> <p>Address Of Proposed Site <u>145 ANDERSON ST.</u></p> <p>Assessor's Reference, Chart#, Block, Lot# <u>Chart # 12</u> <u>Block B</u> <u>Lots 5, 7, 18</u></p>	
<p><u>10,570</u></p> <p>Proposed Building Square Footage and /or # of Units</p>	<p><u>11,790 sq ft.</u></p> <p>Acreage of Site</p>	<p><u>B-5</u></p> <p>Zoning</p>

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 9 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

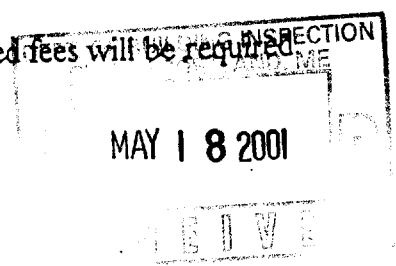
(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant:	Date: <u>5/14/2001</u>
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Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.





BAY RIT.

- RESID.
- COMM.
- LAND.

CUSH
D.P.O.

1. The proposed use for the site will be one building containing 8 units of "artist" live/work space. The units will be sold as condominiums.

2. Total land area	11,500sq.ft. plus/minus
Total ground coverage	4368sq.ft.
Total floor area	4,520sq.ft. on 2 main floors
	960sq.ft. penthouse/loft
Total	10,017sq.ft.

3. There is a 6 inch water pipe under the discontinued Cove St. over which Portland Water District has an easement-see attached Corrective Easement Deed.

4. This development will generate typical household solid waste.

5. This property has approximately 100ft. of frontage on Anderson Street. As shown on the submitted survey, the surveyors have determined that water, storm drains, gas and sewer are available under Anderson Street.

7. The major components of this project will be construction of the building, paving the parking area and landscaping. It is planned for the project to begin in late August and to be completed in approximately 16 weeks.

9. See enclosed letter from Peoples Heritage Bank.

10. See attached deed and purchase and sale agreement.

Peoples Heritage Bank

One Portland Square
P.O. Box 9540
Portland, ME 04112-9540

T 800-462-3666
Tel: 207-761-8500
Internet: www.peoplesheritage.com



April 2, 2001

Portland Planning Board
Portland, ME

Re: Peter Bass Condominium Project on Anderson St

To Whom It May Concern:

Peoples Heritage Bank considers Peter Bass to have the financial capability to successfully finance and complete the proposed 145-147 Anderson Street Condominium Project. This conclusion is based on a preliminary review of the plans and budget for the project and the borrower's financial status.

If I can be of further assistance please do not hesitate to call me at (207) 761-8577.

Sincerely,

A handwritten signature in black ink, appearing to read "B. Geci".

Benjamin C Geci
Vice President
Commercial Lending
Peoples Heritage Bank

WARRANTY DEED
Maine Statutory Short Form

KNOW ALL MEN BY THESE PRESENTS, that WHALEN L. GUIMOND II, also known as Whalen Guimond, and CATHERINE E. GUIMOND, both of Portland, County of Cumberland, State of Maine, being husband and wife, for consideration paid, grant to PETER L. BASS of Gorham, County of Cumberland, State of Maine, whose mailing address is 70 Merrill Street, Portland, Maine 04101, with warranty covenants the land in Portland, County of Cumberland, State of Maine, described as follows:

Three certain lots or parcels of land with any buildings thereon situated on or near the easterly side of Anderson Street, in said Portland, Maine, and bounded and described as follows:

Parcel One: A certain lot or parcel of real estate situated in Portland in the County of Cumberland and State of Maine and more particularly described as, viz: "Land on the East side of West Cove St., Nos. 31-33, Portland, Maine, City Assessors' Plan 12, Block B, Lot 7, Area 4100 sq. ft.", as further described in a deed to Nellie Roberts dated September 30, 1912 recorded in the Cumberland County Registry of Deeds in Book 902, Page 73, as more specifically described below.

Parcel Two: A certain parcel of land, situated in Portland, Cumberland County, Maine, containing about four thousand (4000) square feet of land, and bounded and described as follows, viz: Beginning at the southerly corner of lot formerly of one Joseph Nelson, conveyed to said Nelson by deed of Max Robinson and Rudolph E. Brill by deed dated July 24, 1912, and recorded in the Cumberland County Registry of Deeds, Book 855, Page 309; thence running easterly on the southerly side line of said Nelson land eighty-three (83) feet more or less to a fence; thence southerly along said fence forty-five (45) feet more or less to the lot conveyed by Carmela C. Rossetti to Nellie Roberts; thence westerly along said Roberts lot to the easterly side line of Cove Street eighty-two feet, more or less; thence northerly along said Cove Street forty-five (45) feet more or less to the point of beginning, as more specifically described below.

Said Parcel One and the adjacent Parcel Two are further specifically described as a single combined parcel as follows, based on the "Standard Boundary Survey" prepared by OEST Associates, Inc. of South Portland, Maine for Whalen Guimond, which survey is recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 510, with this more specific description to supplement and be substituted for the above descriptions for Parcel One and Parcel Two, and

to be controlling in the case of any discrepancy:

Beginning at a 1-inch iron pipe found on the easterly side-line of Cove Street as it existed prior to being discontinued by the City of Portland, marking the northwesterly corner of land conveyed to the Grantors herein as described in Book 8687, Page 88 and the southwesterly corner of land now or formerly of Portland Housing Authority as described in Book 11268, Page 308; thence, S 01°06'00" E, along the now discontinued Cove Street and said land of Grantors, 100.00 feet to a 5/8 inch rebar set; thence, N 88°00'00" E, along land now or formerly of the City of Portland described as Tax Map 12, Lot B-9, 45.00 feet to a 5/8 inch rebar set; thence, N 14°08'07" E, continuing along said land of the City of Portland, 10.00 feet to a 5/8 inch rebar set; thence, N 78°48'34" E, continuing along said land of the City of Portland, 34.00 feet to a 5/8 inch rebar set; thence, N 00°10'34" E, 85.01 feet to a point which is S 09°42'02" W 4.61 feet of a 5/8 rebar found capped "Titcomb 1273"; thence, from the point described S 88°00'00" W, along land now or formerly of Portland Housing Authority as described in a deed recorded in said Registry in Book 11268, Page 308, 83.00 feet to the point of beginning.

Bearings are based on observed magnetic north, dated August 1986. All 5/8 inch rebar described as set are capped "OEST 1245." The above described parcel contains 7,765 square feet.

Parcels One and Two herein being the same parcels conveyed to the Grantors herein as the second and third parcels in a deed from Judith Redmond Arbuckle dated March 17, 1989 and recorded in the Cumberland County Registry of Deeds in Book 8687, Page 88.

Parcel Three: A certain parcel of land situated in Portland, County of Cumberland and State of Maine and consisting of a portion of the now discontinued Cove Street, bounded and described as follows:

Beginning at a 1-inch iron pipe found on the easterly side-line of Cove Street as it existed prior to being discontinued by the City of Portland, marking the northwesterly corner of land conveyed to the Grantors herein as described in Book 8687, Page 88 and the southwesterly corner of land now or formerly of Portland Housing Authority as described in Book 11268, Page 308; thence, S 01°06'00" E, along the now discontinued Cove Street and said land of Grantors, 100.00 feet to a 5/8 inch rebar set; thence, S 88°00'00" W,

through Cove Street, 20.00 feet to a 5/8 inch rebar set; thence, N 01°06'00" W, along the centerline of said Cove Street, 33.80 feet to a 5/8 inch rebar set; thence, S 88°54'00" W, through Cove Street, 20.00 feet to a 5/8 inch rebar set on the easterly sideline of Anderson Street; thence, N 14°55'59" E, along Anderson Street, 68.87 feet to a 5/8 inch rebar set; thence, N 88°00'00" E, through Cove Street, 20.98 feet to the point of beginning.

Bearings are based on observed magnetic north, dated August 1986. All 5/8 inch rebar described as set are capped "OEST 1245." The above described parcel contains 2,694 square feet.

Being a portion of the discontinued Cove Street as shown on plan entitled "Standard Boundary Survey" prepared by OEST Associates, Inc. of South Portland, Maine for Whalen Guimond, which survey is recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 510. Reference is made to the Order of Discontinuance by the City of Portland dated August 7, 1995, an attested copy of which is recorded in the Cumberland County registry of Deeds in Book 12303, Page 241, a Municipal Quitclaim Deed from the City of Portland to the Grantors herein dated February 17, 2000 and recorded in said Registry in Book 15330, Page 146, and a deed from Portland Housing Authority to Grantor Whalen Guimond dated January 17, 1996 and recorded in said Registry in Book 12315, Page 121. Grantors herein intend to convey and hereby do convey to Grantee herein all interest acquired by either or both of them by virtue of the above referenced deeds.

This conveyance of Parcel Three is made SUBJECT TO a public easement retained in the Order of Discontinuance, an attested copy of which is recorded in said Registry in Book 12303, Page 241, and SUBJECT TO an easement granted by Grantors herein to Portland Water District by deed dated February 2, 1996 and recorded in said Registry in Book 123812, Page 57, a corrective and confirming deed dated February 18, 2000, recorded in said Registry in Book 15330, Page 143, and a corrective and confirming deed of even or near even date herewith, to be recorded in said Registry.

WITNESS our hands and seals this 17th day of the month of March, 2000.

SIGNED, SEALED AND DELIVERED
IN PRESENCE OF

Barbara A. Vestal

Whalen L. Guimond II

Whalen L. Guimond II
a/k/a Whalen Guimond

to born

Catherine E. Guimond

Catherine E. Guimond

STATE OF MAINE
CUMBERLAND, SS.

March 17, 2000

Then personally appeared the above named Whalen L. Guimond II and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Barbara A. Vestal

Attorney at Law/Notary Public

Printed name: BARBARA A. VESTAL

STATE OF MAINE
CUMBERLAND, SS.

March 17, 2000

Then personally appeared the above named Catherine E. Guimond and acknowledged the foregoing instrument to be her free act and deed.

Before me,

Barbara A. Vestal

Attorney at Law/Notary Public

RECEIVED
RECORDED REGISTRY OF DEEDS Printed name: Barbara A. Vestal

2000 MAR 17 PM 3: 37

Page four of four

CUMBERLAND COUNTY

John B. O'Brien

PURCHASE AND SALE AGREEMENT

AGREEMENT made this 8th day of December, 2000, between PETER L. BASS of 70 Merrill Street, Portland, Maine (hereinafter referred to as "Buyer"), and PORTLAND HOUSING AUTHORITY and PORTLAND HOUSING DEVELOPMENT CORPORATION, of 14 Baxter Boulevard, Portland, Maine (hereinafter collectively referred to as "Seller").

The parties hereto agree, warrant, and covenant as follows:

1. Purchase and Sale. The Seller agrees to sell and the Buyer agrees to buy the following described real estate situated in the City of Portland, County of Cumberland, and State of Maine, to wit:

Two certain lots or parcels of land, with no buildings thereon situated adjacent to 145-147 Anderson Street, Portland, Maine, which are northerly of the line formed by extension of the southerly sideline of 145-147 Anderson Street (holding the same course of S 88°00'00" W) easterly to the rear boundary line of property now or formerly of Margaret Donatelli (Book 10944, Page 208) and westerly to the easterly sideline of Anderson Street (as illustrated on the attached diagram).

2. Purchase Price. The total purchase price for the premises shall be \$2,000 and shall be paid by the Buyer as follows: \$100 as earnest money and in part payment on account of the purchase price in the form of a personal check upon execution of this Agreement, and the balance of \$1,900 to be paid in cash or by certified check or bank check at closing.

3. Deed to the Premises. The Seller agrees to deliver a duly executed good and sufficient Quitclaim Deed with Covenant in accordance with Maine practice conveying the premises to Buyer. Buyer, at Buyer's expense, shall prepare the Quitclaim Deed for execution by Seller, and Buyer shall pay Seller's share of transfer taxes. The premises shall be conveyed subject to easements of record and subject to existing building, land use and zoning laws.

4. Closing. Transfer of title and possession to the premises shall occur on or before that date which is 15 days after Buyer notifies Seller that it has satisfied the contingencies contained in Paragraph 12, but if those contingencies have not been satisfied by July 1, 2001, Seller may, at its option, terminate this contract.

5. Contingency for Title to Premises. Buyer's obligation to purchase hereunder is contingent upon the title to

the premises being good, marketable title free and clear of all encumbrances and encroachments except as specified in Paragraph 3 above. Provided, however, that if the condition of the title deviates from this, then, at Buyer's option, the time for closing may be extended for a period of thirty (30) days and Seller shall use reasonable efforts to remove any defects in title or to make the premises conform to the provisions hereof. If Seller is not able to remedy title within this time period, Buyer may terminate this Agreement and receive a return of his earnest money deposit or opt to accept such title as Seller can deliver, without any reduction in the purchase price.

6. Seller's Default. In the event the Seller fails to consummate the sale of property in accordance with the provisions of this Agreement, for any reason other than reasons specified in this Agreement as giving rise to a right in the Seller to terminate the transaction contemplated by this Agreement, and Buyer shall have fully performed all of his obligations under this Agreement, Buyer, at his option, may elect to declare this Agreement null and void, Buyer shall be refunded the full deposit paid hereunder, and Buyer and Seller shall be fully discharged and relieved from the terms and obligations of this Agreement.

7. Buyer's Default. In the event Buyer fails to consummate the purchase of the property in accordance with the provisions of this Agreement, for any reason other than reasons specified in this Agreement as giving rise to a right in Buyer to terminate the transaction contemplated by this Agreement, and Seller shall have fully performed all of his obligations under this Agreement, Seller shall retain the deposit as liquidated damages, which retention by Seller of the deposit shall not be as a penalty, and all obligations of the parties to one another shall cease and this Agreement shall be null and void.

8. Prorations. Real estate taxes for the tax year of closing shall be prorated as of the time of transfer of title, based upon a fiscal year for the City of Portland.

9. General Conditions. The following general conditions shall affect this Agreement:

a. Casualty. The risk of loss or damage to said premises by fire or otherwise until transfer of title hereunder is assumed by the Seller. The above described property is to be delivered in substantially the same condition as of the date of this Agreement unless otherwise stated.

b. Brokerage. Buyer and Seller stipulate that no real estate broker has been involved in this transaction and no brokerage fee is due to any entity.

c. Entire Agreement. This is the entire Agreement between the parties, covering everything agreed upon or understood in this transaction. There are no oral or prior written promises, conditions, representations, agreements, understandings, interpretations, or terms of any kind as conditions or inducements to the execution hereto or in effect between the parties. No change or addition may be made to this Agreement except by written agreement executed by the parties hereto. Captions are included for convenience of reference only.

d. Successors and Assigns. Except as otherwise provided herein, this Agreement shall bind and inure to the benefit of the personal representatives, successors, administrators, and assigns of the parties hereto.

e. Time of the Essence. Buyer and Seller covenant and agree that time is of the essence in this Agreement.

10. Seller's Acceptance. Seller shall have until December 12, 2000 at 5:00 p.m. to accept this offer and execute this Agreement. If Seller does not accept the offer by that date, the earnest money deposit shall promptly be returned to Buyer.

11. Contingencies. Seller's obligation to perform pursuant to this Agreement is contingent upon the following:

a. Buyer, at its expense, securing from the City of Portland a waiver or release from the contingency contained in the Purchase and Sale Agreement between the City of Portland and Portland Housing Development Corporation dated June 5, 1996 affecting the property contained in Tax Map 12, Lot B-9 stating that "The property shall not be used for residential development", to the extent, if any, that it would otherwise be applicable. The release shall state that the City is waiving any right to object to its use for residential development by virtue of that Purchase and Sale Agreement.

b. Buyer, at its expense, obtaining approvals from the City of Portland upon terms and conditions acceptable to


Buyer to develop the premises at 145-147 Anderson Street and all adjacent property under the same ownership for an 8 or more unit structure containing live/work space aimed primarily at artists.

12. Authority. Seller's obligations hereunder are also subject to formal ratification of this Agreement by Seller's governing boards. Executive Director/President Peter Howe shall seek ratification of this Agreement within 30 days of the effective date hereof, and shall notify Buyer of action taken by the governing boards as soon as possible.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals as of the day and year first above written.


BUYER:

11/29/2000
Date


Peter L. Bass

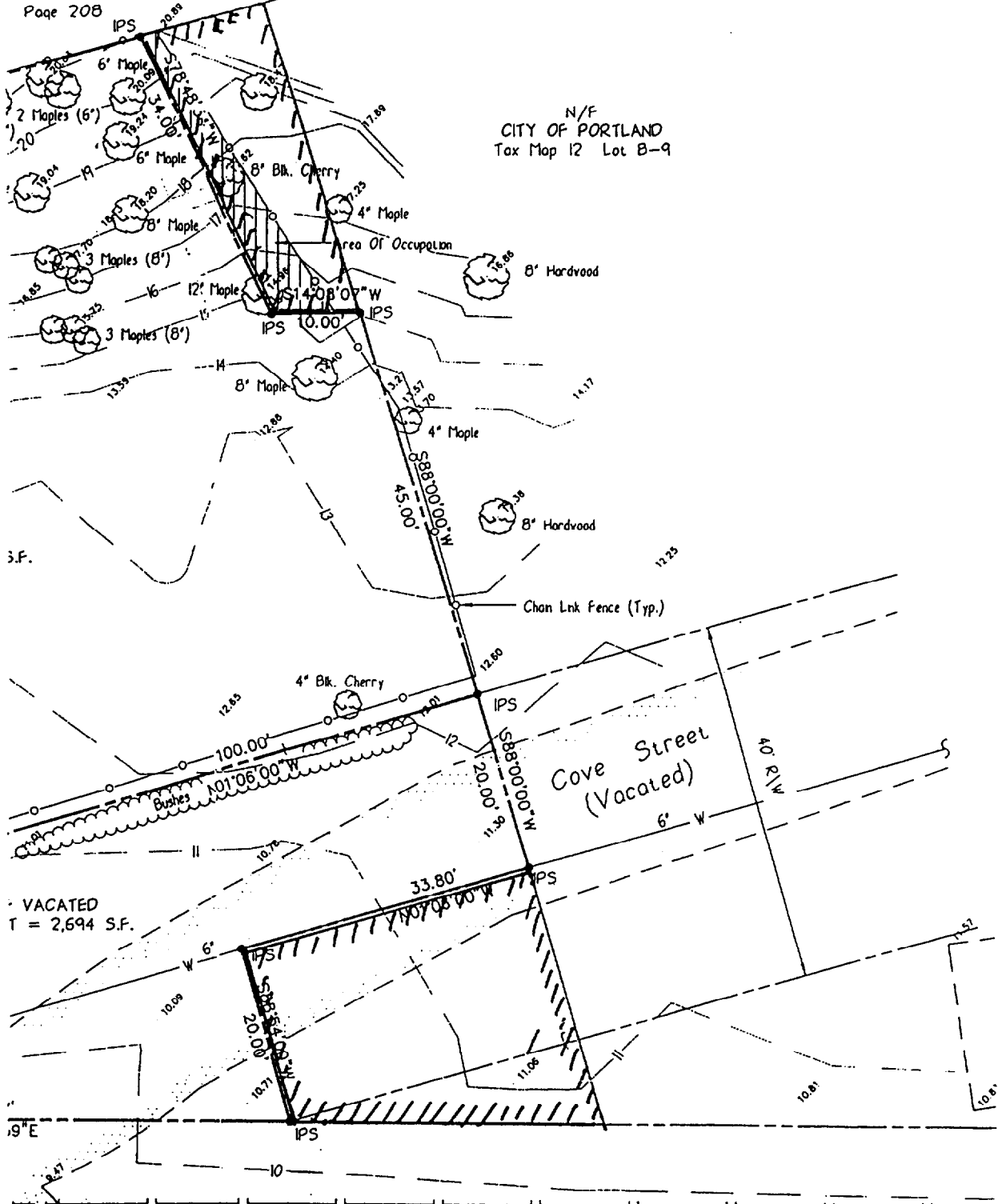
SELLER:
PORTLAND HOUSING AUTHORITY and
PORTLAND HOUSING DEVELOPMENT
CORPORATION

12/8/00
Date

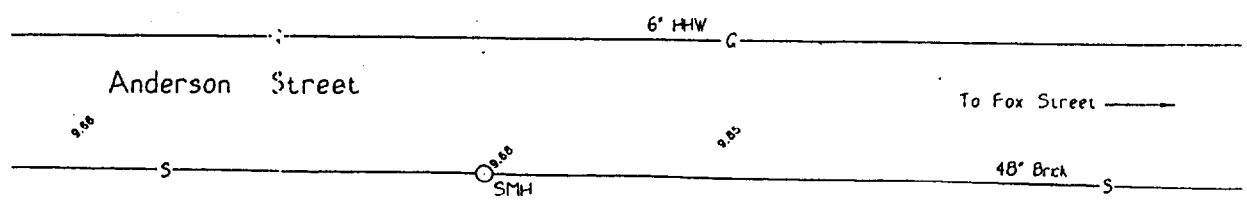
By: 
Peter A. Howe, Executive Director/President

qret
TELLI
Lot B-15
Page 208

N/F
CITY OF PORTLAND
Tax Map 12 Lot B-9



VACATED
T = 2,694 S.F.



CORRECTIVE EASEMENT DEED
(Corrects and Confirms Deed Recorded
in Cumberland County Registry of Deeds
at Book 15330, Page 143)
QUIT CLAIM WITHOUT COVENANT

KNOW ALL PERSONS BY THESE PRESENTS, that WHALEN L. GUIMOND II, aka WHALEN GUIMOND, and CATHERINE E. GUIMOND, (GRANTORS), of Portland, County of Cumberland, State of Maine, being husband and wife, in consideration of One Dollar (\$1.00) and other valuable considerations paid by PORTLAND WATER DISTRICT, (GRANTEE), a public quasi-municipal corporation duly organized and existing under the laws of the State of Maine and located at Portland, County of Cumberland, State of Maine, with a mailing address of P.O. Box 3553, Portland, Maine 04104-3553, the receipt whereof is hereby acknowledged, do hereby GIVE, GRANT, BARGAIN, SELL AND CONVEY unto the Grantee, its successors and assigns the right perpetually to enter at any and all times upon a certain strip of land situated in the City of Portland, County of Cumberland, State of Maine, said strip being the vacated portion of Cove Street bounded and described on "Exhibit A" attached hereto and made a part hereof.

And to construct and perpetually maintain through, under and across said strip, conduits or pipelines for conveying water, with all the necessary fixtures and appurtenances, and to lay, relay, maintain and remove water pipe or pipes upon or under said strip, with all the necessary fixtures and appurtenances, together with the right at all time to make connections with said conduits or pipelines to land adjoining said strip by means of pipes or services; to install electric or other energized control lines and appurtenances under said strip; to trim, cut down, and remove bushes, grass, crops and trees to such extent as in the judgment of the Grantee is necessary for any of the above purposes, and to enter upon said strip at any and all times for any of the foregoing purposes, reserving to the Grantors, their heirs and assigns, the use and enjoyment of said strip for such purposes only as will in no way interfere with the perpetual use thereof by Grantee, its successors and assigns, for the purposes above mentioned, provided that no building or permanent structure, except pavement and utilities shall be erected on said strip by the Grantors, their heirs and assigns and the Grantors, their heirs and assigns shall not remove or permit the removal of any earth from said strip, or place fill thereon without the written permission of the Grantee, its successors and assigns, and that in the event the Grantee grants such permission, the Grantors, their heirs and assigns shall indemnify the Grantee for any expenses resulting from any such removal or placement; and provided further that no conduits, pipelines or facilities shall be laid or maintained within five (5) feet of or above any conduit or pipeline laid or relaid by the Grantee pursuant to the rights granted herein, except that pipelines and conduits may cross normal to the Grantee's lines with a minimum clearance of one (1) foot.

TO HAVE AND TO HOLD the aforesaid and bargained premises, with all the privileges and appurtenances thereof to Grantee, its successors and assigns to its and their use and behoof forever.

MEANING AND INTENDING to correct and confirm an Easement Deed granted by Whalen Guimond, as Grantor, to Portland Water District, as Grantee, dated February 2, 1996 and recorded at Book 12382, Page 057, in which Whalen Guimond was the sole Grantor.

IN WITNESS WHEREOF, the said Whalen L. Guimond II, aka Whalen Guimond, and Catherine E. Guimond, have hereunto set their hands and seals this 17 day of March, 2000.

Signed, Sealed and Delivered in the presence of

Barbara Vestal
Witness

Whalen L. Guimond II
Whalen L. Guimond II,
aka Whalen Guimond

to both
Witness

Catherine E. Guimond
Catherine E. Guimond

STATE OF MAINE
Cumberland, ss.

March 17, 2000

Personally appeared before me the above-named Whalen L. Guimond, II, aka Whalen Guimond, and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Barbara Vestal
Notary Public/Attorney at Law

BARBARA A. VESTAL
Print Name

STATE OF MAINE
Cumberland, ss.

March 17, 2000

Personally appeared before me the above-named Catherine E. Guimond, and acknowledged the foregoing instrument to be her free act and deed.

Before me,

Barbara Vestal
Notary Public/Attorney at Law

BARBARA A. VESTAL
Print Name

EXHIBIT A**DEED DESCRIPTION
OF
COVE STREET**

A certain lot or parcel of land, being a portion of Cove Street as vacated by the City of Portland, in Portland, County of Cumberland, Maine, bounded and described as follows:

Beginning at a 1-inch iron pipe found on the easterly sideline of Cove Street marking the northwesterly corner of the Grantor as described in Book 8687, Page 88 and the southwesterly corner of land now or formerly of Portland Housing Authority as described in Book 11268, Page 308;

Thence, S 01°06'00" E, along Cove Street and said Grantor, 100.00 feet to a 5/8 inch rebar to be set;

Thence, S 88°00'00" W, thru Cove Street, 20.00 feet to a 5/8 inch rebar;

Thence, N 01°06'00"W, along the centerline of said Cove Street; 33.80 feet to a 5/8 inch rebar;

Thence, S88°54'00"E, thru Cove Street, 20.00 feet to a 5/8 inch rebar set on the easterly sideline of Anderson Street;

Thence, N 14°55'59" E, along Anderson Street, 68.87 feet to a 5/8 inch rebar set;

Thence, N 88°00'00" E, thru Cove Street, 20.98 feet to the point of beginning.

Bearings are based on observed magnetic north, dated August 1986.

All 5/8 inch rebar set are capped "OEST 1245."

The above described parcel contains 2,694 square feet

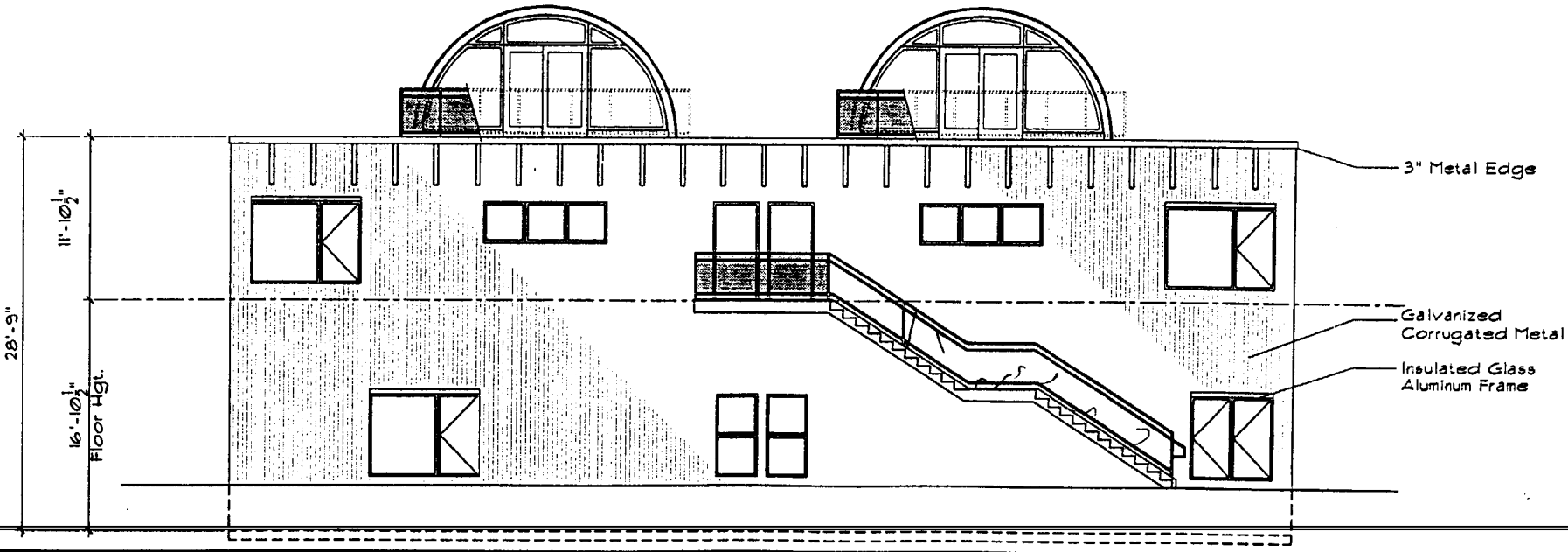
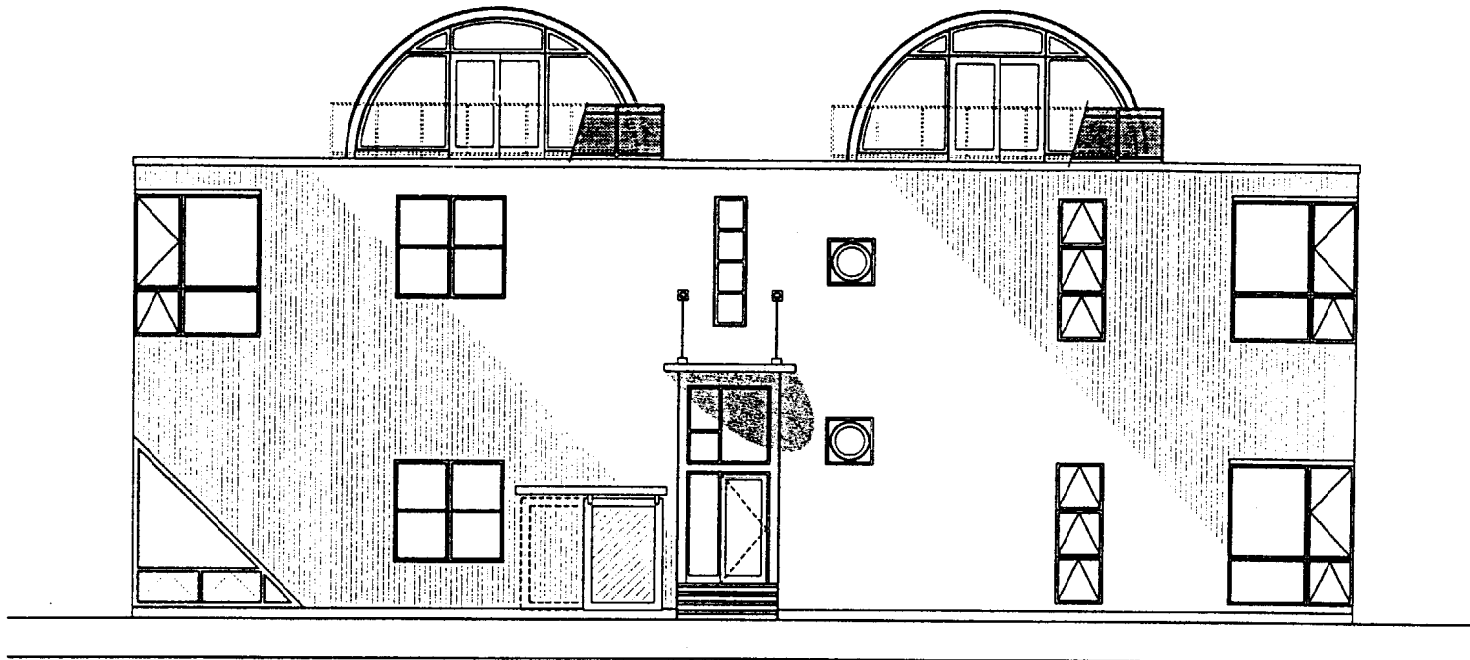
The above described parcel is a portion of Cove Street as shown on plan entitled "Standard Boundary Survey--Existing Conditions Plan--Cove Street, Portland, Maine" dated November 16, 1995 by OEST Associates, Inc. of South Portland, Maine.

RECEIVED
RECORDED REGISTRY OF DEEDS

2900 MAR 17 PM 3:36

CUMBERLAND COUNTY

John B. O'Brien



28'-9"
 11'-10 1/2"
 16'-10 1/2"
 Floor Hgt.

3" Metal Edge

Galvanized Corrugated Metal

Insulated Glass Aluminum Frame

The Bass Artist Studios
 Portland, Maine

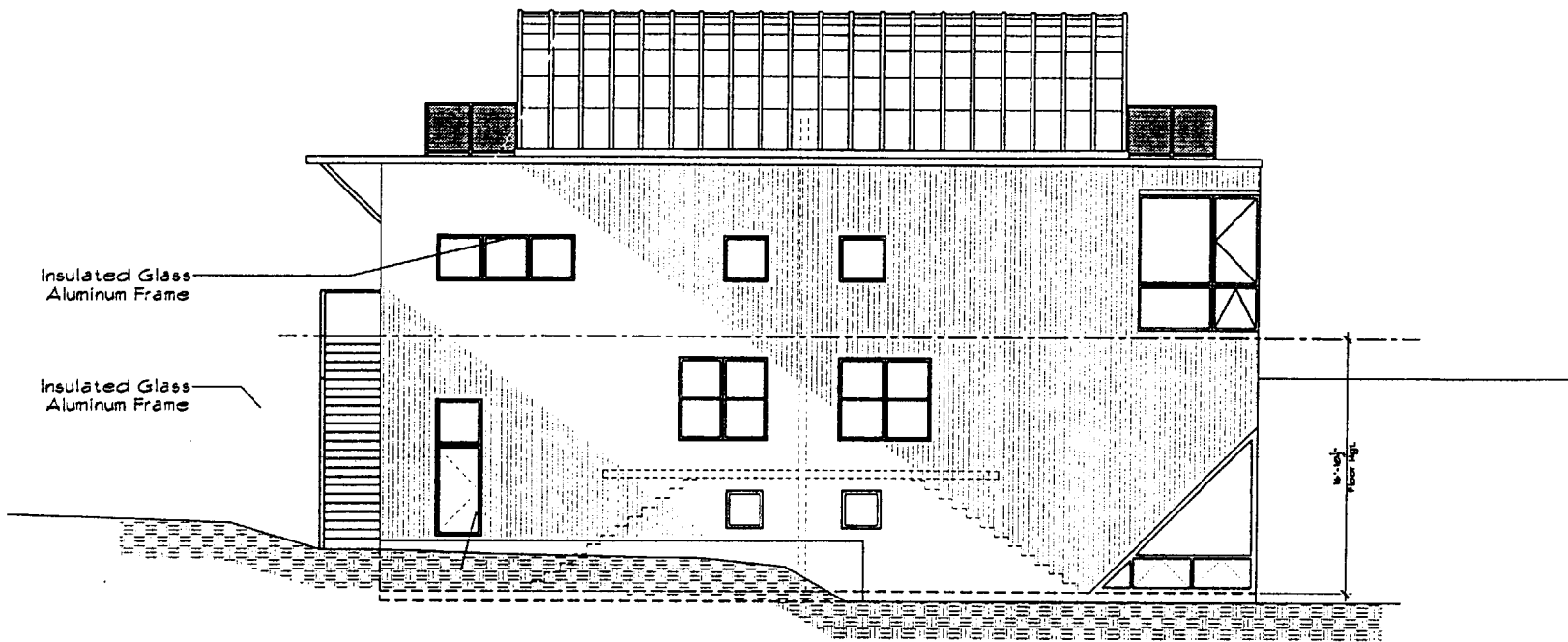
Elevations

ARCHETYPE, P.A.
 ARCHITECTS

48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

Scale: 1/8"=1'-0"
 March 23, 2001

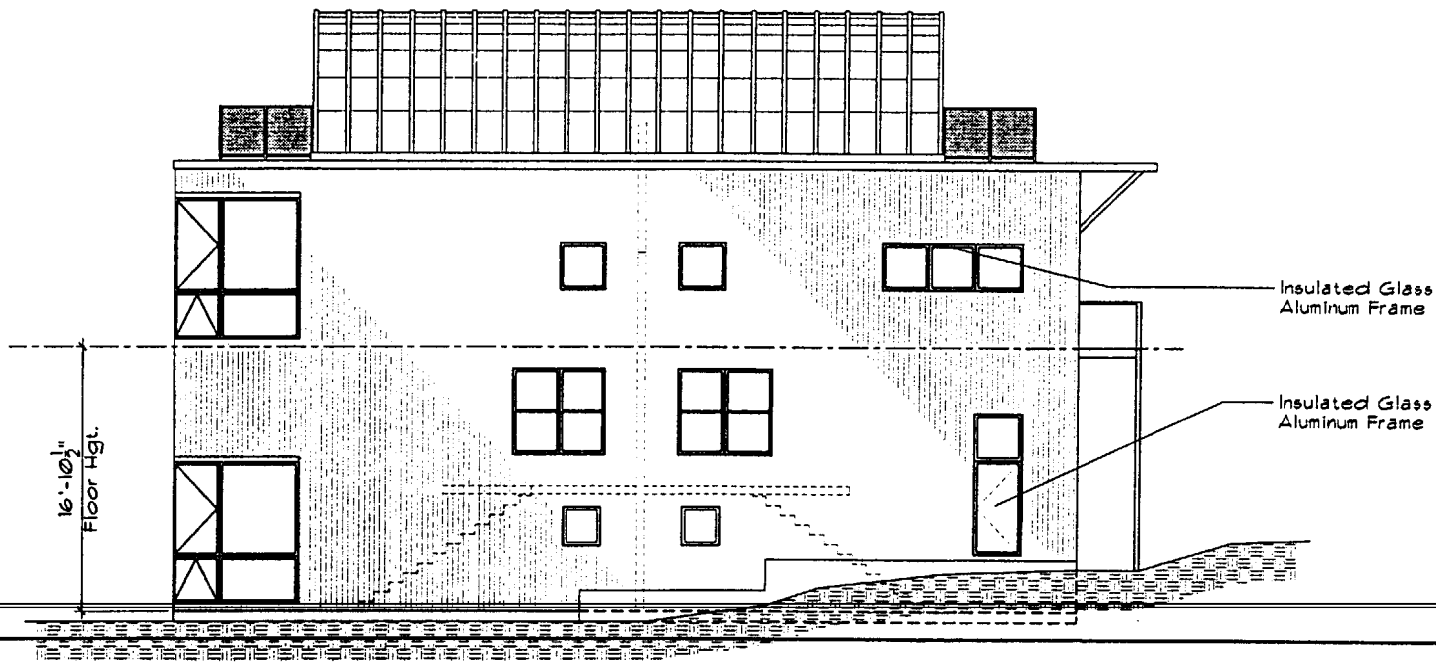
A5



Insulated Glass
Aluminum Frame

Insulated Glass
Aluminum Frame

16'-10 1/2"
Floor Hgt.



16'-10 1/2"
Floor Hgt.

Insulated Glass
Aluminum Frame

Insulated Glass
Aluminum Frame

The Bass Artist Studios
Portland, Maine

Elevations

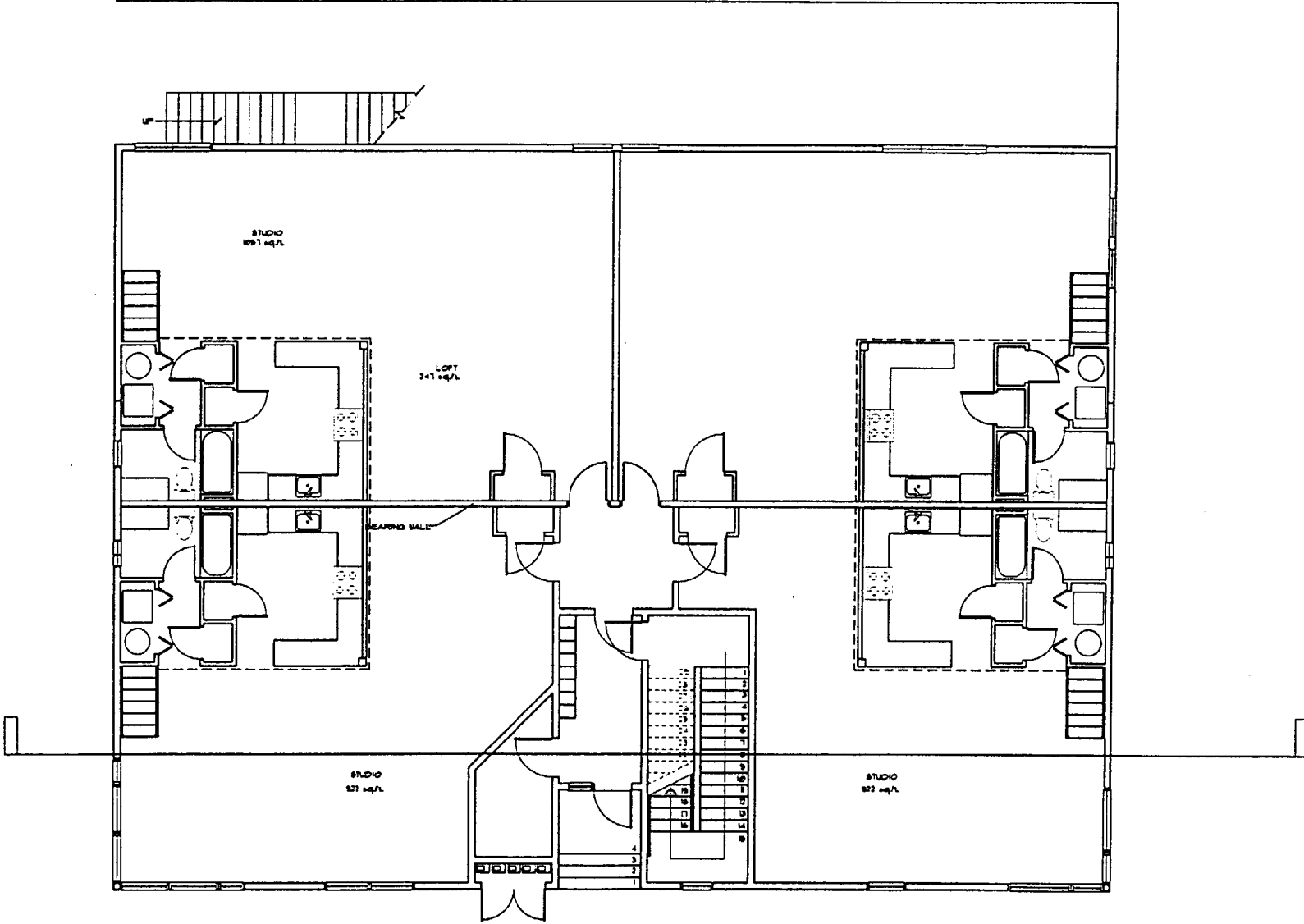
ARCHETYPE, P.A.
ARCHITECTS

48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Scale: 1/8"=1'-0"

March 23, 2001

A6



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

The Bass Artist Studios
Portland, Maine

1st Floor Plans

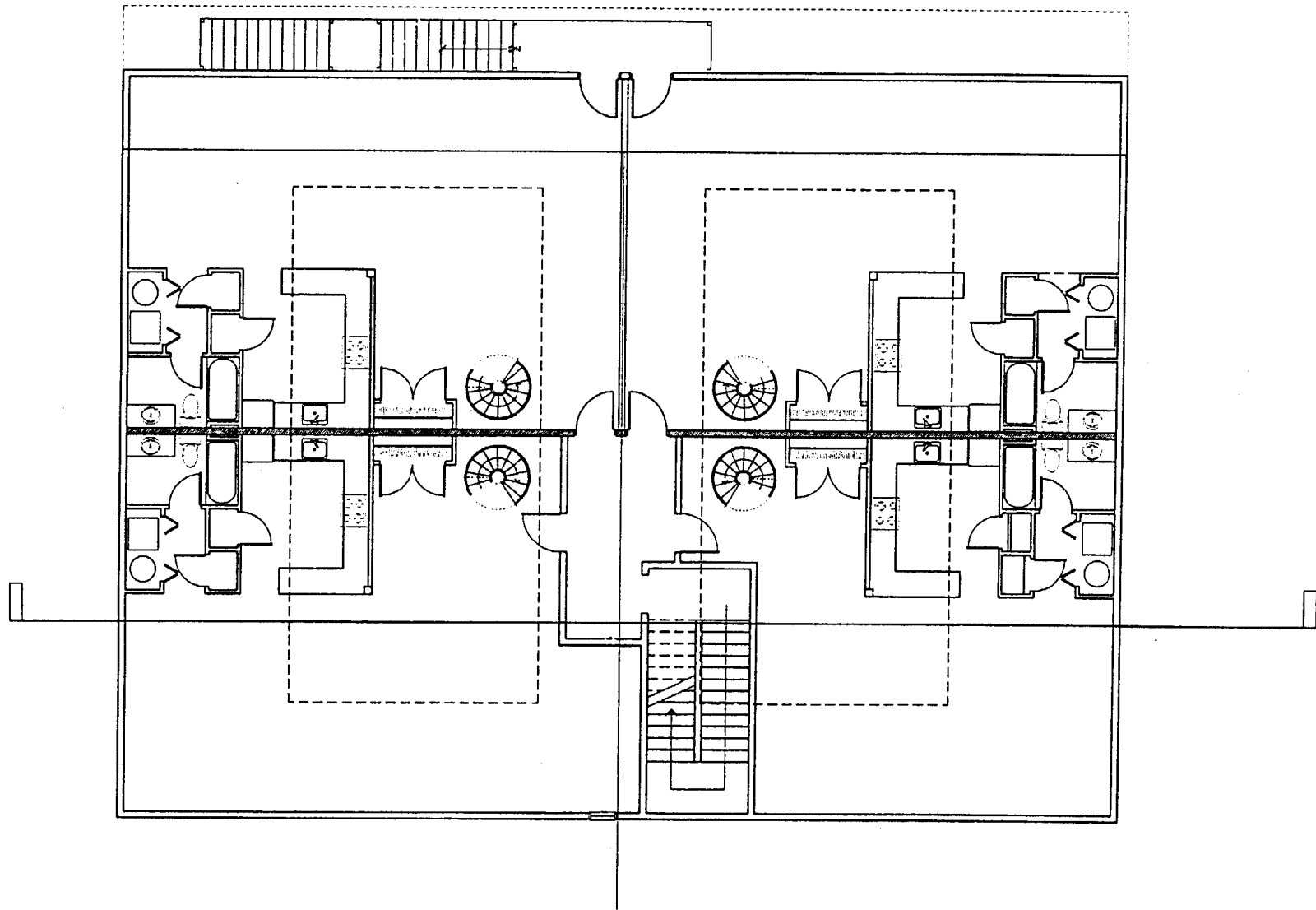
ARCHETYPE, P.A.
ARCHITECTS

48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Scale: 1/8" = 1'-0"

March 23, 2001

A1



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

The Bass Artist Studios
Portland, Maine

2nd Floor Plans

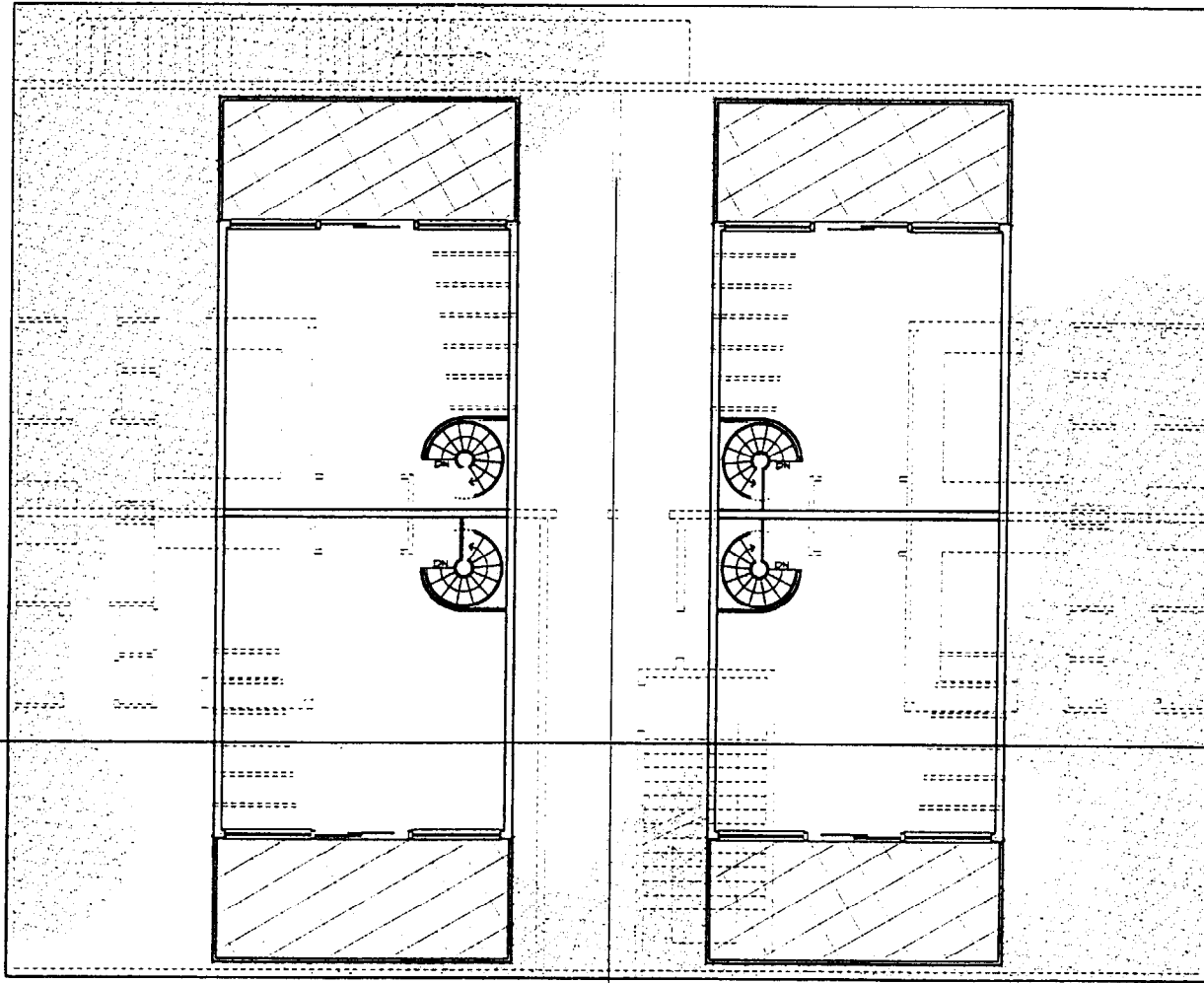
ARCHETYPE, P.A.
ARCHITECTS

48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Scale: 1/8" = 1'-0"

March 23, 2001

A3



FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

The Bass Artist Studios
Portland, Maine

2nd Floor Lofts

ARCHETYPE, P.A.
ARCHITECTS

48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Scale: 1/8"=1'-0"

March 23, 2001

A4

Haley & Aldrich, Inc.
500 SouthBorough Drive
Suite 10
South Portland, ME 04106-6935
Tel: 207.772.5439
Fax: 207.871.5999
www.HaleyAldrich.com

**HALEY &
ALDRICH**

11 May 2001
File No. 27702-000

Random Orbit, LLC
70 Merrill Street
Portland, Maine 04101

Attention: Mr. Peter Bass

Subject: East Bayside Studios
Artists' Studio and Residence
Anderson Street
Portland, Maine

Ladies and Gentlemen:

This report presents our evaluation of the subsurface conditions and foundation requirements for the proposed East Bayside Studios on Anderson Street in Portland, Maine. This work was undertaken in accordance with our proposal dated 3 May 2001.

In summary, we recommend that the proposed building be founded on spread footings bearing on the existing fill, naturally deposited soil or on compacted structural fill placed after removal of unsuitable soil. In addition, a slab-on-grade may be used for the ground floor. Intensive surface compaction of the existing fill will be required prior to earthwork and foundation construction. Specific recommendations regarding foundation design and construction considerations are presented below.

INTRODUCTION

The proposed site is located at 145-147 Anderson Street in Portland, Maine. We understand that the project consists of a 2-story metal framed building with ground floor at approximately El. 14 and resident parking. The existing ground surface within the site varies from approximately El. 11 to El. 21. Within the building limits, ground surface varies from approximately El. 12 to El. 18.

SUBSURFACE CONDITIONS

On 10 April 2001, Northern Test Boring, Inc. (Northern) drilled three borings, B-1 to B-3, at the site under the observation of S.W. Cole Engineering, Inc. Northern drilled the borings at locations shown in Appendix A to depths below ground surface varying from 34.9 ft. to 50.0 ft. Logs of borings, prepared by S.W. Cole Engineering, Inc., are included in Appendix A.

OFFICES

Boston
Massachusetts

Charles Town
West Virginia

Cleveland
Ohio

Denver
Colorado

Detroit
Michigan

Hartford
Connecticut

Los Angeles
California

Manchester
New Hampshire

Newark
New Jersey

Rochester
New York

San Diego
California

San Francisco
California

Washington
District of Columbia

Printed on recycled paper.

Borings were drilled using hollow stem augers. Standard Penetration Resistance (N) was measured at each sample interval in the overburden soil in accordance with ASTM test designation D1586.

The exploration logs and related information depict subsurface conditions and water levels at their specific locations at the time of the exploration. Soil conditions at other locations may differ from conditions at these locations. Also, the passage of time may result in a change in groundwater conditions at the boring locations.

The borings encountered three principal soil units, fill, marine deposit and glacial till, at the site. The soil units are discussed below in order of increasing depth below ground surface.

Fill – Fill is described as loose to medium dense, dark brown to black silty SAND with various amounts of wood, organics, bricks, ash, and gravel. Encountered thickness ranged from 2.0 ft. to 7.5 ft.

Marine Deposit – The marine deposit consists of hard to medium stiff, gray to brown silty CLAY; to loose gray sandy SILT to silty SAND. The encountered thickness of clay varied from 6.0 ft. to 12.5 ft. The thickness of silt and sand varied from 10.0 ft. to 12.7 ft.

Glacial Till – Glacial till consists of medium dense to dense, gray gravelly SAND with silt. Encountered thickness ranged from 11.4 ft. to 20.0 ft.

The borings were drilled with hollow stem augers and samples of the silt and sand were recovered below the groundwater level. Therefore, the penetration resistance may have been affected by groundwater flow into the augers.

Water was reported in the borings at depths below ground surface varying from 4.5 ft. to 13.3 ft. Observations of water were made over a relatively short period of time and may not reflect the stabilized groundwater condition. In addition, groundwater levels will fluctuate with season, precipitation, temperature and construction activities in the area. Therefore, groundwater levels during and following construction may vary from that indicated in the explorations.

ENGINEERING PROPERTIES OF THE CLAY STRATUM

Shear strength of the clay was reported to vary from 500 psf to greater than 3,000 psf. Shear strengths of the clay were compared with correlations of strength with stress history and compressibility for similar clays in the area. The correlations indicate that the clay is overconsolidated, that is, the maximum previous stress of the deposit is greater than the existing overburden stress. It is likely that the clay became overconsolidated due to desiccation resulting from a lowering of the groundwater level for an extended time period at some time in the geologic past.

The stress-strain or compressibility characteristics of clay are highly dependent on their stress history. If the soil is stressed within the limits of the maximum previous stress, the strain (settlement) will be proportional to the recompression ratio of the clay. If the applied stress exceeds the maximum previous stress, the strain will also be proportional to the virgin compression ratio of the clay. The magnitude of the virgin compression ratio is often on the order of 10 times the recompression ratio.

RECOMMENDATIONS FOR FOUNDATION DESIGN

Recommended Foundation Type and Design Criteria

The fill in its present condition is not considered suitable for support of the building. Borings indicated that the fill consists primarily of silty SAND with various amounts of gravel, ash organics and wood. In our opinion, the fill will provide adequate support for the foundations provided the fill is compacted by Intensive Surface Compaction as described below. Therefore, it is our opinion that the building may be supported on the improved fill, naturally deposited, inorganic soil or on compacted structural fill placed after removal of unsuitable materials (fill containing wood and organics).

We recommend that for uniformity the footings be proportioned for an allowable bearing stress, in lbs. per sq. ft., equal to 1,000 multiplied by the least lateral dimension of the footing in feet, up to a maximum of 3,000 lbs. per sq. ft. All footings should be at least 2.0 ft. wide.

Exterior footings should be founded at least 4.5 ft. below the lowest adjacent ground surface exposed to freezing. Interior footings should be founded a minimum of 1.5 ft. below the ground floor slab.

Compacted structural fill supporting footings should extend laterally from the footings to at least the limits defined by 1 horizontal to 1 vertical lines sloped outward and downward from points located at least 2 ft. horizontally beyond the bottom edges of the footings.

In order to consider the impact of site filling and foundations bearing above the clay stratum, we performed a settlement analysis. Engineering evaluations were based on the anticipated consolidation of the clay stratum due to the combined stresses of the raise-in-grade and building loads.

Calculated total settlement is estimated on the order of 1.5 in. We estimate that approximately 30 percent (0.5 in.) of this settlement will occur prior to completion of construction due to site filling and sand seams in the clay. The subsequent post-construction settlement would be approximately 1.0 in. with differential settlement on the order of 0.75 in. We anticipate that settlement of this magnitude is acceptable. However, Structural Design Consultants should determine final acceptability of settlement. We have discussed anticipated

settlement with them and we understand that they consider the settlement acceptable. Intensive surface compaction should be performed using a minimum 30,000 lb. vibratory roller operating at 30 cycles per sec. (Hz) and a forward speed of 1 to 2 ft. per sec. Compaction should consist of 10 coverages of the vibratory roller. The direction of each 2 successive coverages should be rotated perpendicular to the previous 2 coverages. Following intensive surface compaction, a minimum of 2 coverages of the roller should be applied without vibration to recompact the upper portion of the fill. Fill containing debris and wood and organics should be removed and replaced with structural fill prior to surface compaction. Any soft or unsuitable areas encountered should be excavated and replaced with compacted structural fill. A minimum of 6 in. of well-graded gravelly sand fill should be used directly below the floor slab.

Ground Floor Slab

We recommend that the lowest level floor slab be designed as an earth-supported slab-on-grade bearing on a minimum of 6 in. of compacted structural fill. All fill containing debris and wood and organics should be removed from within the building limits prior to placing fill. Intensive Surface Compaction should be performed before any raise-in-grade. All raises-in-grade below the building should be completed with compacted structural fill. Normal dampproofing and vapor barriers should be provided below the slabs.

Seismic Design Considerations

We recommend that the addition be designed in accordance with the seismic requirements of the latest edition of the BOCA National Building Code. The site coefficient, S , is 1.2; the effective peak velocity-related acceleration coefficient, A_v , is 0.1; the effective peak acceleration coefficient, A_a , is 0.1 and the subsurface soils are not liquefaction susceptible.

Lateral Foundation Loads

We recommend that lateral loads be resisted by bottom friction on the foundations. We recommend that a coefficient of friction equal to 0.35 be used for foundations bearing on soil.

Backfill Materials

Structural fill used below floor slabs and for backfill adjacent to foundations should consist of sandy gravel to gravelly sand. It should be free of organic material, loam, trash, snow, ice, frozen soil and other objectionable material, and should conform to the following gradation:

<u>Sieve Size</u>	<u>Percent Finer by Weight</u>
6 in.	100
No. 4	30 to 90
No. 40	10 to 50
No. 200	0 to 8

Compacted structural fill should be placed in layers not exceeding 8 in. in loose measure and compacted by self-propelled vibratory equipment at the approximate optimum moisture content to a dry density of at least 95 percent of the maximum dry density, as determined in accordance with ASTM Test Designation D1557. In confined areas, the maximum particle size should be reduced to 3 in. and the loose layer thickness should be reduced to 6 in. and compaction performed by hand-guided equipment.

Compacted structural fill on the outside of the foundation walls should extend laterally a minimum of 2 ft. from the wall. Backfill beyond this limit on the outside of the building may consist of common fill. The top 12-in. of fill on the exterior of the building should consist of low permeability material to minimize water infiltration next to the building. Grading should provide for runoff away from the building.

Common fill may consist of inorganic mineral soil that can be placed in layers not exceeding 12 in. in thickness and compacted with a minimum of two systematic passes of the equipment placing the fill.

CONSTRUCTION CONSIDERATIONS

General

The primary purpose of this section of the report is to comment on items related to excavation, earthwork and related geotechnical aspects of proposed construction. It is written primarily for the engineer having responsibility for preparation of plans and specifications. Since it identifies potential construction problems related to foundations and earthwork, it will also aid personnel who monitor the construction activity.

Excavation, Lateral Support and Control of Water

We anticipate that foundation excavation can be accomplished with sloped open excavation below the floor slab and through the overburden soils, provided safe side slopes can be maintained. Some sloughing and raveling should be anticipated in temporary slopes. Temporary excavations should be made in accordance with all OSHA and other applicable regulatory agency requirements.

We anticipate that groundwater may be encountered during excavation for footings. If encountered, open pumping from sumps can likely control groundwater. In general, the

contractor should control groundwater and water from other sources by methods that prevent disturbance of adjacent soils and allow construction in-the-dry.

Construction Monitoring

The foundation recommendations contained herein are based on the known and predictable behavior of a properly engineered and constructed foundation. Monitoring of the foundation construction is required to enable the geotechnical engineer to keep in contact with procedures and techniques used in construction. Therefore, we recommend that a person qualified by training and experience be present to provide monitoring at the site during excavation of bearing surfaces and placement of compacted structural fill. Haley & Aldrich is available to provide these services.

Subgrade Preparation

The subgrade soil is susceptible to disturbance from construction traffic. Equipment and personnel should not be permitted to travel across exposed footing bearing surfaces or exposed slab subgrades. Any subgrade areas that are disturbed should be recompacted or excavated and replaced with compacted structural fill prior to placing of concrete. Subgrades should be protected against freezing temperatures if exposed during construction. Final excavation to subgrade should be performed using equipment with smooth-edge buckets.

LIMITATIONS OF RECOMMENDATIONS

This report has been prepared for specific application to the subject project in accordance with generally accepted geotechnical engineering practices. In the event that any changes in the nature, design or location of the addition is planned, the conclusions and recommendations contained in this report should not be considered valid, unless the changes are reviewed and the conclusions of this report modified or verified in writing.

The recommendations presented herein are based in part on the data obtained from the referenced borings. The nature and extent of variations between the explorations may not become evident until construction. If variations then appear evident, it will be necessary to reevaluate the recommendations of this report.

We request that we be provided the opportunity for a general review of final design and specifications in order to determine that our earthwork and foundation recommendations have been interpreted and implemented in the design and specifications as they were intended.

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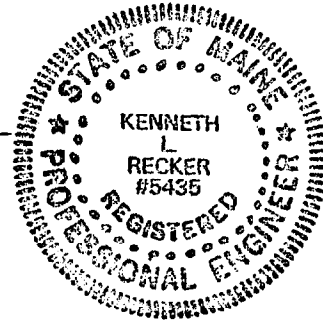
Random Orbit, LLC
11 May 2001
Page 7

It has been a pleasure to work with you on this project. Please do not hesitate to contact us if you have any questions or require additional information.

Sincerely yours,
HALEY & ALDRICH, INC.



Kenneth L. Recker, P.E.
Vice President



Enclosures:
Appendix A - Logs of Borings

KLR:G\PROJECTS\ACTIVE\27702\FNDREPORT.DOC

CITY OF PORTLAND, MAINE

PLANNING BOARD

August 14, 2001

Mr. Peter Bass
Random Orbit, LLC
70 Merrill Street
Portland, ME 04101

Jaimy Caron, Chair
Deborah Krichels, Vice Chair
Kenneth M. Cole III
Cyrus Y. Hagge
Erin Rodriguez
Mark Malone
Orlando E. Delogu

RE: East Bayside Studios, 145 Anderson Street (ID #2001-0092, CBL #12-N-3) - B-5

Dear Mr. Bass:

On July 10, 2001, the Portland Planning Board voted 4-0 (Hagge, Krichels, and Malone absent) to approve your application for an 8-unit condominium development located at 145 Anderson Street. The Board found that the application met the standards of the Subdivision and Site Plan ordinance of the Land Use Code.

The approval was granted for the project with the following conditions:

Subdivision

1. that construction details, such as new sidewalk, curb installation, pipe trenching, sewer connection, silt fence installation, catch basin sediment filter installation, temporary construction entrance, etc. be submitted.

Site Plan

1. that the applicant revise the site plan to include two (2) street trees along Anderson Street and provide foundation plantings around the building. The proposed landscaping shall be reviewed and approved by the City Arborist.

The approval is based on the submitted site plan and the findings related to subdivision and site plan review standards as contained in Planning Report #29-01, which is attached.

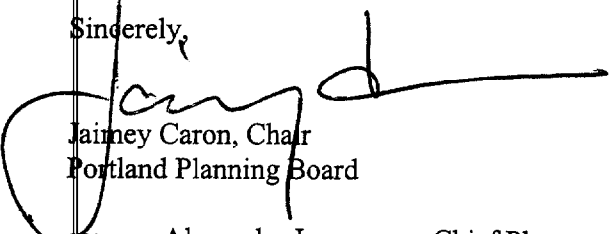
Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.

3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

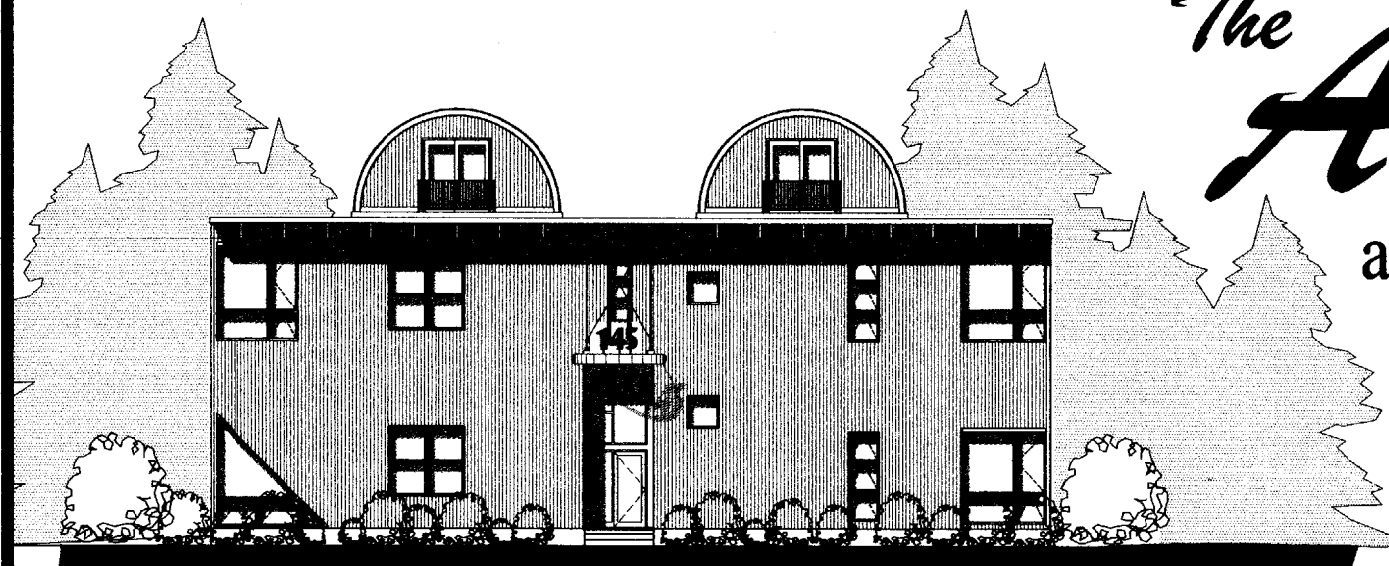
If there are any questions, please contact the Planning Staff.

Sincerely,



Jainey Caron, Chair
Portland Planning Board

cc: Alexander Jaegerman, Chief Planner
Kandice Talbot, Planner
P. Samuel Hoffses, Building Inspector
✓ Marge Schmuckal, Zoning Administrator
Tony Lombardo, Project Engineer
Development Review Coordinator
William Bray, Director of Public Works
Nancy Knauber, Associate Engineer
Jeff Tarling, City Arborist
Charlie Lane, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Inspection Department
Lee Urban, Director of Economic Development
Don Hall, Appraiser, Assessor's Office
Susan Doughty, Assessor's Office
Approval Letter File



The Artists' Studios

at 145 Anderson Street
Portland, Maine

OWNER:

VEGA Property Services
70 Merrill Street
Portland, Maine 04101
(207) 772-6005

ARCHITECT:

Archetype, P.A. Architects
48 Union Wharf
Portland, Maine 04101
(207) 772-6022

CONTRACTOR:

Wright-Ryan Construction, Inc.
10 Danforth Street
Portland, Maine 04101
(207) 773-3625

List of Drawings

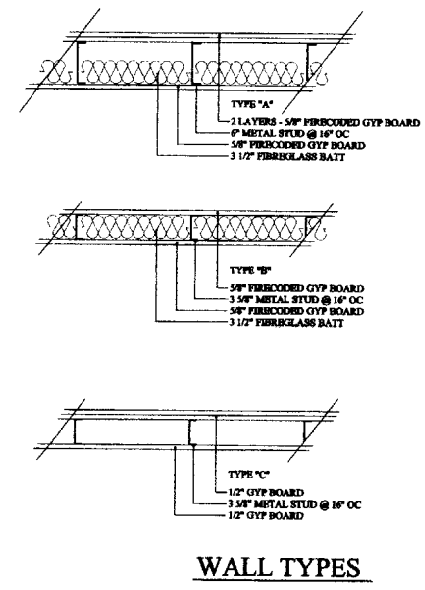
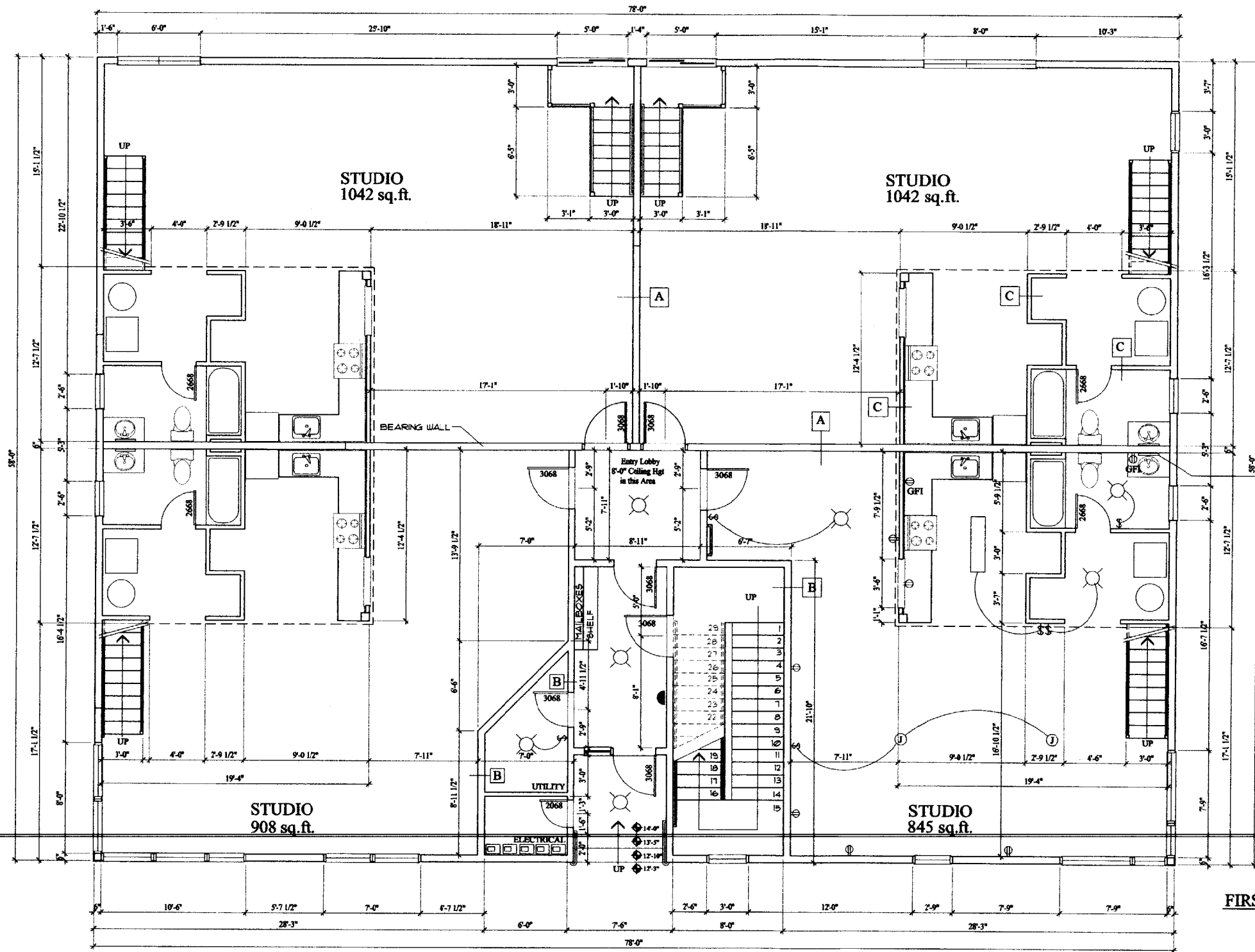
- L1 Site Plan
- S1 Foundation Plan and Details
- S2 Framing Plans
- S3 Framing Plan / Details
- A1 First Floor Plan
- A2 First Floor Lofts
- A3 Second Floor Plan
- A4 Quonset Hut Plans
- A5 Elevations (Front and Rear)
- A6 Elevations (Side)
- A7 Sections
- A8 Interior Elevations
- A9 Stair Details
- A10 Loft Stair Details

CODE REVIEW:

4,524 SqFt Foot Print
Use Group Classification: R-2
101 Life Safety - Chapter 30
Single Exit per BOCA Table 1010.3
R-2, 2 Stories, 4 Dwelling Units
Single Exit - 101 Life Safety: 18-2.4
Exception #2

FIRE RESISTANCE REQUIREMENTS

Exit Stair Interior: 1 Hour
Exit Corridor: 1 Hour
Corridor Doors: 20 Minutes / Self Closing
Dwelling Unit Separation: 30 Minute
Sprinkler System - 13R
No Fire Alarm
No Emergency Lighting Required
Smoke Alarms Installed per 101 Life Safety Section 9.6.2.10



FIRST FLOOR PLAN

NOTE:
ELECTRICAL LAYOUT SHOWN
TYPICAL OF ALL 4 UNITS AT
FIRST FLOOR

CODE REVIEW:

4,524 SqFt Foot Print
Use Group Classification: R-2
101 Life Safety - Chapter 30
Single Exit per BOCA Table 1010.3
R-2, 2 Stories, 4 Dwelling Units
Single Exit - 101 Life Safety: 18-2.4
Exception #2

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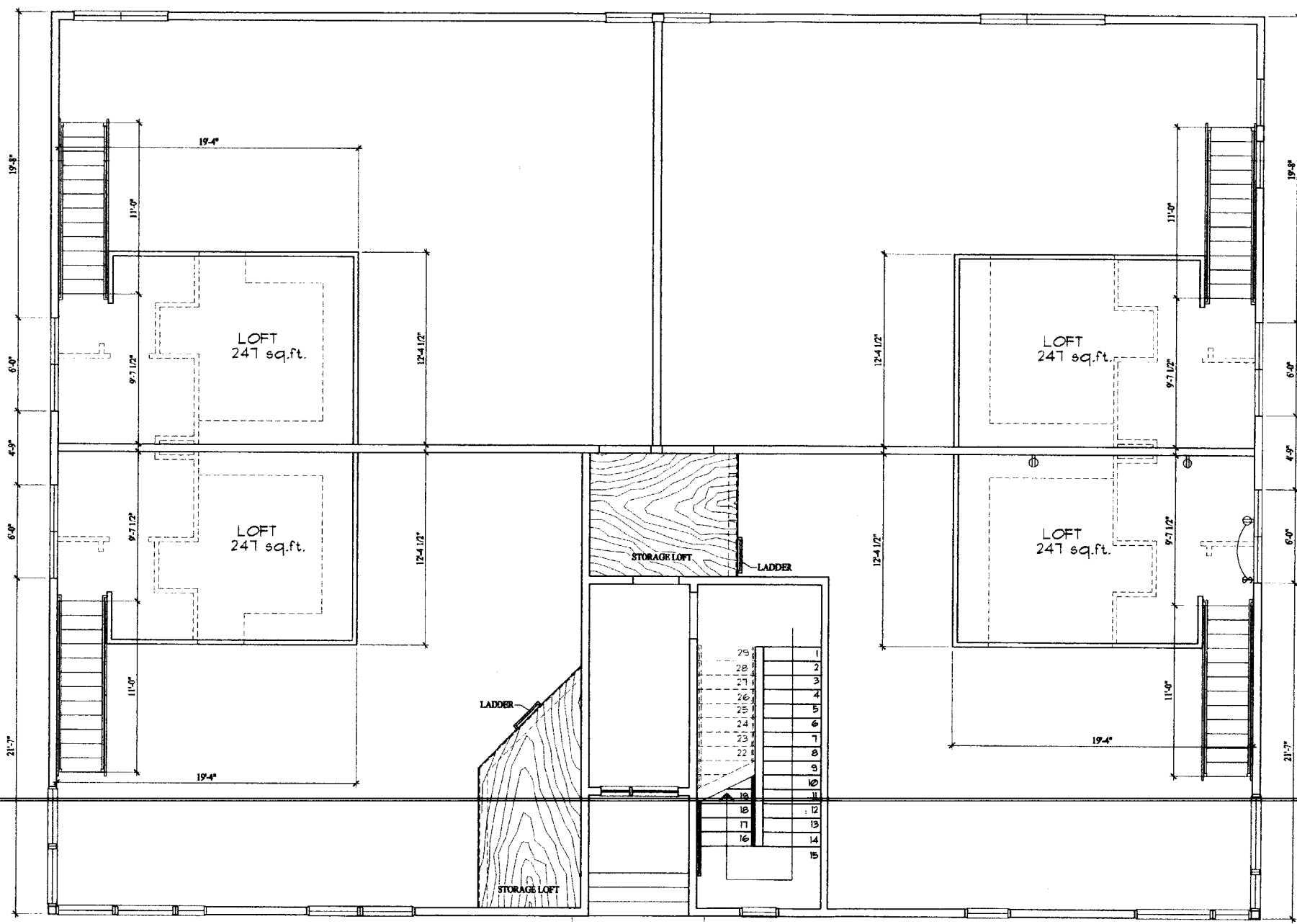
ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

The
ARTISTS' STUDIOS
at Anderson Street
Portland, Maine 04101

Project:	
Scale:	1/4"=1'-0" UON
Date:	October 5, 2001
Drawn By:	
Checked By:	
Revisions:	

FIRST FLOOR PLAN

A1



FIRST FLOOR LOFTS

NOTE:
ELECTRICAL LAYOUT SHOWN
TYPICAL OF ALL 4 UNITS AT
FIRST FLOOR LOFT



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Revisions	

FIRST FLOOR LOFTS

A2



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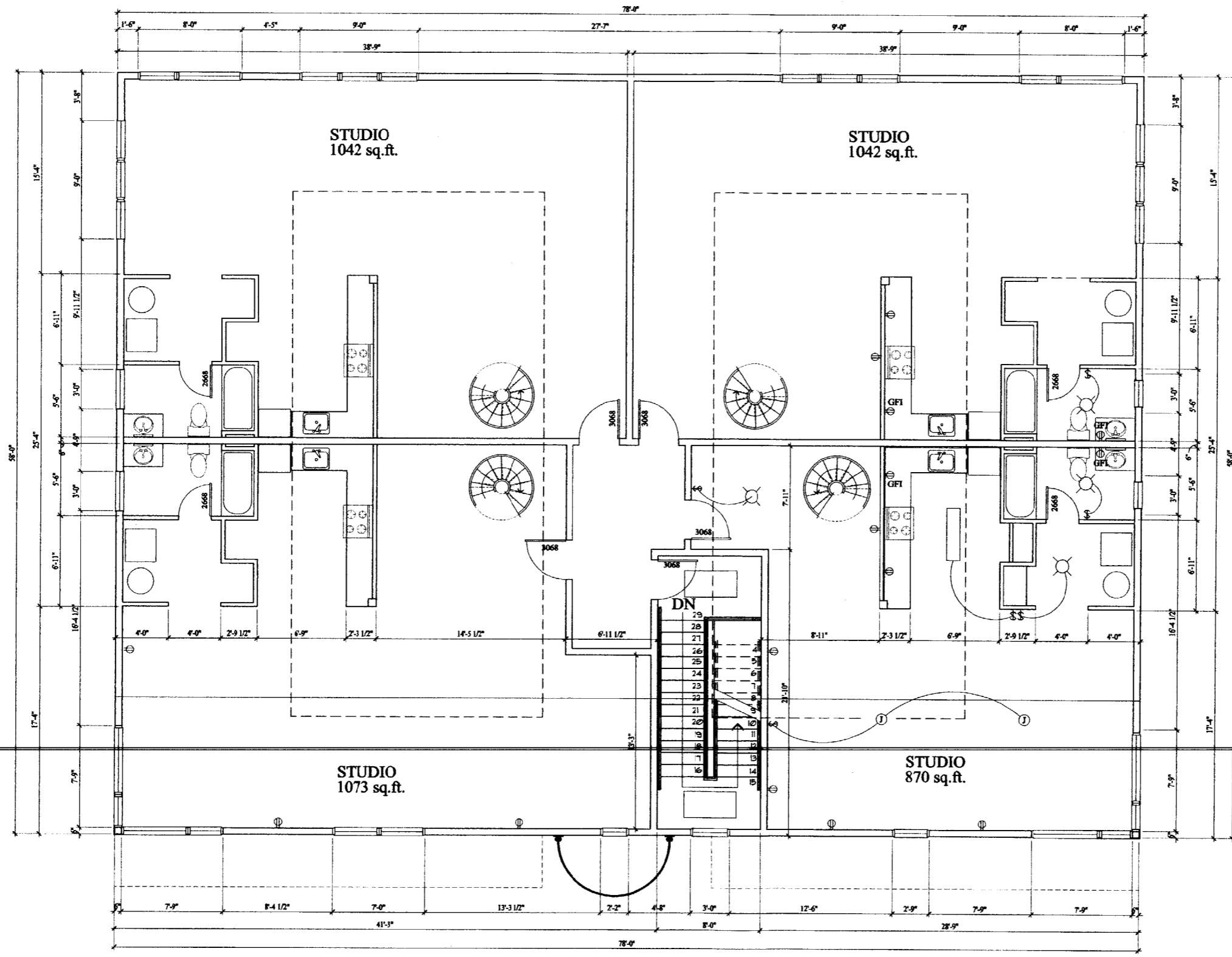
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1/4" = 1'-0" UON
Checked By

Date
October 5, 2001
Drawn By

Revisions

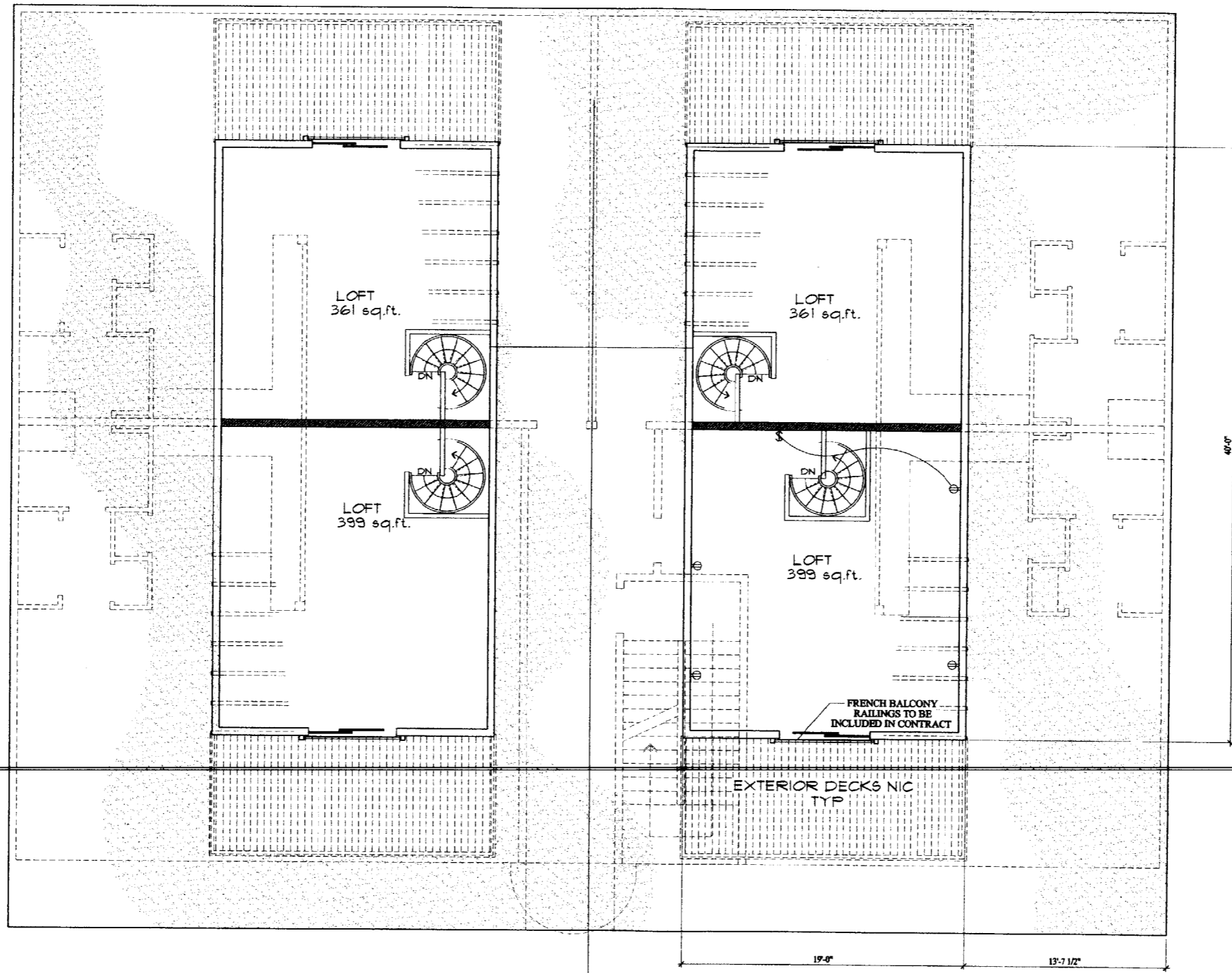
SECOND FLOOR PLAN

A3



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
ELECTRICAL LAYOUT SHOWN
TYPICAL OF ALL 4 UNITS AT
SECOND FLOOR



NOTE:
ELECTRICAL LAYOUT SHOWN
TYPICAL OF ALL 4 UNITS AT
QUONSET HUTS



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The
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Project:

Scale: 1/4"=1'-0" UON

Drawn By

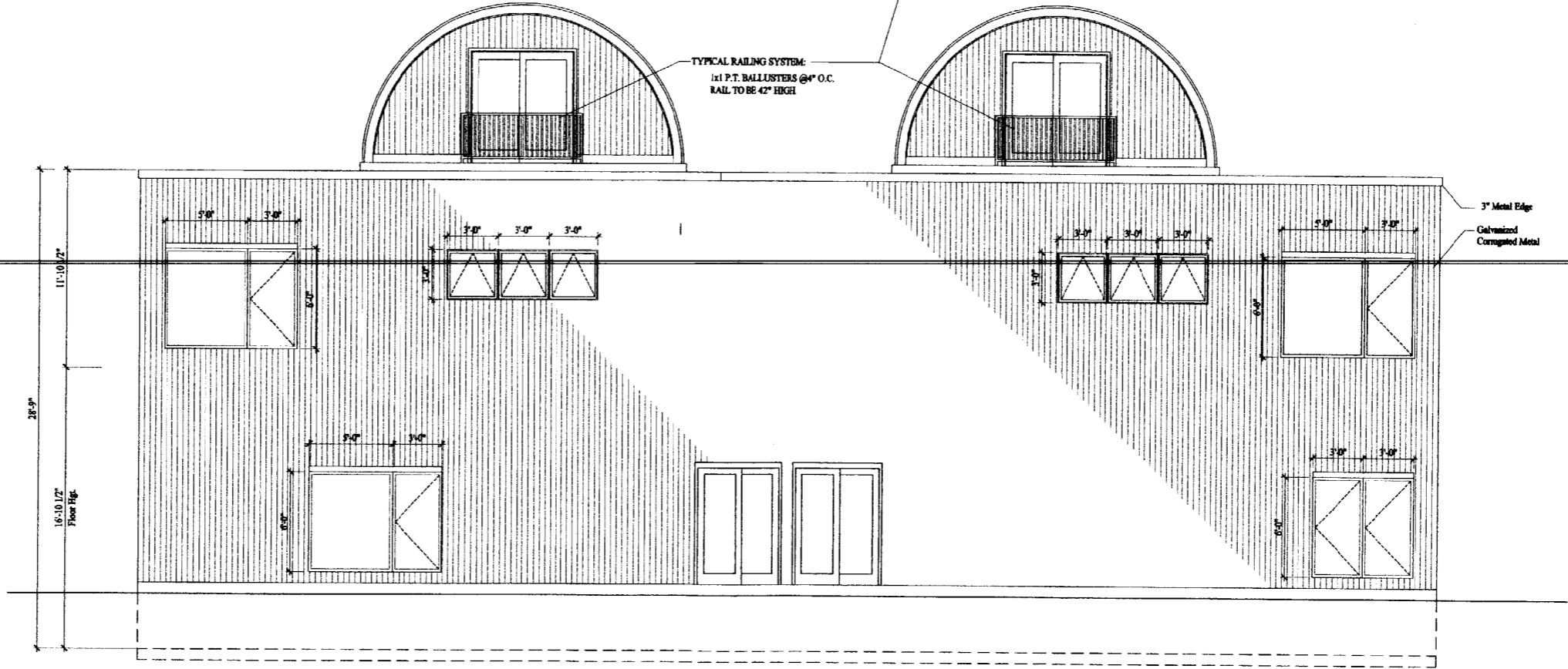
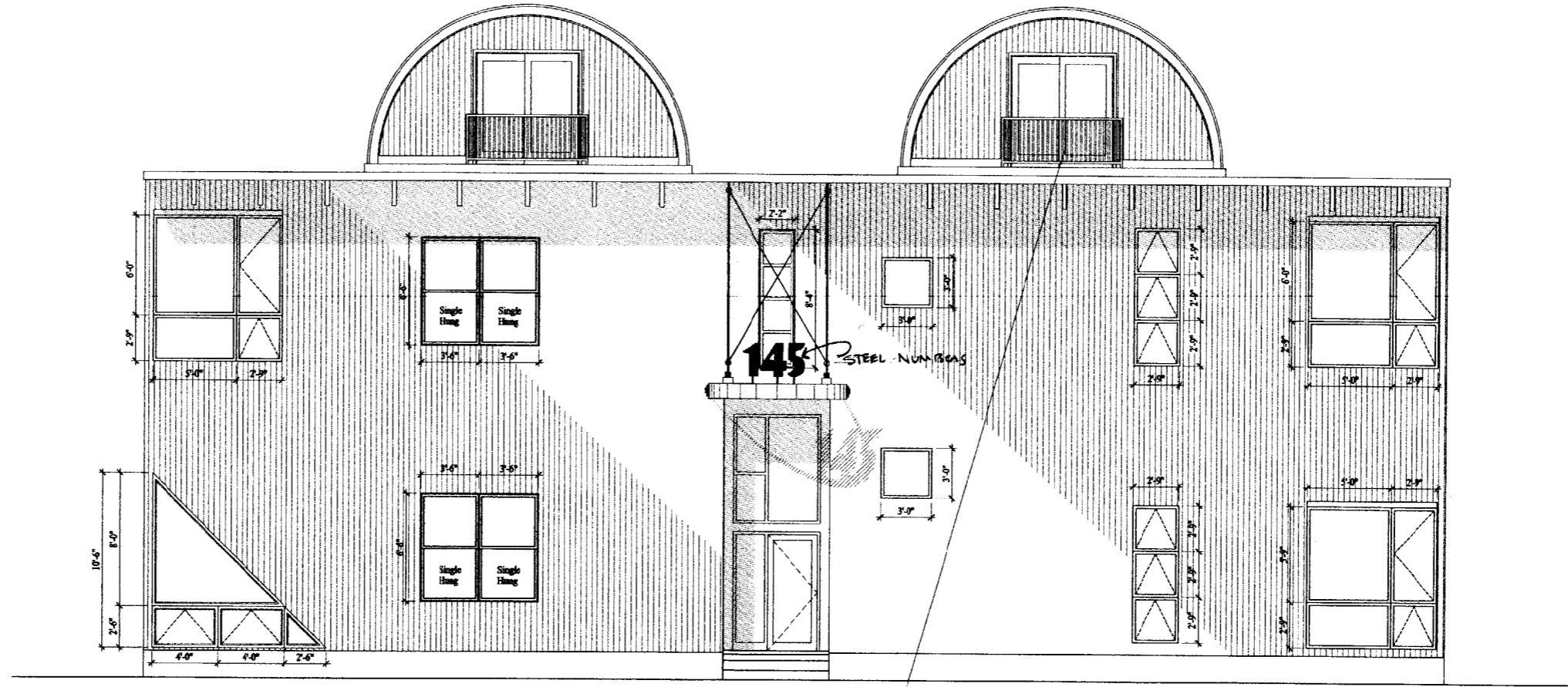
Date: October 5, 2001

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Revisions

QUONSET HUT PLANS

A4



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Project:
Scale: 1/4" = 1'-0"
Date: October 5, 2001
Drawn By:
Checked By:
Revisions:

FRONT and REAR
ELEVATIONS

A5



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The
ARTISTS' STUDIOS
at Anderson Street

Portland, Maine 04101

Project:

Date: October 5, 2001
Scale: 1/4"=1'-0" UON
Drawn By: [blank]
Checked By: [blank]

SIDE ELEVATIONS

Date

Drawn By

Checked By

Revisions

Scale

Drawn By

Checked By

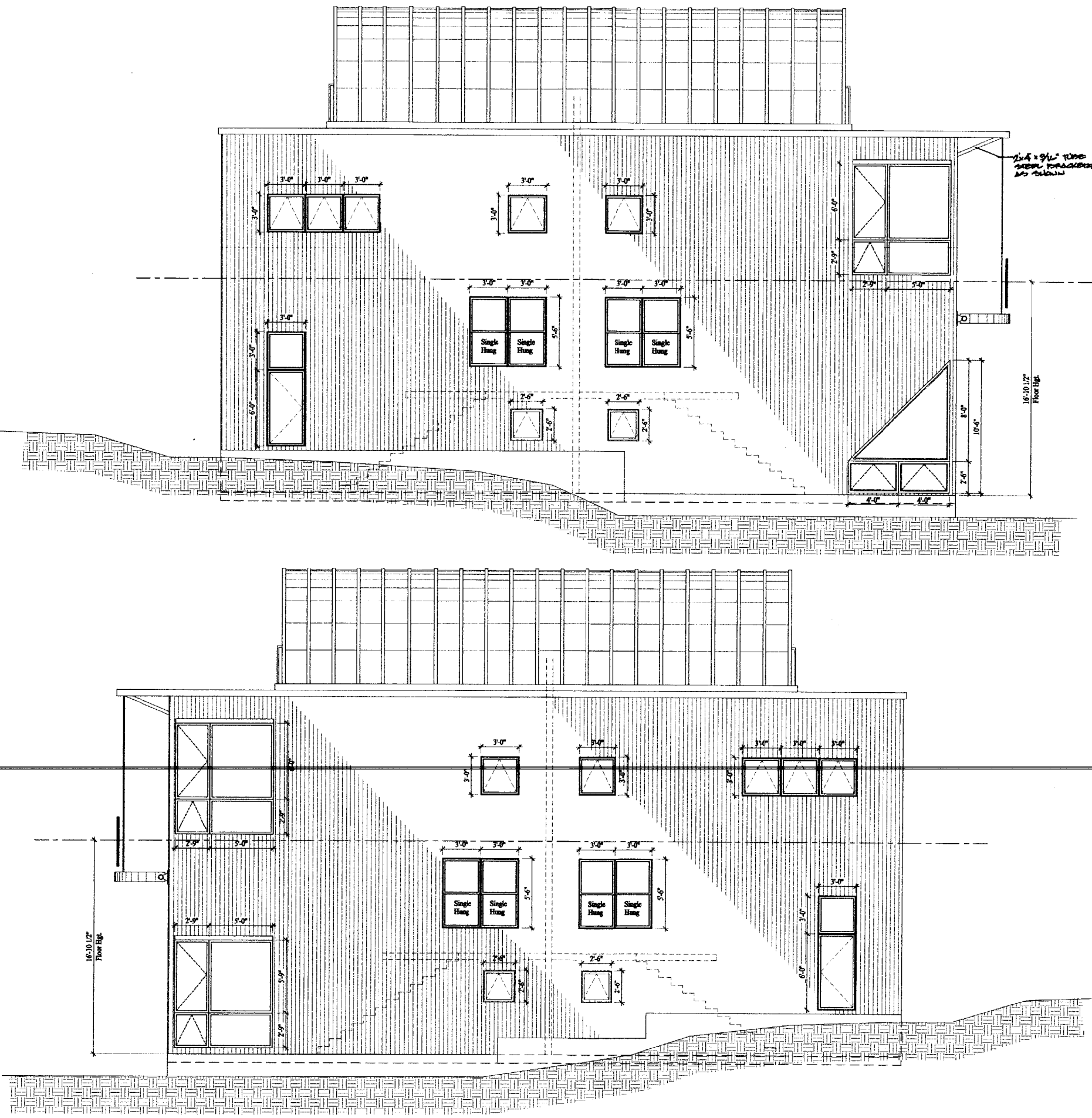
Revisions

Date

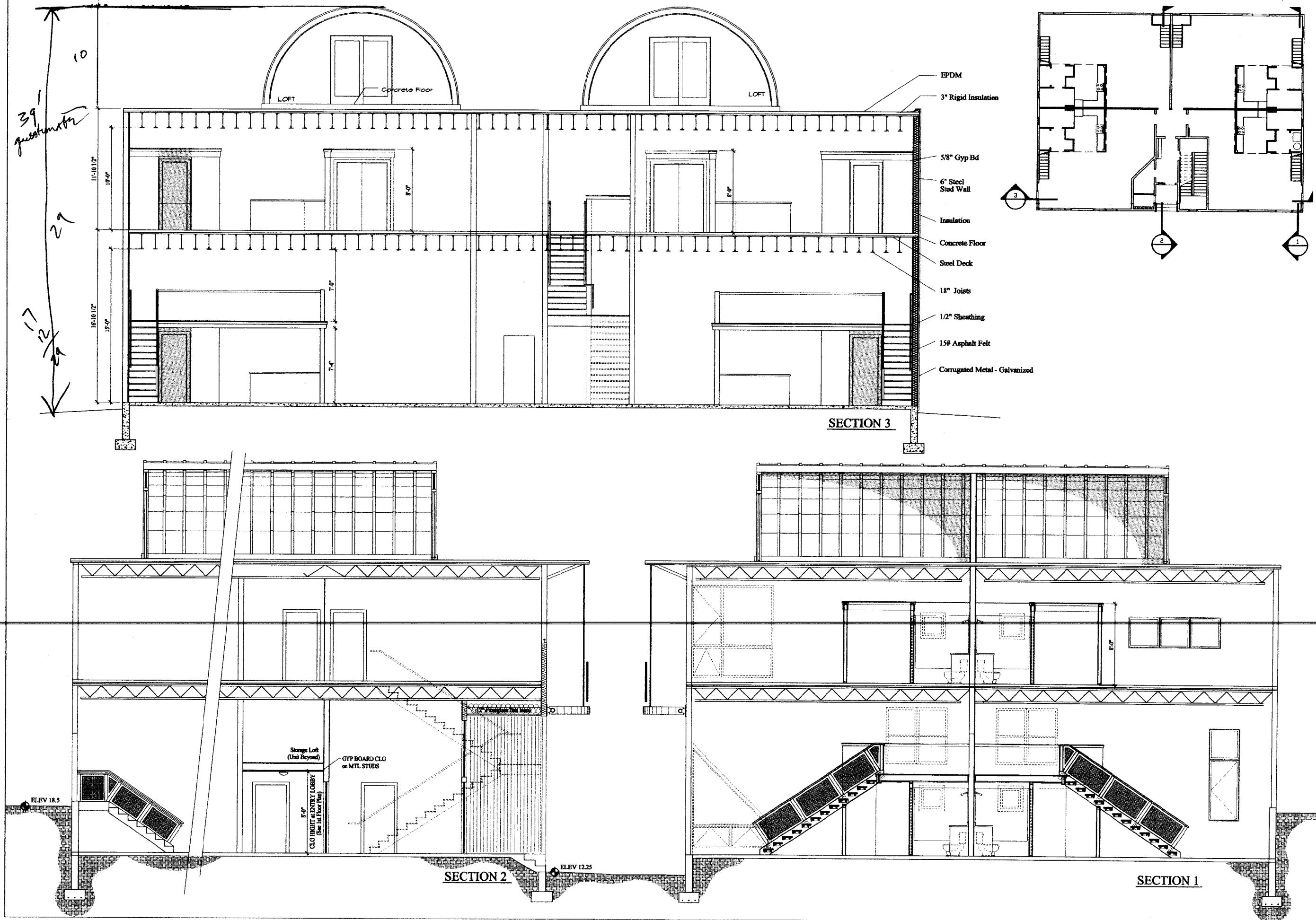
Drawn By

Checked By

Revisions



A6



39'
question mark

10

29

17

11'-10 1/2"

10'-0"

8'-0"

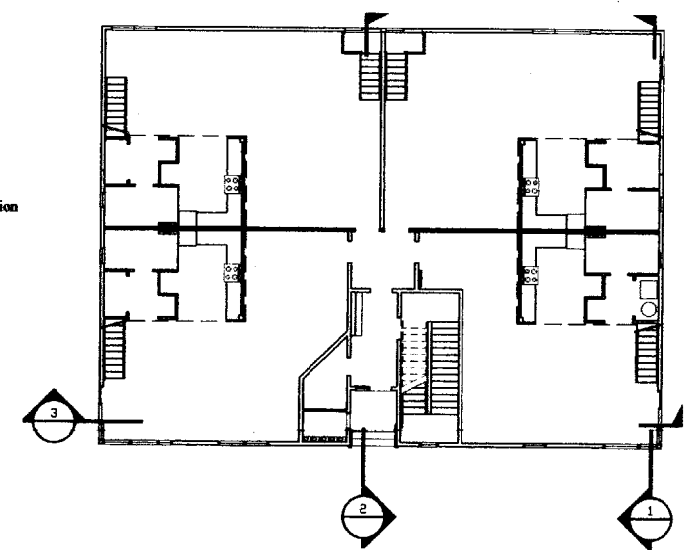
16'-0 1/2"

15'-0"

7'-0"

7'-4"

- EPDM
- 3" Rigid Insulation
- 5/8" Gyp Bd
- 6" Steel Stud Wall
- Insulation
- Concrete Floor
- Steel Deck
- 18" Joists
- 1/2" Sheathing
- 15# Asphalt Felt
- Corrugated Metal - Galvanized



SECTION 3

SECTION 2

SECTION 1

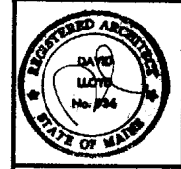
ELEV 18.5

ELEV 12.25

Storage Loft
(Unit Beyond)

GYP BOARD CLG
on MTL STUDS

8'-0"
CLO HIGH ENTRY LOBBY
(See 1st Floor Plan)



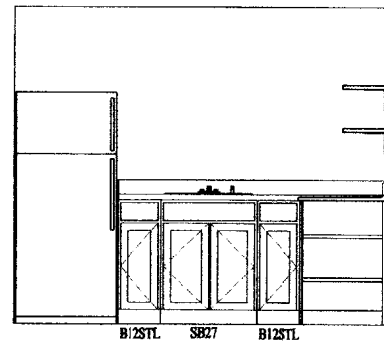
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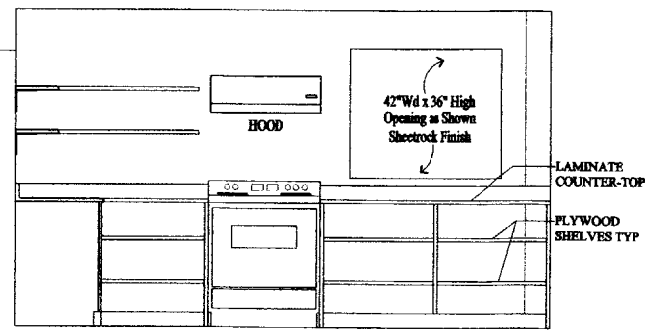
Project:
Scale: 1/4"=1'-0" DON
Date: October 5, 2001
Checked By:
Drawn By:
Revisions:

SECTIONS

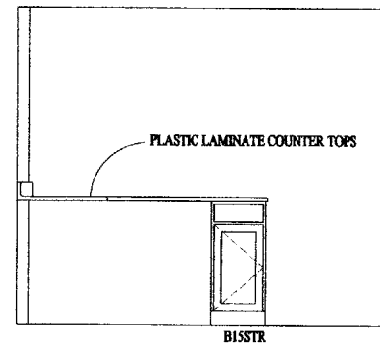
A7



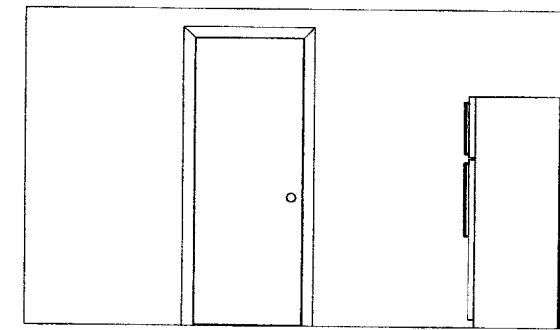
Kitchen Elevation 1



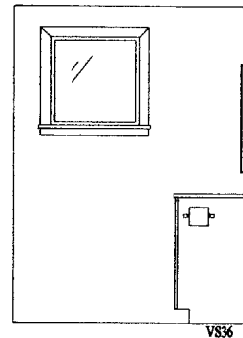
Kitchen Elevation 2



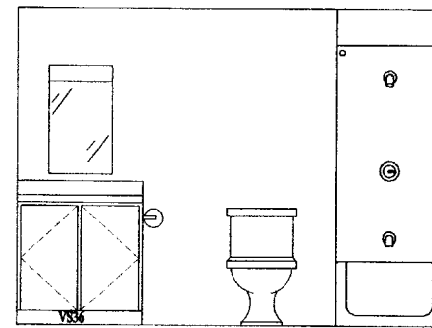
Kitchen Elevation 3



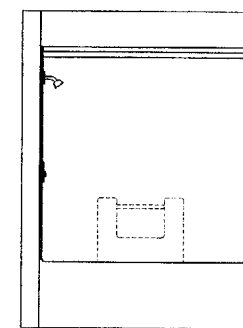
Kitchen Elevation 4



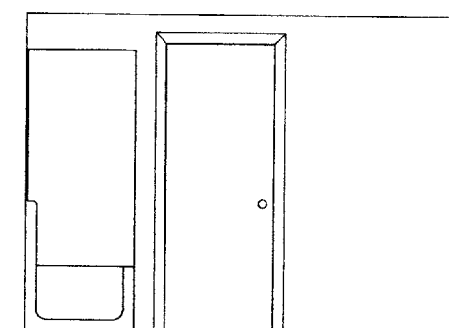
Bathroom Elevation 5



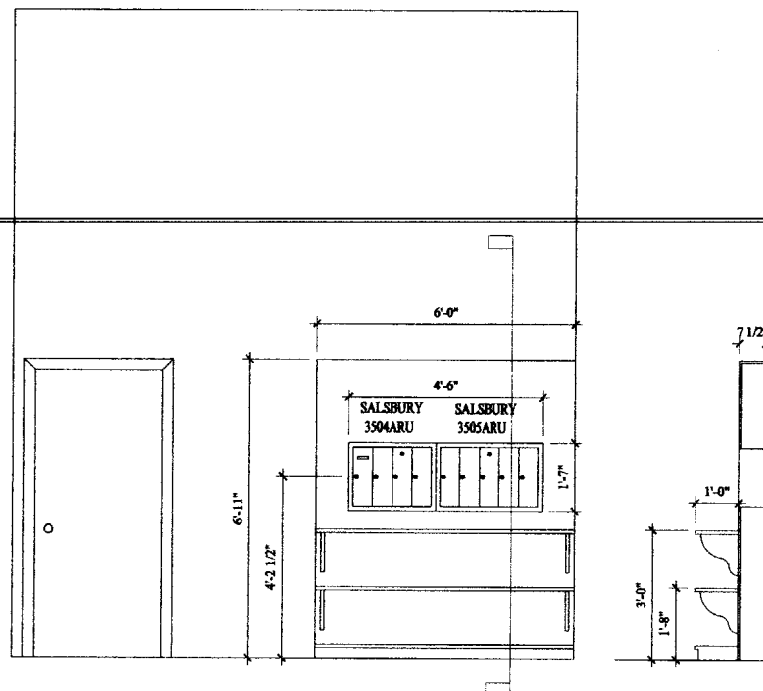
Bathroom Elevation 6



Bathroom Elevation 7

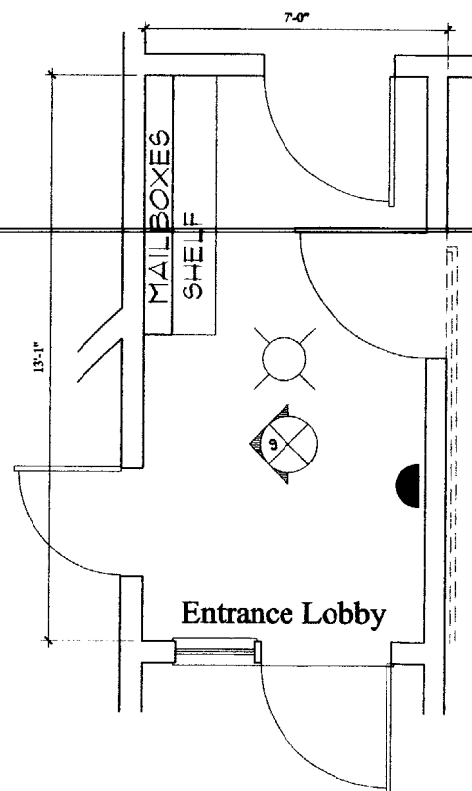


Bathroom Elevation 8

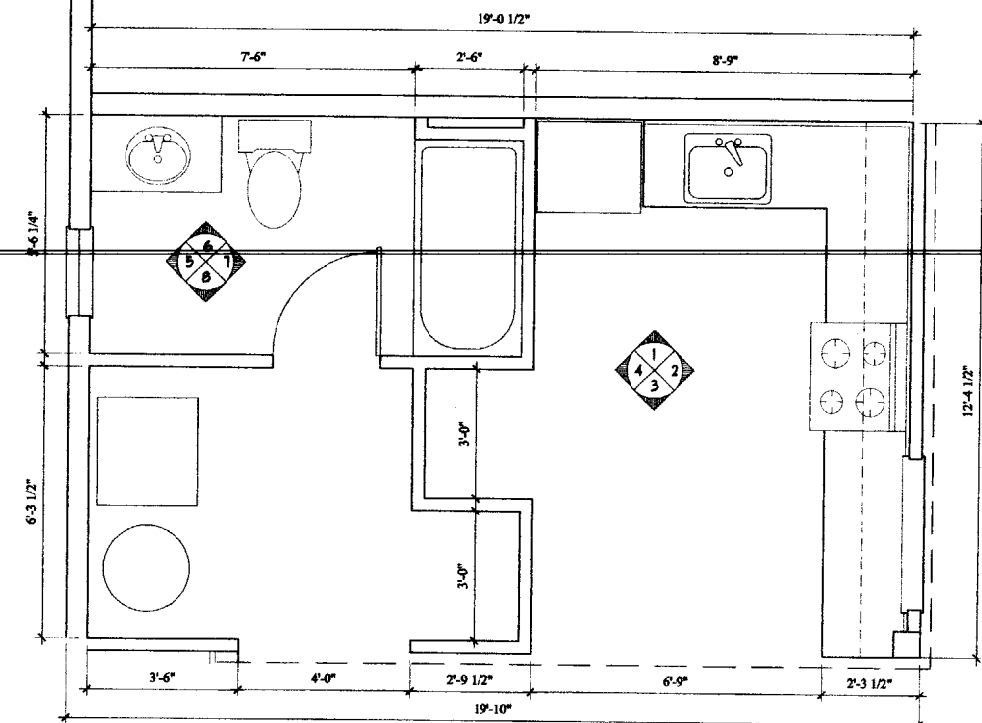


Mailbox Elevation 9

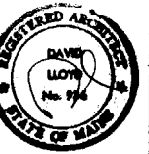
Mailbox Section



Entrance Lobby



Bathroom and Kitchen Plan



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Project:

Scale
1/2" = 1'-0" UON

Date
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Drawn By

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Revisions

INTERIOR
ELEVATIONS

A8



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Project:

Scale:
1/2"=1'-0"

Date:
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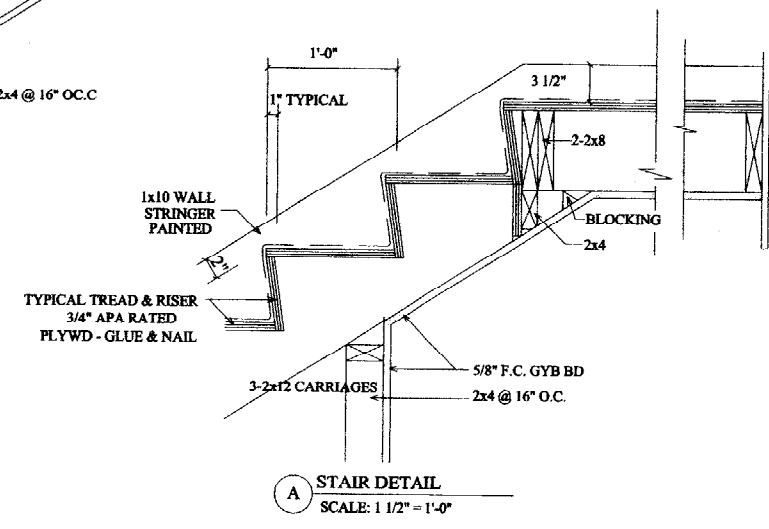
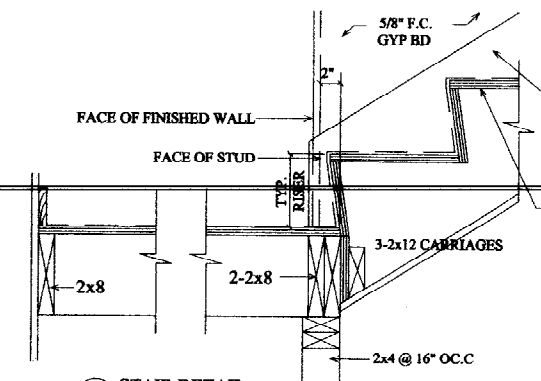
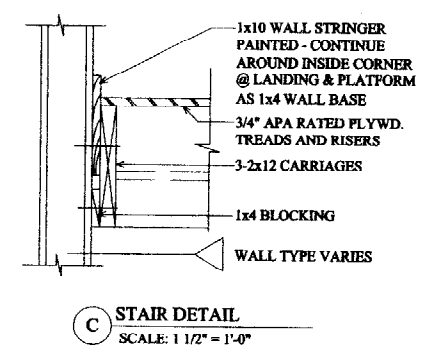
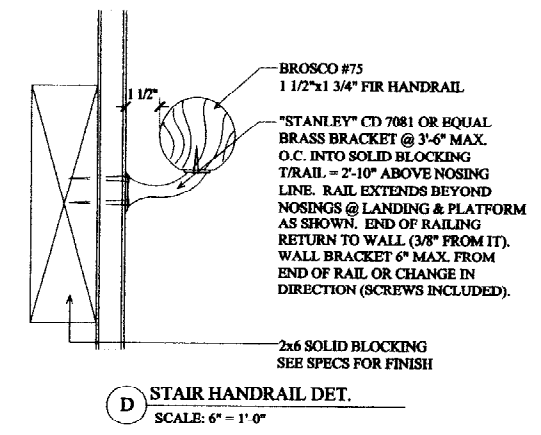
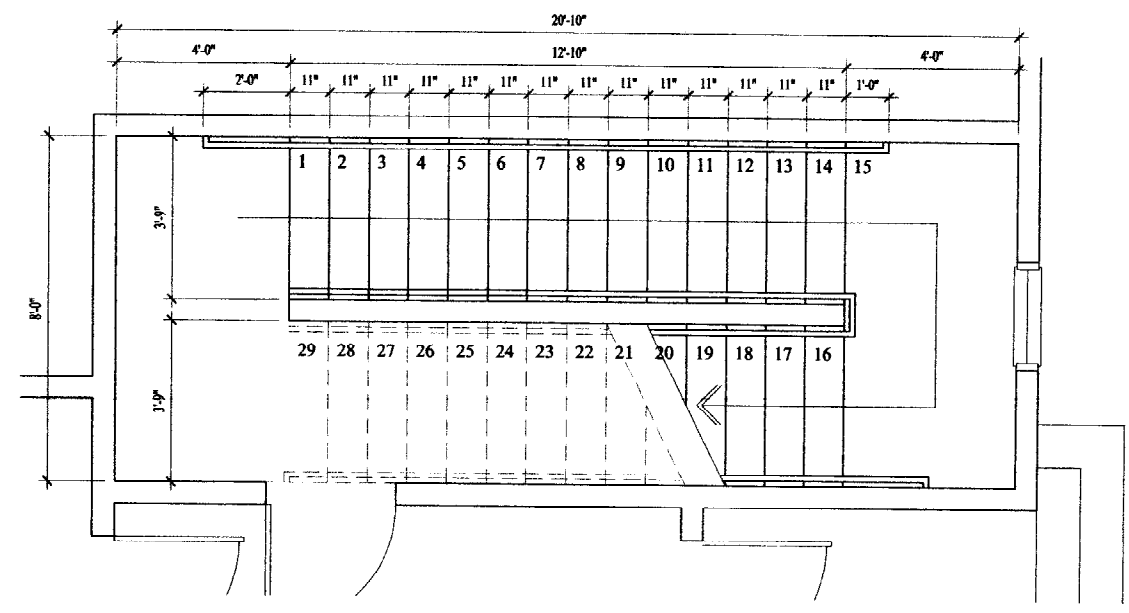
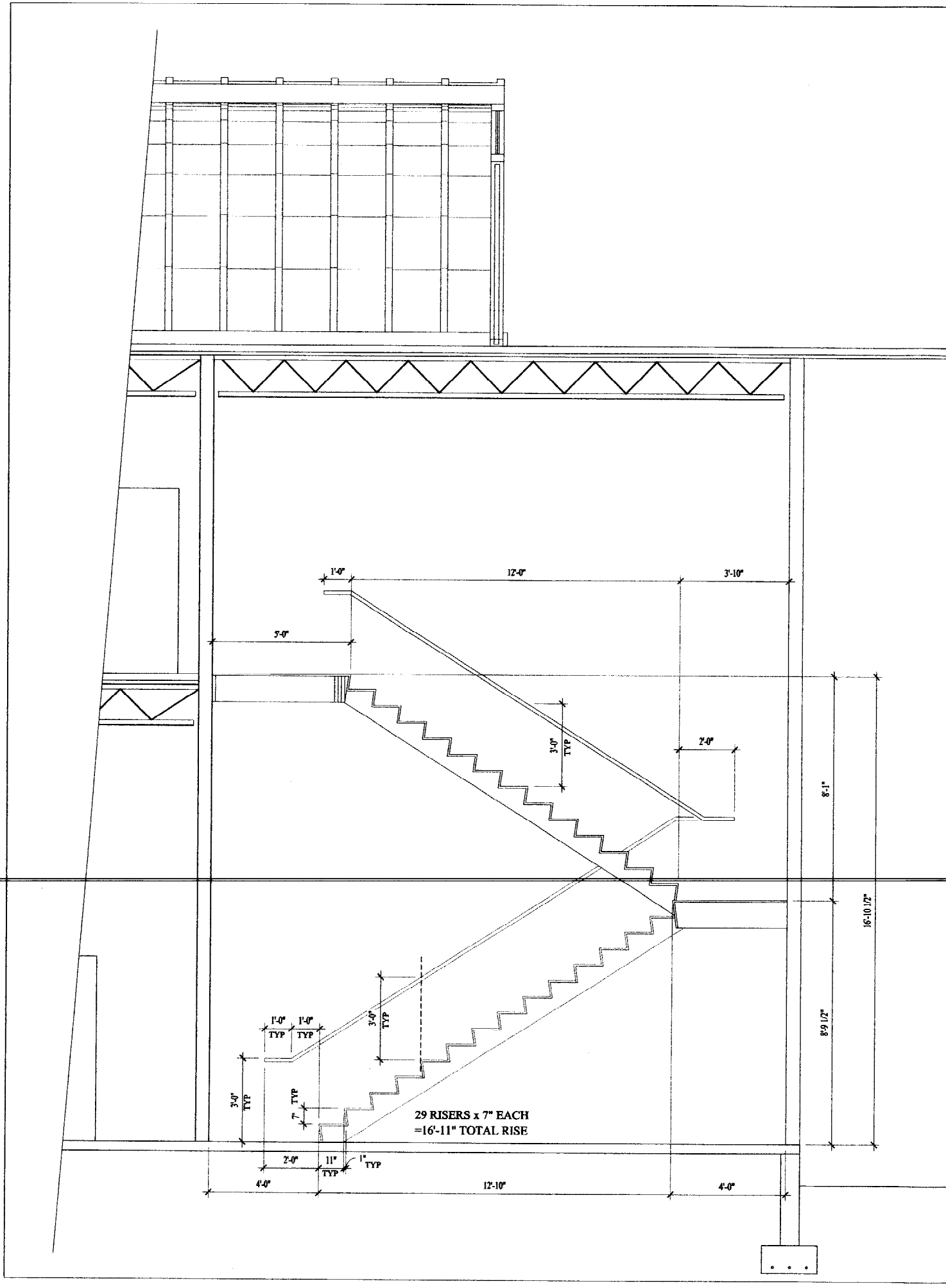
Drawn By:
Revisions

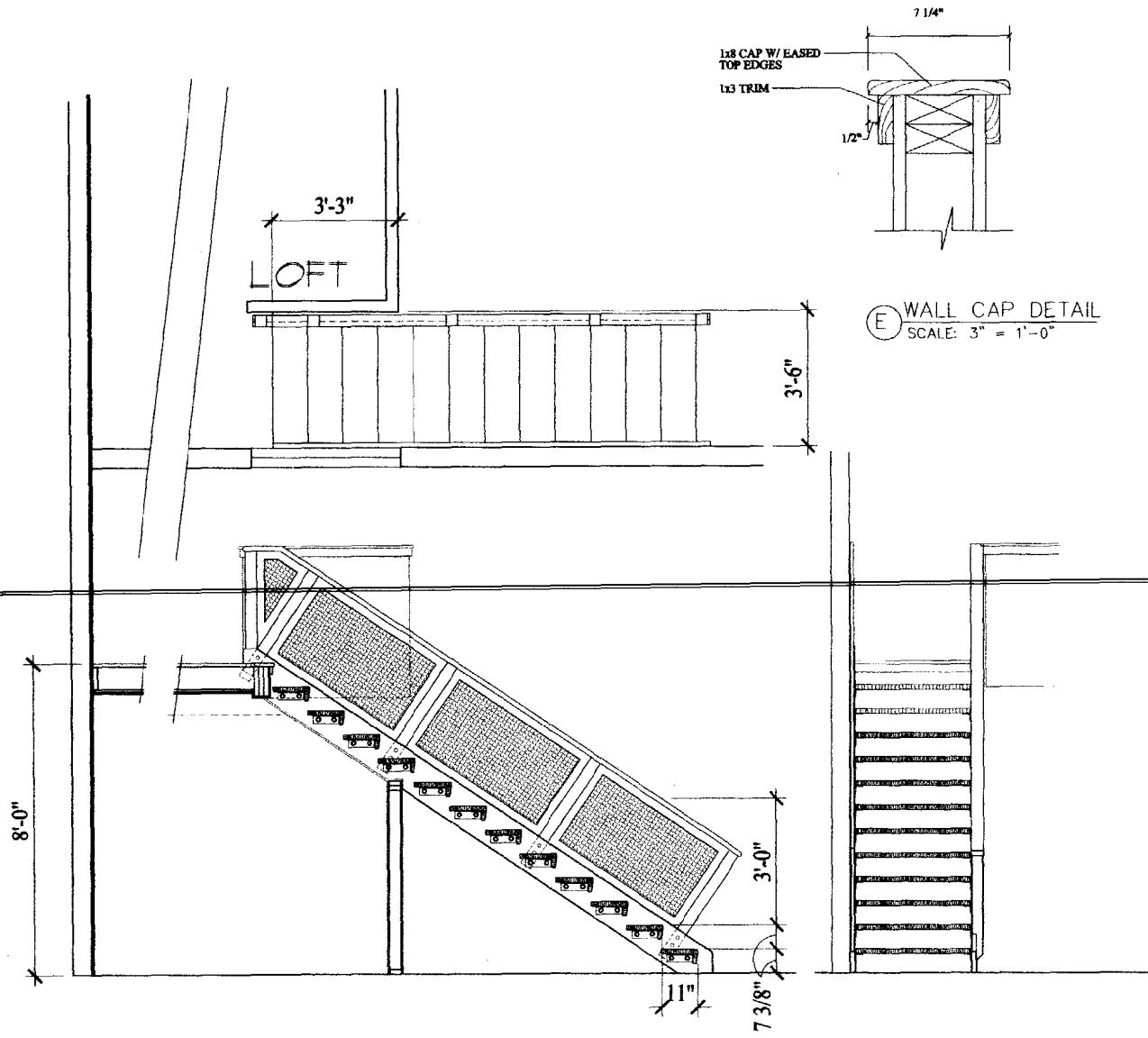
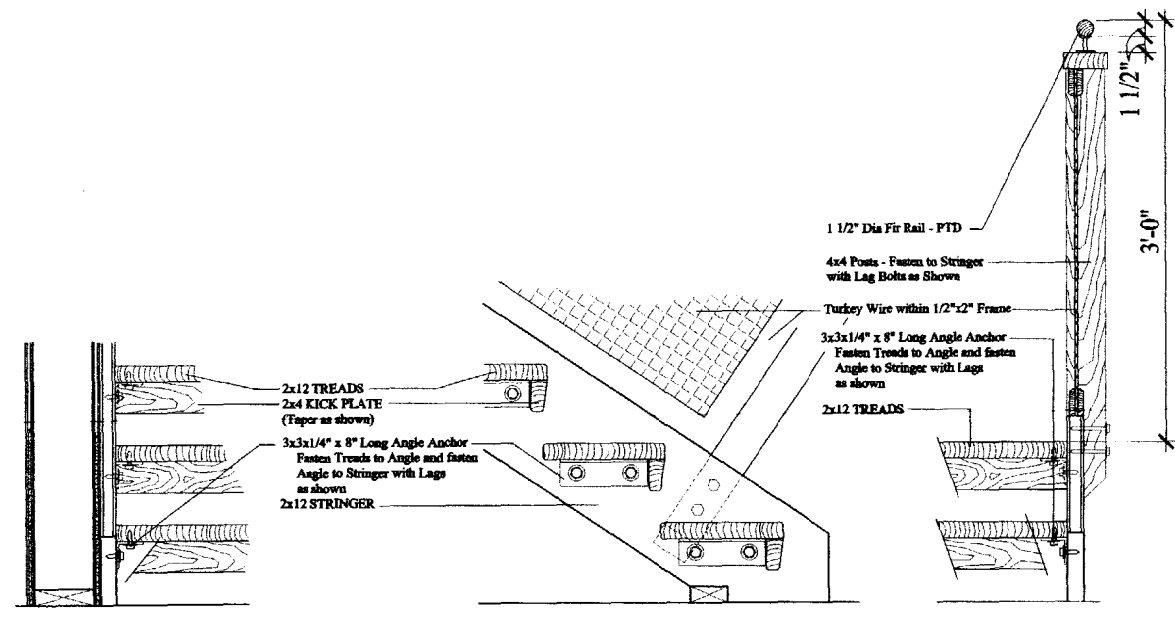
Checked By:

Revisions

STAIR DETAILS

A9





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ARCHITECTS

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The
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Portland, Maine 04101

Project:

Scale
1/2" = 1'-0" DON

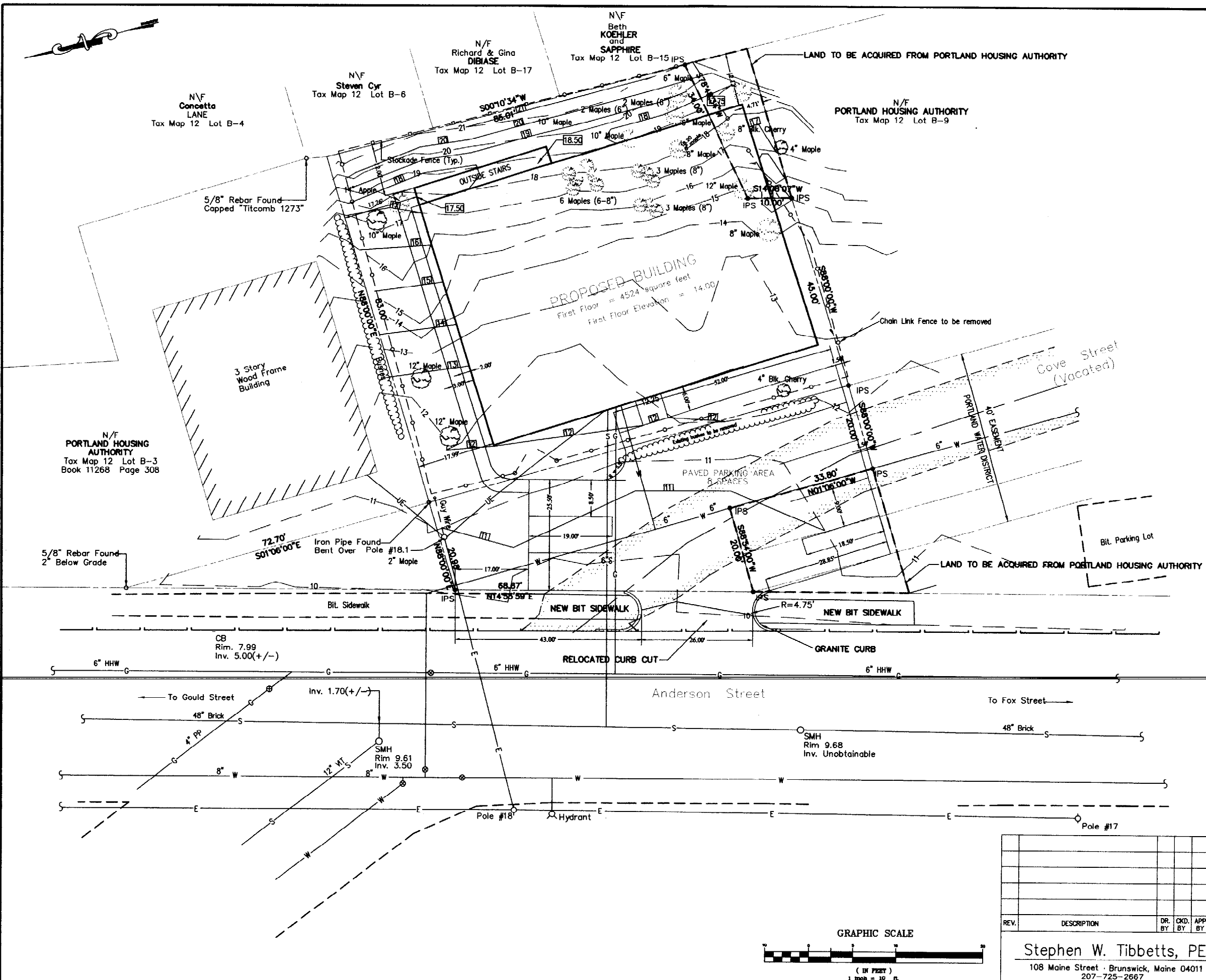
Date
October 5, 2001

Drawn By
Revisions

Checked By

STAIR DETAILS

A10



Location Map n.t.s.

GENERAL NOTES:

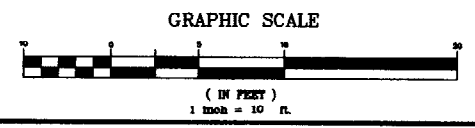
- RECORD OWNER OF PROPERTY: PETER L. BASS
RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 15372 PAGE 277.
PROPERTY IS LOCATED ON THE TOWN OF PORTLAND TAX MAP 12 SHOWN AS SECTION B LOT 5 AND 7 AND 18.
- PROPOSED BUILDING TO CONSIST OF 8 LIVE/WORK UNITS.
- BUILDING SUMMARY:
TOTAL NUMBER OF FLOORS = 3
FIRST FLOOR = 4 UNITS
SECOND/THIRD FLOOR = 4 UNITS
TOTAL SQUARE FOOTAGE = 10,570
- TOTAL LOT AREA = 11,790.70 SQUARE FEET
- ALL BEARINGS ARE BASED ON PLAN REFERENCE 1.
- PROPERTY IS LOCATED WITHIN THE B-5 ZONE.
ZONING IS SUBJECT TO REVIEW BY THE MUNICIPALITY.
- UTILITIES SHOWN ON PLAN ARE LOCATED APPROXIMATELY AND SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION. LOCATIONS SHOWN ARE BASED ON PHYSICAL LOCATIONS AND/OR MAPS FROM THE RESPECTIVE UTILITY COMPANIES.
- BOUNDARY AND TOPOGRAPHIC INSTRUMENT SURVEY PERFORMED BY OEST ASSOCIATES, INC., JANUARY 1995. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM. SEE BENCHMARK ON PLAN.
- AFTER FINAL SITE GRADING ALL DISTURBED AREAS WILL HAVE 4" TOPSOIL PLACED, LIMED, FERTILIZED AND SEEDED AND MULCHED.

PLAN REFERENCE:

- "PLAN OF PROPERTY MADE FOR THE PORTLAND WEST NEIGHBORHOOD PLANNING COUNCIL, PORTLAND, MAINE" DATED AUGUST 26, 1986 BY R.P. TITCOMB ASSOCIATES, INC.

LEGEND

- BOUNDARY LINE
- 5/8" REBAR SET CAPPED "OEST 1245"
- IRON PIPE FOUND (AS NOTED)
- UTILITY POLE
- GRANITE CURB
- EDGE OF EXIST. PAVEMENT
- EDGE OF GRAVEL
- CATCH BASIN
- SMH SEWER MANHOLE
- SANITARY SEWER
- WATER MAIN
- GAS LINE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- SPOT ELEVATIONS
- CONTOUR
- TREES TO REMAIN
- TREES TO BE REMOVED
- 17.50 SPOT GRADE
- 17.50 PROPOSED CONTOUR



				East Bayside Studios 145-147 Anderson Street Portland, Maine	
				SITE PLAN	
				Random Orbit, LLC 70 Merrill Street Portland, Maine 04101	
REV.	DESCRIPTION	DR. BY	CHK. BY	APP. BY	DATE
				SCALE: 1" = 10'	PROJECT NO.
				DATE: March 24, 2001	DRAWING NO. S-1
				DES BY: SWT	SHEET OF
				DWN BY: SWT	1
				CHK BY: SWT	
				Stephen W. Tibbetts, PE 108 Maine Street - Brunswick, Maine 04011 207-725-2667	

GENERAL NOTES:

- THE NOTES ON THESE DRAWINGS ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO THESE GENERAL NOTES.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, EQUIPMENT, SITE AND SHOP DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. THE CONTRACTOR SHALL DETERMINE ALL NECESSARY DIMENSIONS, ELEVATIONS AND CONDITIONS REQUIRED FOR THE FABRICATION AND ERECTION OF THE BUILDING'S COMPONENTS PRIOR TO THE SUBMISSION OF SHOP DRAWINGS. ALL SHOP DRAWINGS SHALL ACCURATELY REFLECT THE GENERAL CONTRACTOR'S VERIFICATION OF FIELD CONDITIONS.
- SHOP DRAWINGS SHALL BE ORIGINAL DRAWINGS PREPARED BY THE GENERAL CONTRACTOR OR A SUBCONTRACTOR. REPRODUCTION OF THE STRUCTURAL CONTRACT DOCUMENTS FOR USE AS SHOP DRAWINGS IS NOT ACCEPTABLE.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE GENERAL CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCING TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS AND/OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE GENERAL CONTRACTOR AFTER COMPLETION OF THE BUILDING.
- SECTIONS AND DETAILS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL AND USED FOR SIMILAR CONDITIONS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

DESIGN CRITERIA:

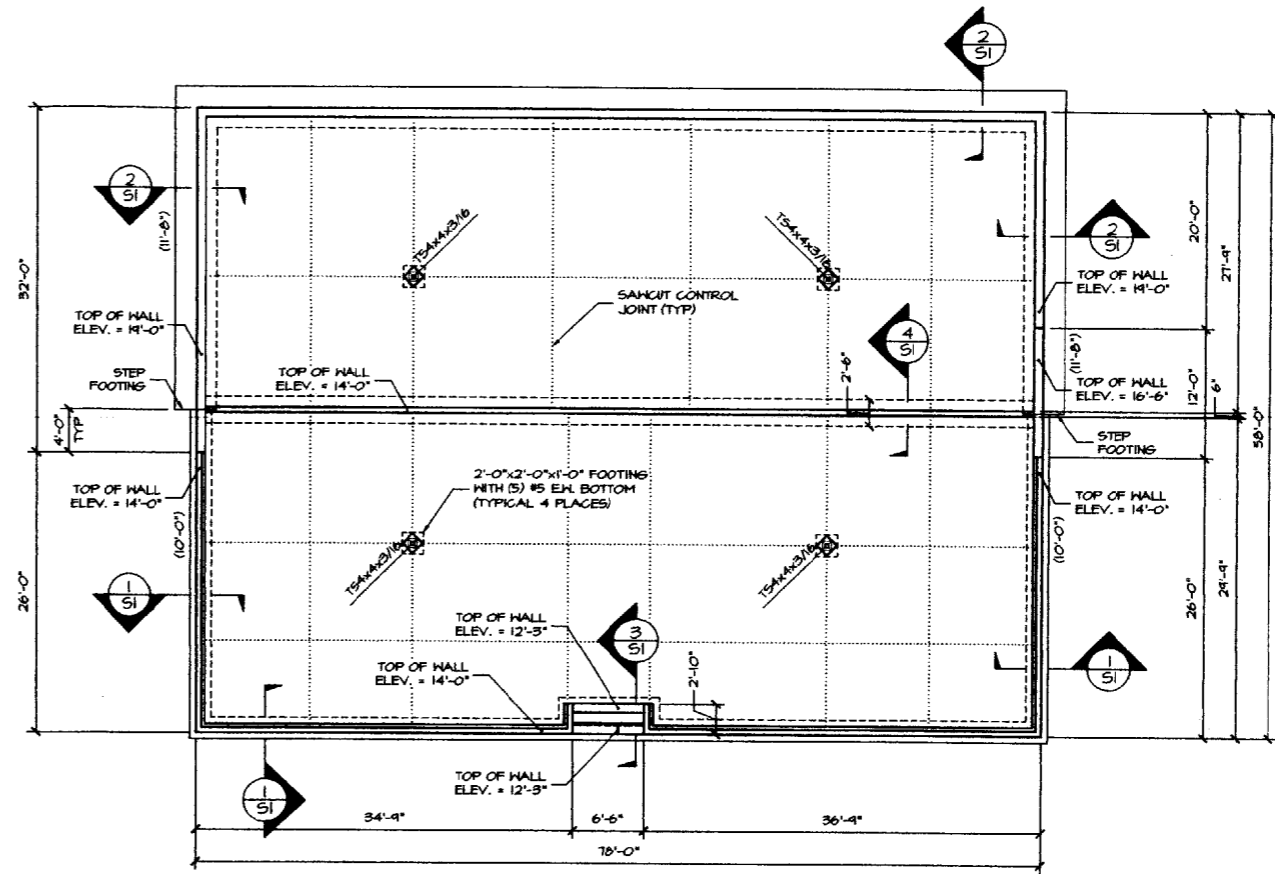
BUILDING CODE: 1999 BOCA NATIONAL BUILDING CODE

DESIGN LOADS:

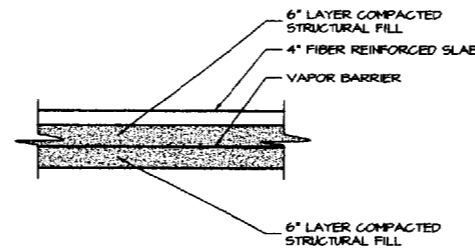
A. DEAD LOADS:	
SECOND FLOOR	36 PSF
FIRST FLOOR LOFTS	10 PSF
ROOF	12 PSF
B. LIVE LOADS:	
DWELLING UNITS AND CORRIDORS	40 PSF
C. SNOW LOAD:	
GROUND SNOW LOAD, P _g	60 PSF
SNOW EXPOSURE FACTOR	0.7
SNOW LOAD IMPORTANCE FACTOR	1.0
FLAT ROOF SNOW LOAD	42 PSF
D. WIND LOADS:	
MAIN WIND-FORCE RESISTING SYSTEM	
BASIC WIND SPEED, V	85 MPH
IMPORTANCE FACTOR, I	1.0
BASIC VELOCITY PRESSURE, P _v	18.5 PSF
EXPOSURE CATEGORY	B
COMPONENTS AND CLADDING	
EXPOSURE	C
E. SEISMIC DESIGN DATA:	
PEAK VELOCITY RELATED ACCELERATION, A _v	0.11
PEAK ACCELERATION, A _o	0.11
SEISMIC HAZARD EXPOSURE GROUP	1
SEISMIC PERFORMANCE CATEGORY	C
SOIL PROFILE TYPE	S2
SITE SOIL COEFFICIENT, S	1.2
BASIC STRUCTURAL SYSTEM	LOAD BEARING WALLS WITH SHEAR PANELS
RESPONSE MODIFICATION FACTOR, R	6.5
DEFLECTION AMPLIFICATION FACTOR, C _d	4.0
ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE

FOUNDATION NOTES:

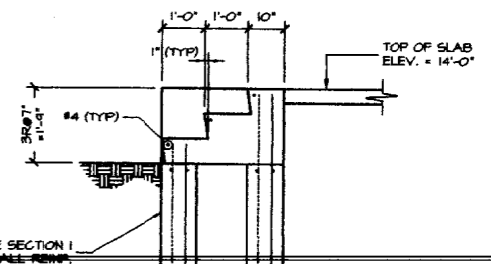
- FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH A GEOTECHNICAL REPORT PREPARED BY HALEY & ALDRICH INC. DATED 11 MAY, 2001. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION, INTENSIVE SUBSURFACE COMPACTION REQUIREMENTS AND CONSTRUCTION CONSIDERATIONS.
 - ALL FOOTINGS SHALL BEAR ON EXISTING FILL, NATURALLY DEPOSITED SOIL OR ON COMPACTED STRUCTURAL FILL PLACED AFTER REMOVAL OF UNSUITABLE SOIL.
 - EXTERIOR FOOTINGS SHALL BE FOUNDED A MINIMUM OF 4'-6" BELOW FINISHED GRADE. INTERIOR FOOTINGS SHALL BE FOUNDED A MINIMUM OF 1'-6" BELOW THE GROUND FLOOR SLAB.
 - SLAB-ON-GRADE SHALL BEAR ON A MINIMUM OF 6" OF COMPACTED STRUCTURAL FILL. ALL FILL BELOW SLAB-ON-GRADE CONTAINING DEBRIS, WOOD AND/OR ORGANICS SHALL BE REMOVED PRIOR TO PLACING FILL.
 - STRUCTURAL FILL SHALL BE USED AT ALL LOCATIONS BELOW FOOTINGS AND BEARS AND ADJACENT TO THE FOUNDATION WALLS. REMOVE ALL TOPSOIL AND OTHER UNSUITABLE MATERIAL PRIOR TO PLACING STRUCTURAL FILL. COMPACTED STRUCTURAL FILL SHALL CONSIST OF CLEAN GRANULAR MATERIAL FREE OF ORGANICS, LOAM, TRASH, SNOW, ICE, FROZEN SOIL OR ANY OTHER OBJECTIONABLE MATERIAL. STRUCTURAL FILL SHALL BE GRADED WITHIN THE FOLLOWING LIMITS:
- | SCREEN OR SIEVE SIZE | PERCENT FINER BY HEIGHT |
|----------------------|-------------------------|
| 6 INCH | 100 |
| NO. 4 | 30-90 |
| NO. 40 | 10-50 |
| NO. 200 | 0-8 |
- STRUCTURAL FILL SHALL BE PLACED IN LAYERS NOT EXCEEDING 8" AND COMPACTED BY SELFPROPULLED COMPACTION EQUIPMENT AT OPTIMUM MOISTURE CONTENT TO A DRY DENSITY OF 95% OF THE MAXIMUM IN PLACE DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).
 - OPEN EXCAVATIONS SHALL BE ADEQUATELY BRACED OR PROPERLY BENCHED.
 - BACKFILL BOTH SIDES OF FOUNDATION WALLS SIMULTANEOUSLY.



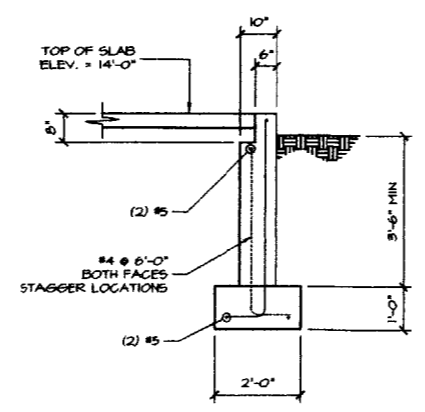
FOUNDATION PLAN
1/8"=1'-0"
TOP OF SLAB ELEVATION = 14'-0".
SLAB IS 4" THICK FIBER-REINFORCED CONCRETE.
(XX-X) INDICATES TOP OF FOOTING ELEVATION.



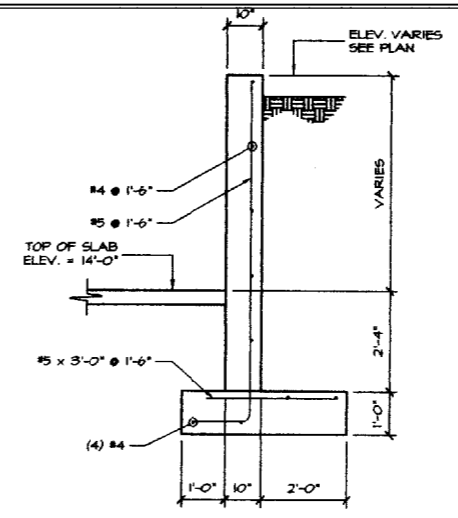
TYP. SLAB-ON-GRADE
1/2"=1'-0"



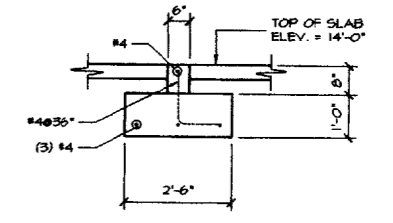
SECTION 3
1/2"=1'-0"



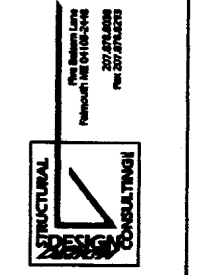
SECTION 1
1/2"=1'-0"



SECTION 2
1/2"=1'-0"



SECTION 4
1/2"=1'-0"



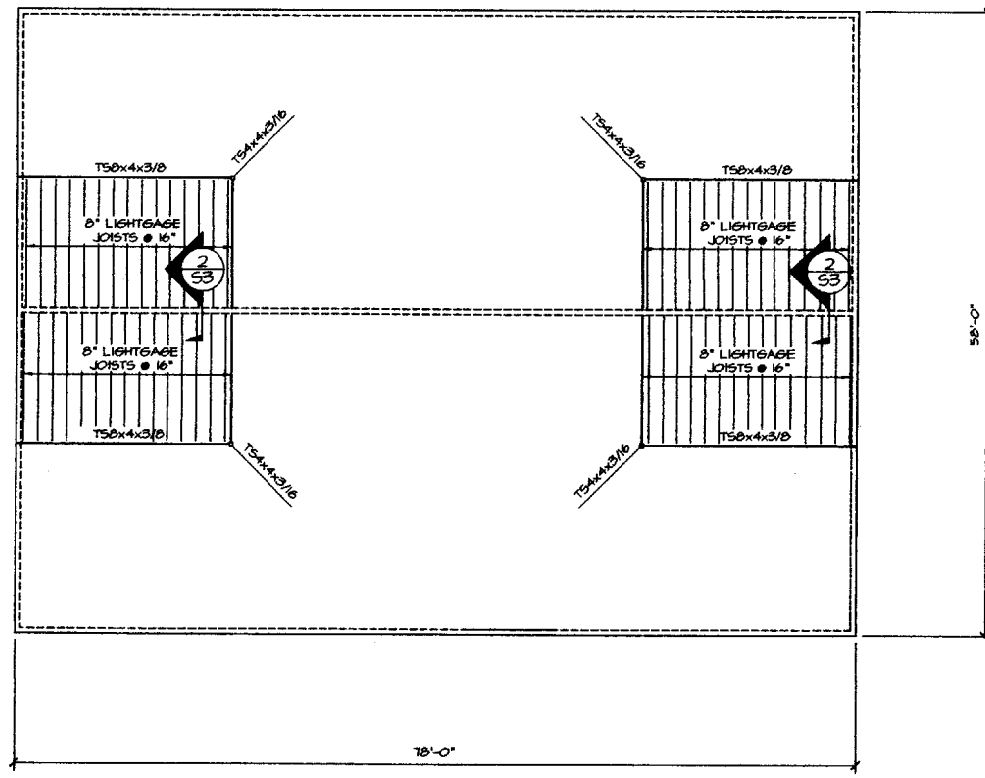
ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Bass Artist Studios
Anderson Street, Portland

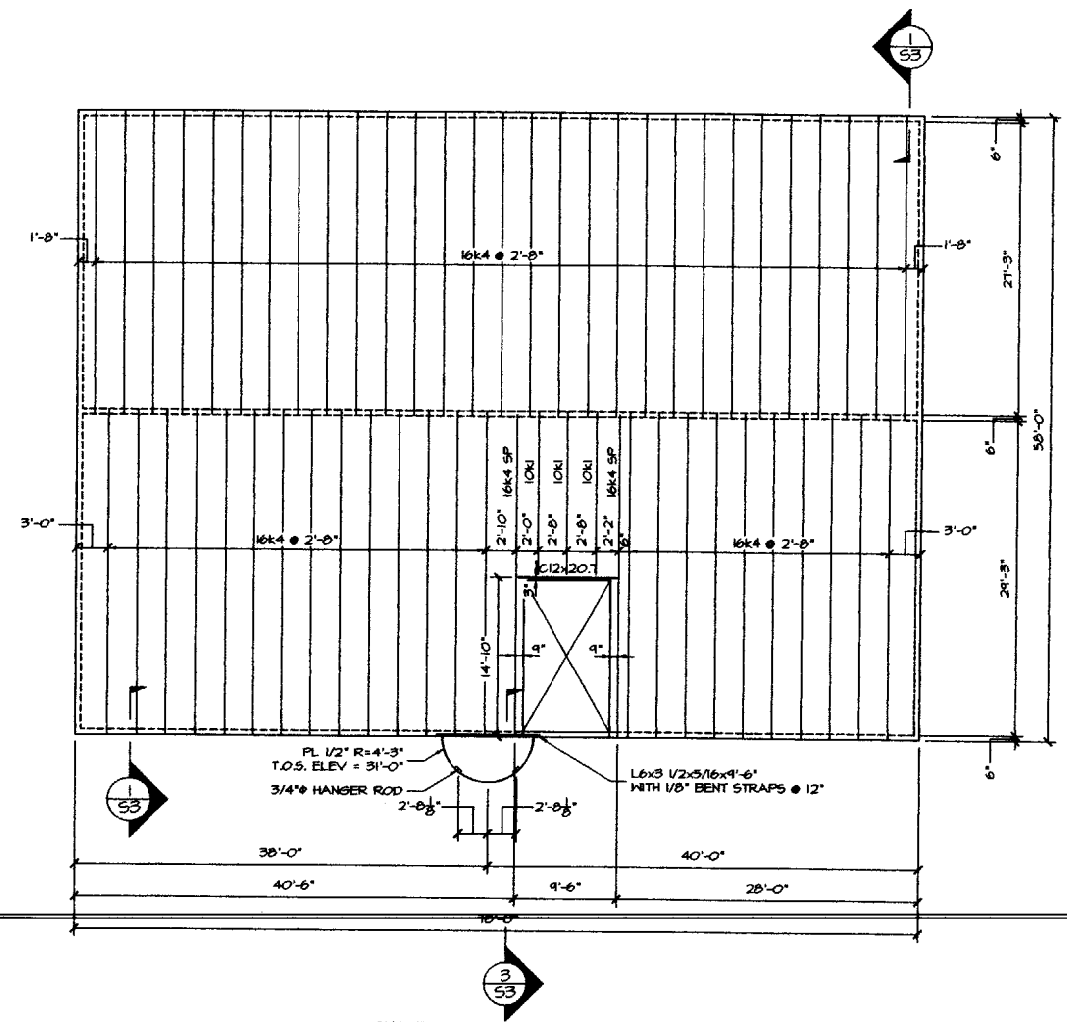
Scale AS NOTED
Date 8 Oct 2001
Drawn By DJT
Checked By DJT
Reviewed By

General Notes
And
Foundation Plan

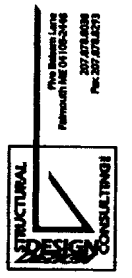
S1



1ST FLOOR LOFT FRAMING PLAN
 1/8"=1'-0"
 TOP OF PLYWOOD ELEV. = 22'-0".
 FLOOR DECK 2 LAYERS OF 1/2" PLYWOOD.
 DESIGN FLOOR JOISTS FOR LOADS NOTED ON SI.



2ND FLOOR FRAMING PLAN
 1/8"=1'-0"
 TOP OF SLAB ELEV. = 30'-10 1/2".
 FLOOR DECK IS 9/16" 22 GAGE GALVANIZED FORM DECK WITH 2 1/2" CONCRETE SLAB AND 6x6 H1.4xH1.4 HWF LOCATED 1" FROM TOP.
 EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS ARE 6" LIGHTGAGE STUDS. SEE SI FOR DEAD LOADS, LIVE LOADS AND WIND LOADS. SEE ARCHITECTURAL DRAWINGS FOR WINDOW AND DOOR OPENINGS. DESIGN ALL LIGHTGAGE WALLS AND HEADERS IN ACCORDANCE WITH BOCA 49.



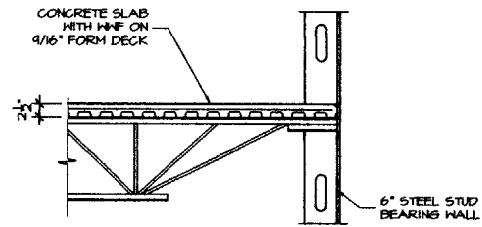
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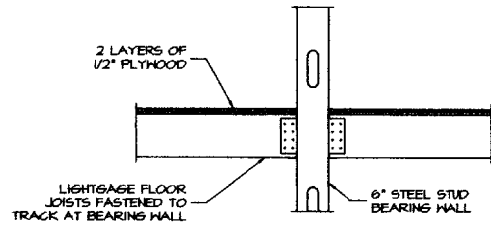
Scale	1/8" = 1'-0"
Drawn By:	DJT
Checked By:	DJT
Revised:	

1st Floor Loft
 And
 2nd Floor
 Framing Plans

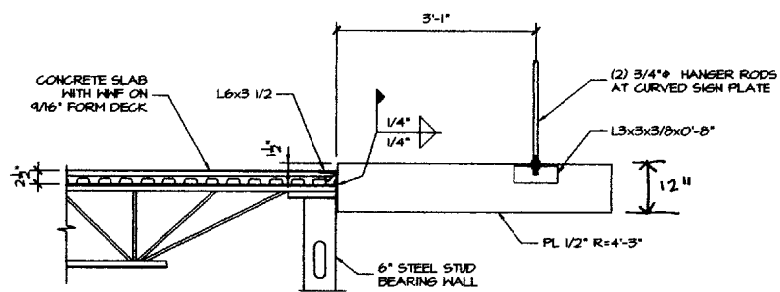
S2



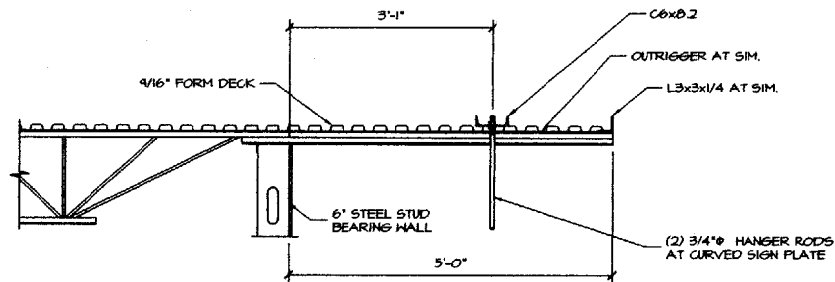
SECTION 1
3/4"=1'-0" S2



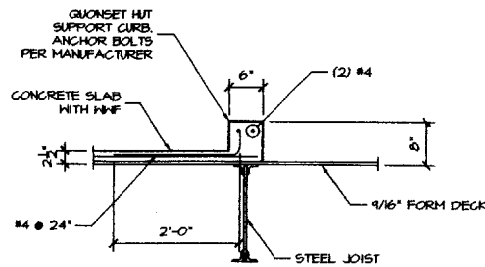
SECTION 2
3/4"=1'-0" S2



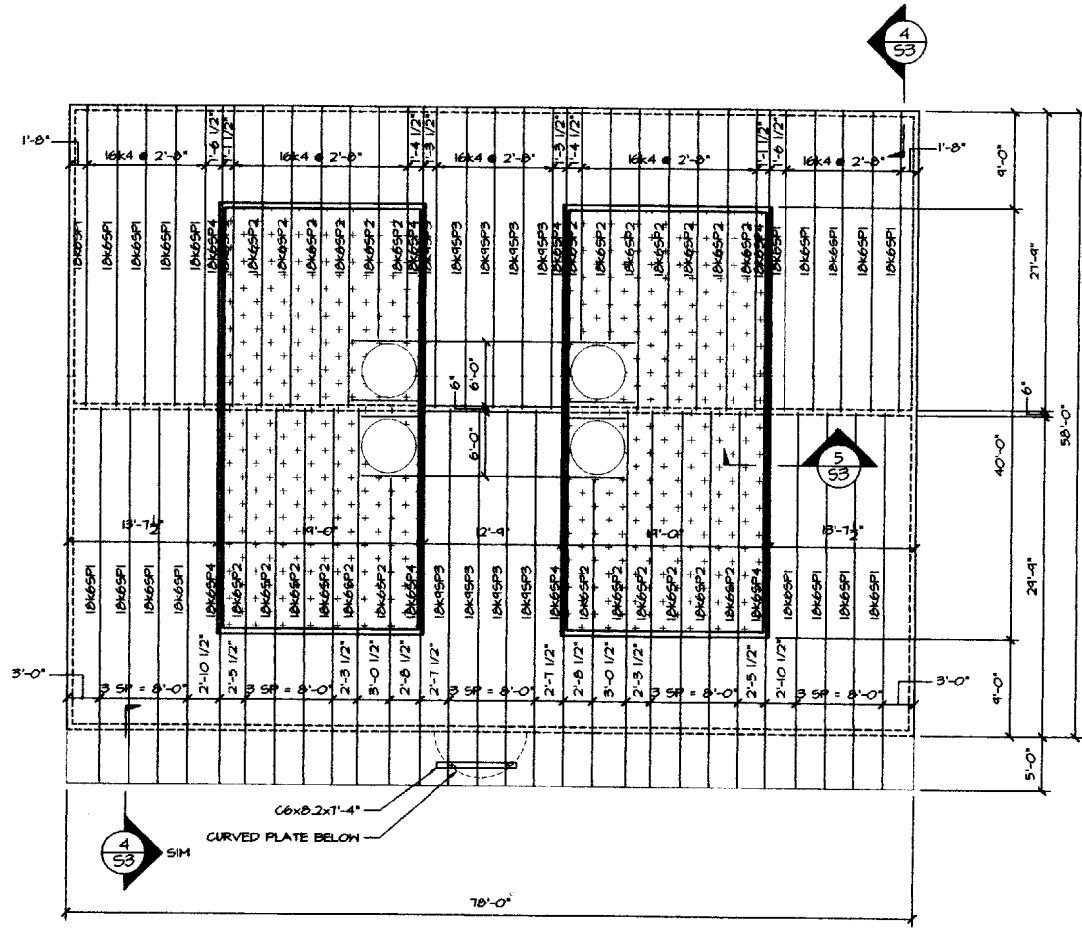
SECTION 3
3/4"=1'-0" S2



SECTION 4
3/4"=1'-0" S3

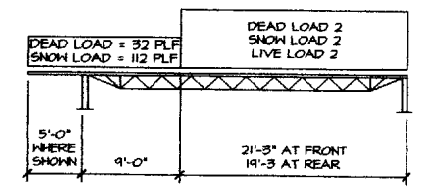


SECTION 5
3/4"=1'-0" S3



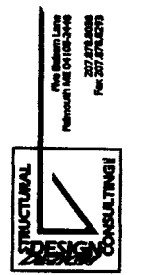
ROOF FRAMING PLAN
1/8"=1'-0"

TOP OF SLAB ELEV. = 42'-9"
ROOF DECK IS 1/16" 22 GAGE GALVANIZED FORM DECK WITH 2 1/2" CONCRETE SLAB AND 6x6 W4x4x1/4 HMF LOCATED 1" FROM TOP AT AREA DESIGNATED BY SHADING.



JOIST MARK	DEAD LOAD 2	SNOW LOAD 2	LIVE LOAD 2
16K6SP1	32 PLF	104 PLF	0
16K6SP2	46 PLF	0	107 PLF
16K9SP3	32 PLF	277 PLF	0
16K6SP4	162 PLF	102 PLF	50 PLF

SPECIAL JOIST LOADING DIAGRAM
1/8"=1'-0"



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Date	Drawn By	Checked By	DATE
8 Oct. 2001	Revitronic		

Roof Framing Plan And Framing Details

S3