

2-1-02

Inspected 1st Fl Right rear walls ok to close in plumbing rough in 01-1383
muj

Old-BOWS

2/8/02 Inspected close in of units 2 & 3 stairs to loft not in place. Called Archetype spoke with Tom, requested copies of special inspections and a memo confirming the as built cold form steel structure is as per plan and will specifically meet loading requirements (D)

2/13/02 Inspected entire bldg. close-in waiting for Special Insp. Reports. First floor plumbing & framing complete ready for sheetrock. No stairways in place (D)

2/22/02 Eng's Reports Received Stairs in place to 2nd floor OK for Close In (D)

4-3-02 handrails - not continuous
Chicken wire-guards
Stairs - 34 1/2" within unit

Utility Room - not taped
fire penetrations -

1st floor left rear - guards - 34 1/2" high

1st flr front left - handrail on stairs

1st flr front right - stairs 35 - 35 1/2" - handrails

areawall above entry door - no access -

1st flr right rear - 34 3/4" width

guardrails - 34 1/2" high

33 3/4" stair width

2nd flr right front - risers on spirals -

All 2nd floor units - risers on spirals.

doors to future decks blocked w/ solid guards on 2nd flr.

COMMENTS

4-4-02 - Units not ready yet

4-8-02 - Units 4+8, 1, 2+6 - OK for temp CO's - all issues corrected.

4-17-02 - Units 7+8 OK for temp CO's - all issues corrected.

Exterior decks not installed yet + DRG issues on temp TM

01-1383
012-B-005

Foundation:

Framing:

Plumbing:

Final:

Other:

Type

Inspection Record

Date

PLUMBING APPLICATION

01A-B-005 # Department of Human Services
 Division of Health Engineering
 (207) 289-3826

PROPERTY ADDRESS

Town Or Plantation: PO 11A-10

Street Subdivision Lot #: 115-141 Anderson

Last: PETER BASS First:

Applicant Name: RAIPH F. BLAKE

Mailing Address of Owner/Applicant (if Different): 511 AUBURN ST
 PORTLAND, ME, 04103

8016

PORTLAND 7905 TOWN COPY

Date Permit Issued: 11/20/01 \$ 300 Double Fee FEE Charged

Local Plumbing Inspector Signature: _____ L.P.I. # 0640

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a permit.

Signature of Owner/Applicant

Date 11/20/01

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved 4/17/02

PERMIT INFORMATION

This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type Of Structure To Be Served: 1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input checked="" type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>101890</u>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Type of Fixture		Column 1 Type of Fixture	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system.		Hosebibb / Sillcock	8	Bathtub (and Shower)
	1	Floor Drain		Shower (Separate)
		Urinal	8	Sink
		Drinking Fountain	8	Wash Basin
		Indirect Waste	8	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	8	Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator	
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
Number of Hook-Ups & Relocations		Other: _____	8	Water Heater
\$ Hook-Up & Relocation Fee		Fixtures (Subtotal) Column 2	48	Fixtures (Subtotal) Column 1
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE				
			1	Fixtures (Subtotal) Column 2
			49	Total Fixtures
			\$ 300	Fixture Fee
			\$	Hook-Up & Relocation Fee
			\$	Permit Fee (Total)

INDEPENDENT ROOF SERVICES, INC.



589 Lawrence Road ♦ Fownal, Maine 04059
Phone 207-688-4770 ♦ Fax 207-688-4799 ♦ Email wbarsch1@maine.rr.com

July 1, 2002

Mr. David Lloyd
Archetype, P.A.
48 Union Wharf
Portland, Maine 04101

RE: EAST BAYSIDE STUDIOS
145 ANDERSON STREET
PORTLAND, MAINE

012 B 005

Dear Dave:

Based on my inspection of the Quonset huts today during a water spray test, the water is coming through both the end laps and side laps. I feel that the spray test was a fair simulation of a hard wind driven rain.

The best way to stop these leaks would be to have all end and side laps sealed with TopCoat (a liquid roofing membrane) or similar liquid applied flexible roofing membrane designed for repairs to metal roofing systems.

I was asked if POLAROOF was equal to TopCoat. I called Construction Products of Scarborough. I got a web site address (www.andek.com) and compared the technical data of both products. The physical properties that, in my opinion, are critical are tensile strength, elongation and low temperature flexibility. The physical properties of the POLAROOF meet or exceed those of TopCoat. TopCoat's web site is www.topcoat.com. I have no history with Andek, but based on a cursory review of their web site, it is a similar product.

Please call with any questions or comments.

Very truly yours,
Independent Roof Services, Inc.


Walter E. Barschdorf, Pres.

October 8, 2002

Mike Nugent
Manager of Inspection Services
City Hall
389 Congress Street
Portland, ME 04101

Re: East Bayside Studios, 145 Anderson Street, Portland, ME

Dear Mr. Nugent,

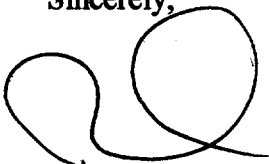
012 B 005

This letter is to establish that to the best of my knowledge and belief the corrective measures taken on the metal roofing system on the above mentioned job meet the intent of Section 1505 Performance Requirements in the Boca Code.

Attached, for your information, to this letter is a copy of the report from our Roofing Consultant, Walter Barschdorf and the approved proposal from Perma Roofing.

Please call with any questions.

Sincerely,



David Lloyd
Architect

cc:

Peter Haber
Peter Bass

0123003
PROPOSAL



COMMERCIAL - INDUSTRIAL

SUBMITTED TO:

East Bayside Condominium Assoc.
145 Anderson St.
Portland, ME 04101

DATE: August 7, 2002

NUMBER: 02-114

JOB: Roof Coating Approx. 8,000 sf

LOCATION: 145 Anderson St.

Portland, ME

Specifications:

We hereby submit specifications and estimate for materials, labor, equipment, insurance, and supervision necessary to complete the scope of work outlined below.

- Tighten existing loose fasteners, replace missing fasteners and make minor repairs as required for installation of new roof coating.
- Pressure wash entire field of existing metal roof.
- Seal horizontal seams or end laps using TOPCOAT flashing grade mastic and 6" reinforced fabric, all vertical seams using flashing grade mastic and encapsulate all fasteners using fastener grade mastic.
- Detail all roof penetrations and transitions using flashing grade mastic and reinforcing fabric as required to create a watertight condition.
- Spray apply one coat of TOPCOAT roof membrane at a rate to achieve 24 wet mils for a five year warranty.
- Complete clean-up of all debris associated with this phase of work.
- Furnish to owner manufacturer's (TOPCOAT) standard five year material and labor warranty upon completion and acceptance.

We propose to furnish labor and material in accordance with the above specification for the sum of \$18,300.

NOTE: Warranty may be extended for an additional five years, prior to expiration of original 5 year warranty, by cleaning and application of another surface coat of TOPCOAT Roofing Membrane.

Payment terms: 1/2 upon acceptance of proposal, Balance upon completion. 1.5% per month (18% per annum) shall be charged on any amount past due.

All material to be as specified. All work to be completed in a workmanlike manner in accordance with standard trade practice. Any alteration or deviation from above specification involving additional cost shall become an extra charge over and above this estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. Owner is to carry fire, tornado and other necessary insurance.

Our workers are fully covered by worker's compensation insurance.

Authorized Signature

William H. Chase, President

This proposal may be withdrawn if not accepted within 30 days.

Acceptance of proposal:

The above price, specifications and conditions are satisfactory and are hereby accepted. You are authorized to proceed with the work as specified. Payment will be made as outlined above.

Date of acceptance: _____

Authorized Signature: _____

Title: _____



COMMERCIAL - INDUSTRIAL

November 1, 2002

Jodine Adams
City of Portland
389 Congress St.
Portland, ME 04101

Dear Jodine:

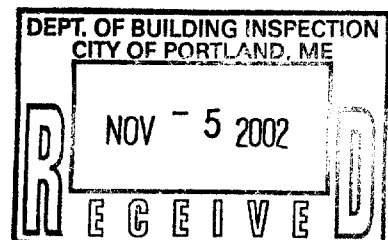
Please find enclosed a copy of the East Bayside Condominium Association contract and a sample of the TopCoat warranty.

If you have any other questions please don't hesitate to call.

Best regards,

A handwritten signature in cursive script that reads "Wendy".

Wendy Plourde
Bookkeeper





PROPOSAL

COMMERCIAL - INDUSTRIAL

SUBMITTED TO:

East Bayside Condominium Asso.
145 Anderson St.
Portland, ME 04101

DATE: August 31, 2002
NUMBER: 02-114A
JOB: Roof Coating Approx. 6,000 sf
LOCATION: 145 Anderson St.

Portland, ME

Specifications:

We hereby submit specifications and estimates for materials, labor, equipment, insurance, and supervision necessary to complete the scope of work outlined below:

- Tighten existing loose fasteners, replace missing fasteners and make minor repairs as required for installation of new roof coating.
- Pressure wash entire field of existing metal roof.
- Seal horizontal seams or end laps using TOPCOAT flashing grade mastic and 6" reinforced fabric; all vertical seams using flashing grade mastic and encapsulate all fasteners using fastener grade mastic.
- Detail all roof penetrations and transitions using flashing grade mastic and reinforcing fabric as required to create a watertight condition.
- Spray apply two coats of TOPCOAT roof membrane at the required rate for a ten year warranty.
- Complete clean-up of all debris associated with this phase of work.
- Furnish to owner manufacturer's (TOPCOAT) standard ten year material and labor warranty upon completion and acceptance.

We propose to furnish labor and material in accordance with the above specification for the sum of:

Payment terms: 1/2 upon acceptance of proposal; Balance upon completion. 1.5% per month (18% per annum) shall be charged on any amount past due.

All material to be as specified. All work to be completed in a workmanlike manner in accordance with standard trade practice. Any alteration or deviation from above specification involving additional cost shall become an extra charge over and above this estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. Owner is to carry fire, tornado and other necessary insurance.

Our workers are fully covered by worker's compensation insurance.

Authorized Signature: William H. Chase
William H. Chase, President

This proposal may be withdrawn if not accepted within 30 days

Acceptance of proposal:

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to proceed with the work as specified. Payment will be made as outlined above.

Date of acceptance: 9/5/02

Authorized Signature: [Signature]
Title: _____





10 YEAR LIMITED WARRANTY

OWNER _____

NAME AND TYPE OF BUILDING _____

ADDRESS OF BUILDING _____

AREA OF ROOF _____ SQ. FEET _____ SPECIFICATION _____

LINEAL FEET OF FLASHING _____ TYPE OF FLASHING _____

ROOFING APPLICATOR: _____

NAME _____ TELEPHONE NO. _____

DATE OF COMPLETION _____ ADDRESS _____

DATE OF EXPIRATION _____

SPECIMEN

LIMITED WARRANTY

GAF Materials Corporation warrants to you, the original owner of its TOPCOAT® roofing product(s), that GAFMC will reimburse you in accordance with this warranty if your TOPCOAT roofing product(s) contains a manufacturing defect that adversely affects its performance. This warranty extends for 10 years starting at completion of proper installation. THIS WARRANTY IS NOT TRANSFERABLE and terminates if the building is sold or transferred. This warranty is in effect only for the products listed below.

EXCLUSIVE REMEDY

For any portion of your TOPCOAT membrane that allows leaking as a result of a manufacturing defect, GAFMC will provide you with replacement product, EXCLUDING labor and any costs involved with repairing or replacing the underlaying roof structure. Decisions as to the extent of repair or replacement required will be made solely by GAFMC. The remedy under this warranty is available only for that portion of the TOPCOAT membrane actually exhibiting defects at the time of settlement. The replacement TOPCOAT membrane, as well as any remaining original TOPCOAT membrane, will be warranted only for the remainder of the original warranty period.

LIMITATIONS OF COVERAGE

GAFMC will NOT be liable for and this Warranty does NOT cover:

1. Damages to your TOPCOAT roofing product(s) resulting from anything other than an inherent manufacturing defect in your TOPCOAT roofing product(s), such as:
 - a. Faulty application or application not in strict accordance with TOPCOAT's printed application instructions
 - b. Exposure of the TOPCOAT roofing product(s) to damaging substances, such as chemicals, oils or solvents
 - c. Settlement, movement or defects in the building, walls, foundation, roof deck, or material used as a roof base over which the TOPCOAT roofing product(s) were applied
 - d. Defects in the design of the building or roofing system, including inadequate drainage (ponding water)
 - e. Improper or inadequate maintenance of the roof
 - f. Any changes in the color of the TOPCOAT roofing product(s), including, but not limited to, fading
2. Damage to the TOPCOAT roofing product(s) resulting from causes beyond normal wear and tear such as:
 - a. Unusual weather conditions or natural disasters and acts of God, including, but not limited to, floods, lightning, hail, windstorms, tornados and earthquakes, or
 - b. Improper storage or handling of TOPCOAT roofing products

3. Labor costs

OWNER'S RESPONSIBILITIES

In the event of a leak caused by manufacturing defects or ordinary wear and tear, you must notify GAFMC in writing and provide proof of purchase and application date to establish that you are the original owner to: GAFMC, Contractor Services, 1361 Alps Road, Bldg. 11, Wayne, NJ 07470 within 30 days after your discovery of the leak. NOTE: Notice to your contractor or dealer is NOT notice to GAFMC. Within a reasonable time after proper notification, GAFMC will evaluate your claim and resolve it in accordance with the terms of this Warranty. GAFMC may require you to submit, at your expense, sample TOPCOAT membrane for testing and photographs. You should retain this certificate as well as product name and lot numbers from the bucket for your records in the event you need to file a claim.

NON-ASSIGNABILITY

The limited warranty is NOT TRANSFERABLE OR ASSIGNABLE in any manner.

SOLE AND EXCLUSIVE WARRANTY

THIS WARRANTY IS EXCLUSIVE AND REPLACES ALL OTHER WARRANTIES, WHETHER EXPRESS OR IMPLIED, INCLUDING THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. This written warranty is your exclusive warranty from GAFMC and represents the SOLE REMEDY available to any owner of TOPCOAT membrane. GAFMC makes NO OTHER REPRESENTATIONS OR WARRANTY of any kind other than that stated herein. GAFMC WILL NOT BE LIABLE IN ANY EVENT FOR CONSEQUENTIAL, INDIRECT OR INCIDENTAL DAMAGES OF ANY KIND, including DAMAGE TO THE INTERIOR OR EXTERIOR OF ANY BUILDING, whether for breach of this warranty, negligence, strict liability in tort, or for any other cause. Some states do not allow the exclusion or limitation of incidental or consequential damages so the above exclusions or limitations may not apply to you.

MODIFICATION OF WARRANTY

This Limited Warranty may not be changed or modified. No one, including any representative or employee of GAFMC, has authority to assume any additional liability or responsibility for GAFMC in connection with your TOPCOAT membrane except as described in this Warranty. This Warranty gives you specific legal rights, and you may have other rights which vary from state to state.

EFFECTIVE DATE

This Limited Warranty is effective for TOPCOAT membrane installed within the continental United States and Hawaii after May 01, 2002.

TO: Inspections

FROM: Jay Reynolds, Development Review Coordinator

DATE: July 24, 2002

RE: C. of O. for # 145 Anderson Street Lead
CBL (012-B-005) ID# (2001-0092)

After visiting # 145 Anderson Street, I have the following comments:

Site work complete.

At this time, I recommend issuing a permanent Certificate of Occupancy.

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
file

File: O:\drc\145anderson2.doc



Certificate of Occupancy

LOCATION 145 Anderson St CBL 012 B005001

Issued to Random Orbit Llc /Wright Ryan Construction, Inc Date of Issue 11/05/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-1383, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

8 Condominium Units
Use R-2 Type 5A
BOCA 1999

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

11/05/02

(Date)

Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

[Handwritten initials]
11/05/02



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

145 Anderson St

CBL 012 B005001

LOCATION

Issued to Random Orbit Llc /Wright Ryan Construction, Inc

Date of Issue 04/08/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-1383, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

first floor left front unit

APPROVED OCCUPANCY

condominium unit # 1
Use R-2 Type 5A
BOCA 1999

Limiting Conditions: Temporary - Expires June 30, 2002 - Area above utilities space accessible from this unit is NOT to be used as habitable space. See attached memo from the Dev. Review Coord.

This certificate supersedes certificate issued

Approved:
4/8/02
(Date)

[Signature]
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

[Handwritten note]



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 145 Anderson St

CBL 012 B005001

Issued to Random Orbit Llc /Wright Ryan Construction, Inc

Date of Issue 04/08/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-1383, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

first floor right front unit

APPROVED OCCUPANCY

condominium unit # 2
Use R-2 Type 5A
BOCA 1999

Limiting Conditions: Temporary - Expires June 30, 2002 - Area above Entry Lobby accessible from this unit is NOT to be used as habitable space. See attached memo from the Dev. Review Coord.

This certificate supersedes certificate issued

Approved:

4/8/02 [Signature]
(Date) Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

04/09/02 [Signature]



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 145 Anderson St CBL 012 B005001

Issued to Random Orbit Llc /Wright Ryan Construction, Inc Date of Issue 04/18/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-1383, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORION OF BUILDING OR PREMISES

first floor right rear unit

APPROVED OCCUPANCY

condominium unit # 3
Use R-2 Type 5A
BOCA 1999

Limiting Conditions: Temporary - Expires June 30, 2002 - See attached memo from the Dev. Review Coord.

This certificate supersedes certificate issued

Approved:

4/17/02 [Signature]
(Date) Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

MAA 4/18/02



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 145 Anderson St CBL 012 B005001

Issued to Random Orbit Llc /Wright Ryan Construction, Inc Date of Issue 04/08/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-1383, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

second floor right front unit

APPROVED OCCUPANCY

condominium unit # 6
Use R-2 Type 5A
BOCA 1999

Limiting Conditions: Temporary - Expires June 30, 2002 - Guards must remain on sliding doors until decks are installed on the exterior of the building. See attached memo from the Dev. Review Coord.

This certificate supersedes certificate issued

Approved:

4/8/02 *[Signature]*
(Date) Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Handwritten notes: out of...



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 145 Anderson St CBL 012 B005001

Issued to Random Orbit Llc /Wright Ryan Construction, Inc Date of Issue 04/18/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-1383, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES
second floor left rear unit

APPROVED OCCUPANCY
condominium unit # 7
Use R-2 Type 5A
BOCA 1999

Limiting Conditions: Temporary - Expires June 30, 2002 - Guards installed on slider must remain until decks are installed on the exterior. See attached memo from the Dev. Review Coord.

This certificate supersedes certificate issued

Approved: 4/17/02 [Signature]
(Date) Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

WTD
4/15/02



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 145 Anderson St

CBL 012 B005001

Issued to Random Orbit Llc /Wright Ryan Construction, Inc

Date of Issue 04/08/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-1383, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

first floor left rear unit
second floor right rear unit

APPROVED OCCUPANCY

condominium unit # 4 & 8
Use R-2 Type 5A
BOCA 1999

Limiting Conditions: Temporary - Expires June 30, 2002 - Guards installed on slider in unit # 8 must remain until decks are installed on the exterior. See attached memo from the Dev. Review Coord.

This certificate supersedes certificate issued

Approved:

4/8/02
(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Handwritten initials and notes in the bottom left corner.



Certificate of Occupancy

LOCATION 145 Anderson St

CBL 012 B005001

Issued to Random Orbit Llc /Wright Ryan Construction, Inc

Date of Issue 04/04/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-1383 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

second floor left front unit

APPROVED OCCUPANCY

condominium unit # 5
Use R-2 Type 5A
BOCA 1999

Limiting Conditions:

Temporary - Expires June - Guards must remain on sliding doors until decks are installed on the exterior of the building.

This certificate supersedes certificate issued

Approved:

4/5/02
(Date)

[Handwritten Signature]
Inspector

[Handwritten Signature]
Inspector of Buildings

[Handwritten initials]
04/05/02 JK 04/05/02

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.