10-H-005001

122-122 Anderson St, Portland, Maine

Container Storage Area

Anderson Street Realty LLC

299 Forest Ave, Portland, ME 04101

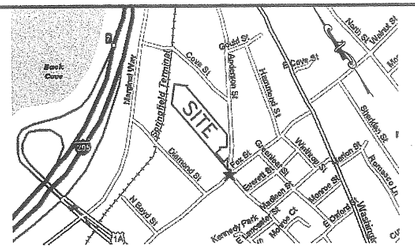
LEGEND

EXISTING

- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- CURB
- GAS LINE
- SANITARY SEWER
- OVERHEAD UTILITY
- WATER LINE
- CATCH BASIN
- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MONITORING WELL
- WELL
- RAILROAD TRACKS
- CONCRETE PAVEMENT

PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- CONTOURS
- LIGHT POLE
- SIGN
- SURFACE DRAINAGE
- SILT FENCE
- PLANTS



LOCATION PLAN SCALE: 1"=600'±

NOTE:
FINAL LAYOUT OF LANDSCAPE SCREENING TO BE COORDINATED WITH PORTLAND FORESTRY DEPARTMENT PRIOR TO COMPLETION OF CONSTRUCTION

PLANT LIST

(A 12 = SYMBOL / QUANTITY)

SYMBOL	COMMON NAME/BOTANICAL NAME	SIZE	QUANTITY	ROOT
A	ARBORVITAE / thuja occidentalis 'Nigra'	6' tall	5	B4B
B	WEIGELA / weigela florida 'Red Prince'	4-5' tall	2	B4B

ZONING REQUIREMENTS

ZONE I-Lb: INDUSTRIAL ZONE

MINIMUM LOT SIZE:	NONE
MAXIMUM IMPERVIOUS SURFACE RATIO:	100%
MAXIMUM BUILDING HEIGHT:	45 FEET
MINIMUM YARD DIMENSIONS:	
SIDE	NONE (25 FT IF ABUTING RESIDENTIAL)
REAR	NONE (25 FT IF ABUTING RESIDENTIAL)
FRONT	NONE
MINIMUM LOT WIDTH (STREET FRONTAGE):	60 FEET

CITY OF PORTLAND SITE PLAN

1. LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
6. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
7. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
8. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL, GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

GENERAL NOTES

1. OWNER: ANDERSON STREET REALTY, LLC, 299 FOREST AVENUE, PORTLAND MAINE. CUMBERLAND COUNTY REGISTRY OF DEEDS BK. 24689, PG. 111, DATE DEC. 22 2006.
2. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
3. TOPOGRAPHIC AND BOUNDARY INFORMATION: "BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN AT 122 ANDERSON STREET, PORTLAND, MAINE" FOR CARDENTE REAL ESTATE BY BACK BAY BOUNDARY, INC. LAND SURVEYING, 643 FOREST AVENUE PORTLAND, MAINE. PLAN DATED JUNE 19, 2007, DATE OF SURVEY 05/31/07.
4. UNDERLYING SOILS ARE CLASSIFIED AS AU (AU GRES), A LOAMY SAND, BY SOIL CONSERVATION STUDY OF CUMBERLAND COUNTY.
5. ZONE: INDUSTRIAL I-Lb, PROPOSED USE: INTERMODAL CONTAINER STORAGE, REPAIR SERVICE, DISTRIBUTION CENTER, BACK OFFICE USE.
6. TAX MAP REFERENCE: MAP 10, BLOCK H, LOTS 5 & 8 AND MAP 12, BLOCK N, LOT 1.
7. TOTAL PARCEL = 2.10 acres
8. WAIVERS: NONE REQUESTED AT THIS TIME.
9. CALL DIG-SAFE PRIOR TO COMMENCING WORK, 1-800-DIG-SAFE.
10. POWER, TELEPHONE AND CABLE ARE EXISTING, NO CHANGES ARE PLANNED TO THE SERVICES.
11. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPS" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.
12. THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DE MINIMIS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
13. PROSED USE FOR EXISTING BUILDINGS ON THE PROPERTY WILL BE REPAIR SERVICES, DISTRIBUTION CENTER, AND BACK OFFICE USE.
14. NO REMOVAL OF ON-SITE MATERIAL IS PERMITTED.
15. DRAWINGS INCLUDED IN THIS SUBMITTAL:
    - C1.1 SITE PLAN
    - C1.2 DETAILS
    - C1.3 STORAGE/PARKING LAYOUT
    - D1.0 DRAINAGE ANALYSIS EXITING CONDITION PRIOR TO 2005
    - D1.1 DRAINAGE ANALYSIS DEVELOPED CONDITION
    - BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN
16. ALL CONTAINERS STORED ON SITE SHALL BE PROPERLY LABELED FOR HAZARDOUS MATERIALS. CONTAINER PLACEMENT ON SITE IS TO ALLOW FOR FIRE DEPARTMENT ACCESS.

REV.	DATE	DESCRIPTION
2	2/21/08	REV'D PER REVIEW COMMENTS
1	12/21/07	REV'D PER REVIEW COMMENTS

STATE OF MAINE — JEFFREY T. READ No. 9119 — LICENSED PROFESSIONAL ENGINEER — 6.17.08

PINKHAM & GREER — CONSULTING ENGINEERS FALMOUTH, MAINE

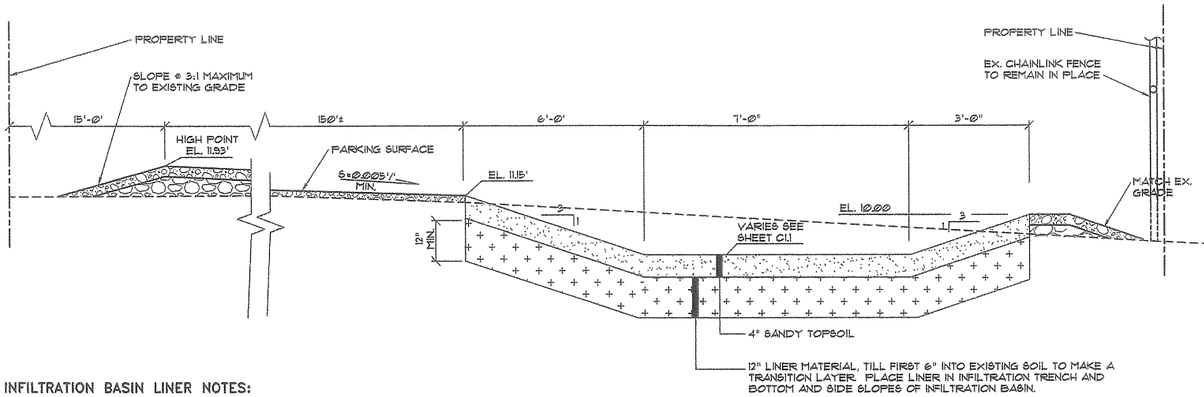
CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

SITE PLAN

SCALE:	AS SHOWN	DRN BY:	JDC
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	JTR

C1.1

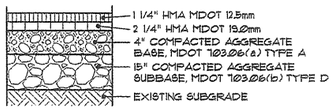


INFILTRATION BASIN LINER NOTES:

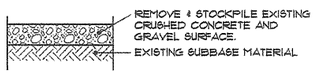
1. LINER MATERIAL TO BE COARSE SAND OR PEA GRAVEL BLENDED WITH SILTY SOILS WITH A PERMEABILITY RATE BETWEEN 0.50 IN/HR AND 2.41 INCHES PER HOUR.
2. PERMEABILITY TESTS WILL BE REQUIRED ON EACH STOCKPILE BEFORE PLACING LINER. ASSUME MULTIPLE TESTS AND BLENDS TO ACHIEVE THE DESIGN PERMEABILITY

1 SITE CROSS-SECTION

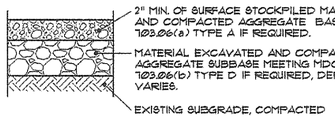
NOT TO SCALE



PROPOSED PAVEMENT FINISH SURFACE



EXISTING GRAVEL SURFACE PREPARATION



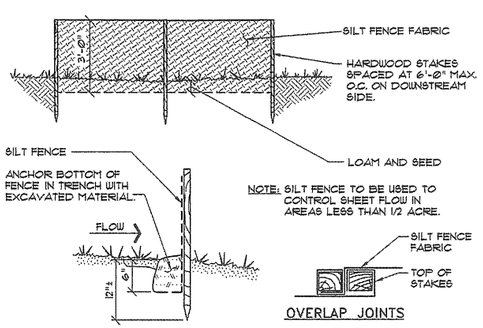
FINISH GRAVEL SURFACE

NOTES:

1. NO REMOVAL OF ON-SITE MATERIAL IS PERMITTED.
2. HMA = HOT MIX ASPHALT
3. MDOT = MAINE DEPARTMENT OF TRANSPORTATION.
4. ALL COURSE THICKNESS AFTER FINAL COMPACTION.

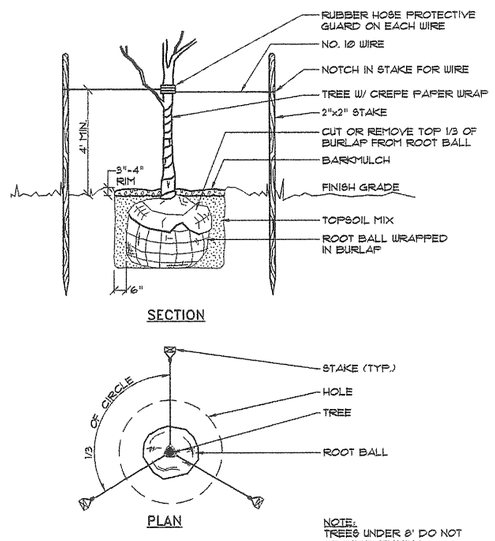
2 PARKING SURFACE DETAILS

NOT TO SCALE



4 SILT FENCE DETAIL

NOT TO SCALE



3 TREE PLANTING DETAIL

NOT TO SCALE

EROSION CONTROL NOTES

GENERAL:

THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:

1. SOIL EROSION IS KEPT TO A MINIMUM.
2. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
3. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPS PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
3. LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
4. INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILT FENCES AND STONE CHECK DAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
5. PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
6. APPLY MULCH TO BARE SOILS WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, OR PRIOR TO ANY WORK SHUTDOWN LASTING MORE THAN ONE DAY.
7. TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
8. MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
   - THE BASE OF GRASSED WATERWAYS
   - SLOPES STEEPER THAN 15%
   - WITHIN 100 FT. OF STREAMS AND WETLANDS

   BETWEEN OCT. 1 AND APRIL 14 USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
   - SIDE SLOPES OF GRASSED WATERWAYS
   - SLOPES STEEPER THAN 8%
9. INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125BN.
10. FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
11. PLACE AND GRADE LOAM IN A REASONABLY UNIFORM MANNER. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEED BED IS PREPARED. REMOVE FROM SURFACE ALL STONES LARGER THAN 2" AND ALL OTHER UNSUITABLE MATERIAL. LIME AND FERTILIZER SHOULD BE MIXED INTO SOIL PRIOR TO ROLLING EXCEPT IF INCLUDED IN HYDROSEED MIXTURE.
12. ALL CULVERT OR PIPE CUTFALL PROTECTION MUST BE INSTALLED WITHIN 48 HOURS OF INSTALLING NEW PIPE OR CULVERT.
13. DITCHES AND CHANNELS DESIGNATED TO BE LINED WITH RIPRAP AND/OR EROSION CONTROL MESH MUST BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR CHANNEL.
14. ALL CATCH BASINS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED BY INSTALLING AND MAINTAINING SILT SACKS DURING CONSTRUCTION.

TOPSOIL:

1. SUITABLE TOPSOIL SALVAGED FROM SITE OR SCREENED, LOOSE AND FRIABLE SANDY LOAM OR LOAM AS DEFINED BY THE USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM, FREE FROM ADMIXTURE OF SUBSOIL, REFUSE, LARGE STONES, CLODS, ROOTS, WEEDS, RHIZOMES OR OTHER UNDESIREABLE FOREIGN MATTER AS DETERMINED BY THE INSPECTING AUTHORITY. CONTRACTOR SHALL SUBMIT REPORTS OF LOAM TEST RESULTS PERFORMED BY AN INDEPENDENT TESTING LABORATORY FOR TOPSOIL FROM DIFFERENT SOURCES PRIOR TO PLACING. THE COST OF TESTING SHALL BE INCIDENTAL TO THE COST OF TOPSOIL. TOPSOIL SHALL MEET THE FOLLOWING SPECIFICATIONS:
2. MATERIAL

   SAND - 0.08 IN. TO 0.002 IN. DIAMETER (% BY VOLUME).....45 - 75
   SILT - 0.002 IN. TO 0.00008 IN. DIAMETER (% BY VOLUME).....20 - 40
   CLAY - LESS THAN 0.00008 IN. DIAMETER (% BY VOLUME).....5 - 15

   ORGANICS (SHALL MEET THE REQUIREMENTS OF MDOT STANDARD SPECIFICATION 717.09 PEAT HUMUS) (% BY VOLUME) 10 - 20 .

   NUTRIENTS:
   CALCIUM (CA) (% SATURATION).....60 - 80
   MAGNESIUM (MG) (% SATURATION).....10 - 25
   POTASSIUM (K) (% SATURATION).....2.1 - 3.0
   PHOSPHORUS (P) (POUNDS/ACRE).....10 - 40
   PH.....6.0 - 6.5

   PERMEABILITY (INCHES PER HOUR).....3 - 10

   MAXIMUM STONE SIZE (INCHES).....3/4

SEEDING:

USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RESEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 717.03(a) METHOD NUMBER 3

TEMPORARY SEED:

OATS	80.00 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	40.00 LBS/ACRE	
SUDANGRASS	40.00 LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	80.00 LBS/ACRE	5/15 - 9/14
WINTER RYE	112.00 LBS/ACRE	9/15 - 9/30
WINTER RYE (W/ MULCH COVER)	112.00 LBS/ACRE	10/01 - 3/31

LIME AND FERTILIZER:

APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 POUNDS PER 1000 SQUARE FEET). APPLY FERTILIZER (10-20-20) AT A RATE OF 800 POUNDS PER ACRE (18.4 POUNDS PER 1000 SQUARE FEET).

MULCH:

STRAW OR HAY (ANCHORED)	70 - 90 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	185 - 275 LBS	WINDY AREAS
SHREDDED OR CHOPPED	185 - 275 LBS	
JUTE MESH	AS REQUIRED	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES
EXCELSIOR MAT	AS REQUIRED	

MULCH ANCHORING

PEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK

SUGGESTED SEQUENCE OF CONSTRUCTION TO CONTROL EROSION:

THIS SEQUENCE OF CONSTRUCTION IS A GENERAL GUIDE TO THE CONTRACTOR. ACTUAL CONSTRUCTION PRACTICES WILL DICTATE VARIATIONS IN THE ORDER OF MAJOR EVENTS.

1. INSTALL ALL PERIMETER SILT FENCE.
2. INSTALL AND PROTECT UNDERDRAIN SOIL FILTER AND STORM DRAINAGE SYSTEM.
3. STRIP AND STOCKPILE ON-SITE GRAVEL SURFACE.
4. BEGIN EARTHWORK FOR PARKING AREA.
5. ROUGH GRADE PARKING AREA.
6. FINE GRADE PARKING AREA.
7. RESEED OR TEMPORARILY SEED ANY GRASS AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
8. UNDISTURBED FOR MORE THAN 14 DAYS.
9. CLEAN UNDERDRAIN SOIL FILTER AND STORM DRAIN SYSTEM OF CONSTRUCTION SEDIMENTATION.
10. COMPLETE FINE GRADING PARKING AREAS.
11. REMOVE TEMPORARY SOIL EROSION MEASURES.

REV.	DATE	DESCRIPTION
2	2/21/08	REV'D PER REVIEW COMMENTS
1	12/21/07	REV'D PER REVIEW COMMENTS

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

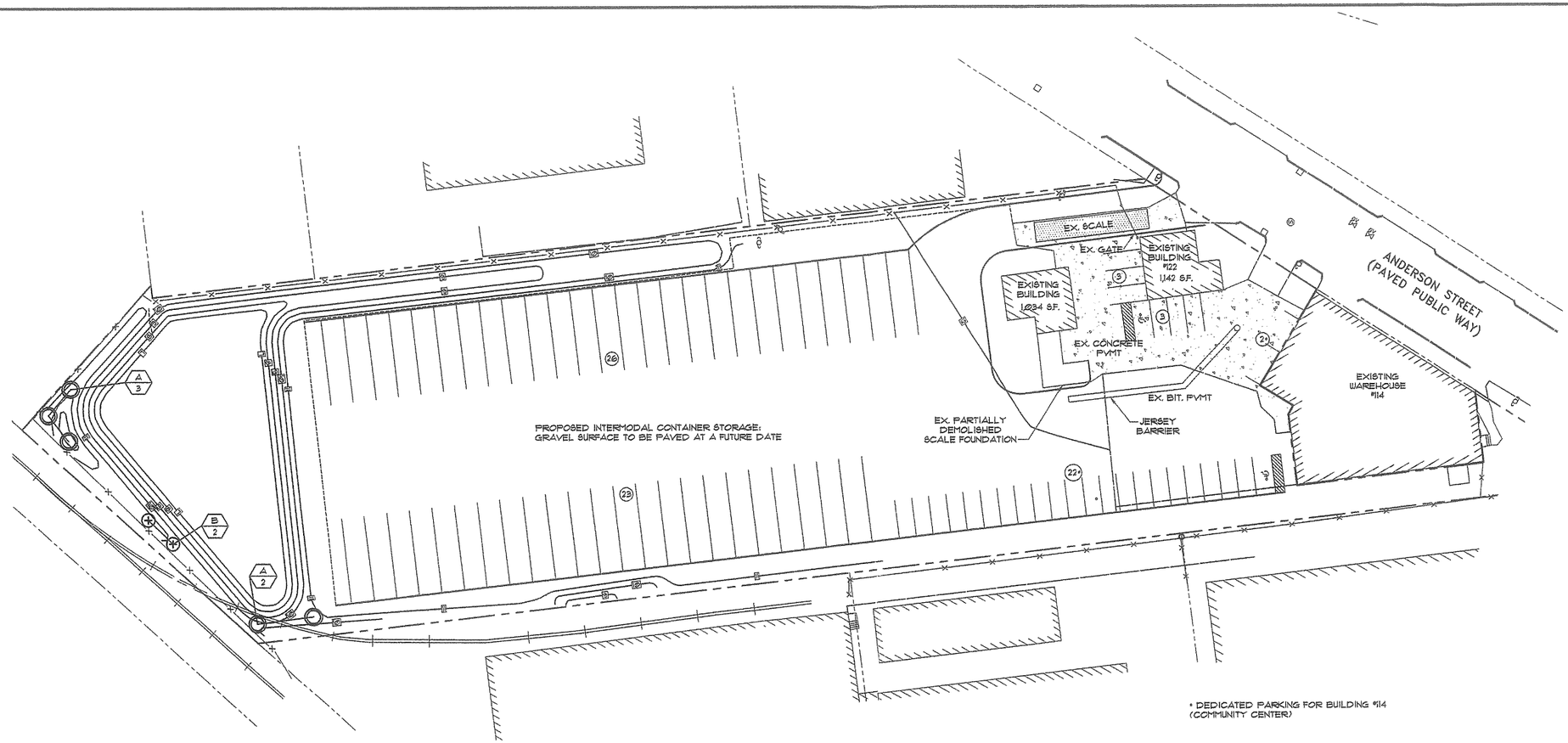
PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

STATE OF MAINE
JEFFREY T. READ
No. 9119
REGISTERED PROFESSIONAL ENGINEER
6.19.08

DETAILS

SCALE:	AS SHOWN	DRN BY:	JDC
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	JTR

C1.2



NOTE: PROSED USE FOR EXISTING BUILDINGS ON THE PROPERTY WILL BE REPAIR SERVICES, DISTRIBUTION CENTER, AND BACK OFFICE USE.

STORAGE/PARKING

TYPE	QUANTITY
PARKING (9' x 20')	29
INTERMODAL CONTAINER STORAGE (12' x 45')	48
HANDICAPPED	2

NOTE:
INTERNAL VEHICLE CIRCULATION.
DESIGNED TO ACCOMADATE WB-40 VEHICLES.

LEGEND

EXISTING

- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- BUILDING
- CURB
- CATCH BASIN
- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
- IPF — IRON PIPE FOUND
- IPS — IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MW-1 — MONITORING WELL
- WELL
- RAILROAD TRACKS
- CONCRETE PAVEMENT

PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- 12 — CONTOURS
- LIGHT POLE
- SIGN
- HANDICAP PARKING

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

REV.	DATE	DESCRIPTION

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

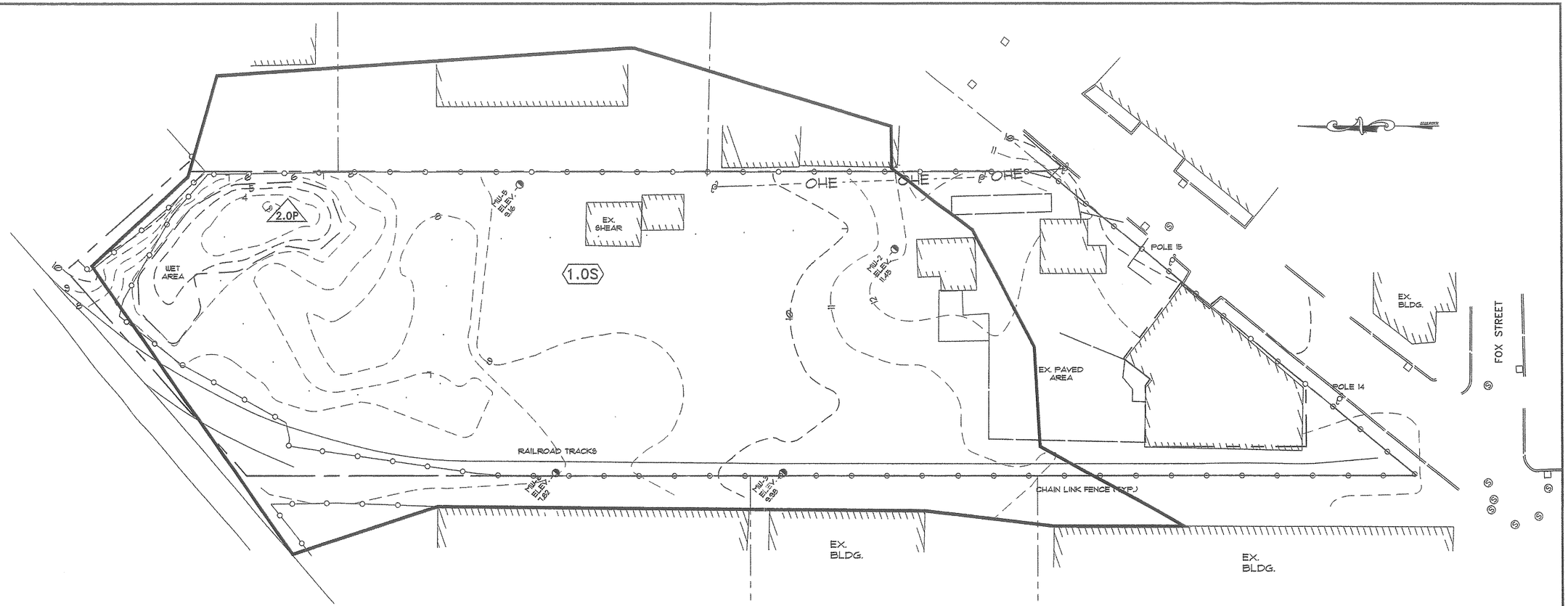
PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

STORAGE/PARKING LAYOUT

STATE OF MAINE — JEFFREY T. READ No. 9118 — LICENSED PROFESSIONAL ENGINEER — 2.17.08

SCALE:	AS SHOWN	DRN BY:	EDM
DATE:	FEBRUARY 20, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	

C1.3



DRAINAGE LEGEND

———	SUBCATCHMENT PERIMETER
10S	SUBCATCHMENT NUMBER
POA #1 ●	POINT OF ANALYSIS
. . . .	TIME OF CONCENTRATION (Tc PATH)
10R	REACH
10P	POND

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

REV.	DATE	DESCRIPTION

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

DRAINAGE ANAYLSIS
EXISTING CONDITION PRIOR TO 2005

STATE OF MAINE
JEFFREY T. READ
No. 9119
REGISTERED PROFESSIONAL ENGINEER
6-17-08

SCALE:	AS SHOWN	DRN BY:	DPD/JTR
DATE:	DECEMBER 21, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	JTR

D1.0

LEGEND

EXISTING

- PROPERTY LINE
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- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
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- GAS LINE
- SANITARY SEWER
- OVERHEAD UTILITY
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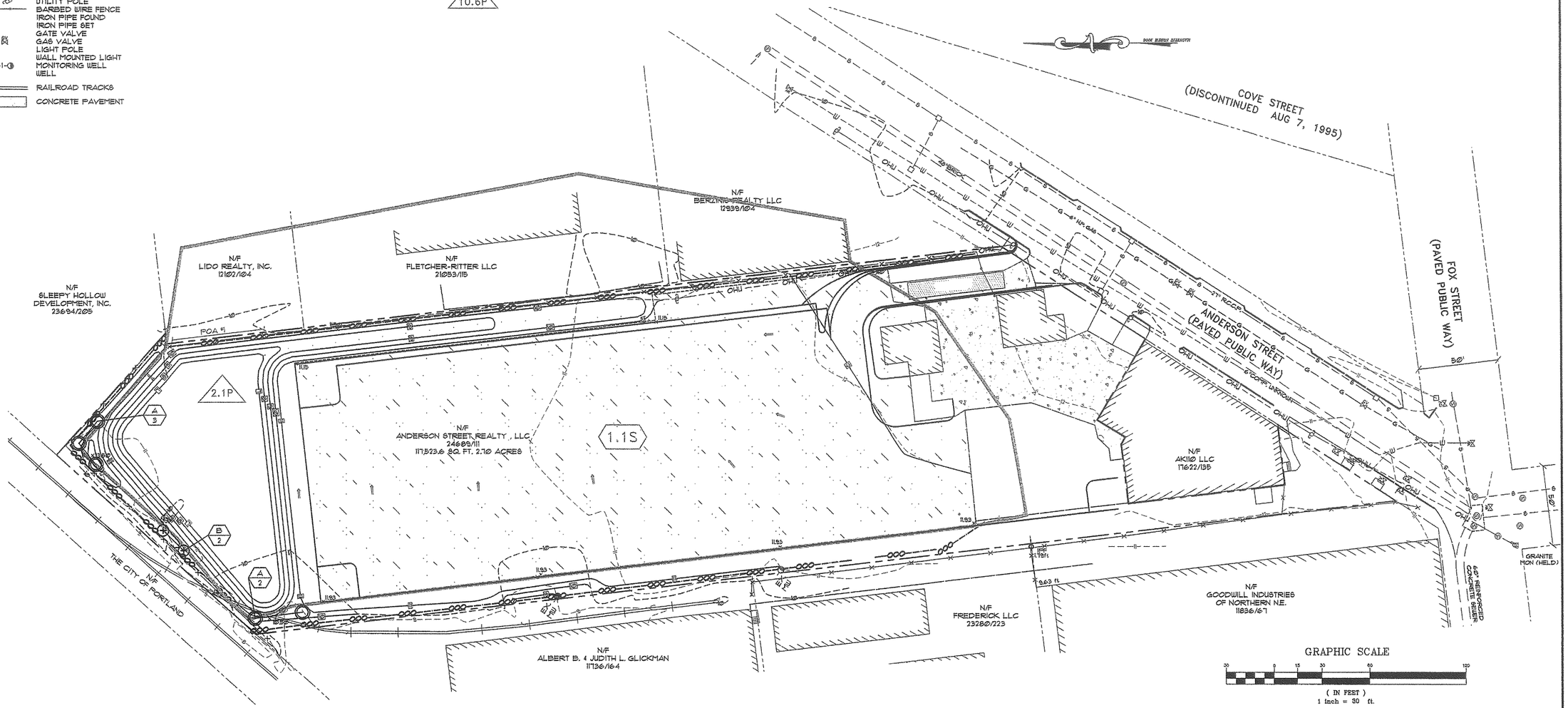
- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- CONTOURS
- LIGHT POLE
- SIGN
- SURFACE DRAINAGE
- SILT FENCE
- PLANTS

DRAINAGE LEGEND

- SUBCATCHMENT PERIMETER
- 10.0S — SUBCATCHMENT NUMBER
- POA #1 — POINT OF ANALYSIS
- TIME OF CONCENTRATION (Tc PATH)
- 10.6P — POND



REV.	DATE	DESCRIPTION
2	2/21/08	REV'D PER REVIEW COMMENTS
1	12/21/07	REV'D PER REVIEW COMMENTS

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

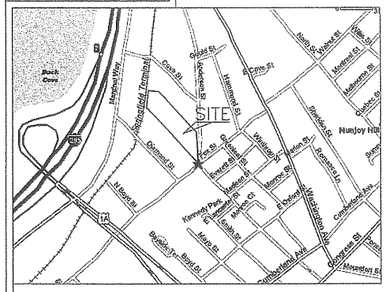
DRAINAGE ANALYSIS
DEVELOPED CONDITION

STATE OF MAINE
JEFFREY T. READ
No. 9116
REGISTERED PROFESSIONAL ENGINEER
6.17.08

SCALE:	AS SHOWN	DRN BY:	DPD
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	JTR

D1.1

SITE LOCATION MAP:



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: ANDERSON STREET REALTY, LLC, BOOK 24689 PAGE 111 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.). PARCEL IS IDENTIFIED BY CITY OF PORTLAND TAX ASSESSORS PLAN NO. XX BLOCK X LOT X.

2. BEARINGS ARE BASED UPON MAINE STATE COORDINATE SYSTEM (2–ZONE PROJECTION), WEST ZONE USING THE NAD1983(HARN) DATUM AND THE U.S. SURVEY FOOT AS THE UNIT OF MEASURE. THIS SURVEY WAS PERFORMED UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND–HELD MAGNETIC COMPASS.
(SEE NOTE 9. BELOW FOR MAINE STATE COORDINATE SYSTEM POINTS USE.)

3. AREA OF SUBJECT PARCEL: 117,523.6 SQ. FT., 2.70 ACRES

4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) STANDARD BOUNDARY SURVEY, FOR TEWKSBURY INDUSTRIES, INC., ANDERSON STREET, PORTLAND, MAINE, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS FILE NO. 5433 PLAN NO. 1198,940801, DATED AUGUST 1994.

b.) PLAN OF RELIEF SEWER ANDERSON STREET, FOX STREET TO MADISON STREET, CITY OF PORTLAND ENGINEERING VAULT DATED MARCH 5, 1960.

c.) AS–BUILT PLAN AND PROFILE OF A 60–INCH REINFORCED CONCRETE PIPE AND OVERFLOW CHAMBER DATED MAY 31, 1961 FROM CITY OF PORTLAND ENGINEERING VAULT DRAWER 488/4. SHOWN IN FOX STREET FROM ANDERSON STREET TO DIAMOND STREET.

d.) AS–BUILT PLAN AND PROFILE OF FOX STREET STATION 10+00 TO 14+00 DATED JANUARY 1992. CITY OF PORTLAND ENGINEERING VAULT DRAWER 942/7.

e.) BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN AT 122 ANDERSON STREET PORTLAND MAINE FOR TFH ARCHITECTS DATED AUGUST 10, 2006 BY BACK BAY BOUNDARY INC. PORTLAND MAINE. UNRECORDED AT THIS TIME.

5. THERE WERE APPARENT EASEMENTS AND RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY:

a.) EXCEPTING AND RESERVING THE RIGHT OF INDUSTRIES, INC., ITS SUCCESSORS AND ASSIGNS, TO LOCATE A SPUR RAILROAD TRACK ACROSS THE NORTHWESTERLY CORNER OF THE LOT, NORTHWESTERLY OF SIDE TRACK NO. 33 AS RELOCATED.

b.) A RIGHT TO MAINTAIN A GASOLINE TANK NEAR THE NORTHEASTERLY LINE OF THE PREMISES, TO THE EXTENT NOW IN FORCE AND APPLICABLE.

c.) THE RIGHT TO MAINTAIN TRACK NO. 33 ACROSS A PORTION OF THE REMAINING LAND OF INDUSTRIES, INC. SITUATED NORTHWESTERLY OF SAID FRANK B. GORDON'S LAND AND CONNECTING WITH THE LINE OF THE PORTLAND TERMINAL COMPANY (NOW STATE OF MAINE), TO THE EXTENT NOW IN FORCE AND APPLICABLE.

d.) ALL OF THE RIGHTS TITLE AND INTEREST IN ANY APPURTENANT RIGHTS WHICH MAY CONTINUE TO BENEFIT THE PREMISES.

6. THE BOUNDARY LINE TO THE NORTHERLY END OF SUBJECT PROPERTY IS BASED UPON AN OPINION RENDERED BY WILLIAM C. SHIPPEN, PLS #2118, DATED 9/16/2005, AND A QUITCLAIM WITH COVENANT DEED FROM SLEEPY HOLLOW DEVELOPMENT, INC., TO CHADBALLS, INC., DATED AUGUST 25, 2005, RECORDED IN C.C.R.D. BOOK 23077 PAGE 198.

7. THE CATCHBASINS SHOWN HEREON AND LOCATED ON ANDERSON STREET ARE EQUIPPED WITH "CASCO TRAPS" POLLUTION CONTROL DEVICES. THE INVERT SHOWN FOR EACH CATCHBASIN IS THE TOP OF THE STANDING WATER IN EACH CATCHBASIN. THE ACTUAL INVERT OF THE PIPE WAS NOT OBTAINABLE.

THE SEWER LINE SHOWN IN ANDERSON STREET IS A 44" EGG SHAPED BRICK SEWER LINE.

THE STORM WATER LINE RUNNING FROM EACH CATCH BASIN DOWN ANDERSON STREET IS A 27 INCH REINFORCED CONCRETE PIPE. EACH UNDERGROUND UTILITY WAS PLOTTED FROM THE AVAILABLE STRUCTURES IN THE FIELD AND FROM PLANS GATHERED FROM THE CITY OF PORTLAND ENGINEERING VAULT EACH OF WHICH IS REFERENCED ABOVE IN NOTE 4.

8. ELEVATIONS ARE BASED UPON AN ELEVATION SUPPLIED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT OF A GRANITE MONUMENT FOUND AT THE CORNER OF LANCASTER AND ANDERSON STREETS. SAID MONUMENT REPORTED TO HAVE AN ELEVATION OF 19.57' N.G.V.D. 1929 CITY OF PORTLAND DATUM.

9. MAINE STATE COORDINATE SYSTEM POINTS USED:
a.) CONTROL POINT NEAREST TO PROJECT SITE: T102–77–2; COORDINATES: 2929167.960E, 303502.357N
b.) AZIMUTH POINT: T162–78–103; AZIMUTH S 57°34'35" E; COORDINATES: 2929322.506E, 303416.856N.

ZONING:

ZONE: ILb – INDUSTRIAL (LOW IMPACT) ZONE
SETBACKS: FRONT – NONE
REAR – NONE (25 FT ABUTTING RESIDENTIAL)
SIDE – NONE (25 FT ABUTTING RESIDENTIAL)
PARKING LOTS AND DRIVEWAYS: 15 FT FROM BOUNDARY
MINIMUM LOT SIZE: NONE
MINIMUM LOT WIDTH (STREET FRONTAGE): 60 FT
MAXIMUM BUILDING HEIGHT: 45 FT
MAXIMUM LOT COVERAGE (IMPERVIOUS SURFACE RATIO): 100%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'C' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

MONF □	Monument Found	(50.00')	Distance from reference Plan or deed.
IPF ○	Iron Pipe Found	N/F	Now Or Formerly
SMH Ⓢ	Sewer Manhole	12345/99	Deed Book/Page of Local Registry
WG Ⓦ	Water Gate		Edge of traveled way
CB ▣	Catch Basin	—OHU—	Overhead Utility
	Abutter Line	∅	Utility Pole
	Property Line		Direction of Bearing
	Street Line	Z	Indicates Ownership in Common
	Setback Line	S	Sewer Line/Combined Sewer
	Old Lot Line	SS	Sewer Line/Combined Sewer
101	Contour Line	W	Water Line
	RR Spur Centerline	G	Gas Line

BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN
AT 122 ANDERSON STREET, PORTLAND, MAINE
FOR: CARDENTE REAL ESTATE

REVISIONS:
- REVISION 2: 11-13-2007: CHANGED OWNER: MOVED TO STATE COORDS.
- REVISION 08-24-2007: ADDED ELEVATION NOTE #8

LOCATION: 122 ANDERSON STREET, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS
REGISTRY OF DEEDS
RECEIVED , 2007
AT : M. AND RECORDED IN
PLAN BOOK PAGE

0' 50' 100' 150'
GRAPHIC SCALE

FIELD BOOK: 20 PAGE: 21

STATE OF MAINE ROBERT T. GREENLAW #2303 PROFESSIONAL LAND SURVEYOR

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

a.) NO WRITTEN REPORT
b.) NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S. #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

REVISED: NOVEMBER 13, 2007
DATE: JUNE 18, 2007

PREPARED BY:
BACK BAY BOUNDARY, INC.
LAND SURVEYING
643 FOREST AVENUE
PORTLAND, MAINE 04101
207–774–2855 FAX 207–347–4346

DRAWN BY:	PJM
CHECKED BY:	RTG
SCALE:	1" = 50'
DATE OF SURVEY:	05/31/2007
JOB NUMBER:	2006047
SHEET:	1 OF 1 REV 2
DRAWER: 2006	NO: 047

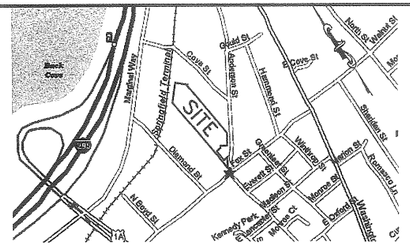
LEGEND

EXISTING

- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- CURB
- GAS LINE
- SANITARY SEWER
- OVERHEAD UTILITY
- WATER LINE
- CATCH BASIN
- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MONITORING WELL
- RAILROAD TRACKS
- CONCRETE PAVEMENT

PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- CONTOURS
- LIGHT POLE
- SIGN
- SURFACE DRAINAGE
- SILT FENCE



LOCATION PLAN SCALE: 1"=600'±

ZONING REQUIREMENTS

ZONE I-Lb: INDUSTRIAL ZONE

MINIMUM LOT SIZE.	NONE
MAXIMUM IMPERVIOUS SURFACE RATIO:	100%
MAXIMUM BUILDING HEIGHT:	45 FEET
MINIMUM YARD DIMENSIONS:	
SIDE	NONE (25 FT IF ABUTING RESIDENTIAL)
REAR	NONE (25 FT IF ABUTING RESIDENTIAL)
FRONT	NONE
MINIMUM LOT WIDTH (STREET FRONTAGE):	60 FEET

CITY OF PORTLAND SITE PLAN

1. LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
4. SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
7. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
8. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORK'S REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
9. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

GENERAL NOTES

1. OWNER: ANDERSON STREET REALTY, LLC, 299 FOREST AVEUNE, PORTLAND MAINE. CUMBERLAND COUNTY REGISTRY OF DEEDS BK. 24688, PG. 111, DATE DEC. 22 2006.
2. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
3. TOPOGRAPHIC AND BOUNDARY INFORMATION: "BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN AT 122 ANDERSON STREET, PORTLAND, MAINE" FOR CARDENTE REAL ESTATE BY BACK BAY BOUNDARY, INC. LAND SURVEYING, 643 FOREST AVENUE PORTLAND, MAINE. PLAN DATED JUNE 19, 2007, DATE OF SURVEY 05/31/07.
4. UNDERLYING SOILS ARE CLASSIFIED AS AU (AU GRES), A LOAMY SAND, BY SOIL CONSERVATION STUDY OF CUMBERLAND COUNTY.
5. ZONE: INDUSTRIAL I-Lb, PROPOSED USE: PARKING LOT & STORAGE AREA.
6. TAX MAP REFERENCE: MAP 10, BLOCK H, LOTS 5 & 8 AND MAP 12, BLOCK N, LOT 1.
7. TOTAL PARCEL = 2.70 acres
8. WAIVERS: NONE REQUESTED AT THIS TIME.
9. CALL DIG-SAFE PRIOR TO COMMENCING WORK. 1-800-DIG-SAFE.
10. POWER, TELEPHONE AND CABLE ARE EXISTING, NO CHANGES ARE PLANNED TO THE SERVICES.
11. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPS" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.
12. THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DE MINIMIS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
13. NO REMOVAL OF ON-SITE MATERIAL IS PERMITTED.
14. DRAWINGS INCLUDED IN THIS SUBMITTAL:
    - C1.1 SITE PLAN
    - C1.2 DETAILS
    - D1.1 DRAINAGE ANALYSIS
    - BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN

STATE OF MAINE — JEFFREY T. READ No. 9119 — REGISTERED PROFESSIONAL ENGINEER — LICENSED — 10/3/07

REV.	DATE	DESCRIPTION

PINKHAM & GREER
CONSULTING ENGINEERS FALMOUTH, MAINE

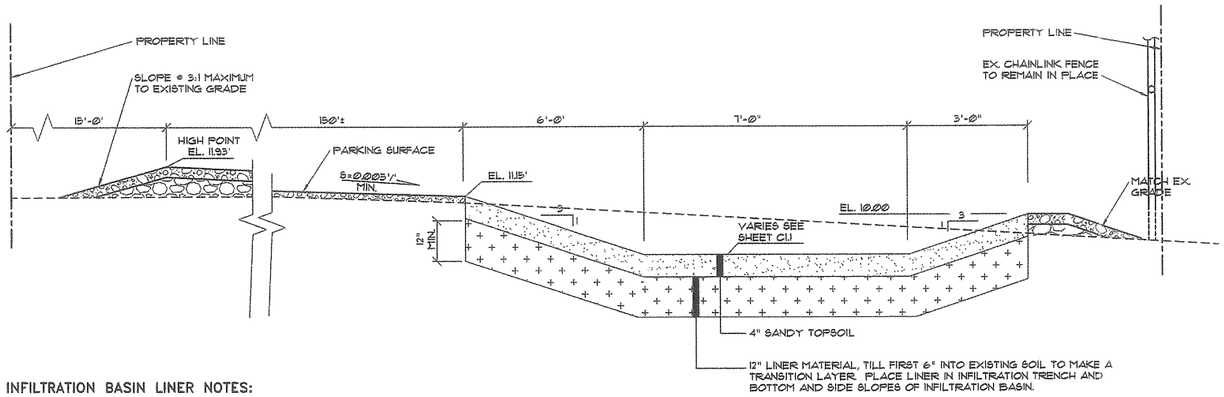
CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

SITE PLAN

SCALE:	AS SHOWN	DRN BY:	JDC
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	JR

C1.1

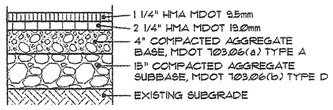


INFILTRATION BASIN LINER NOTES:

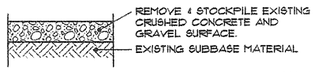
1. LINER MATERIAL TO BE COARSE SAND OR PEA GRAVEL BLENDED WITH SILTY SOILS WITH A PERMEABILITY RATE BETWEEN 0.50 IN/HR AND 2.41 INCHES PER HOUR.
2. PERMEABILITY TESTS WILL BE REQUIRED ON EACH STOCKPILE BEFORE PLACING LINER. ASSUME MULTIPLE TESTS AND BLENDS TO ACHIEVE THE DESIGN PERMEABILITY

(1) SITE CROSS-SECTION

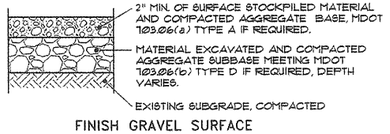
NOT TO SCALE



PROPOSED PAVEMENT FINISH SURFACE



EXISTING GRAVEL SURFACE PREPARATION



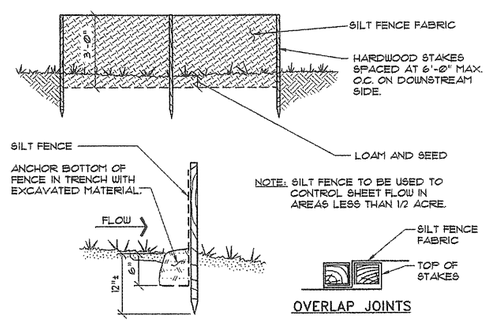
FINISH GRAVEL SURFACE

NOTES:

1. NO REMOVAL OF ON-SITE MATERIAL IS PERMITTED.
2. HMA = HOT MIX ASPHALT
3. MDOT = MAINE DEPARTMENT OF TRANSPORTATION.
4. ALL COURSE THICKNESS AFTER FINAL COMPACTION.

(3) PARKING SURFACE DETAILS

NOT TO SCALE



(2) SILT FENCE DETAIL

NOT TO SCALE

EROSION CONTROL NOTES

GENERAL:

THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:

1. SOIL EROSION IS KEPT TO A MINIMUM.
2. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
3. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPS PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
3. LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
4. INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILT FENCES AND STONE CHECK DAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
5. PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
6. APPLY MULCH TO BARE SOILS WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, OR PRIOR TO ANY WORK SHUTDOWN LASTING MORE THAN ONE DAY.
7. TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
8. MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
   - THE BASE OF GRASSED WATERWAYS
   - SLOPES STEEPER THAN 15%
   - WITHIN 100 FT. OF STREAMS AND WETLANDS

   BETWEEN OCT. 1 AND APRIL 14 USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
   - SIDE SLOPES OF GRASSED WATERWAYS
   - SLOPES STEEPER THAN 8%
9. INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125BN.
10. FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
11. PLACE AND GRADE LOAM IN A REASONABLY UNIFORM MANNER. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEED BED IS PREPARED. REMOVE FROM SURFACE ALL STONES LARGER THAN 2" AND ALL OTHER UNSUITABLE MATERIAL. LIME AND FERTILIZER SHOULD BE MIXED INTO SOIL PRIOR TO ROLLING EXCEPT IF INCLUDED IN HYDROSEED MIXTURE.
12. ALL CULVERT OR PIPE OUTFALL PROTECTION MUST BE INSTALLED WITHIN 48 HOURS OF INSTALLING NEW PIPE OR CULVERT.
13. DITCHES AND CHANNELS DESIGNATED TO BE LINED WITH RIPRAP AND/OR EROSION CONTROL MESH MUST BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR CHANNEL.
14. ALL CATCH BASINS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED BY INSTALLING AND MAINTAINING SILT SACKS DURING CONSTRUCTION.

TOPSOIL:

1. SUITABLE TOPSOIL SALVAGED FROM SITE OR SCREENED, LOOSE AND FRIABLE SANDY LOAM OR LOAM AS DEFINED BY THE USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM, FREE FROM ADMIXTURE OF SUBSOIL, REFUSE, LARGE STONES, CLODS, ROOTS, WEEDS, RHIZOMES OR OTHER UNDESIREABLE FOREIGN MATTER AS DETERMINED BY THE INSPECTING AUTHORITY. CONTRACTOR SHALL SUBMIT REPORTS OF LOAM TEST RESULTS PERFORMED BY AN INDEPENDENT TESTING LABORATORY FOR TOPSOIL FROM DIFFERENT SOURCES PRIOR TO PLACING. THE COST OF TESTING SHALL BE INCIDENTAL TO THE COST OF TOPSOIL. TOPSOIL SHALL MEET THE FOLLOWING SPECIFICATIONS:
2. MATERIAL

   SAND - 0.08 IN. TO 0.002 IN. DIAMETER (% BY VOLUME) ..... 45 - 75
   SILT - 0.002 IN. TO 0.00008 IN. DIAMETER (% BY VOLUME) ..... 20 - 40
   CLAY - LESS THAN 0.00008 IN. DIAMETER (% BY VOLUME) ..... 5 - 15

   ORGANICS (SHALL MEET THE REQUIREMENTS OF MDOT STANDARD SPECIFICATION 717.03 PEAT HUMUS) (% BY VOLUME) 10 - 20 .

   NUTRIENTS:
   CALCIUM (CA) (% SATURATION) ..... 60 - 80
   MAGNESIUM (MG) (% SATURATION) ..... 10 - 25
   POTASSIUM (K) (% SATURATION) ..... 2.1 - 3.0
   PHOSPHORUS (P) (POUNDS/ACRE) ..... 10 - 40
   PH ..... 6.0 - 6.5

   PERMEABILITY (INCHES PER HOUR) ..... 3 - 10

   MAXIMUM STONE SIZE (INCHES) 3/4

SEEDING:

USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RESEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 717.03(a) METHOD NUMBER 3

TEMPORARY SEED:

OATS	80.00 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	40.00 LBS/ACRE	
SUDANGRASS	40.00 LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	80.00 LBS/ACRE	5/15 - 9/14
WINTER RYE	112.00 LBS/ACRE	9/15 - 9/30
WINTER RYE (W/ MULCH COVER)	112.00 LBS/ACRE	10/01 - 3/31

LIME AND FERTILIZER:

APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 POUNDS PER 1000 SQUARE FEET). APPLY FERTILIZER (10-20-20) AT A RATE OF 800 POUNDS PER ACRE (18.4 POUNDS PER 1000 SQUARE FEET).

MULCH:

STRAW OR HAY (ANCHORED)	70 - 90 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	185 - 215 LBS	WINDY AREAS
SHREDDED OR CHOPPED	185 - 215 LBS	
JUTE MESH	AS REQUIRED	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES
EXCELSIOR MAT	AS REQUIRED	

MULCH ANCHORING

PEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK

SUGGESTED SEQUENCE OF CONSTRUCTION TO CONTROL EROSION:

THIS SEQUENCE OF CONSTRUCTION IS A GENERAL GUIDE TO THE CONTRACTOR. ACTUAL CONSTRUCTION PRACTICES WILL DICTATE VARIATIONS IN THE ORDER OF MAJOR EVENTS.

1. INSTALL ALL PERIMETER SILT FENCE.
2. INSTALL AND PROTECT UNDERDRAIN SOIL FILTER AND STORM DRAINAGE SYSTEM.
3. STRIP AND STOCKPILE ON-SITE GRAVEL SURFACE.
4. BEGIN EARTHWORK FOR PARKING AREA.
5. ROUGH GRADE PARKING AREA.
6. FINE GRADE PARKING AREA.
7. RESEED OR TEMPORARILY SEED ANY GRASS AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
8. UNDISTURBED FOR MORE THAN 14 DAYS.
9. CLEAN UNDERDRAIN SOIL FILTER AND STORM DRAIN SYSTEM OF CONSTRUCTION SEDIMENTATION.
10. COMPLETE FINE GRADING PARKING AREAS.
11. REMOVE TEMPORARY SOIL EROSION MEASURES.

REV.	DATE	DESCRIPTION

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

DETAILS

STATE OF MAINE
JEFFREY T. READ
No. 9119
REGISTERED PROFESSIONAL ENGINEER
10/31/07

SCALE:	AS SHOWN	DRN BY:	JDC
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	JTR

C1.2

LEGEND

EXISTING

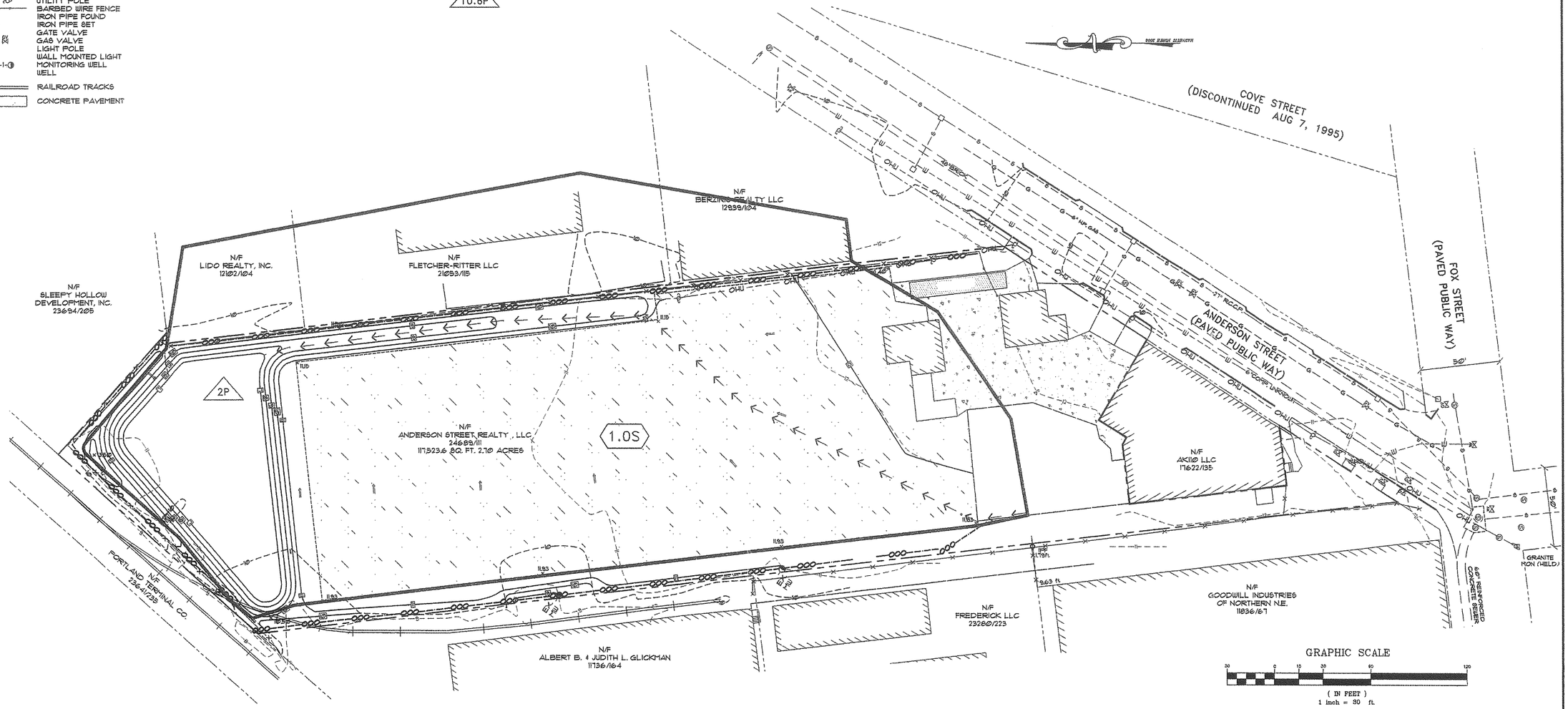
- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- CURB
- GAS LINE
- SANITARY SEWER
- OVERHEAD UTILITY
- WATER LINE
- CATCH BASIN
- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MONITORING WELL
- RAILROAD TRACKS
- CONCRETE PAVEMENT

PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- CONTOURS
- LIGHT POLE
- SIGN
- SURFACE DRAINAGE
- SILT FENCE

DRAINAGE LEGEND

- SUBCATCHMENT PERIMETER
- 10.0S — SUBCATCHMENT NUMBER
- POA #1 — POINT OF ANALYSIS
- TIME OF CONCRETE (Tc PATH)
- 10.6P — POND



REV.	DATE	DESCRIPTION

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

DRAINAGE ANALYSIS

STATE OF MAINE
JEFFREY T. READ
No. 9119
REGISTERED PROFESSIONAL ENGINEER
LICENSED
10/3/07

SCALE:	AS SHOWN	DRN BY:	DPD
DATE:	SEPTEMBER 25, 2007	DESC BY:	JTR
PROJECT:	07147	CHK BY:	JTR

D1.1

LEGEND

EXISTING

- PROPERTY LINE
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- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- CURB
- GAS LINE
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PROPOSED

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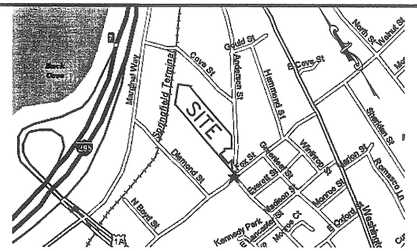
- CONTOURS
- LIGHT POLE
- SIGN
- SURFACE DRAINAGE
- SILT FENCE
- PLANTS



LOCATION PLAN SCALE: 1"=600'±

NOTE:
FINAL LAYOUT OF LANDSCAPE SCREENING TO BE COORDINATED WITH PORTLAND FORESTRY DEPARTMENT PRIOR TO COMPLETION OF CONSTRUCTION

PLANT LIST

(A / 12 = SYMBOL / QUANTITY)

SYMBOL	COMMON NAME/BOTANICAL NAME	SIZE	QUANTITY	ROOT
A	ARBORVITAE / thuja occidentalis 'Nigra'	6' tall	5	B&B
B	WEIGELA / weigela florida 'Red Prince'	4-5' tall	2	B&B

ZONING REQUIREMENTS

ZONE I-Lb: INDUSTRIAL ZONE

MINIMUM LOT SIZE:	NONE
MAXIMUM IMPERVIOUS SURFACE RATIO:	100%
MAXIMUM BUILDING HEIGHT:	45 FEET
MINIMUM YARD DIMENSIONS:	
SIDE	NONE (25 FT IF ABUTING RESIDENTIAL)
REAR	NONE (25 FT IF ABUTING RESIDENTIAL)
FRONT	NONE
MINIMUM LOT WIDTH (STREET FRONTAGE):	60 FEET

CITY OF PORTLAND SITE PLAN

1. LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
6. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
7. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
8. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL, GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

GENERAL NOTES

1. OWNER: ANDERSON STREET REALTY, LLC, 299 FOREST AVEUNE, PORTLAND MAINE. CUMBERLAND COUNTY REGISTRY OF DEEDS BK. 24689, PG. 111, DATE DEC. 22 2006.
2. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
3. TOPOGRAPHIC AND BOUNDARY INFORMATION: "BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN AT 122 ANDERSON STREET, PORTLAND, MAINE" FOR CARDENTE REAL ESTATE BY BACK BAY BOUNDARY, INC. LAND SURVEYING, 643 FOREST AVENUE PORTLAND, MAINE. PLAN DATED JUNE 19, 2007, DATE OF SURVEY 05/31/07.
4. UNDERLYING SOILS ARE CLASSIFIED AS AU (AU GRE5), A LOAMY SAND, BY SOIL CONSERVATION STUDY OF CUMBERLAND COUNTY.
5. ZONE: INDUSTRIAL I-Lb, PROPOSED USE: PARKING LOT & STORAGE AREA.
6. TAX MAP REFERENCE: MAP 10, BLOCK H, LOTS 5 & 8 AND MAP 12, BLOCK N, LOT 1.
7. TOTAL PARCEL = 2.710 acres
8. WAIVERS: NONE REQUESTED AT THIS TIME.
9. CALL DIG-SAFE PRIOR TO COMMENCING WORK, 1-800-DIG-SAFE.
10. POWER, TELEPHONE AND CABLE ARE EXISTING, NO CHANGES ARE PLANNED TO THE SERVICES.
11. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPS" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.
12. THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DE MINIMIS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
13. NO REMOVAL OF ON-SITE MATERIAL IS PERMITTED.
14. DRAWINGS INCLUDED IN THIS SUBMITTAL:
    - C1.1 SITE PLAN
    - C1.2 DETAILS
    - C1.3 CONCEPTUAL PARKING LAYOUTS
    - D1.0 DRAINAGE ANALYSIS EXITING CONDITION PRIOR TO 2005
    - D1.1 DRAINAGE ANALYSIS DEVELOPED CONDITION
    - BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN
15. ALL CONTAINERS STORED ON SITE SHALL BE PROPERLY LABELED FOR HAZARDOUS MATERIALS. CONTAINER PLACEMENT ON SITE IS TO ALLOW FOR FIRE DEPARTMENT ACCESS.

REV.	DATE	DESCRIPTION
2	2/21/08	REV'D PER REVIEW COMMENTS
1	12/21/07	REV'D PER REVIEW COMMENTS

STATE OF MAINE — JEFFREY T. READ No. 9119 — REGISTERED PROFESSIONAL ENGINEER — 2-21-08

PINKHAM & GREER
CONSULTING ENGINEERS FALMOUTH, MAINE

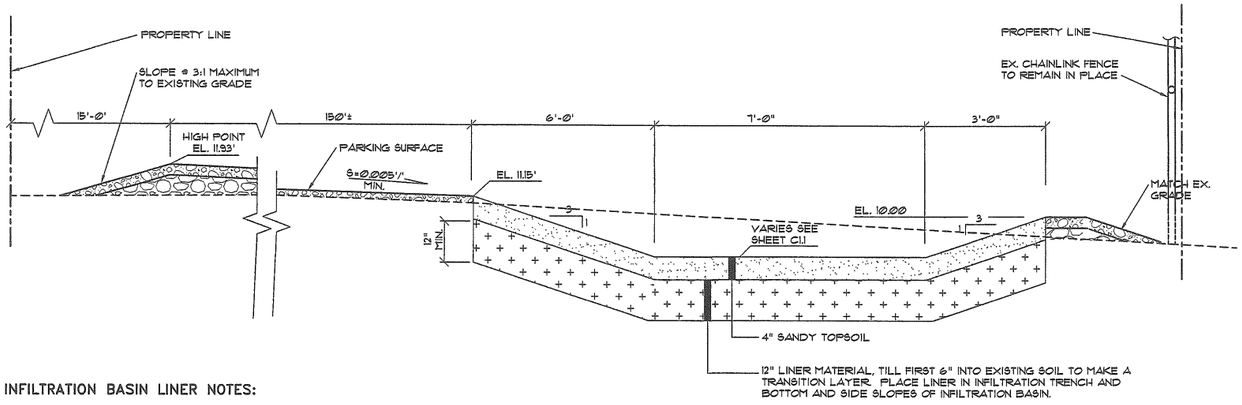
CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

SITE PLAN

SCALE:	AS SHOWN	DRN BY:	JDC
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	

C1.1

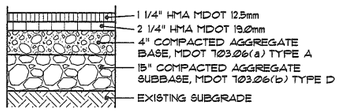


INFILTRATION BASIN LINER NOTES:

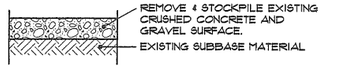
1. LINER MATERIAL TO BE COARSE SAND OR PEA GRAVEL BLENDED WITH SILTY SOILS WITH A PERMEABILITY RATE BETWEEN 0.50 IN/HR AND 2.41 INCHES PER HOUR.
2. PERMEABILITY TESTS WILL BE REQUIRED ON EACH STOCKPILE BEFORE PLACING LINER. ASSUME MULTIPLE TESTS AND BLENDS TO ACHIEVE THE DESIGN PERMEABILITY

1 SITE CROSS-SECTION

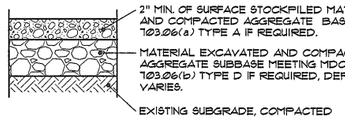
NOT TO SCALE



PROPOSED PAVEMENT FINISH SURFACE



EXISTING GRAVEL SURFACE PREPARATION



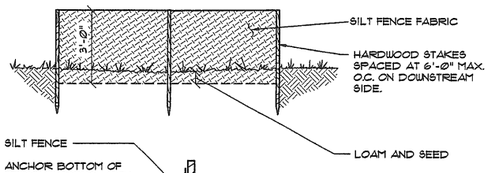
FINISH GRAVEL SURFACE

NOTES:

1. NO REMOVAL OF ON-SITE MATERIAL IS PERMITTED.
2. HMA = HOT MIX ASPHALT
3. MDOT = MAINE DEPARTMENT OF TRANSPORTATION.
4. ALL COURSE THICKNESS AFTER FINAL COMPACTION.

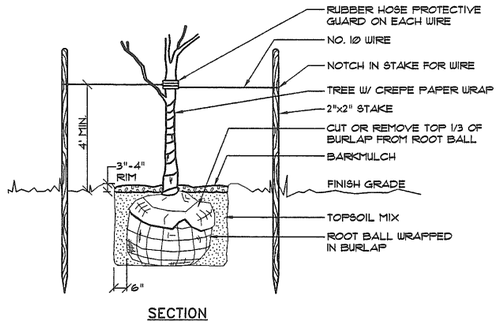
2 PARKING SURFACE DETAILS

NOT TO SCALE



4 SILT FENCE DETAIL

NOT TO SCALE



3 TREE PLANTING DETAIL

NOT TO SCALE

EROSION CONTROL NOTES

GENERAL:

THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:

1. SOIL EROSION IS KEPT TO A MINIMUM.
2. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
3. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPS PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
3. LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
4. INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILT FENCES AND STONE CHECK DAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
5. PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
6. APPLY MULCH TO BARE SOILS WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, OR PRIOR TO ANY WORK SHUTDOWN LASTING MORE THAN ONE DAY.
7. TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
8. MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
   - THE BASE OF GRASSED WATERWAYS
   - SLOPES STEEPER THAN 15%
   - WITHIN 100 FT. OF STREAMS AND WETLANDS

   BETWEEN OCT. 1 AND APRIL 14 USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
   - SIDE SLOPES OF GRASSED WATERWAYS
   - SLOPES STEEPER THAN 8%
9. INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125BN.
10. FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
11. PLACE AND GRADE LOAM IN A REASONABLY UNIFORM MANNER. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEED BED IS PREPARED. REMOVE FROM SURFACE ALL STONES LARGER THAN 2" AND ALL OTHER UNSUITABLE MATERIAL. LIME AND FERTILIZER SHOULD BE MIXED INTO SOIL PRIOR TO ROLLING EXCEPT IF INCLUDED IN HYDROSEED MIXTURE.
12. ALL CULVERT OR PIPE OUTFALL PROTECTION MUST BE INSTALLED WITHIN 48 HOURS OF INSTALLING NEW PIPE OR CULVERT.
13. DITCHES AND CHANNELS DESIGNATED TO BE LINED WITH RIPRAP AND/OR EROSION CONTROL MESH MUST BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR CHANNEL.
14. ALL CATCH BASINS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED BY INSTALLING AND MAINTAINING SILT SACKS DURING CONSTRUCTION.

TOPSOIL:

1. SUITABLE TOPSOIL SALVAGED FROM SITE OR SCREENED, LOOSE AND FRIABLE SANDY LOAM OR LOAM AS DEFINED BY THE USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM, FREE FROM ADMIXTURE OF SUBSOIL, REFUSE, LARGE STONES, CLODS, ROOTS, WEEDS, RHIZOMES OR OTHER UNDESIREABLE FOREIGN MATTER AS DETERMINED BY THE INSPECTING AUTHORITY. CONTRACTOR SHALL SUBMIT REPORTS OF LOAM TEST RESULTS PERFORMED BY AN INDEPENDENT TESTING LABORATORY FOR TOPSOIL FROM DIFFERENT SOURCES PRIOR TO PLACING. THE COST OF TESTING SHALL BE INCIDENTAL TO THE COST OF TOPSOIL. TOPSOIL SHALL MEET THE FOLLOWING SPECIFICATIONS:
2. MATERIAL

   SAND - 0.08 IN. TO 0.002 IN. DIAMETER (% BY VOLUME) ..... 45 - 75
   SILT - 0.002 IN. TO 0.00008 IN. DIAMETER (% BY VOLUME) ..... 20 - 40
   CLAY - LESS THAN 0.00008 IN. DIAMETER (% BY VOLUME) ..... 5 - 15

   ORGANICS (SHALL MEET THE REQUIREMENTS OF MDOT STANDARD SPECIFICATION 717.09 PEAT HUMUS) (% BY VOLUME) 10 - 20 .

   NUTRIENTS:
   CALCIUM (CA) (% SATURATION) ..... 60 - 80
   MAGNESIUM (MG) (% SATURATION) ..... 10 - 25
   POTASSIUM (K) (% SATURATION) ..... 2.1 - 3.0
   PHOSPHORUS (P) (POUNDS/ACRE) ..... 10 - 40
   PH ..... 6.0 - 6.5

   PERMEABILITY (INCHES PER HOUR) ..... 3 - 10

   MAXIMUM STONE SIZE (INCHES) 3/4

SEEDING:

USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30.
USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RESEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 717.03(a) METHOD NUMBER 3

TEMPORARY SEED:

OATS	80.00 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	40.00 LBS/ACRE	
SUDANGRASS	40.00 LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	80.00 LBS/ACRE	5/15 - 9/14
WINTER RYE	112.00 LBS/ACRE	9/15 - 9/30
WINTER RYE (W/ MULCH COVER)	112.00 LBS/ACRE	10/01 - 3/31

LIME AND FERTILIZER:

APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 POUNDS PER 1000 SQUARE FEET). APPLY FERTILIZER (10-20-20) AT A RATE OF 800 POUNDS PER ACRE (18.4 POUNDS PER 1000 SQUARE FEET).

MULCH:

STRAW OR HAY (ANCHORED)	70 - 90 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	185 - 275 LBS	WINDY AREAS
SHREDDED OR CHOPPED	185 - 275 LBS	
JUTE MESH	AS REQUIRED	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES
EXCELSIOR MAT	AS REQUIRED	

MULCH ANCHORING

PEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK

SUGGESTED SEQUENCE OF CONSTRUCTION TO CONTROL EROSION:

THIS SEQUENCE OF CONSTRUCTION IS A GENERAL GUIDE TO THE CONTRACTOR. ACTUAL CONSTRUCTION PRACTICES WILL DICTATE VARIATIONS IN THE ORDER OF MAJOR EVENTS.

1. INSTALL ALL PERIMETER SILT FENCE.
2. INSTALL AND PROTECT UNDERDRAIN SOIL FILTER AND STORM DRAINAGE SYSTEM.
3. STRIP AND STOCKPILE ON-SITE GRAVEL SURFACE.
4. BEGIN EARTHWORK FOR PARKING AREA.
5. ROUGH GRADE PARKING AREA.
6. FINE GRADE PARKING AREA.
7. RESEED OR TEMPORARILY SEED ANY GRASS AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
8. CLEAN UNDERDRAIN SOIL FILTER AND STORM DRAIN SYSTEM OF CONSTRUCTION SEDIMENTATION.
9. COMPLETE FINE GRADING PARKING AREAS.
10. REMOVE TEMPORARY SOIL EROSION MEASURES.

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PINKHAM & GREER
CONSULTING ENGINEERS FALMOUTH, MAINE

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PORTLAND MAINE

DETAILS

STATE OF MAINE — JEFFREY T. READ No. 9119 — LICENSED PROFESSIONAL ENGINEER — 2.21.08

SCALE:	AS SHOWN	DRN BY:	JDC
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
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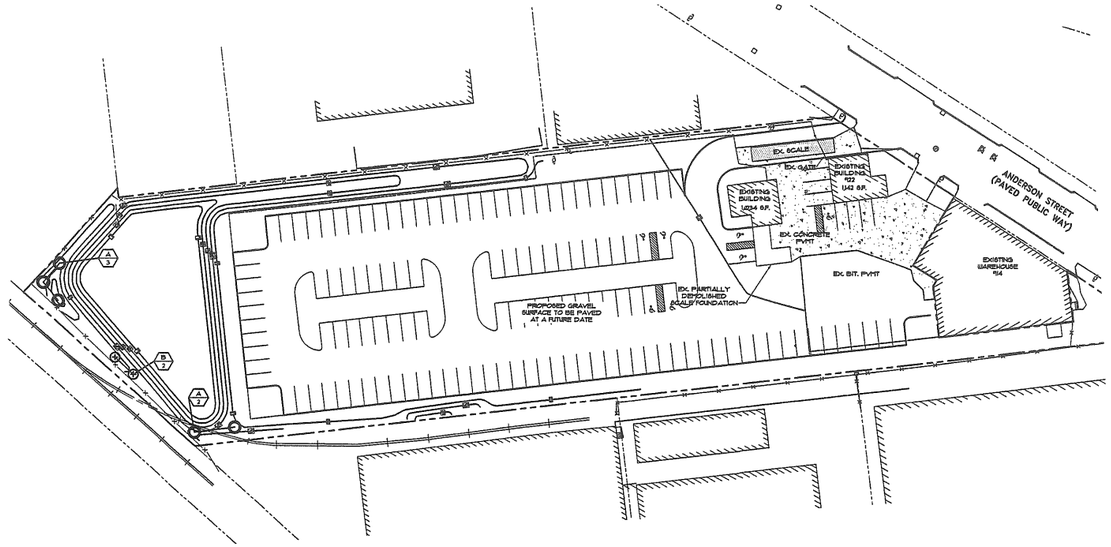
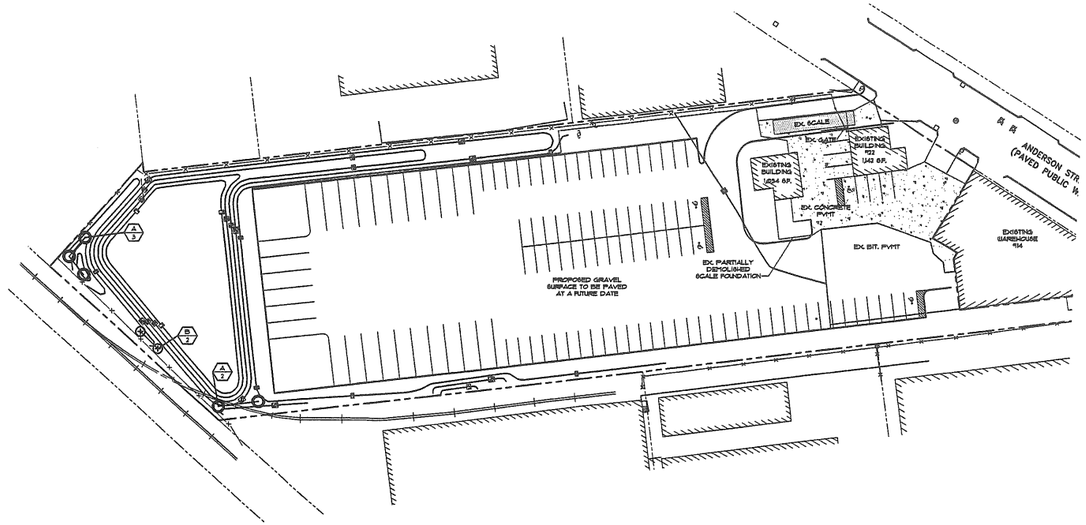
C1.2



CAR PARKING

TYPE	QUANTITY
9' x 20'	8
10' x 20'	125
HANDICAPPED	9

NOTE:
INTERNAL VEHICLE CIRCULATION.
DESIGNED TO ACCOMADATE
PASSENGER CAR DESIGN VEHICLES.

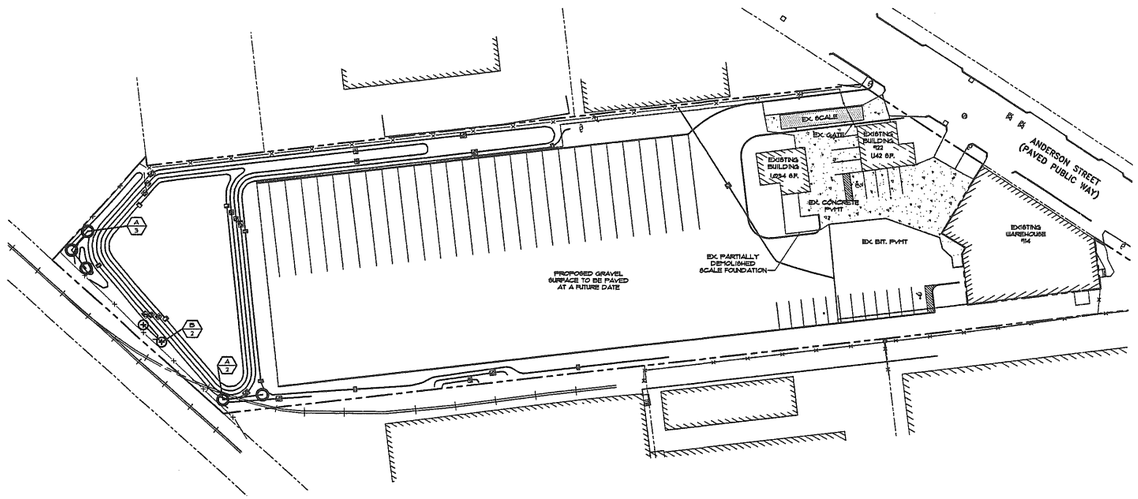


MIXED PARKING

TYPE	QUANTITY
9' x 20'	89
12' x 36'	26
HANDICAPPED	4

NOTE:
INTERNAL VEHICLE CIRCULATION.
DESIGNED TO ACCOMADATE
SINGLE-UNIT VEHICLES.

NOTES:
ULTIMATE LAYOUT AND SITE CIRCULATION FOR THE PROPERTY WILL DEPEND ON THE REQUIREMENTS OF AN UNDETERMINED FUTURE TENANT. LAYOUTS ON THIS PAGE ARE CONCEPTUAL AND INTENED TO SHOW RANGE OF POSSIBLE SITE USE ONLY. ACTUAL LAYOUT AND CIRCULATION ARE NOT EXPECTED TO VART SLIGHTLY FROM THE PRESENTED CONCEPTS.



TRUCK PARKING

TYPE	QUANTITY
9' x 20'	17
12' x 70'	26
HANDICAPPED	2

NOTE:
INTERNAL VEHICLE CIRCULATION.
DESIGNED TO ACCOMADATE WB-50
VEHICLES.

LEGEND

EXISTING

- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- BUILDING
- CURB
- CATCH BASIN
- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
- IPF IRON PIPE FOUND
- IPS IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MW-1 MONITORING WELL
- RAILROAD TRACKS
- CONCRETE PAVEMENT

PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- 12 CONTOURS
- LIGHT POLE
- SIGN
- HANDICAP PARKING

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

REV.	DATE	DESCRIPTION

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

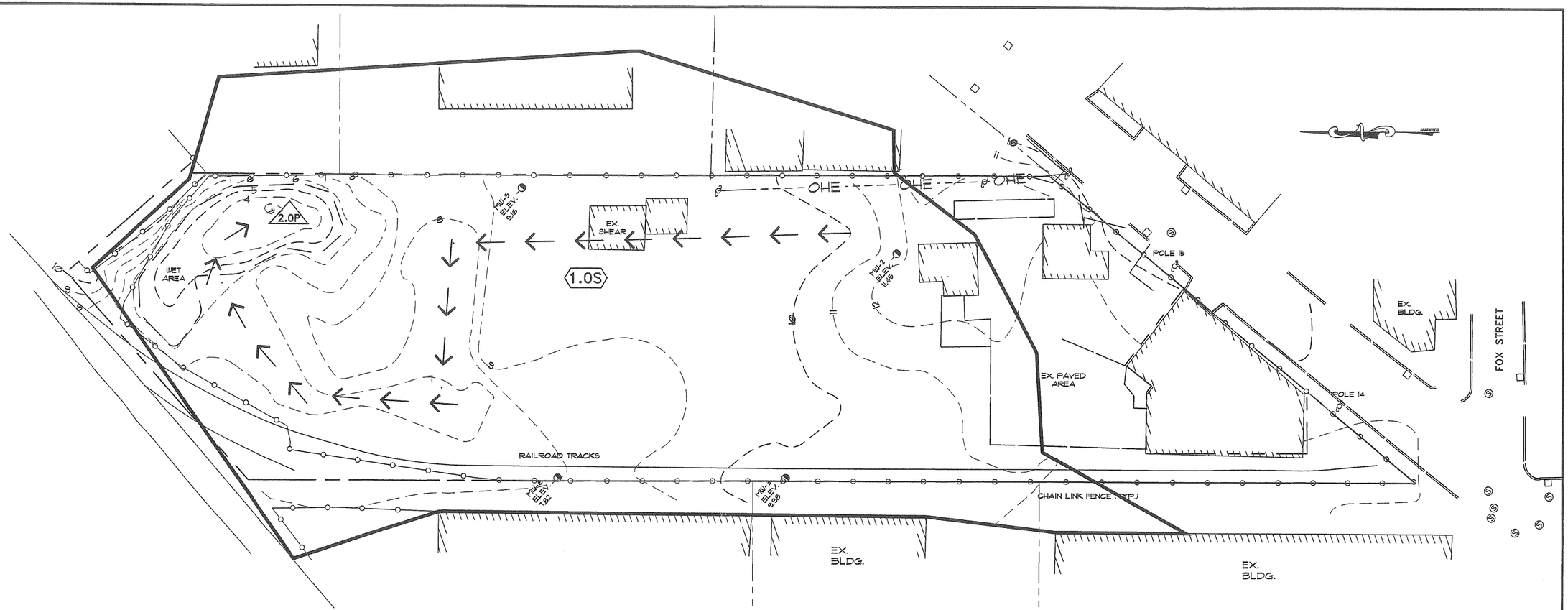
CONCEPTUAL
PARKING LAYOUTS

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

STATE OF MAINE
JEFFREY T. READ
No. 9119
LICENSED PROFESSIONAL ENGINEER
7-21-09

SCALE:	AS SHOWN	DRN BY:	EDM
DATE:	FEBRUARY 20, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	

C1.3



DRAINAGE LEGEND

- SUBCATCHMENT PERIMETER
- 10S — SUBCATCHMENT NUMBER
- POA #1 — POINT OF ANALYSIS
- TIME OF CONCENTRATION (Tc PATH)
- 10R — REACH
- 10P — POND

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

REV.	DATE	DESCRIPTION

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

DRAINAGE ANAYLSIS
EXISTING CONDITION PRIOR TO 2005

STATE OF MAINE
JEFFREY T. READ
No. 9119
LICENSED PROFESSIONAL ENGINEER
7.21.08

SCALE:	AS SHOWN	DRN BY:	DPD/JTR
DATE:	DECEMBER 21, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	

D1.0

LEGEND

EXISTING

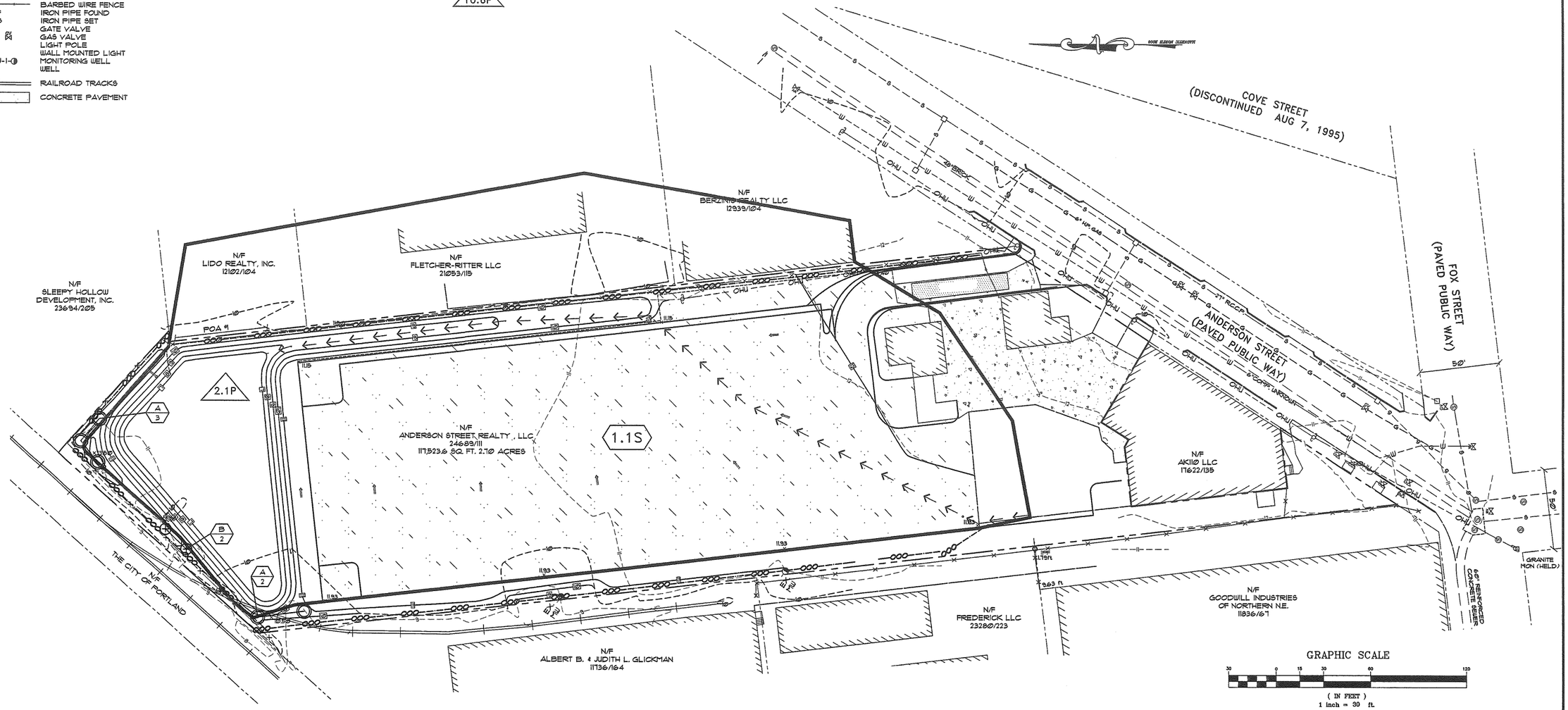
- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- CURB
- GAS LINE
- SANITARY SEWER
- OVERHEAD UTILITY
- WATER LINE
- CATCH BASIN
- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MONITORING WELL
- WELL
- RAILROAD TRACKS
- CONCRETE PAVEMENT

PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- CONTOURS
- LIGHT POLE
- SIGN
- SURFACE DRAINAGE
- SILT FENCE
- PLANTS

DRAINAGE LEGEND

- SUBCATCHMENT PERIMETER
- 10.0S — SUBCATCHMENT NUMBER
- POA #1 — POINT OF ANALYSIS
- TIME OF CONCENTRATION (Tc PATH)
- 10.6P — POND



REV.	DATE	DESCRIPTION
2	2/21/08	REV'D PER REVIEW COMMENTS
1	12/21/07	REV'D PER REVIEW COMMENTS

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

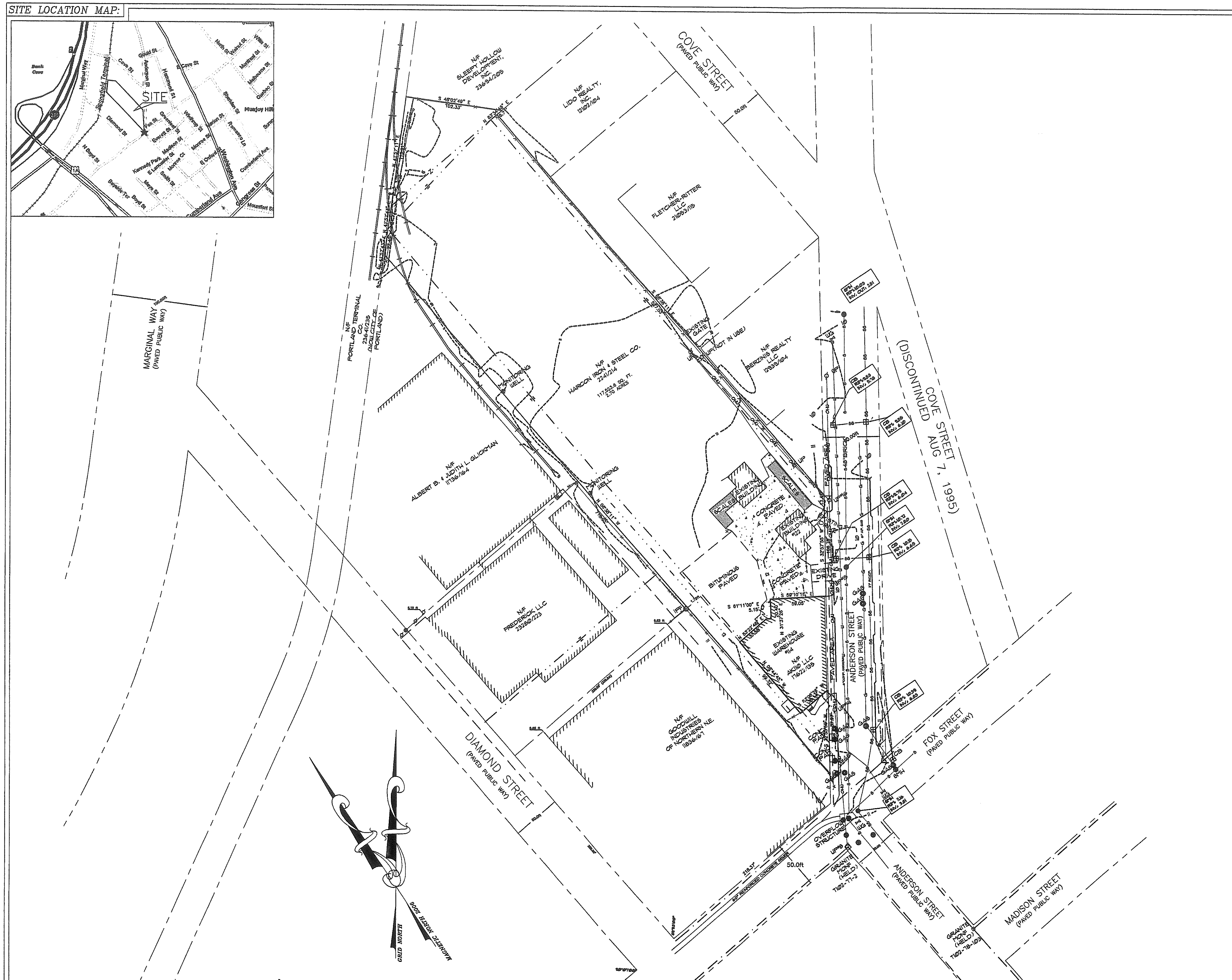
DRAINAGE ANALYSIS
DEVELOPED CONDITION

STATE OF MAINE
JEFFREY T. READ
No. 9119
REGISTERED PROFESSIONAL ENGINEER
2-21-08

SCALE:	AS SHOWN	DRN BY:	DPD
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	

D1.1

SITE LOCATION MAP:



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: ANDERSON STREET REALTY, LLC, BOOK 24689 PAGE 111 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.). PARCEL IS IDENTIFIED BY CITY OF PORTLAND TAX ASSESSORS PLAN NO. XX BLOCK X LOT X.

2. BEARINGS ARE BASED UPON MAINE STATE COORDINATE SYSTEM (2-ZONE PROJECTION), WEST ZONE USING THE NAD1983(HARN) DATUM AND THE U.S. SURVEY FOOT AS THE UNIT OF MEASURE. THIS SURVEY WAS PERFORMED UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
(SEE NOTE 9. BELOW FOR MAINE STATE COORDINATE SYSTEM POINTS USE.)

3. AREA OF SUBJECT PARCEL: 117,523.6 SQ. FT., 2.70 ACRES

4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) STANDARD BOUNDARY SURVEY, FOR TEWKSBURY INDUSTRIES, INC., ANDERSON STREET, PORTLAND, MAINE, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS FILE NO. 5433 PLAN NO. 1198.940801, DATED AUGUST 1994.

b.) PLAN OF RELIEF SEWER ANDERSON STREET, FOX STREET TO MADISON STREET, CITY OF PORTLAND ENGINEERING VAULT DATED MARCH 5, 1960.

c.) AS-BUILT PLAN AND PROFILE OF A 60-INCH REINFORCED CONCRETE PIPE AND OVERFLOW CHAMBER DATED MAY 31, 1961 FROM CITY OF PORTLAND ENGINEERING VAULT DRAWER 488/4. SHOWN IN FOX STREET FROM ANDERSON STREET TO DIAMOND STREET.

d.) AS-BUILT PLAN AND PROFILE OF FOX STREET STATION 10+00 TO 14+00 DATED JANUARY 1992. CITY OF PORTLAND ENGINEERING VAULT DRAWER 942/7.

e.) BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN AT 122 ANDERSON STREET PORTLAND MAINE FOR TFH ARCHITECTS DATED AUGUST 10, 2006 BY BACK BAY BOUNDARY INC. PORTLAND MAINE. UNRECORDED AT THIS TIME.

5. THERE WERE APPARENT EASEMENTS AND RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY:

a.) EXCEPTING AND RESERVING THE RIGHT OF INDUSTRIES, INC., ITS SUCCESSORS AND ASSIGNS, TO LOCATE A SPUR RAILROAD TRACK ACROSS THE NORTHWESTERLY CORNER OF THE LOT, NORTHWESTERLY OF SIDE TRACK NO. 33 AS RELOCATED.

b.) A RIGHT TO MAINTAIN A GASOLINE TANK NEAR THE NORTHEASTERLY LINE OF THE PREMISES, TO THE EXTENT NOW IN FORCE AND APPLICABLE.

c.) THE RIGHT TO MAINTAIN TRACK NO. 33 ACROSS A PORTION OF THE REMAINING LAND OF INDUSTRIES, INC. SITUATED NORTHWESTERLY OF SAID FRANK B. GORDON'S LAND AND CONNECTING WITH THE LINE OF THE PORTLAND TERMINAL COMPANY (NOW STATE OF MAINE), TO THE EXTENT NOW IN FORCE AND APPLICABLE.

d.) ALL OF THE RIGHTS TITLE AND INTEREST IN ANY APPURTENANT RIGHTS WHICH MAY CONTINUE TO BENEFIT THE PREMISES.

6. THE BOUNDARY LINE TO THE NORTHERLY END OF SUBJECT PROPERTY IS BASED UPON AN OPINION RENDERED BY WILLIAM C. SHIPPEN, PLS #2118, DATED 9/16/2005, AND A QUITCLAIM WITH COVENANT DEED FROM SLEEPY HOLLOW DEVELOPMENT, INC., TO CHADBALLS, INC., DATED AUGUST 25, 2005, RECORDED IN C.C.R.D. BOOK 23077 PAGE 198.

7. THE CATCHBASINS SHOWN HEREON AND LOCATED ON ANDERSON STREET ARE EQUIPPED WITH "CASCO TRAPS" POLLUTION CONTROL DEVICES. THE INVERT SHOWN FOR EACH CATCHBASIN IS THE TOP OF THE STANDING WATER IN EACH CATCHBASIN. THE ACTUAL INVERT OF THE PIPE WAS NOT OBTAINABLE.

THE SEWER LINE SHOWN IN ANDERSON STREET IS A 44" EGG SHAPED BRICK SEWER LINE.

THE STORM WATER LINE RUNNING FROM EACH CATCH BASIN DOWN ANDERSON STREET IS A 27 INCH REINFORCED CONCRETE PIPE. EACH UNDERGROUND UTILITY WAS PLOTTED FROM THE AVAILABLE STRUCTURES IN THE FIELD AND FROM PLANS GATHERED FROM THE CITY OF PORTLAND ENGINEERING VAULT EACH OF WHICH IS REFERENCED ABOVE IN NOTE 4.

8. ELEVATIONS ARE BASED UPON AN ELEVATION SUPPLIED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT OF A GRANITE MONUMENT FOUND AT THE CORNER OF LANCASTER AND ANDERSON STREETS. SAID MONUMENT REPORTED TO HAVE AN ELEVATION OF 19.57' N.G.V.D. 1929 CITY OF PORTLAND DATUM.

9. MAINE STATE COORDINATE SYSTEM POINTS USED:
a.) CONTROL POINT NEAREST TO PROJECT SITE: T102-77-2; COORDINATES: 2929187.900E, 303502.357N
b.) AZIMUTH POINT: T102-78-103; AZIMUTH S 57°34'35" E; COORDINATES: 2929322.506E, 303416.856N.

ZONING:

ZONE: ILb – INDUSTRIAL (LOW IMPACT) ZONE
SETBACKS: FRONT – NONE
REAR – NONE (25 FT ABUTTING RESIDENTIAL)
SIDE – NONE (25 FT ABUTTING RESIDENTIAL)
PARKING LOTS AND DRIVEWAYS: 15 FT FROM BOUNDARY
MINIMUM LOT SIZE: NONE
MINIMUM LOT WIDTH (STREET FRONTAGE): 60 FT
MAXIMUM BUILDING HEIGHT: 45 FT
MAXIMUM LOT COVERAGE (IMPERVIOUS SURFACE RATIO): 100%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'C' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

Symbol	Meaning	Symbol	Meaning
MONF □	Monument Found	(50.00')	Distance from reference Plan or deed.
IPF ○	Iron Pipe Found	N/F	Now Or Formerly
SMH	Sewer Manhole	12345/99	Deed Book/Page of Local Registry
WG	Water Gate	— — —	Edge of traveled way
CB	Catch Basin	—OHU—	Overhead Utility
—— – – ——	Abutter Line	Ø	Utility Pole
————	Property Line	→	Direction of Bearing
— — — —	Street Line	—Z—	Indicates Ownership in Common
—— ——	Setback Line	— S —	Sewer Line/Combined Sewer
–··–··–	Old Lot Line	— SS —	Sewer Line/Combined Sewer
---101---	Contour Line		
-···-···	RR Spur Centerline		
— W —	Water Line		
— G —	Gas Line		

BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN
AT 122 ANDERSON STREET, PORTLAND, MAINE
FOR: CARDENTE REAL ESTATE

PREPARED BY:
BACK BAY BOUNDARY, INC.
LAND SURVEYING
643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207-347-4346

DRAWN BY:	PJM
CHECKED BY:	RTG
SCALE:	1" = 50'
DATE OF SURVEY:	05/31/2007
JOB NUMBER:	2006047
SHEET:	1 OF 1 REV 2
DRAWER:	2006 NO: 047

REVISIONS:

REVISION 2: 11-13-2007: CHANGED OWNER: MOVED TO STATE COORDS.
REVISION 08-24-2007: ADDED ELEVATION NOTE #8

LOCATION: 122 ANDERSON STREET, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS
REGISTRY OF DEEDS

RECEIVED , 2007
AT : H M. AND RECORDED IN
PLAN BOOK PAGE

0' 50' 100' 150'
GRAPHIC SCALE

FIELD BOOK: 20 PAGE: 21

STATE OF MAINE
ROBERT T. GREENLAW
#2303
PROFESSIONAL LAND SURVEYOR

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

REVISED: NOVEMBER 13, 2007
DATE: JUNE 19, 2007

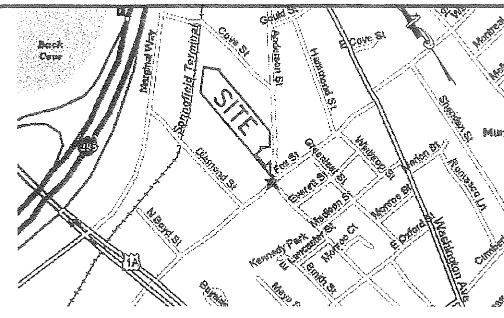
LEGEND

EXISTING

- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- CURB
- GAS LINE
- SANITARY SEWER
- OVERHEAD UTILITY
- WATER LINE
- CATCH BASIN
- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MONITORING WELL
- WELL
- CONCRETE PAVEMENT
- RAILROAD TRACKS

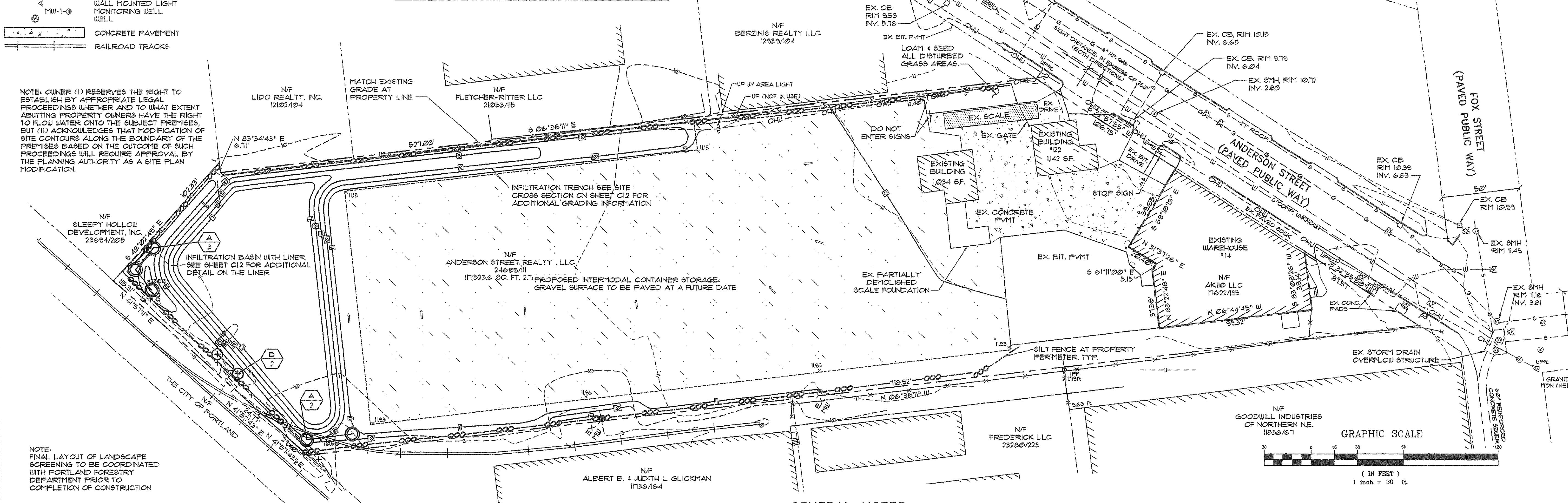
PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- CONTOURS
- LIGHT POLE
- SIGN
- SURFACE DRAINAGE
- SILT FENCE
- PLANTS



LOCATION PLAN SCALE: 1"=600'±

NOTE: OWNER (I) RESERVES THE RIGHT TO ESTABLISH BY APPROPRIATE LEGAL PROCEEDINGS WHETHER AND TO WHAT EXTENT ABUTTING PROPERTY OWNERS HAVE THE RIGHT TO FLOW WATER ONTO THE SUBJECT PREMISES, BUT (II) ACKNOWLEDGES THAT MODIFICATION OF SITE CONTOURS ALONG THE BOUNDARY OF THE PREMISES BASED ON THE OUTCOME OF SUCH PROCEEDINGS WILL REQUIRE APPROVAL BY THE PLANNING AUTHORITY AS A SITE PLAN MODIFICATION.



NOTE:
FINAL LAYOUT OF LANDSCAPE SCREENING TO BE COORDINATED WITH PORTLAND FORESTRY DEPARTMENT PRIOR TO COMPLETION OF CONSTRUCTION

PLANT LIST

(A / 12: SYMBOL / QUANTITY)

SYMBOL	COMMON NAME/BOTANICAL NAME	SIZE	QUANTITY	ROOT
A	ARBORVITAE / thuja occidentalis 'Nigra'	6' tall	5	B&B
B	WEIGELA / weigela florida 'Red Prince'	4-5' tall	2	B&B

ZONING REQUIREMENTS

ZONE I-Lb: INDUSTRIAL ZONE

MINIMUM LOT SIZE:	NONE
MAXIMUM IMPERVIOUS SURFACE RATIO:	100%
MAXIMUM BUILDING HEIGHT:	45 FEET
MINIMUM YARD DIMENSIONS:	
SIDE	NONE (25 FT IF ABUTING RESIDENTIAL)
REAR	NONE (25 FT IF ABUTING RESIDENTIAL)
FRONT	NONE
MINIMUM LOT WIDTH (STREET FRONTAGE):	60 FEET

CITY OF PORTLAND SITE PLAN

1. LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
6. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
7. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORK'S REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
8. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL, GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

GENERAL NOTES

1. OWNER: ANDERSON STREET REALTY, LLC, 299 FOREST AVEUNE, PORTLAND MAINE. CUMBERLAND COUNTY REGISTRY OF DEEDS BK. 24689, PG. 111, DATE DEC. 22 2006.
2. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
3. TOPOGRAPHIC AND BOUNDARY INFORMATION: "BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN AT 122 ANDERSON STREET, PORTLAND, MAINE" FOR CARDENTE REAL ESTATE BY BACK BAY BOUNDARY, INC. LAND SURVEYING, 643 FOREST AVENUE PORTLAND, MAINE. PLAN DATED JUNE 19, 2007, DATE OF SURVEY 05/31/07.
4. UNDERLYING SOILS ARE CLASSIFIED AS AU (AU GRES), A LOAMY SAND, BY SOIL CONSERVATION STUDY OF CUMBERLAND COUNTY.
5. ZONE: INDUSTRIAL I-Lb, PROPOSED USE: INTERMODAL CONTAINER STORAGE, REPAIR SERVICE, DISTRIBUTION CENTER, BACK OFFICE USE.
6. TAX MAP REFERENCE: MAP 10, BLOCK H, LOTS 5 & 8 AND MAP 12, BLOCK N, LOT 1.
7. TOTAL PARCEL = 2.70 acres
8. WAIVERS: NONE REQUESTED AT THIS TIME.
9. CALL DIG-SAFE PRIOR TO COMMENCING WORK, 1-800-DIG-SAFE.
10. POWER, TELEPHONE AND CABLE ARE EXISTING, NO CHANGES ARE PLANNED TO THE SERVICES.
11. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPS" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.
12. THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DE MINIMIS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
13. REMOVAL OF ON-SITE MATERIAL IS PERMITTED ONLY IF CONDUCTED CONSISTENT WITH THE STORMWATER MANAGEMENT CONSTRUCTION PLAN (ATTACHMENT B TO THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION COMMISSIONER'S CERTIFICATE OF COMPLETION OF REMEDIAL ACTIONS UNDER A VOLUNTARY RESPONSE ACTION PLAN, DATED JUNE 25, 2008).
14. NO REMOVAL OF ON-SITE MATERIAL IS PERMITTED.
15. DRAWINGS INCLUDED IN THIS SUBMITTAL:
    - C1.1 SITE PLAN
    - C1.2 DETAILS
    - C1.3 STOARGE/PARKING LAYOUT
    - D1.0 DRAINAGE ANALYSIS EXITING CONDITION PRIOR TO 2005
    - D1.1 DRAINAGE ANALYSIS DEVELOPED CONDITION
    - BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN
16. ALL CONTAINERS STORED ON SITE SHALL BE PROPERLY LABELED FOR HAZARDOUS MATERIALS. CONTAINER PLACEMENT ON SITE IS TO ALLOW FOR FIRE DEPARTMENT ACCESS.

REV.	DATE	DESCRIPTION
4	8/22/08	REVISED PER TOWN COMMENTS
3	7/14/08	REVISED PER COMMENT DATED JUNE 18, 2008
2	2/21/08	REV'D PER REVIEW COMMENTS
1	12/21/07	REV'D PER REVIEW COMMENTS

STATE OF MAINE — JEFFREY T. READ No. 9118 — LICENSED PROFESSIONAL ENGINEER — 8-22-08

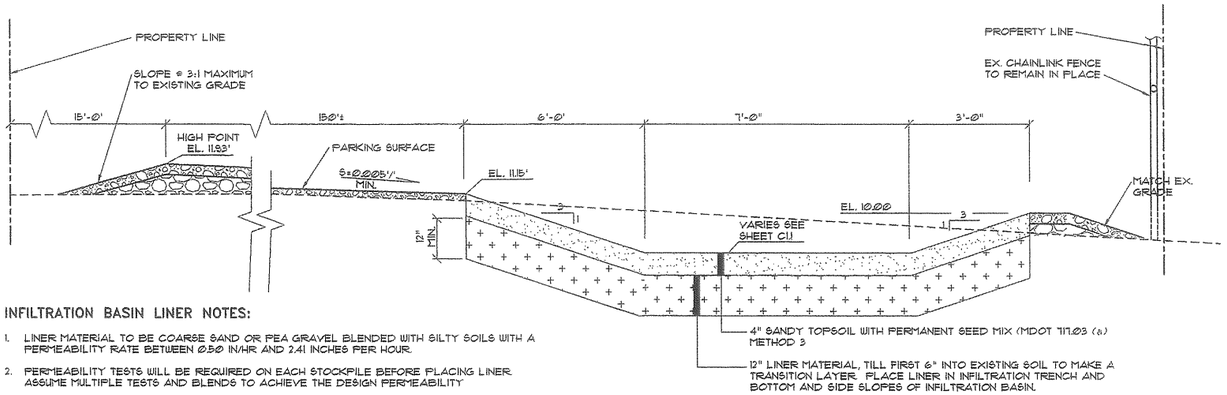
PINKHAM & GREER CONSULTING ENGINEERS FALMOUTH, MAINE

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

SITE PLAN

SCALE: AS SHOWN	DRN BY: JDC		
DATE: SEPTEMBER 25, 2007	DESG BY: JTR		C1.1
PROJECT: 07147	CHK BY: JR		

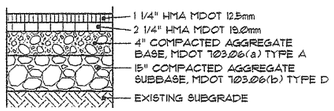


INFILTRATION BASIN LINER NOTES:

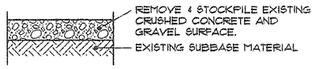
1. LINER MATERIAL TO BE COARSE SAND OR PEA GRAVEL BLENDED WITH SILTY SOILS WITH A PERMEABILITY RATE BETWEEN @.5@ IN/HR AND 2.41 INCHES PER HOUR.
2. PERMEABILITY TESTS WILL BE REQUIRED ON EACH STOCKPILE BEFORE PLACING LINER. ASSUME MULTIPLE TESTS AND BLENDS TO ACHIEVE THE DESIGN PERMEABILITY

1 SITE CROSS-SECTION

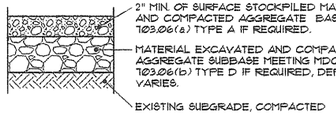
NOT TO SCALE



PROPOSED PAVEMENT FINISH SURFACE



EXISTING GRAVEL SURFACE PREPARATION



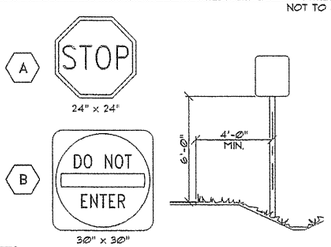
FINISH GRAVEL SURFACE

NOTES:

1. NO REMOVAL OF ON-SITE MATERIAL IS PERMITTED.
2. HMA = HOT MIX ASPHALT
3. MDOT = MAINE DEPARTMENT OF TRANSPORTATION.
4. ALL COURSE THICKNESS AFTER FINAL COMPACTION.

2 PARKING SURFACE DETAILS

NOT TO SCALE

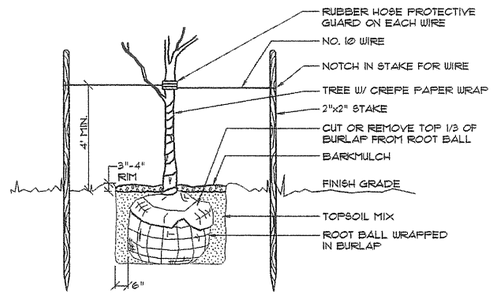


NOTES:

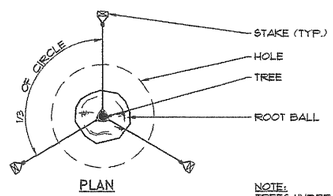
1. SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH MAINE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, HIGHWAYS AND BRIDGES REVISION OF DECEMBER 2@@2, SECTION 645.
2. ALL PERMANENT SIGNS ON THIS PROJECT ARE CLASSIFIED UNDER SECTION 645.@3(b) TYPE I REGULATORY WARNING AND ROUTE MARKER ASSEMBLY SIGNS.
3. SIGN MATERIAL SHALL BE AS SPECIFIED IN SECTION 718 OF THE MDOT STANDARD SPECIFICATIONS.
4. POSTS SHALL BE METAL CHANNELS AS SPECIFIED IN SECTION 72@.@8. ALTERNATE POSTS MAY BE 4"x6" WOOD AS SPECIFIED IN SECTION 72@.12, AS APPROVED BY ENGINEER.
5. POSTS IN THE PUBLIC RIGHT-OF-WAY TO BE ON BREAKAWAY POSTS AS SPECIFIED IN SECTION 72@ OF THE MDOT STANDARD SPECIFICATIONS.

3 ROAD SIGN LEGEND

NOT TO SCALE



SECTION

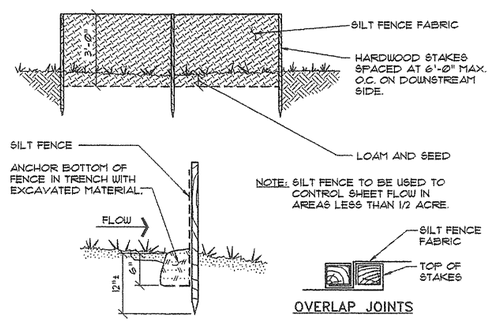


PLAN

NOTE: TREES UNDER 8' DO NOT REQUIRE STAKING.

4 TREE PLANTING DETAIL

NOT TO SCALE



OVERLAP JOINTS

5 SILT FENCE DETAIL

NOT TO SCALE

EROSION CONTROL NOTES

GENERAL:

THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:

1. SOIL EROSION IS KEPT TO A MINIMUM.
2. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
3. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPS PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2@@3.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
3. LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
4. INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILT FENCES AND STONE CHECK DAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
5. PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
6. APPLY MULCH TO BARE SOILS WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, OR PRIOR TO ANY WORK SHUTDOWN LASTING MORE THAN ONE DAY.
7. TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
8. MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 3@) USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
   - -THE BASE OF GRASSED WATERWAYS
   - -SLOPES STEEPER THAN 15%
   - -WITHIN 1@@ FT. OF STREAMS AND WETLANDS

   BETWEEN OCT. 1 AND APRIL 14 USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
   - -SIDE SLOPES OF GRASSED WATERWAYS
   - -SLOPES STEEPER THAN 8%
9. INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125BN.
10. FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
11. PLACE AND GRADE LOAM IN A REASONABLY UNIFORM MANNER. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEED BED IS PREPARED. REMOVE FROM SURFACE ALL STONES LARGER THAN 2" AND ALL OTHER UNSUITABLE MATERIAL. LIME AND FERTILIZER SHOULD BE MIXED INTO SOIL PRIOR TO ROLLING EXCEPT IF INCLUDED IN HYDROSEED MIXTURE.
12. ALL CULVERT OR PIPE OUTFALL PROTECTION MUST BE INSTALLED WITHIN 48 HOURS OF INSTALLING NEW PIPE OR CULVERT.
13. DITCHES AND CHANNELS DESIGNATED TO BE LINED WITH RIPRAP AND/OR EROSION CONTROL MESH MUST BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR CHANNEL.
14. ALL CATCH BASINS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED BY INSTALLING AND MAINTAINING SILT SACKS DURING CONSTRUCTION.

TOPSOIL:

1. SUITABLE TOPSOIL SALVAGED FROM SITE OR SCREENED, LOOSE AND FRIABLE SANDY LOAM OR LOAM AS DEFINED BY THE USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM, FREE FROM ADMIXTURE OF SUBSOIL, REFUSE, LARGE STONES, CLODS, ROOTS, WEEDS, RHIZOMES OR OTHER UNDESIREABLE FOREIGN MATTER AS DETERMINED BY THE INSPECTING AUTHORITY. CONTRACTOR SHALL SUBMIT REPORTS OF LOAM TEST RESULTS PERFORMED BY AN INDEPENDENT TESTING LABORATORY FOR TOPSOIL FROM DIFFERENT SOURCES PRIOR TO PLACING. THE COST OF TESTING SHALL BE INCIDENTAL TO THE COST OF TOPSOIL. TOPSOIL SHALL MEET THE FOLLOWING SPECIFICATIONS:
2. MATERIAL

   SAND - @.@8 IN. TO @.@@2 IN. DIAMETER (% BY VOLUME).....45 - 75
   SILT - @.@@2 IN. TO @.@@@@8 IN. DIAMETER (% BY VOLUME).....2@ - 4@
   CLAY - LESS THAN @.@@@@8 IN. DIAMETER (% BY VOLUME).....5 - 15

   ORGANICS (SHALL MEET THE REQUIREMENTS OF MDOT STANDARD SPECIFICATION 717.@3 PEAT HUMUS) (% BY VOLUME) 1@ - 2@ .

   NUTRIENTS:
   CALCIUM (CA) (% SATURATION)..... 6@ - 8@
   MAGNESIUM (MG) (% SATURATION)..... 1@ - 25
   POTASSIUM (K) (% SATURATION)..... 2.1 - 3.@
   PHOSPHORUS (P) (POUNDS/ACRE)..... 1@ - 4@
   PH..... 6.@ - 6.5

   PERMEABILITY (INCHES PER HOUR)..... .3 - 1@

   MAXIMUM STONE SIZE (INCHES)..... 3/4

SEEDING:

USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/3@. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 1@/1 AND 5/14, RESEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 717.03(a) METHOD NUMBER 3

TEMPORARY SEED:

OATS	8@.@@ LBS/ACRE	4/1@1 - 5/14
ANNUAL RYEGRASS	4@.@@ LBS/ACRE	
SUDANGRASS	4@.@@ LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	8@.@@ LBS/ACRE	5/15 - 9/14
WINTER RYE	112.@@ LBS/ACRE	9/15 - 9/3@
WINTER RYE (W/ MULCH COVER)	112.@@ LBS/ACRE	1@/1@1 - 3/31

LIME AND FERTILIZER:

APPLY GROUND LIMESTONE (EQUIVALENT TO 5@% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 POUNDS PER 1@@@ SQUARE FEET). APPLY FERTILIZER (1@-2@-2@) AT A RATE OF 8@@ POUNDS PER ACRE (18.4 POUNDS PER 1@@@ SQUARE FEET).

MULCH:

STRAW OR HAY (ANCHORED)	7@ - 9@ LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	185 - 275 LBS	WINDY AREAS
SHREDDED OR CHOPPED	185 - 275 LBS	
JUTE MESH	AS REQUIRED	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES
EXCELSIOR MAT	AS REQUIRED	

MULCH ANCHORING

PEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK

SUGGESTED SEQUENCE OF CONSTRUCTION TO CONTROL EROSION:

THIS SEQUENCE OF CONSTRUCTION IS A GENERAL GUIDE TO THE CONTRACTOR. ACTUAL CONSTRUCTION PRACTICES WILL DICTATE VARIATIONS IN THE ORDER OF MAJOR EVENTS.

1. INSTALL ALL PERIMETER SILT FENCE.
2. INSTALL AND PROTECT UNDERDRAIN SOIL FILTER AND STORM DRAINAGE SYSTEM.
3. STRIP AND STOCKPILE ON-SITE GRAVEL SURFACE.
4. BEGIN EARTHWORK FOR PARKING AREA.
5. ROUGH GRADE PARKING AREA.
6. FINE GRADE PARKING AREA.
7. RESEED OR TEMPORARILY SEED ANY GRASS AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
8. CLEAN UNDERDRAIN SOIL FILTER AND STORM DRAIN SYSTEM OF CONSTRUCTION SEDIMENTATION.
9. COMPLETE FINE GRADING PARKING AREAS.
10. REMOVE TEMPORARY SOIL EROSION MEASURES.

REV.	DATE	DESCRIPTION
3	8/22/05	REVISED PER TOWN COMMENTS
2	2/21/08	REV'D PER REVIEW COMMENTS
1	12/21/07	REV'D PER REVIEW COMMENTS

PINKHAM & GREER
CONSULTING ENGINEERS FALMOUTH, MAINE

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

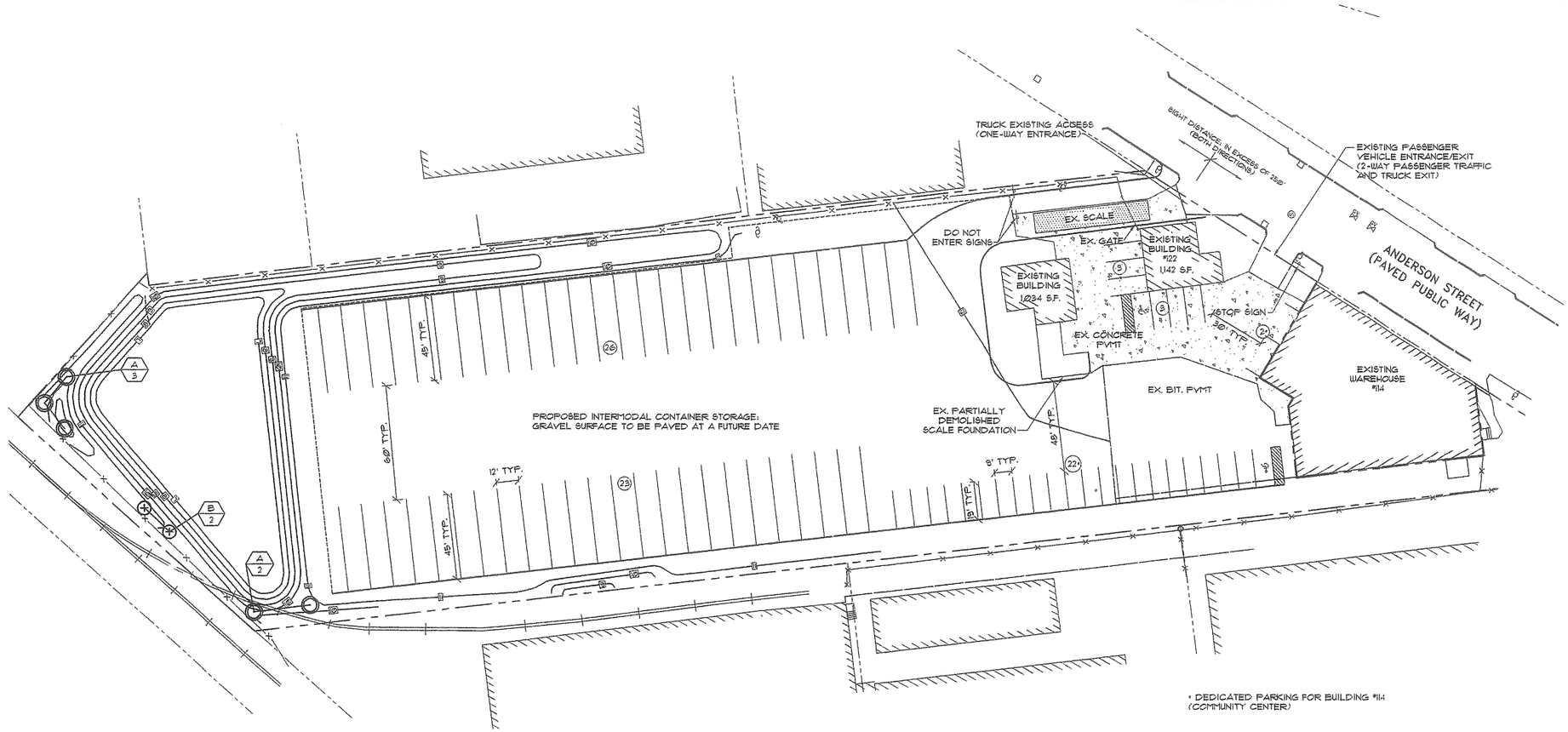
122 ANDERSON STREET
PORTLAND MAINE

DETAILS

STATE OF MAINE — JEFFREY T. READ No. 9119 — LICENSED PROFESSIONAL ENGINEER — 8.22.08

SCALE:	AS SHOWN	DRN BY:	JDC
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	

C1.2



NOTE: PROSED USE FOR EXISTING BUILDINGS ON THE PROPERTY WILL BE REPAIR SERVICES, DISTRIBUTION CENTER, AND BACK OFFICE USE.

STORAGE/PARKING

TYPE	QUANTITY
PARKING (9' x 19')	29
INTERMODAL CONTAINER STORAGE (12' x 45')	49
HANDICAPPED	2

NOTE:
INTERNAL VEHICLE CIRCULATION.
DESIGNED TO ACCOMADATE WB-40
VEHICLES.

LEGEND

EXISTING

- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- BUILDING
- CURB
- CATCH BASIN
- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
- IPF — IRON PIPE FOUND
- IPS — IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MW-1 — MONITORING WELL
- WELL
- RAILROAD TRACKS
- CONCRETE PAVEMENT

PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- CONTOURS
- LIGHT POLE
- SIGN
- HANDICAP PARKING

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

REV.	DATE	DESCRIPTION
1	8/22/08	REVISED PER TOWN COMMENTS

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

STORAGE/PARKING LAYOUT

STATE OF MAINE
JEFFREY T. READ
No. 9119
REGISTERED PROFESSIONAL ENGINEER
LICENSED
8.22.08

SCALE:	AS SHOWN	DRN BY:	EDM
DATE:	FEBRUARY 20, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	JTR

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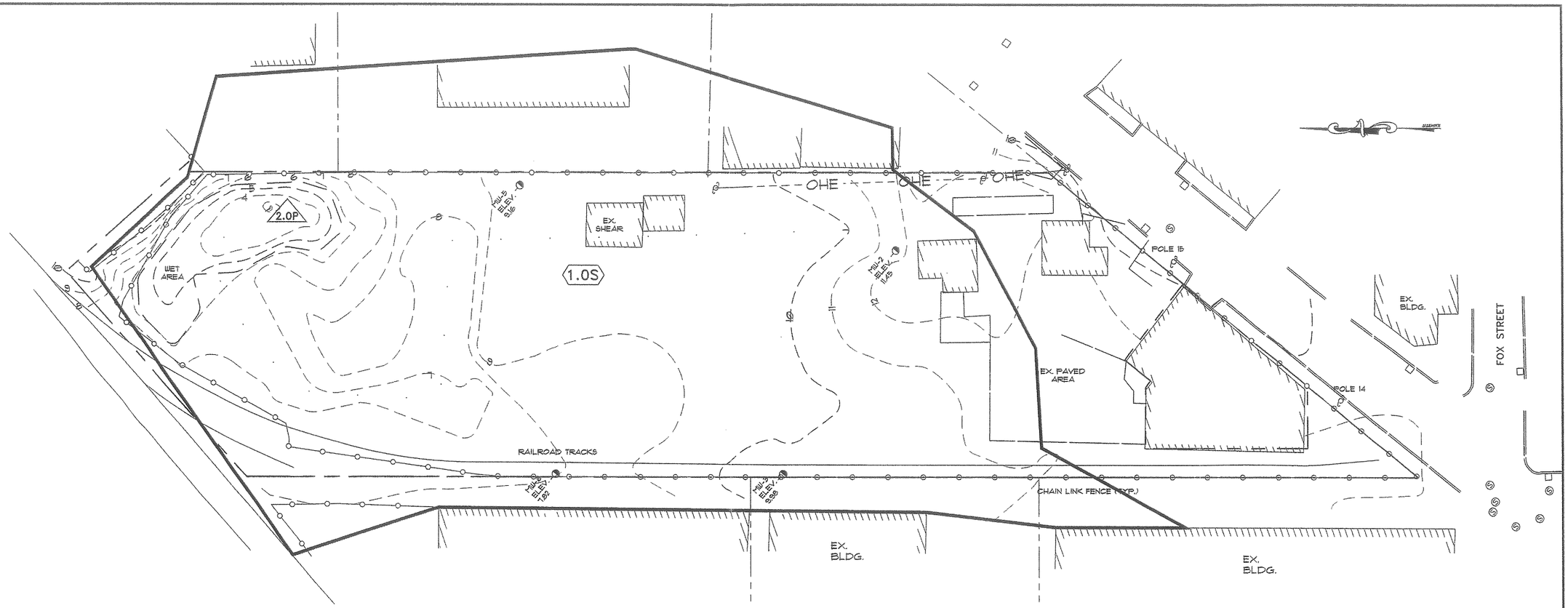


DRAINAGE LEGEND

———	SUBCATCHMENT PERIMETER
10S	SUBCATCHMENT NUMBER
POA #1 ●	POINT OF ANALYSIS
. . . . .	TIME OF CONCENTRATION (Tc PATH)
10R	REACH
10P	POND

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

REV.	DATE	DESCRIPTION

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

DRAINAGE ANAYLSIS
EXISTING CONDITION PRIOR TO 2005

STATE OF MAINE
JEFFREY T. READ
No. 9119
REGISTERED PROFESSIONAL ENGINEER
6-17-08

SCALE:	AS SHOWN	DRN BY:	DPD/JTR
DATE:	DECEMBER 21, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	JTR

D1.0

LEGEND

EXISTING

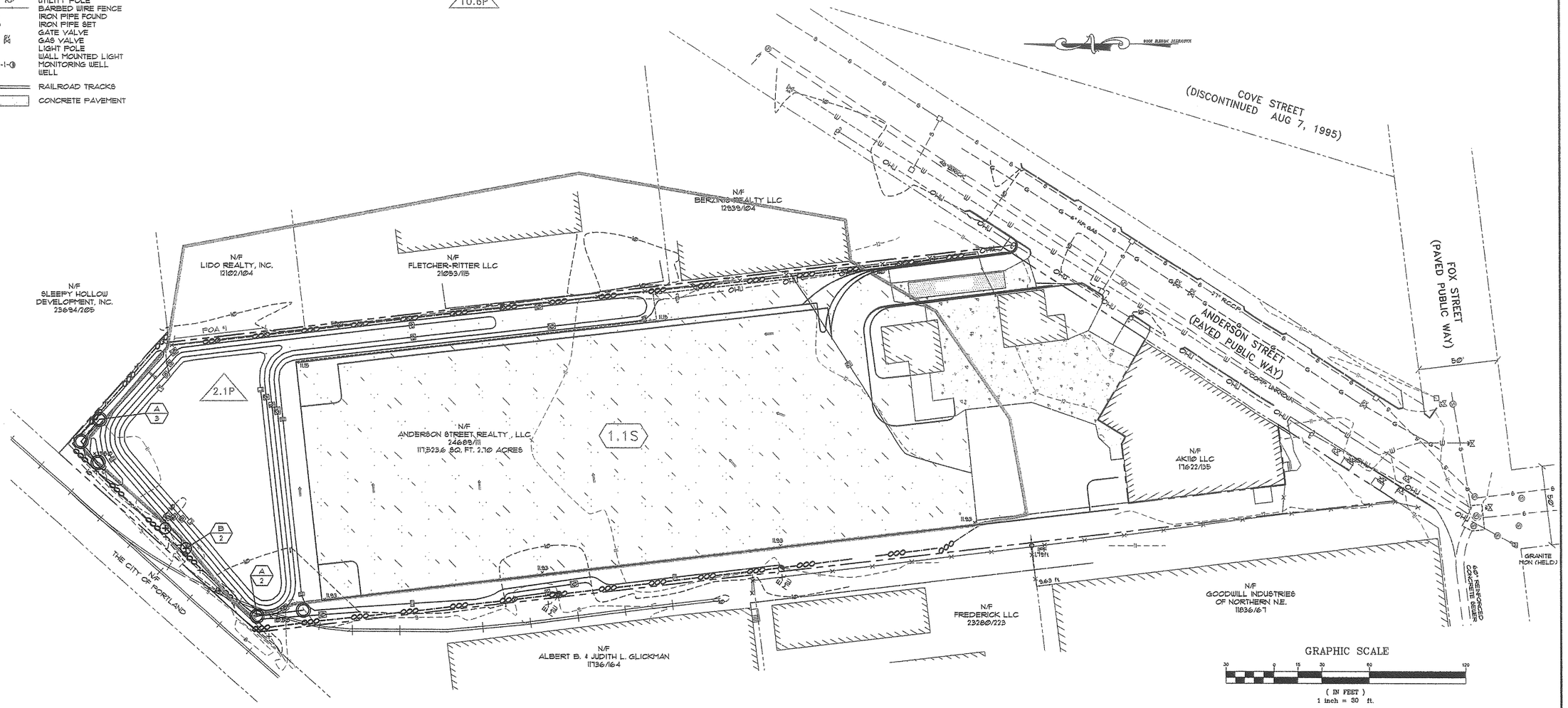
- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- CURB
- GAS LINE
- SANITARY SEWER
- OVERHEAD UTILITY
- WATER LINE
- CATCH BASIN
- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MONITORING WELL
- WELL
- RAILROAD TRACKS
- CONCRETE PAVEMENT

PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- CONTOURS
- LIGHT POLE
- SIGN
- SURFACE DRAINAGE
- SILT FENCE
- PLANTS

DRAINAGE LEGEND

- SUBCATCHMENT PERIMETER
- 10.0S — SUBCATCHMENT NUMBER
- POA #1 — POINT OF ANALYSIS
- TIME OF CONCENTRATION (Tc PATH)
- 10.6P — POND



REV.	DATE	DESCRIPTION
2	2/21/08	REV'D PER REVIEW COMMENTS
1	12/21/07	REV'D PER REVIEW COMMENTS

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

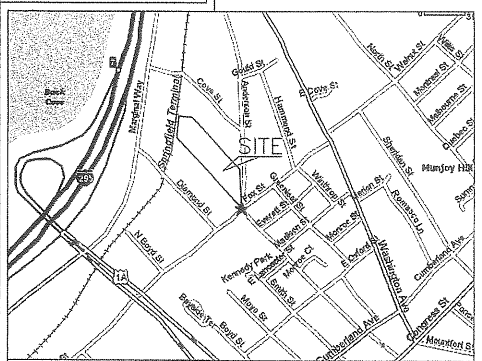
DRAINAGE ANALYSIS
DEVELOPED CONDITION

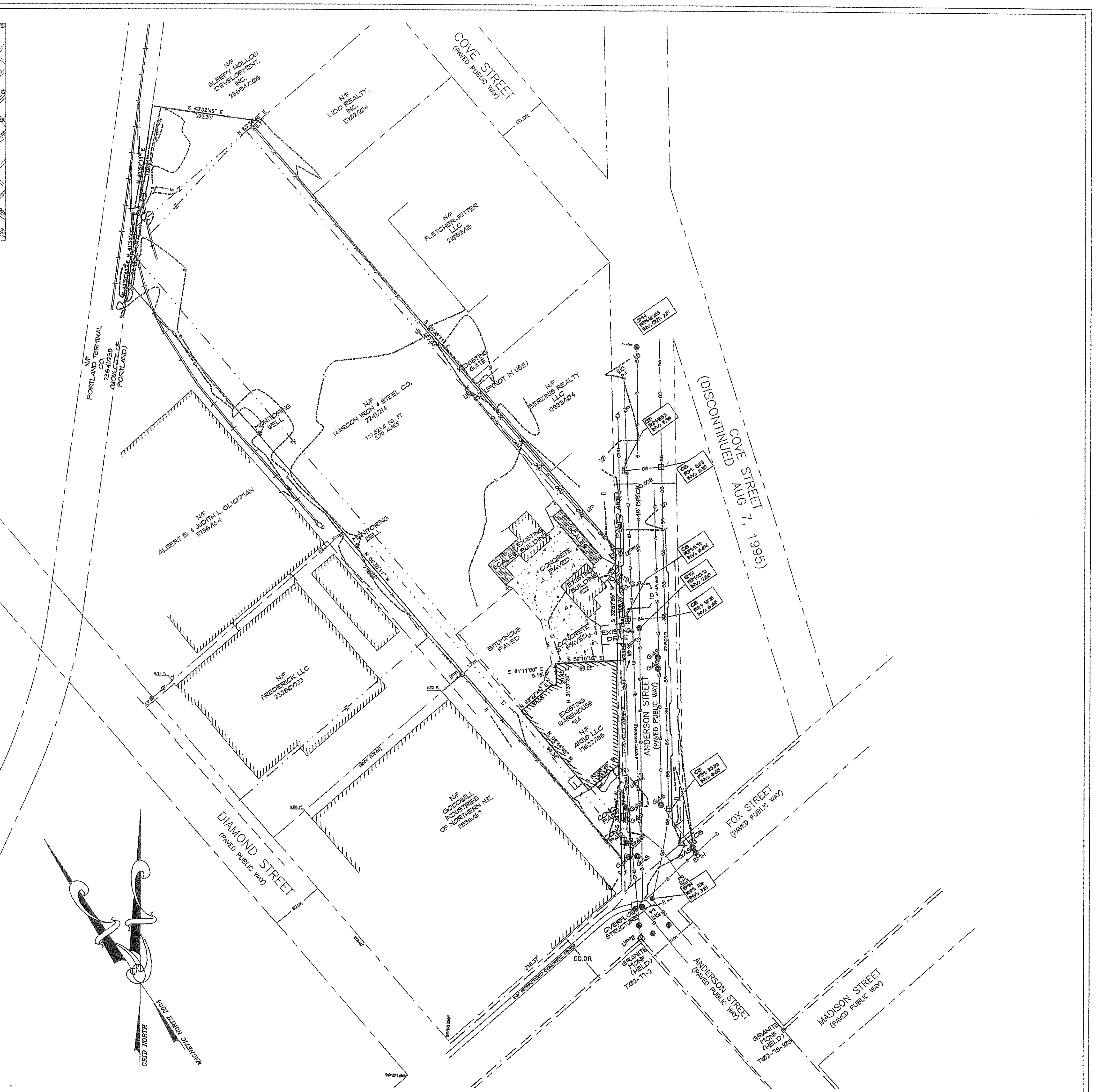
STATE OF MAINE
JEFFREY T. READ
No. 5116
REGISTERED PROFESSIONAL ENGINEER
1-17-08

SCALE:	AS SHOWN	DRN BY:	DPD
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	JTR

D1.1

SITE LOCATION MAP:





GENERAL NOTES:

1. RECORD OWNER OF PARCEL: ANDERSON STREET REALTY, LLC, BOOK 24689 PAGE 111 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.). PARCEL IS IDENTIFIED BY CITY OF PORTLAND TAX ASSESSORS PLAN NO. XX BLOCK X LOT X.

2. BEARINGS ARE BASED UPON MAINE STATE COORDINATE SYSTEM (2-ZONE PROJECTION), WEST ZONE USING THE NAD1983(HARN) DATUM AND THE U.S. SURVEY FOOT AS THE UNIT OF MEASURE. THIS SURVEY WAS PERFORMED UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
(SEE NOTE 9. BELOW FOR MAINE STATE COORDINATE SYSTEM POINTS USE.)

3. AREA OF SUBJECT PARCEL: 117,523.6 SQ. FT., 2.70 ACRES

4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) STANDARD BOUNDARY SURVEY, FOR TEWKSBURY INDUSTRIES, INC., ANDERSON STREET, PORTLAND, MAINE, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS FILE NO. 5433 PLAN NO. 1198.940801, DATED AUGUST 1994.

b.) PLAN OF RELIEF SEWER ANDERSON STREET, FOX STREET TO MADISON STREET, CITY OF PORTLAND ENGINEERING VAULT DATED MARCH 5, 1960.

c.) AS-BUILT PLAN AND PROFILE OF A 60-INCH REINFORCED CONCRETE PIPE AND OVERFLOW CHAMBER DATED MAY 31, 1961 FROM CITY OF PORTLAND ENGINEERING VAULT DRAWER 488/4. SHOWN IN FOX STREET FROM ANDERSON STREET TO DIAMOND STREET.

d.) AS-BUILT PLAN AND PROFILE OF FOX STREET STATION 10+00 TO 14+00 DATED JANUARY 1992. CITY OF PORTLAND ENGINEERING VAULT DRAWER 942/7.

e.) BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN AT 122 ANDERSON STREET PORTLAND MAINE FOR TFH ARCHITECTS DATED AUGUST 10, 2006 BY BACK BAY BOUNDARY INC. PORTLAND MAINE. UNRECORDED AT THIS TIME.

5. THERE WERE APPARENT EASEMENTS AND RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY:

a.) EXCEPTING AND RESERVING THE RIGHT OF INDUSTRIES, INC., ITS SUCCESSORS AND ASSIGNS, TO LOCATE A SPUR RAILROAD TRACK ACROSS THE NORTHWESTERLY CORNER OF THE LOT, NORTHWESTERLY OF SIDE TRACK NO. 33 AS RELOCATED.

b.) A RIGHT TO MAINTAIN A GASOLINE TANK NEAR THE NORTHEASTERLY LINE OF THE PREMISES, TO THE EXTENT NOW IN FORCE AND APPLICABLE.

c.) THE RIGHT TO MAINTAIN TRACK NO. 33 ACROSS A PORTION OF THE REMAINING LAND OF INDUSTRIES, INC. SITUATED NORTHWESTERLY OF SAID FRANK B. GORDON'S LAND AND CONNECTING WITH THE LINE OF THE PORTLAND TERMINAL COMPANY (NOW STATE OF MAINE), TO THE EXTENT NOW IN FORCE AND APPLICABLE.

d.) ALL OF THE RIGHTS TITLE AND INTEREST IN ANY APPURTENANT RIGHTS WHICH MAY CONTINUE TO BENEFIT THE PREMISES.

6. THE BOUNDARY LINE TO THE NORTHERLY END OF SUBJECT PROPERTY IS BASED UPON AN OPINION RENDERED BY WILLIAM C. SHIPPEN, PLS #2118, DATED 9/16/2005, AND A QUITCLAIM WITH COVENANT DEED FROM SLEEPY HOLLOW DEVELOPMENT, INC., TO CHADBALLS, INC., DATED AUGUST 25, 2005, RECORDED IN C.C.R.D. BOOK 23077 PAGE 198.

7. THE CATCHBASINS SHOWN HEREON AND LOCATED ON ANDERSON STREET ARE EQUIPPED WITH "CASCO TRAPS" POLLUTION CONTROL DEVICES. THE INVERT SHOWN FOR EACH CATCHBASIN IS THE TOP OF THE STANDING WATER IN EACH CATCHBASIN. THE ACTUAL INVERT OF THE PIPE WAS NOT OBTAINABLE.

THE SEWER LINE SHOWN IN ANDERSON STREET IS A 44" EGG SHAPED BRICK SEWER LINE.

THE STORM WATER LINE RUNNING FROM EACH CATCH BASIN DOWN ANDERSON STREET IS A 27 INCH REINFORCED CONCRETE PIPE. EACH UNDERGROUND UTILITY WAS PLOTTED FROM THE AVAILABLE STRUCTURES IN THE FIELD AND FROM PLANS GATHERED FROM THE CITY OF PORTLAND ENGINEERING VAULT EACH OF WHICH IS REFERENCED ABOVE IN NOTE 4.

8. ELEVATIONS ARE BASED UPON AN ELEVATION SUPPLIED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT OF A GRANITE MONUMENT FOUND AT THE CORNER OF LANCASTER AND ANDERSON STREETS. SAID MONUMENT REPORTED TO HAVE AN ELEVATION OF 19.57' N.G.V.D. 1929 CITY OF PORTLAND DATUM.

9. MAINE STATE COORDINATE SYSTEM POINTS USED:
a.) CONTROL POINT NEAREST TO PROJECT SITE: T102-77-2; COORDINATES: 2929187.900E, 303502.357N
b.) AZIMUTH POINT: T102-78-103; AZIMUTH S 57°34'35" E; COORDINATES: 2929322.506E, 303416.856N.

ZONING:

ZONE: ILb – INDUSTRIAL (LOW IMPACT) ZONE
SETBACKS: FRONT – NONE
REAR – NONE (25 FT ABUTTING RESIDENTIAL)
SIDE – NONE (25 FT ABUTTING RESIDENTIAL)
PARKING LOTS AND DRIVEWAYS: 15 FT FROM BOUNDARY
MINIMUM LOT SIZE: NONE
MINIMUM LOT WIDTH (STREET FRONTAGE): 60 FT
MAXIMUM BUILDING HEIGHT: 45 FT
MAXIMUM LOT COVERAGE (IMPERVIOUS SURFACE RATIO): 100%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'C' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

MONF □	Monument Found	(50.00')	Distance from reference Plan or deed.
IPF ○	Iron Pipe Found	N/F	Now Or Formerly
SMH ⓢ	Sewer Manhole	12345/99	Deed Book/Page of Local Registry
WG ⓦ	Water Gate	— — —	Edge of traveled way
CB ⊞	Catch Basin	—OHU—	Overhead Utility
—— – ——	Abutter Line	Ø	Utility Pole
————	Property Line	⟶	Direction of Bearing
— – – —	Street Line	— Z —	Indicates Ownership in Common
—— ——	Setback Line	— S —	Sewer Line/Combined Sewer
—··—··	Old Lot Line	— SS —	Sewer Line/Combined Sewer
---101---	Contour Line		
·····—····	RR Spur Centerline		
— W —	Water Line		
— G —	Gas Line		

BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN
AT 122 ANDERSON STREET, PORTLAND, MAINE

FOR: **CARDENTE REAL ESTATE**

PREPARED BY:
BACK BAY BOUNDARY, INC.
LAND SURVEYING
643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207-347-4346

DRAWN BY:	PJM
CHECKED BY:	RTG
SCALE:	1" = 50'
DATE OF SURVEY:	05/31/2007
JOB NUMBER:	2006047
SHEET:	1 OF 1 REV 2
DRAWER: 2006	NO: 047

REVISIONS:

REVISION 2: 11-13-2007: CHANGED OWNER: MOVED TO STATE COORDS.
REVISION 08-24-2007: ADDED ELEVATION NOTE #8

LOCATION: 122 ANDERSON STREET, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS
REGISTRY OF DEEDS

RECEIVED , 2007
AT : H M. AND RECORDED IN
PLAN BOOK PAGE

0' 50' 100' 150'
GRAPHIC SCALE

FIELD BOOK: 20 PAGE: 21

STATE OF MAINE
ROBERT T. GREENLAW
#2303
PROFESSIONAL LAND SURVEYOR

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

REVISED: NOVEMBER 13, 2007
DATE: JUNE 19, 2007

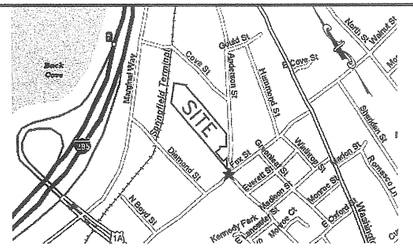
LEGEND

EXISTING

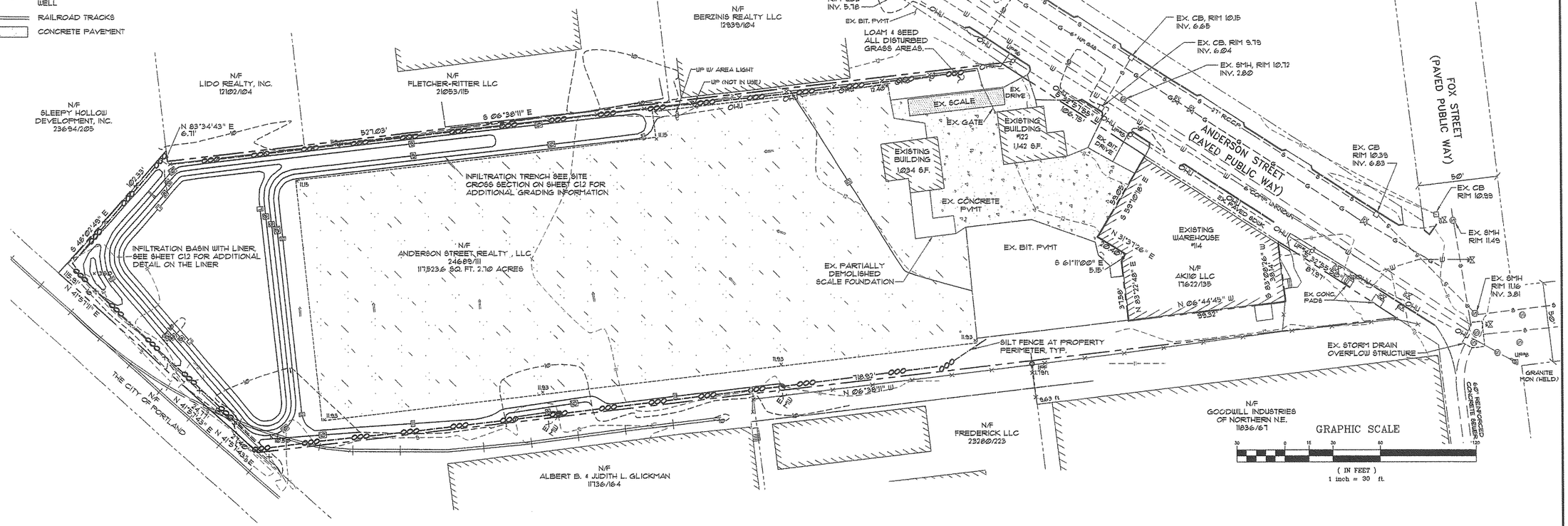
- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- CURB
- GAS LINE
- SANITARY SEWER
- OVERHEAD UTILITY
- WATER LINE
- CATCH BASIN
- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MONITORING WELL
- WELL
- RAILROAD TRACKS
- CONCRETE PAVEMENT

PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- CONTOURS
- LIGHT POLE
- SIGN
- SURFACE DRAINAGE
- SILT FENCE



LOCATION PLAN SCALE: 1"=600'±



ZONING REQUIREMENTS

ZONE I-Lb: INDUSTRIAL ZONE

MINIMUM LOT SIZE:	NONE
MAXIMUM IMPERVIOUS SURFACE RATIO:	100%
MAXIMUM BUILDING HEIGHT:	45 FEET
MINIMUM YARD DIMENSIONS:	
SIDE	NONE (25 FT IF ABUTING RESIDENTIAL)
REAR	NONE (25 FT IF ABUTING RESIDENTIAL)
FRONT	NONE
MINIMUM LOT WIDTH (STREET FRONTAGE):	60 FEET

CITY OF PORTLAND SITE PLAN

1. LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWERLINE UTILITIES SHALL BE OVERHEAD.
4. SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
7. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
8. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
9. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL, GROUPINGS OR TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

GENERAL NOTES

1. OWNER: ANDERSON STREET REALTY, LLC, 299 FOREST AVENUE, PORTLAND MAINE. CUMBERLAND COUNTY REGISTRY OF DEEDS BK. 24689, PG. 111, DATE DEC. 22 2006.
2. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
3. TOPOGRAPHIC AND BOUNDARY INFORMATION: "BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN AT 122 ANDERSON STREET, PORTLAND, MAINE" FOR CARDENTE REAL ESTATE BY BACK BAY BOUNDARY, INC. LAND SURVEYING, 643 FOREST AVENUE PORTLAND, MAINE. PLAN DATED JUNE 19, 2007, DATE OF SURVEY 05/31/07.
4. UNDERLYING SOILS ARE CLASSIFIED AS AU (AU GRES), A LOAMY SAND, BY SOIL CONSERVATION STUDY OF CUMBERLAND COUNTY.
5. ZONE: INDUSTRIAL I-Lb, PROPOSED USE: PARKING LOT & STORAGE AREA.
6. TAX MAP REFERENCE: MAP 10, BLOCK H, LOTS 5 & 8 AND MAP 12, BLOCK N, LOT 1.
7. TOTAL PARCEL = 2.78 acres
8. WAIVERS: NONE REQUESTED AT THIS TIME.
9. CALL DIG-SAFE PRIOR TO COMMENCING WORK, 1-800-DIG-SAFE.
10. POWER, TELEPHONE AND CABLE ARE EXISTING, NO CHANGES ARE PLANNED TO THE SERVICES.
11. ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPS" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.
12. THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DE MINIMIS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
13. NO REMOVAL OF ON-SITE MATERIAL IS PERMITTED.
14. DRAWINGS INCLUDED IN THIS SUBMITTAL:
    - C1 SITE PLAN
    - C12 DETAILS
    - D10 DRAINAGE ANALYSIS EXITING CONDITION PRIOR TO 2005
    - D11 DRAINAGE ANALYSIS DEVELOPED CONDITION
    - BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN
15. ALL CONTAINERS STORED ON SITE SHALL BE PROPERLY LABELED FOR HAZARDOUS MATERIALS. CONTAINER PLACEMENT ON SITE IS TO ALLOW FOR FIRE DEPARTMENT ACCESS.

REV.	DATE	DESCRIPTION
1	12/21/07	REV'D PER REVIEW COMMENTS

STATE OF MAINE
JEFFREY T. READ
No. 9119
REGISTERED PROFESSIONAL ENGINEER
12.21.07

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

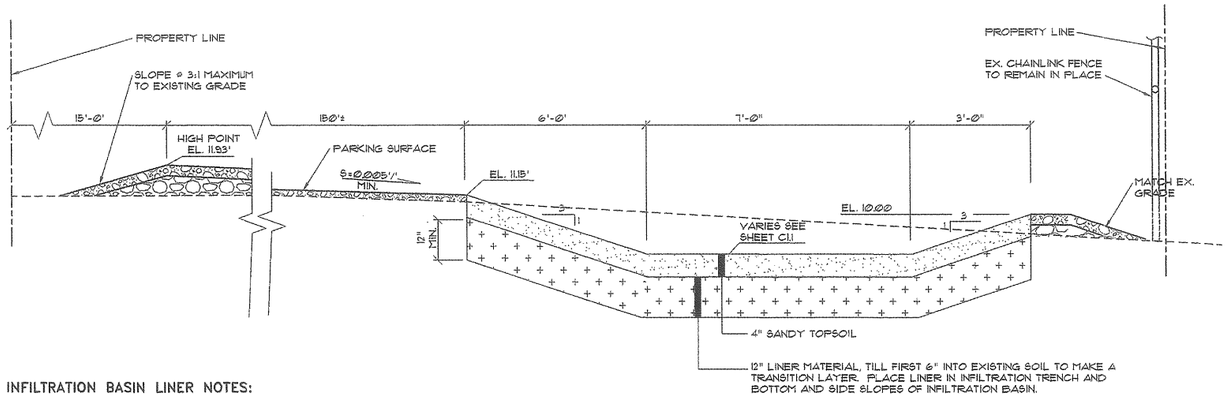
122 ANDERSON STREET
PORTLAND MAINE

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

SITE PLAN

SCALE:	AS SHOWN	DRN BY:	JDC
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	

C1.1

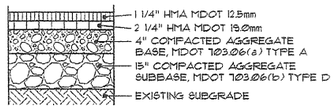


INFILTRATION BASIN LINER NOTES:

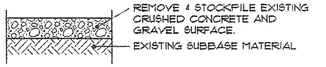
1. LINER MATERIAL TO BE COARSE SAND OR PEA GRAVEL BLENDED WITH SILTY SOILS WITH A PERMEABILITY RATE BETWEEN 0.50 IN/HR AND 2.41 INCHES PER HOUR.
2. PERMEABILITY TESTS WILL BE REQUIRED ON EACH STOCKPILE BEFORE PLACING LINER. ASSUME MULTIPLE TESTS AND BLENDS TO ACHIEVE THE DESIGN PERMEABILITY

1 SITE CROSS-SECTION

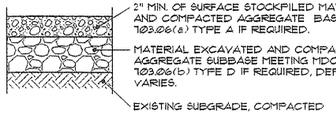
NOT TO SCALE



PROPOSED PAVEMENT FINISH SURFACE



EXISTING GRAVEL SURFACE PREPARATION



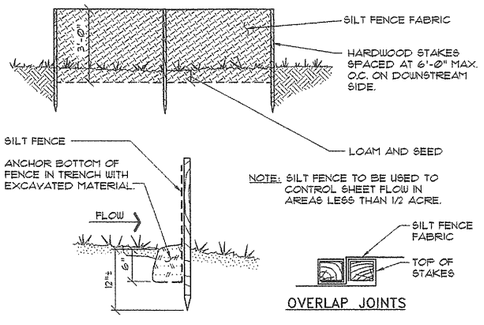
FINISH GRAVEL SURFACE

NOTES:

1. NO REMOVAL OF ON-SITE MATERIAL IS PERMITTED.
2. HMA = HOT MIX ASPHALT
3. MDOT = MAINE DEPARTMENT OF TRANSPORTATION.
4. ALL COURSE THICKNESS AFTER FINAL COMPACTION.

3 PARKING SURFACE DETAILS

NOT TO SCALE



2 SILT FENCE DETAIL

NOT TO SCALE

EROSION CONTROL NOTES

GENERAL:

THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:

1. SOIL EROSION IS KEPT TO A MINIMUM.
2. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
3. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPS PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.
3. LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
4. INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILT FENCES AND STONE CHECK DAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.
5. PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION BUT THAT SHOW SIGNS OF EROSION. NOTIFY OWNER OF ANY SIGNIFICANT EROSION PROBLEM.
6. APPLY MULCH TO BARE SOILS WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, OR PRIOR TO ANY WORK SHUTDOWN LASTING MORE THAN ONE DAY.
7. TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
8. MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
   - THE BASE OF GRASSED WATERWAYS
   - SLOPES STEEPER THAN 15%
   - WITHIN 100 ft. OF STREAMS AND WETLANDS

   BETWEEN OCT. 1 AND APRIL 14 USE EROSION CONTROL MESH (OR MULCH AND NETTING) ON:
   - SIDE SLOPES OF GRASSED WATERWAYS
   - SLOPES STEEPER THAN 8%
9. INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125BN.
10. FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.
11. PLACE AND GRADE LOAM IN A REASONABLY UNIFORM MANNER. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEED BED IS PREPARED. REMOVE FROM SURFACE ALL STONES LARGER THAN 2" AND ALL OTHER UNSUITABLE MATERIAL. LIME AND FERTILIZER SHOULD BE MIXED INTO SOIL PRIOR TO ROLLING EXCEPT IF INCLUDED IN HYDROSEED MIXTURE.
12. ALL CULVERT OR PIPE OUTFALL PROTECTION MUST BE INSTALLED WITHIN 48 HOURS OF INSTALLING NEW PIPE OR CULVERT.
13. DITCHES AND CHANNELS DESIGNATED TO BE LINED WITH RIPRAP AND/OR EROSION CONTROL MESH MUST BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR CHANNEL.
14. ALL CATCH BASINS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED BY INSTALLING AND MAINTAINING SILT SACKS DURING CONSTRUCTION.

TOPSOIL:

1. SUITABLE TOPSOIL SALVAGED FROM SITE OR SCREENED, LOOSE AND FRIABLE SANDY LOAM OR LOAM AS DEFINED BY THE USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM, FREE FROM ADMIXTURE OF SUBSOIL, REFUSE, LARGE STONES, CLODS, ROOTS, WEEDS, RHIZOMES OR OTHER UNDESIREABLE FOREIGN MATTER AS DETERMINED BY THE INSPECTING AUTHORITY. CONTRACTOR SHALL SUBMIT REPORTS OF LOAM TEST RESULTS PERFORMED BY AN INDEPENDENT TESTING LABORATORY FOR TOPSOIL FROM DIFFERENT SOURCES PRIOR TO PLACING. THE COST OF TESTING SHALL BE INCIDENTAL TO THE COST OF TOPSOIL. TOPSOIL SHALL MEET THE FOLLOWING SPECIFICATIONS:
2. MATERIAL

   SAND - 0.08 IN. TO 0.002 IN. DIAMETER (% BY VOLUME).....45 - 75
   SILT - 0.002 IN. TO 0.00008 IN. DIAMETER (% BY VOLUME).....20 - 40
   CLAY - LESS THAN 0.00008 IN. DIAMETER (% BY VOLUME).....5 - 15

   ORGANICS (SHALL MEET THE REQUIREMENTS OF MDOT STANDARD SPECIFICATION 717.03 PEAT HUMUS) (% BY VOLUME) 10 - 20 .

   NUTRIENTS:
   CALCIUM (CA) (% SATURATION).....60 - 80
   MAGNESIUM (MG) (% SATURATION).....10 - 25
   POTASSIUM (K) (% SATURATION).....2.1 - 3.0
   PHOSPHORUS (P) (POUNDS/ACRE).....10 - 40
   PH.....6.0 - 6.5

   PERMEABILITY (INCHES PER HOUR).....3 - 10

   MAXIMUM STONE SIZE (INCHES).....3/4

SEEDING:

USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RESEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 717.03(a) METHOD NUMBER 3

TEMPORARY SEED:

OATS	80.00 LBS/ACRE	4/01 - 5/14
ANNUAL RYEGRASS	40.00 LBS/ACRE	
SUDANGRASS	40.00 LBS/ACRE	5/15 - 8/14
ANNUAL RYEGRASS	80.00 LBS/ACRE	5/15 - 9/14
WINTER RYE	112.00 LBS/ACRE	9/15 - 9/30
WINTER RYE (W/ MULCH COVER)	112.00 LBS/ACRE	10/01 - 3/31

LIME AND FERTILIZER:

APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 POUNDS PER 1000 SQUARE FEET). APPLY FERTILIZER (10-20-20) AT A RATE OF 600 POUNDS PER ACRE (13.4 POUNDS PER 1000 SQUARE FEET).

MULCH:

STRAW OR HAY (ANCHORED)	70 - 90 LBS	PROTECTED AREAS
STRAW OR HAY (ANCHORED)	185 - 215 LBS	WINDY AREAS
SHREDDED OR CHOPPED	185 - 215 LBS	
JUTE MESH	AS REQUIRED	MODERATE TO HIGH VELOCITY AREAS & STEEP SLOPES
EXCELSIOR MAT	AS REQUIRED	

MULCH ANCHORING

PEG AND TWINE	LIQUID ASPHALT
MULCH NETTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CHEMICAL TACK

SUGGESTED SEQUENCE OF CONSTRUCTION TO CONTROL EROSION:

THIS SEQUENCE OF CONSTRUCTION IS A GENERAL GUIDE TO THE CONTRACTOR. ACTUAL CONSTRUCTION PRACTICES WILL DICTATE VARIATIONS IN THE ORDER OF MAJOR EVENTS.

1. INSTALL ALL PERIMETER SILT FENCE.
2. INSTALL AND PROTECT UNDERDRAIN SOIL FILTER AND STORM DRAINAGE SYSTEM.
3. STRIP AND STOCKPILE ON-SITE GRAVEL SURFACE.
4. BEGIN EARTHWORK FOR PARKING AREA.
5. ROUGH GRADE PARKING AREA.
6. FINE GRADE PARKING AREA.
7. RESEED OR TEMPORARILY SEED ANY GRASS AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
8. CLEAN UNDERDRAIN SOIL FILTER AND STORM DRAIN SYSTEM OF CONSTRUCTION SEDIMENTATION.
9. COMPLETE FINE GRADING PARKING AREAS.
10. REMOVE TEMPORARY SOIL EROSION MEASURES.

REV.	DATE	DESCRIPTION
1	12/21/07	REV'D PER REVIEW COMMENTS

STATE OF MAINE — JEFFREY T. READ No. 9119 — LICENSED PROFESSIONAL ENGINEER
12-21-07

PINKHAM & GREER
CONSULTING ENGINEERS FALMOUTH, MAINE

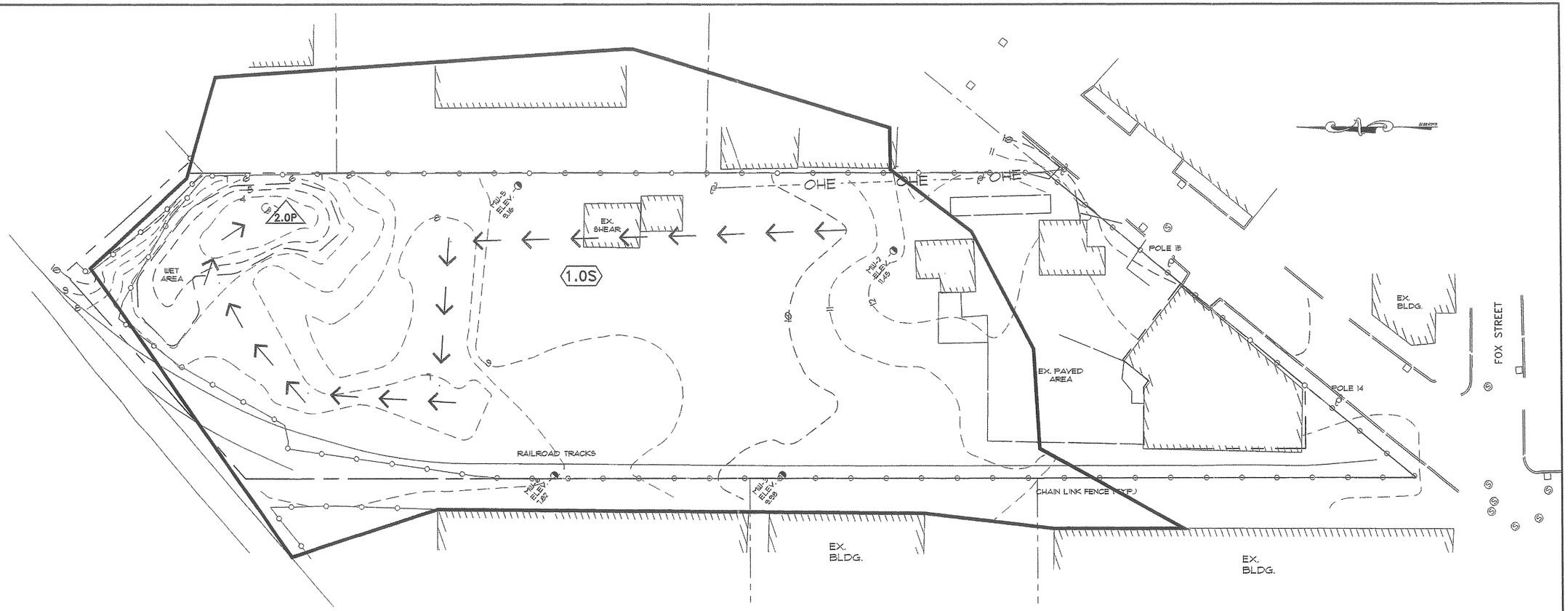
CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

DETAILS

SCALE:	AS SHOWN	DRN BY:	JDC
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	

C1.2



DRAINAGE LEGEND

- SUBCATCHMENT PERIMETER
- 10S — SUBCATCHMENT NUMBER
- POA #1 ● — POINT OF ANALYSIS
- → → → — TIME OF CONCENTRATION (Tc PATH)
- 10R — REACH
- 10P — POND

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

REV.	DATE	DESCRIPTION

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

DRAINAGE ANAYLSIS
EXISTING CONDITION PRIOR TO 2005

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

STATE OF MAINE
JEFFREY T. READ
No. 9119
LICENSED PROFESSIONAL ENGINEER
12-21-07

SCALE:	AS SHOWN	DRN BY:	DPD/JTR
DATE:	DECEMBER 21, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	

D1.0

LEGEND

EXISTING

- PROPERTY LINE
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- CURB
- GAS LINE
- SANITARY SEWER
- OVERHEAD UTILITY
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- SEWER MANHOLE
- UTILITY POLE
- BARBED WIRE FENCE
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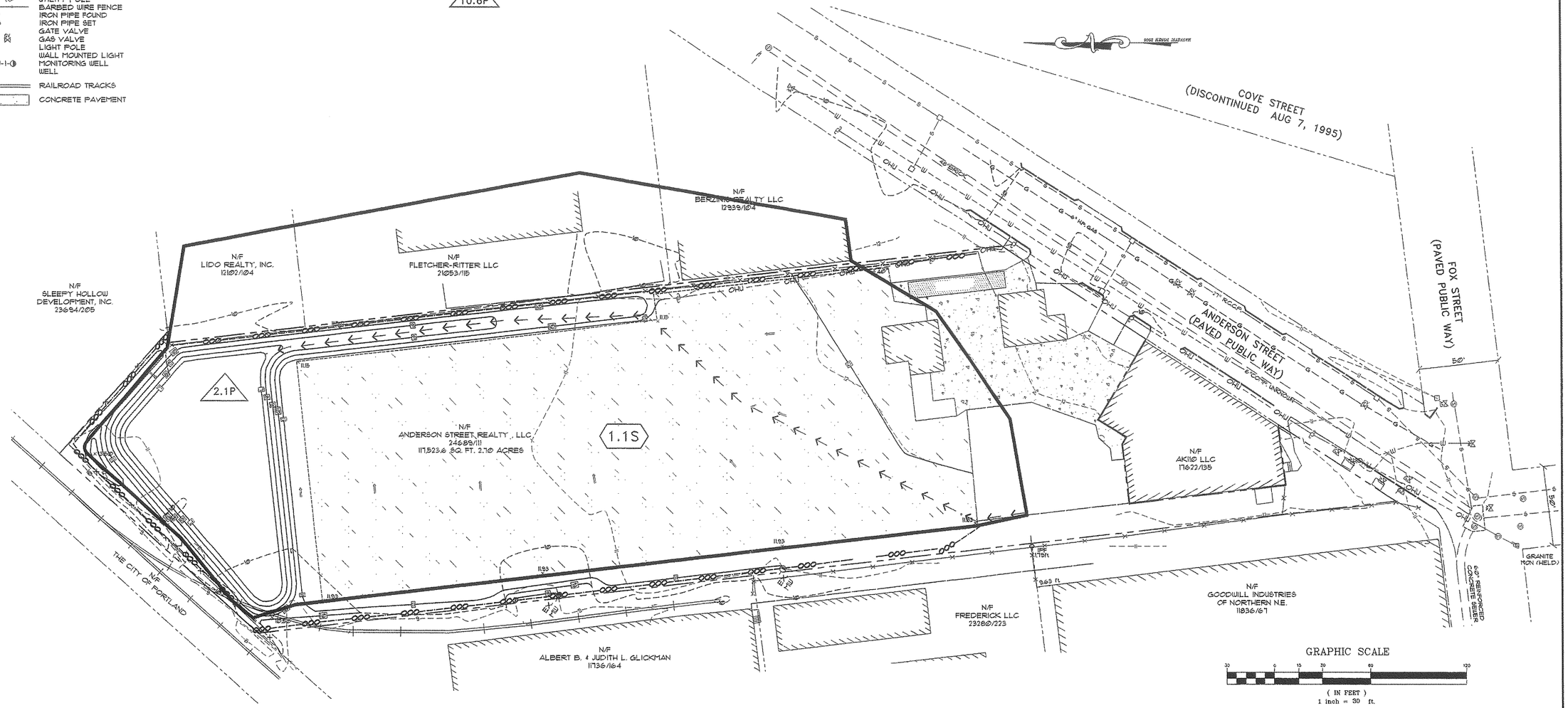
- IRON PIPE SET
- GATE VALVE
- GAS VALVE
- LIGHT POLE
- WALL MOUNTED LIGHT
- MONITORING WELL
- WELL
- RAILROAD TRACKS
- CONCRETE PAVEMENT

PROPOSED

- EDGE OF GRAVEL/ PROPOSED PAVEMENT
- VERTICAL GRANITE CURB
- CONTOURS
- LIGHT POLE
- SIGN
- SURFACE DRAINAGE
- SILT FENCE

DRAINAGE LEGEND

- SUBCATCHMENT PERIMETER
- 10.0S — SUBCATCHMENT NUMBER
- POA #1 — POINT OF ANALYSIS
- TIME OF CONCENTRATION (Tc PATH)
- 10.6P — POND



GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

REV.	DATE	DESCRIPTION
1	12/21/07	REV'D PER REVIEW COMMENTS

CARDENTE REAL ESTATE
299 FOREST AVENUE, PORTLAND MAINE

122 ANDERSON STREET
PORTLAND MAINE

DRAINAGE ANALYSIS
DEVELOPED CONDITION

PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

STATE OF MAINE
JEFFREY T. READ
No. 9119
REGISTERED PROFESSIONAL ENGINEER
12-21-07

SCALE:	AS SHOWN	DRN BY:	DPD
DATE:	SEPTEMBER 25, 2007	DESG BY:	JTR
PROJECT:	07147	CHK BY:	

D1.1

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: ANDERSON STREET REALTY, LLC, BOOK 24689 PAGE 111 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.). PARCEL IS IDENTIFIED BY CITY OF PORTLAND TAX ASSESSORS PLAN NO. XX BLOCK X LOT X.

2. BEARINGS ARE BASED UPON MAINE STATE COORDINATE SYSTEM (2-ZONE PROJECTION), WEST ZONE USING THE NAD1983(HARN) DATUM AND THE U.S. SURVEY FOOT AS THE UNIT OF MEASURE. THIS SURVEY WAS PERFORMED UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
(SEE NOTE 9. BELOW FOR MAINE STATE COORDINATE SYSTEM POINTS USE.)

3. AREA OF SUBJECT PARCEL: 117,523.6 SQ. FT., 2.70 ACRES

4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) STANDARD BOUNDARY SURVEY, FOR TEWKSBURY INDUSTRIES, INC., ANDERSON STREET, PORTLAND, MAINE, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS FILE NO. 5433 PLAN NO. 1198,940801, DATED AUGUST 1994.

b.) PLAN OF RELIEF SEWER ANDERSON STREET, FOX STREET TO MADISON STREET, CITY OF PORTLAND ENGINEERING VAULT DATED MARCH 5, 1960.

c.) AS-BUILT PLAN AND PROFILE OF A 60-INCH REINFORCED CONCRETE PIPE AND OVERFLOW CHAMBER DATED MAY 31, 1961 FROM CITY OF PORTLAND ENGINEERING VAULT DRAWER 488/4. SHOWN IN FOX STREET FROM ANDERSON STREET TO DIAMOND STREET.

d.) AS-BUILT PLAN AND PROFILE OF FOX STREET STATION 10+00 TO 14+00 DATED JANUARY 1992. CITY OF PORTLAND ENGINEERING VAULT DRAWER 942/7.

e.) BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN AT 122 ANDERSON STREET PORTLAND MAINE FOR TFH ARCHITECTS DATED AUGUST 10, 2006 BY BACK BAY BOUNDARY INC. PORTLAND MAINE. UNRECORDED AT THIS TIME.

5. THERE WERE APPARENT EASEMENTS AND RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY:

a.) EXCEPTING AND RESERVING THE RIGHT OF INDUSTRIES, INC., ITS SUCCESSORS AND ASSIGNS, TO LOCATE A SPUR RAILROAD TRACK ACROSS THE NORTHWESTERLY CORNER OF THE LOT, NORTHWESTERLY OF SIDE TRACK NO. 33 AS RELOCATED.

b.) A RIGHT TO MAINTAIN A GASOLINE TANK NEAR THE NORTHEASTERLY LINE OF THE PREMISES, TO THE EXTENT NOW IN FORCE AND APPLICABLE.

c.) THE RIGHT TO MAINTAIN TRACK NO. 33 ACROSS A PORTION OF THE REMAINING LAND OF INDUSTRIES, INC. SITUATED NORTHWESTERLY OF SAID FRANK B. GORDON'S LAND AND CONNECTING WITH THE LINE OF THE PORTLAND TERMINAL COMPANY (NOW STATE OF MAINE), TO THE EXTENT NOW IN FORCE AND APPLICABLE.

d.) ALL OF THE RIGHTS TITLE AND INTEREST IN ANY APPURTENANT RIGHTS WHICH MAY CONTINUE TO BENEFIT THE PREMISES.

6. THE BOUNDARY LINE TO THE NORTHERLY END OF SUBJECT PROPERTY IS BASED UPON AN OPINION RENDERED BY WILLIAM C. SHIPPEN, PLS #2118, DATED 9/16/2005, AND A QUITCLAIM WITH COVENANT DEED FROM SLEEPY HOLLOW DEVELOPMENT, INC., TO CHADBALLS, INC., DATED AUGUST 25, 2005, RECORDED IN C.C.R.D. BOOK 23077 PAGE 198.

7. THE CATCHBASINS SHOWN HEREON AND LOCATED ON ANDERSON STREET ARE EQUIPPED WITH "CASCO TRAPS" POLLUTION CONTROL DEVICES. THE INVERT SHOWN FOR EACH CATCHBASIN IS THE TOP OF THE STANDING WATER IN EACH CATCHBASIN. THE ACTUAL INVERT OF THE PIPE WAS NOT OBTAINABLE.

THE SEWER LINE SHOWN IN ANDERSON STREET IS A 44" EGG SHAPED BRICK SEWER LINE.

THE STORM WATER LINE RUNNING FROM EACH CATCH BASIN DOWN ANDERSON STREET IS A 27 INCH REINFORCED CONCRETE PIPE. EACH UNDERGROUND UTILITY WAS PLOTTED FROM THE AVAILABLE STRUCTURES IN THE FIELD AND FROM PLANS GATHERED FROM THE CITY OF PORTLAND ENGINEERING VAULT EACH OF WHICH IS REFERENCED ABOVE IN NOTE 4.

8. ELEVATIONS ARE BASED UPON AN ELEVATION SUPPLIED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT OF A GRANITE MONUMENT FOUND AT THE CORNER OF LANCASTER AND ANDERSON STREETS. SAID MONUMENT REPORTED TO HAVE AN ELEVATION OF 19.57' N.G.V.D. 1929 CITY OF PORTLAND DATUM.

9. MAINE STATE COORDINATE SYSTEM POINTS USED:
a.) CONTROL POINT NEAREST TO PROJECT SITE: T102-77-2; COORDINATES: 2929187.900E, 303502.357N
b.) AZIMUTH POINT: T102-78-103; AZIMUTH S 57°34'35" E; COORDINATES: 2929322.506E, 303416.856N.

ZONING:

ZONE: ILb – INDUSTRIAL (LOW IMPACT) ZONE
SETBACKS: FRONT – NONE
REAR – NONE (25 FT ABUTTING RESIDENTIAL)
SIDE – NONE (25 FT ABUTTING RESIDENTIAL)
PARKING LOTS AND DRIVEWAYS: 15 FT FROM BOUNDARY
MINIMUM LOT SIZE: NONE
MINIMUM LOT WIDTH (STREET FRONTAGE): 60 FT
MAXIMUM BUILDING HEIGHT: 45 FT
MAXIMUM LOT COVERAGE (IMPERVIOUS SURFACE RATIO): 100%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'C' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

MONF □ Monument Found
IPF ○ Iron Pipe Found
SMH Ⓢ Sewer Manhole
WG Ⓦ Water Gate
CB ⊞ Catch Basin
Abutter Line
Property Line
Street Line
Setback Line
Old Lot Line
---101--- Contour Line
RR Spur Centerline
— W — Water Line
— G — Gas Line
(50.00') Distance from reference Plan or deed.
N/F Now Or Formerly
12345/99 Deed Book/Page of Local Registry
Edge of traveled way
—OHU— Overhead Utility
Utility Pole
Direction of Bearing
— Z — Indicates Ownership in Common
— S — Sewer Line/Combined Sewer
— SS — Sewer Line/Combined Sewer

BOUNDARY SURVEY/TOPOGRAPHIC SITE PLAN
AT 122 ANDERSON STREET, PORTLAND, MAINE
FOR: **CARDENTE REAL ESTATE**

REVISIONS:

REVISION 2: 11-13-2007: CHANGED OWNER: MOVED TO STATE COORDS.
REVISION 06-24-2007: ADDED ELEVATION NOTE #8
LOCATION: 122 ANDERSON STREET, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS
REGISTRY OF DEEDS

RECEIVED , 2007
AT : H M. AND RECORDED IN
PLAN BOOK PAGE

0' 50' 100' 150'
GRAPHIC SCALE

FIELD BOOK: 20 PAGE: 21

STATE OF MAINE ROBERT T. GREENLAW #2303 PROFESSIONAL LAND SURVEYOR

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

REVISED: NOVEMBER 13, 2007
DATE: JUNE 19, 2007

PREPARED BY:
BACK BAY BOUNDARY, INC.
LAND SURVEYING
643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207-347-4346

DRAWN BY: PJM
CHECKED BY: RTG
SCALE: 1" = 50'
DATE OF SURVEY: 05/31/2007
JOB NUMBER: 2006047
SHEET: 1 OF 1 REV 2
DRAWER: 2006 NO: 047