

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 090116

This is to certify that FLETCHER-RITTER LLC / Warehouse Construction
has permission to change of use from warehouse space to Jewelry making studio & gallery w/ tenant fit-up
AT 50 COVE ST CE 010 H004001

provided that the person or persons, firm or contractor accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.	<p>PERMIT ISSUED</p> <p>MAR 3 2009</p> <p>CITY OF PORTLAND</p>	<p>Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise changed-in. 24 HOURS NOTICE IS REQUIRED.</p>	<p>A certificate of occupancy must be procured by owner before this building or part thereof is occupied.</p>
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OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Lathen

Health Dept. _____

Appeal Board _____

Other _____
Department Name

[Signature] 3/2/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0116	Issue Date: 3/2/09	CBL: 010 H004001
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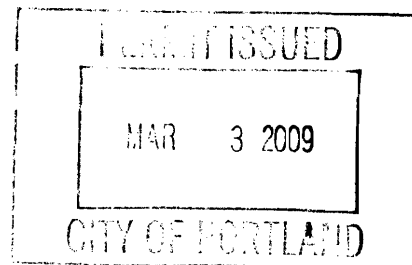
Location of Construction: 50 COVE ST	Owner Name: FLETCHER-RITTER LLC	Owner Address: 50 COVE ST	Phone:
Business Name:	Contractor Name: Warren Construction	Contractor Address: P.O. Box 362 South Freeport	Phone: 2078653522
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: I-L6

Past Use: Commercial/Warehouse	Proposed Use: Commercial - Jewelry Making Studio - change of use from warehouse space to Jewelry making studio & Gallery w/ tenant fit-up	Permit Fee: \$845.00	Cost of Work: \$75,000.00	CEO District: 1
Proposed Project Description: change of use from warehouse space to Jewelry making studio & Gallery w/ tenant fit-up		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: B/H Type: SB IBC-2003 Signature: [Signature] 3/2/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 02/17/2009	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied [Signature]
Date: _____	Date: _____	Date: _____


CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0116	Date Applied For: 02/17/2009	CBL: 010 H004001
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Location of Construction: 50 COVE ST	Owner Name: FLETCHER-RITTER LLC	Owner Address: 50 COVE ST	Phone:
Business Name:	Contractor Name: Warren Construction	Contractor Address: P.O. Box 362 South Freeport	Phone (207) 865-3522
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial - Jewelry Making Studio - change of use from warehouse space to Jewelry making studio & Gallery w/ tenant fit-up	Proposed Project Description: change of use from warehouse space to Jewelry making studio & Gallery w/ tenant fit-up
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 02/17/2009

Note: Jewelry making is listed as a low impact industrial use. The gallery is considered an ancillary use. Area of change of use is 4300 sf so four parking spaces are required (one for every 1,000 sf). **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 03/02/2009

Note: Called Mr Ritter w/ ? Regarding jewelry fabrication and areas.3/02/-09 CSH **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Separate Permits shall be required for any new signage.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 02/24/2009

Note: **Ok to Issue:**

- 1) Any LP gas containers used for manufacturing shall comply with NFPA 58.
- 2) Emergency lights are required to be tested at the electrical panel.
- 3) Emergency lights and exit signs are required
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 5) The sprinkler system shall be installed in accordance with NFPA 13.
- 6) All construction shall comply with NFPA 101



General Building Permit Application

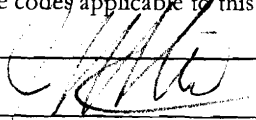
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>50 Cove St Portland ME 04101</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>10</u> Block# <u>H1</u> Lot# <u>4</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Fletcher-Ritter LLC</u> Address <u>50 Cove St</u> City, State & Zip <u>Portland ME 04101</u>	Telephone: <u>772 3822</u> <u>JEFF RITTER</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>75000.00</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>845</u>
Current legal use (i.e. single family) <u>Commercial Warehouse</u> Number of Residential Units <u>0</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Jewelry Making Studios</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Change of use to Jewelry Making Studios + Gallery w/tenant fitout</u>		
Contractor's name: <u>Warren Construction</u>		
Address: <u>PO Box 362</u>		
City, State & Zip <u>So Freeport, ME 04078</u>		Telephone: <u>865 3522</u>
Who should we contact when the permit is ready: <u>Peter</u>		Telephone: _____
Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

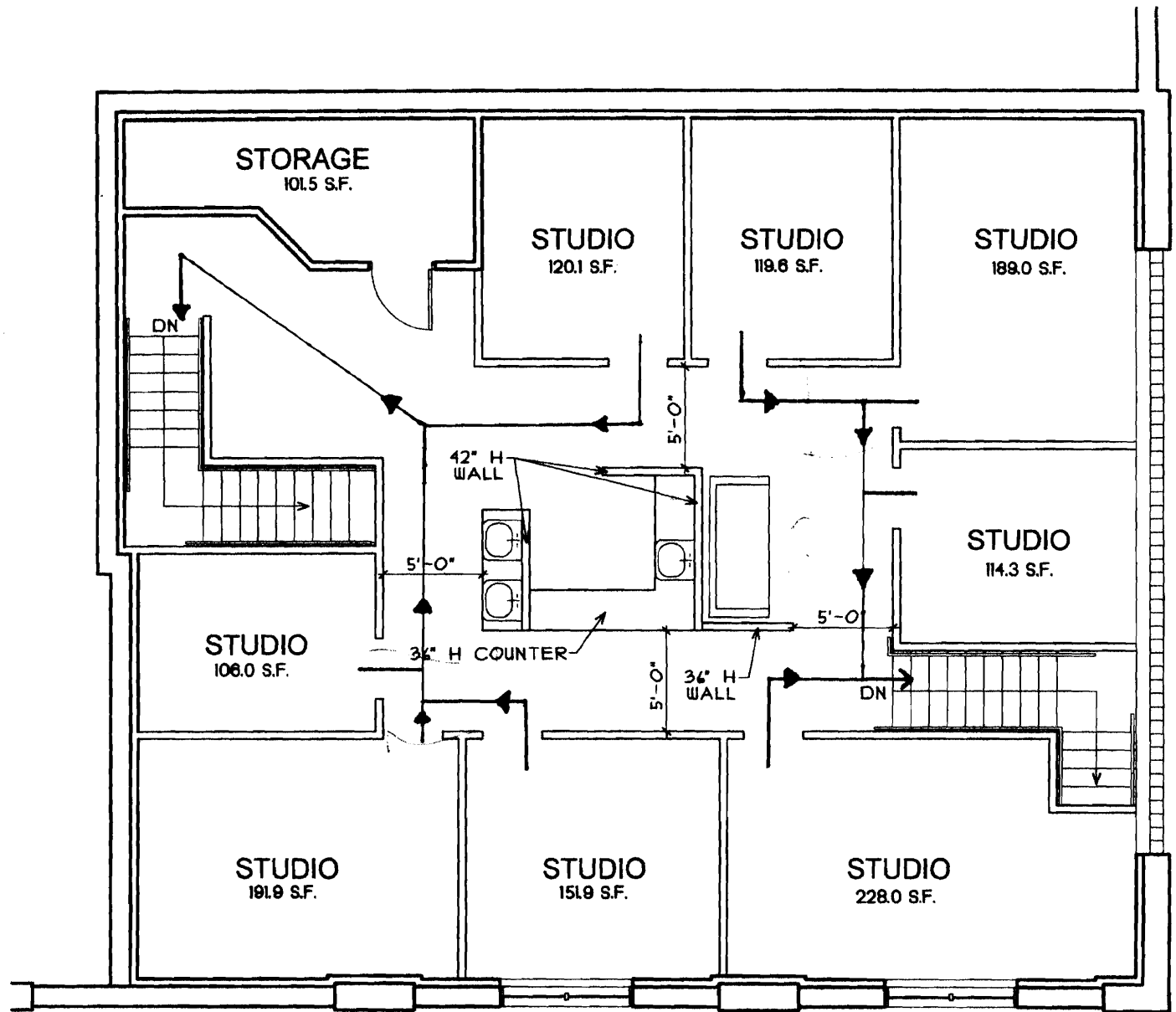
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 2/11/09

This is not a permit; you may not commence ANY work until the permit is issued



Life Safety Plan

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

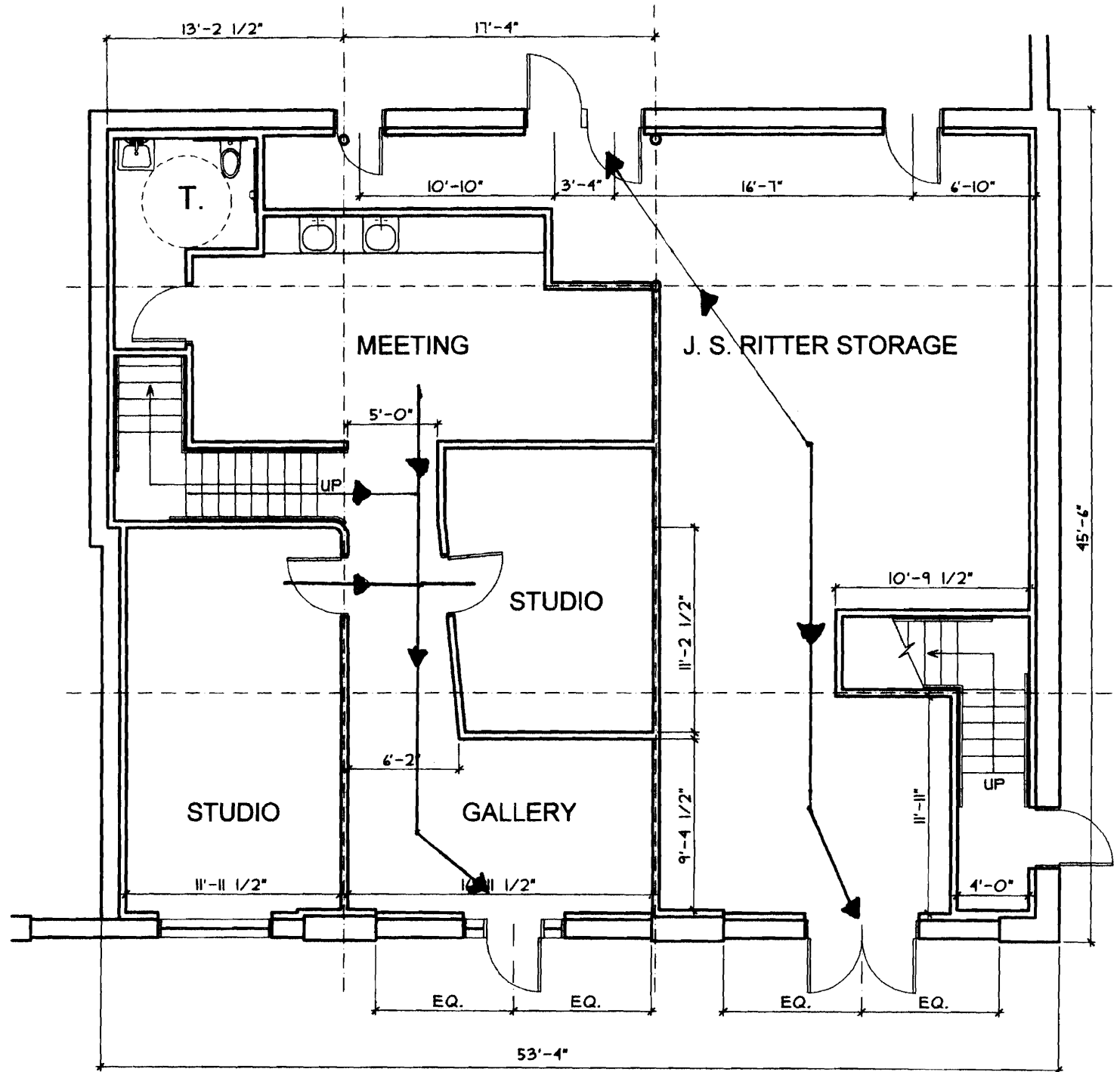
Scheme A

January 29, 2009

J. S. Ritter Warehouse Additions & Renovation

Architects

Fletcher Ritter, LLC



GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

14 10 00 02 1

171.14' Parking

26+ Parking Spaces

230.82'

Parking

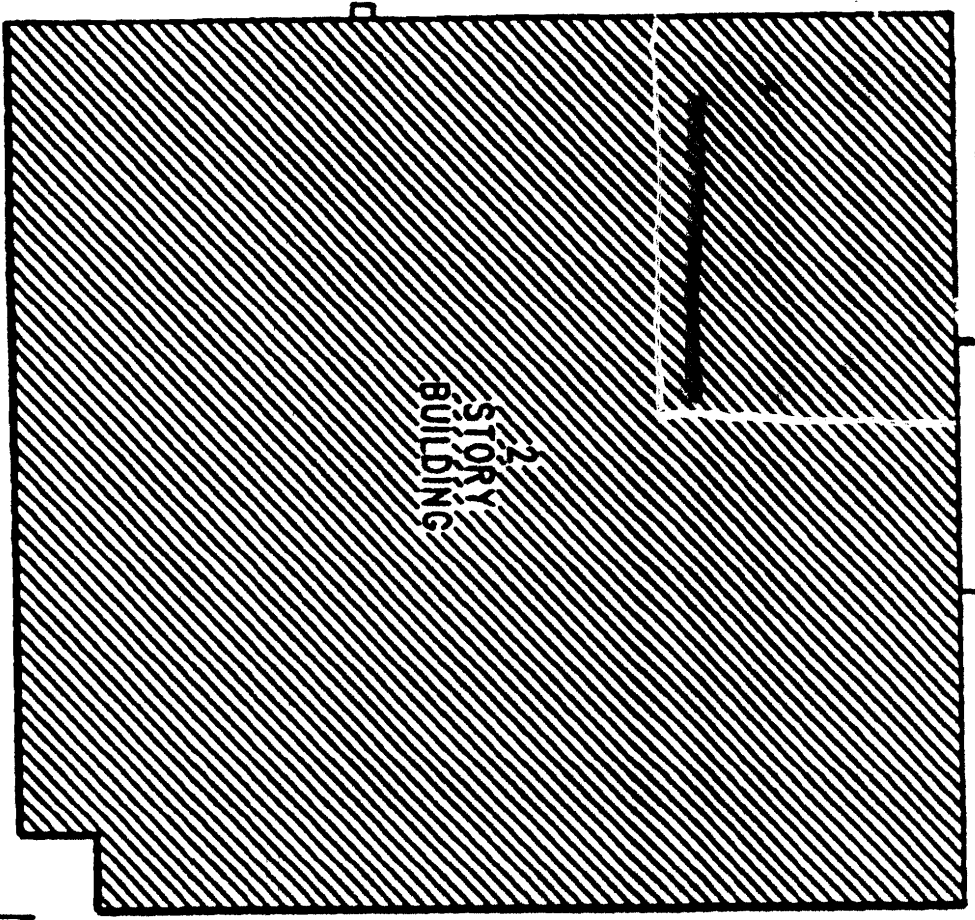
231.07'

Parking

Proposed Area of Construction



OPEN SHED



3 STORY BUILDING

PARCELS
2 & 4

Parking

N 41° 03' 58" W

173.14'

S 49° 57' 00" W

50 Cove St
Portland ME
COVE STREET

M

Stephen Blatt
Architects

LETTER OF TRANSMITTAL

2/12/2009

TO: Jeff Ritter
Fletcher & Ritter LLC
RE: Design application materials for 50 Cove St.

We are sending you: Enclosed Under separate cover

<input type="checkbox"/>	Shop drawings	<input type="checkbox"/>	Change Order No.	<input type="checkbox"/>	R.F.P. No(s)
<input type="checkbox"/>	Plans	<input type="checkbox"/>	Field Report	<input type="checkbox"/>	R.F.I. No(s)
<input type="checkbox"/>	Prints	<input type="checkbox"/>	Concrete Testing Report	<input type="checkbox"/>	Copy of Letter
<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>	

COPIES	DESCRIPTION
1	Certificate of Design Application
1	Accessibility Design Statement
1	Certificate of Design Statement
1	24" x 36" drawing A1 – floor plan, framing, interior & exterior elevations, door & window schedules, building sections
2	11" x 17" size drawings A1

THESE ARE TRANSMITTED as checked below:

<input type="checkbox"/>	For Signature	<input type="checkbox"/>	Approved as Submitted	<input type="checkbox"/>	Revise & Resubmit for Approval
<input checked="" type="checkbox"/>	For Your Use	<input type="checkbox"/>	Approved as Noted	<input type="checkbox"/>	Submit ___ copies for Distribution
<input type="checkbox"/>	As Requested	<input type="checkbox"/>	Furnish as Corrected	<input type="checkbox"/>	Reviewed
<input type="checkbox"/>	For Review & Comment	<input type="checkbox"/>	For Bids Due	<input type="checkbox"/>	

10 Danforth Street

Post Office Box
583 DTS

Portland, Maine
04112-0583

Voice:
207.761.5911

Fax:
207.761.2105

Email:
sba@sbarchitects.com

REMARKS: As requested

COPY: file

SIGNED: Joe Hemes, AIA, LEED AP



Certificate of Design Application

From Designer: STEPHEN BLATT ARCHITECTS
 Date: FEBRUARY 12, 2009
 Job Name: FLETCHER + FLETCHER LLC RENOVATIONS
 Address of Construction: 50 COVE STREET

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) BUSINESS (B)
 Type of Construction V
 Is there a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? YES Supervisory alarm system? NO
 Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED
 Geotechnical/Soils report required? (See Section 1802.2) NO

Structural Design Calculations

NO Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>OFFICE</u>	<u>80 PSF</u>

Wind loads (1603.1.4, 1609)

N/A Design option utilized (1609.1.1, 1609.6)
N/A Basic wind speed (1809.3)
N/A Building category and wind importance Factor, w_b (table 1604.5, 1609.5)
N/A Wind exposure category (1609.4)
N/A Internal pressure coefficient (ASCE 7)
N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)
N/A Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

N/A* Design option utilized (1614.1)
N/A Seismic use group ("Category")
N/A Spectral response coefficients, S_D s & S_{DI} (1615.1)
N/A Site class (1615.1.5)

* SEISMIC LOAD WOULD BE BASED ON 10 PSF DEAD LOAD. LOAD WOULD BE NEGLIGIBLE AND WOULD NOT INCREASE SEISMIC LOAD ON EXISTING STRUCTURE BY MORE THAN 5%.

N/A Live load reduction
N/A Roof live loads (1603.1.2, 1607.11)
N/A Roof snow loads (1603.7.3, 1608)
N/A Ground snow load, P_g (1608.2)
N/A If $P_g > 10$ psf, flat-roof snow load P_f
N/A If $P_g > 10$ psf, snow exposure factor, C_e
N/A If $P_g > 10$ psf, snow load importance factor, I_s
N/A Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_s (1608.4)
N/A Seismic design category (1616.3)
N/A Basic seismic force resisting system (1617.6.2)
N/A Response modification coefficient, R_d and deflection amplification factor, C_d (1617.6.2)
N/A Analysis procedure (1616.6, 1617.5)
N/A Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
N/A Elevation of structure

Other loads

N/A Concentrated loads (1607.4)
N/A** Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

** NOT REQUIRED FOR LIVE LOADS OF 80 PSF OR MORE.




Accessibility Building Code Certificate

Designer: Stephen Blatt Architects

Address of Project: 50 Cove Street

Nature of Project: Fletcher & Ritter LLC
Renovations

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

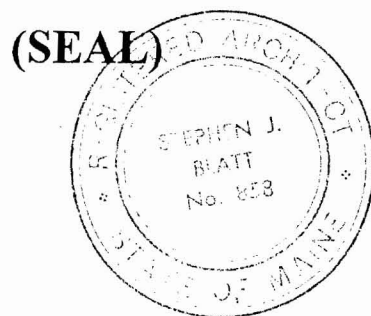
Signature: 

Title: President

Firm: Stephen Blatt Architects

Address: 10 Danforth Street
Portland, ME 04101

Phone: 761-5911



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

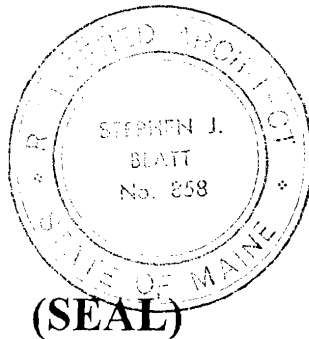
Date: February 11, 2009

From: Stephen Blatt Architects

These plans and / or specifications covering construction work on:

Fletcher & Ritter LLC Renovations, 50 Cove St.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: 

Title: President

Firm: Stephen Blatt Architects

Address: 10 Danforth St.

Portland, ME 04101

761-5911

Phone: _____

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

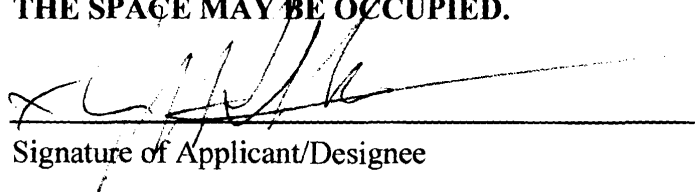
Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.

NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

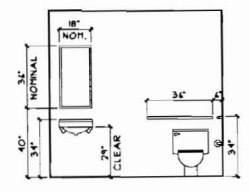
3/3/09

Date

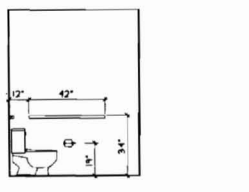
Signature of Inspections Official

Date

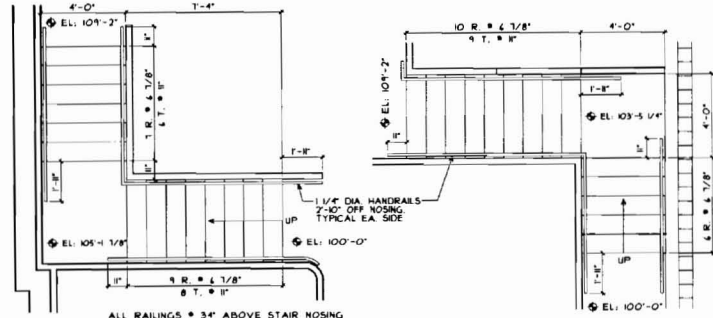
Fire Plan



5 INTERIOR ELEVATION T. SCALE: 1/4" = 1'-0"



6 INTERIOR ELEVATION T. SCALE: 1/4" = 1'-0"



7 PLAN - STAIR 1 SCALE: 1/4" = 1'-0"

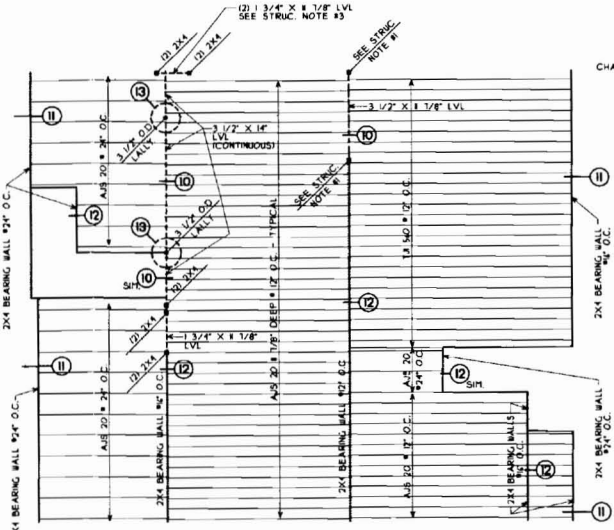
8 PLAN - STAIR 2 SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES:

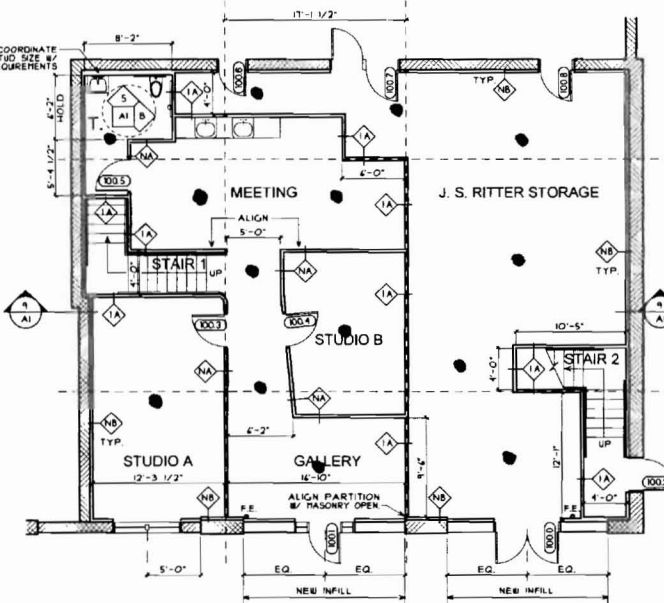
- POSTS CAN BE 4X 4 OR 6X 6 OR 8X 8 1/2 X 3 1/2 VERSA-LAM COLUMN.
- THE 3 1/2" X 1/2" LVL BEAM IS ONE CONTINUOUS BEAM INCLUDING OVER THE STAIR OPENING.
- FRAME THE 3 1/2" X 1/2" LVL BEAM OVER THE TOP OF THE LVL DOOR HEADER.
- JOIST HANGERS FOR AJS 304 SIPPON US 3/4" X 1/8" 102 NAILS JOIST HANGERS FOR T&B 504 SIPPON US 3/4" X 1/8" 102 NAILS
- NEW PENETRATIONS IN T&B AJS JOISTS: HOLE SIZES & LOCATIONS MUST BE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

WOOD FRAMING NOTES:

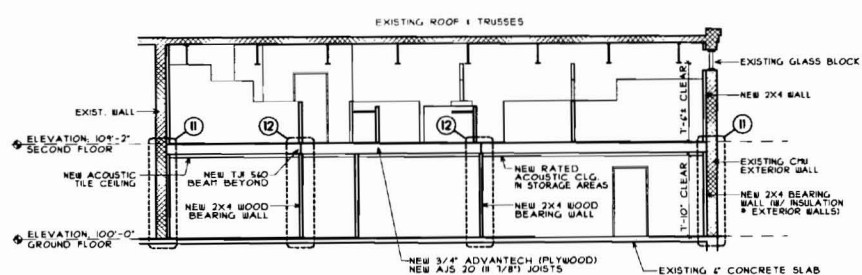
- STRUCTURAL LUMBER: NO. 2 SPRUCE-PINE-FIR OR BETTER, NO MAX. MOISTURE CONTENT. PRESSURE TREATED LUMBER: NO. 7 OR BETTER SOUTHERN YELLOW PINE LAMINATED VENEER LUMBER: VERSA-LAM 3.0 300 FOR BEAMS AND 1.1 350 FOR COLUMNS BY BOSE ENGINEERED WOOD PRODUCTS. LUMBER SIZES SHOWN ARE NOMINAL SIZES.
- DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE AMERICAN FOREST PRODUCTS ASSOCIATION.
- FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE 2003 INTERNATIONAL BUILDING CODE, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NAILING REQUIREMENTS FOR PLYWOOD FLOOR DECK: 8d ROSS COATED NAIL SHANK NAILS AS FOLLOWS, UNLESS SHOWN OTHERWISE: 6" O.C. ALONG ALL FLOOR PANEL EDGES 12" O.C. ALONG INTERMEDIATE MEMBERS FOR FLOORS.
- SPEKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUTT-JOINING USING (1) ROWS OF 16 NAILS * 2" O.C. STAGGERED.
- PROVIDE GALVANIZED METAL JOIST HANGERS AT FLUSH FRAMED CONNECTIONS.
- PROVIDE DOUBLE TOP PLATE IN ALL BEARING WALLS. TOP PLATES BY 4" OFFSET SPICES IN TOP PLATES BY 4" AND PROVIDE 16 NAILS. EACH SIDE OF SPICE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
- WHERE POST CAPS OR BASES ARE NOT SHOWN ON DRAWING PROVIDE SIPPON LPC SERIES POST CAPS AND BASES.
- FLOOR SHEATHING: APA RATED SHEATHING, EXPOSURE 1 OR STRUCTURAL I OR 2 RATED SHEATHING, EXPOSURE 1 3/4" NOMINAL THICKNESS. METAL SHEETS WITH FACE SEAM PERPENDICULAR TO SUPPORTING MEMBERS.
- PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND BEAMS WHERE JOISTS AND BEAMS FRAME OVER SUPPORTS.



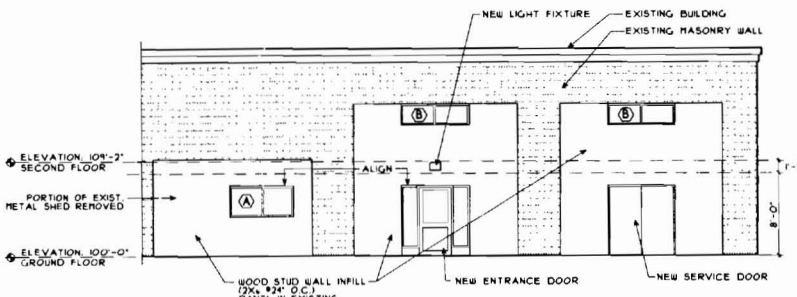
3 SECOND FLOOR FRAMING PLAN SCALE: 1/8" = 1'-0"



1 GROUND FLOOR PLAN SCALE: 1/8" = 1'-0"

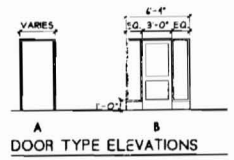


9 BUILDING SECTION SCALE: 1/8" = 1'-0"



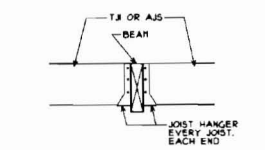
4 REAR ELEVATION SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE					
TAG	MODEL #	TYPE	UNIT DIMENSIONS	INSULATED GLASS	REMARKS
A			8'-0" X 3'-0"	YES	
B			8'-0" X 2'-0"	YES	

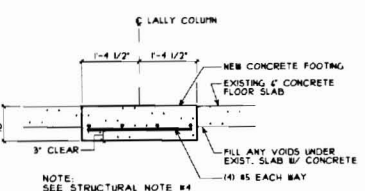


DOOR SCHEDULE										
NUMBER	ROOM NAME	TYPE	DOOR MATL.	WIDTH	HEIGHT	RATED	INSULATED	WEATHERSTRIP	GLASS	REMARKS
100.0	J.S.R. STORAGE	BN	HT	4'-0"	4'-8"			X	5/8" INSUL.	
100.1	GALLERY	B	HT	3'-0"	4'-8"		X	X		EXISTING DOOR
100.2	STAIR 2									
100.3	STUDIO A	A	WD	3'-0"	4'-8"					
100.4	STUDIO B	A	WD	3'-0"	4'-8"					
100.5	T	A	WD	3'-0"	4'-8"					
100.4	J.S.R. STORAGE	AH								EXISTING DOOR
100.7	J.S.R. STORAGE	AH								EXISTING DOOR
100.8	J.S.R. STORAGE	AH								EXISTING DOOR
200.1	STORAGE K	A	WD	3'-0"	4'-8"	45 MIN.				

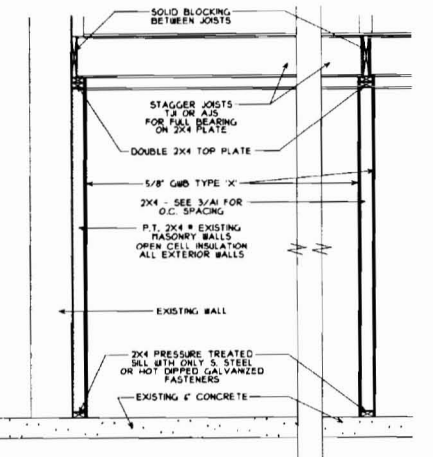
GENERAL DOOR NOTES
1. REFER TO FLOOR PLANS FOR HANDING.



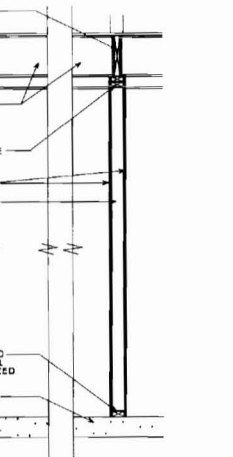
10 TYPICAL BEAM/JOIST SCALE: 1/2" = 1'-0"



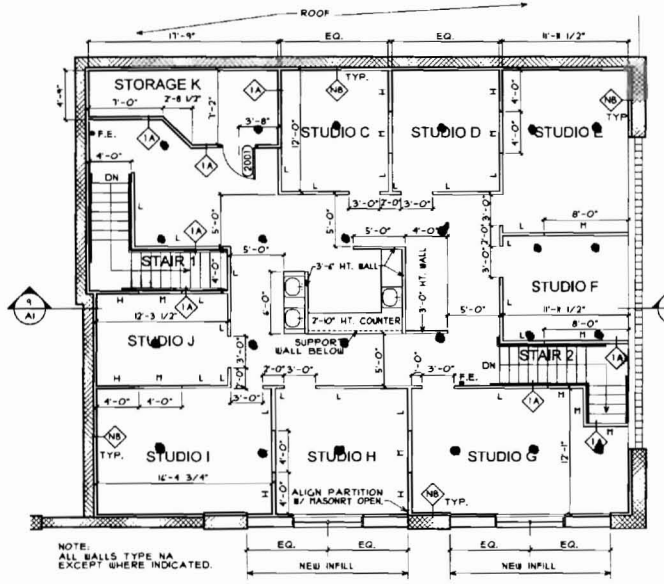
13 FOOTINGS DETAIL @ LALLY COL. SCALE: 1/2" = 1'-0"



11 TYPICAL BEARING WALL SCALE: 1/2" = 1'-0"



12 TYPICAL BEARING WALL SCALE: 1/2" = 1'-0"



2 SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"

PARTITION TYPES	
1	1 LAYER 5/8" G.W.B. - TYPE X
2	2 LAYER 5/8" G.W.B. - TYPE X
3	1 LAYER 5/8" G.W.B. - TYPE X
4	1 LAYER 5/8" G.W.B. - TYPE X
5	UL DES. US09

LEGEND	
---	EXISTING WALLS
---	NEW WALLS
F.E.	FIRE EXTINGUISHER
HM	HOLLOW METAL
HT	HEIGHT
WD	WOOD

GENERAL NOTES

- FLETCHER & RITTER LLC'S EXISTING BUILDING IS BEING RENOVATED FOR ART STUDIO/BUSINESS USE.
- EXISTING BUILDING WILL HAVE THE EXISTING SPRINKLER SYSTEM RENOVATED FOR REQUIRED COVERAGE PER NFPA 13.
- ELECTRICAL, MECHANICAL, AND SPRINKLER SYSTEMS SHALL BE INSTALLED PER STATE & LOCAL CODES.
- THE NEW BATHROOM AND SINKS IN COUNTERTOPS SHALL BE HANDICAPPED ACCESSIBLE PER ADA & FRAME I.C.C. CODE.
- FIRST FLOOR RATED WALLS & STAIR WALLS TO SECOND FLOOR DECK. SECOND FLOOR RATED WALLS TO ROOF DECK.
- ALL FIRST FLOOR CEILINGS ARE AC1 ACOUSTIC CEILING TILE. STORAGE ROOMS SHALL HAVE RATED AC1.
- EXISTING CONDITIONS BASED ON MEASUREMENTS BY WARREN CONSTRUCTION GROUP AND JEFF RITTER.
- STRUCTURAL FRAMING NOTES & STRUCTURAL DETAILS PER PINKHAM & GREER, STRUCTURAL ENGINEER, FAIRBOTHAM.
- ALL RATED WALLS TO HAVE SEALANT AT ALL EDGES AND RATED "PENETRATION FIRESTOPPING" AT ALL PENETRATIONS.
- STAIR RISERS AND TREADS SHALL MEET IRC 2004 & LIFE SAFETY CODE REQUIREMENTS.
- ACOUSTIC INSULATION IS RECOMMENDED BETWEEN BATHROOM AND MEETING ROOM.
- DIMENSIONS TO FACE OF STUD EXCEPT FOR CENTER BEARING WALLS.

Fletcher & Ritter LLC
Renovations
50 Cove St.
Portland, Maine

Revisions
● = Proposed Sprinkler
FE = Fire Extinguisher
= Emergency Lighting

Stephen Bull
Architects

10 Dunform Street
Post Office Box
583 075
Portland, Maine
04112-0583
Voice
207.761.5911
Fax
207.761.2106
Email
sbb@architects.com

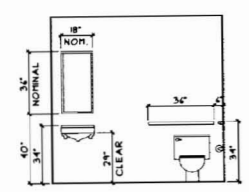
Signature

Consultants
Structural Engineer
Pinkham & Greer

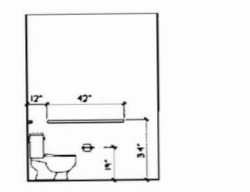
● = Existing Sprinkler
FE = Fire Extinguisher -
= Emergency Lighting

Job No.: 09.01
Date: February 5, 2009
Scale: 1/8" = 1'-0"
Drawn by: jch, cr
Checked by: jch
Drawing Title:
Floor Plans, Framing Plan
Interior & Exterior Elevations
Door & Window Schedules
Building Section

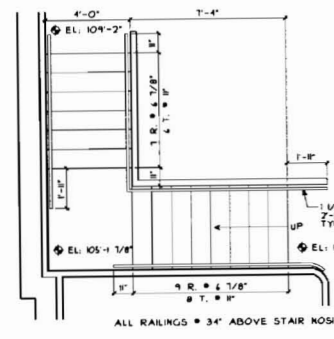
A1



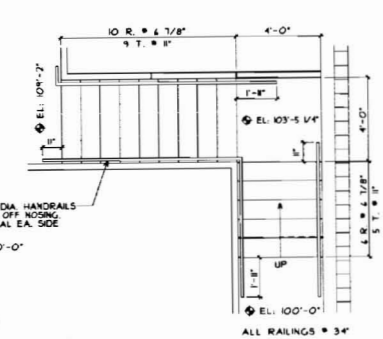
5 INTERIOR ELEVATION T.
A1 SCALE: 1/4" = 1'-0"



6 INTERIOR ELEVATION T.
A1 SCALE: 1/4" = 1'-0"



7 PLAN - STAIR 1
A1 SCALE: 1/4" = 1'-0"



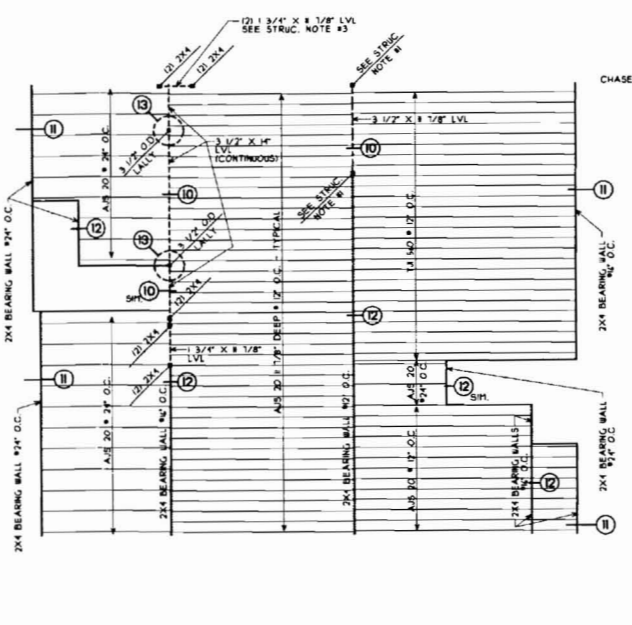
8 PLAN - STAIR 2
A1 SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES:

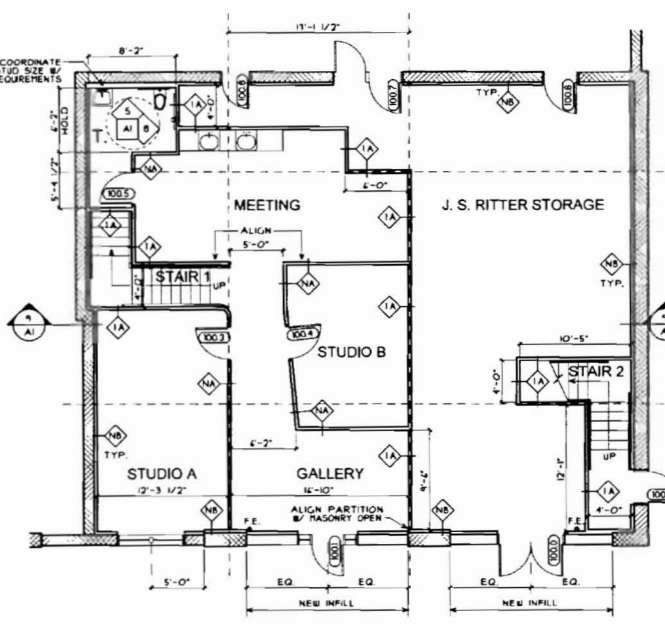
- POSTS CAN BE (6) 2X4 @ 4X4 OR (3) 1/2" X 3 1/2" VERSALAM COLUMN.
- THE 3 1/2" X 1/2" LVL BEAM IS ONE CONTINUOUS BEAM INCLUDING OVER THE STAIR OPENING.
- FRAME THE 3 1/2" X 1/2" LVL BEAM OVER THE TOP OF THE LVL DOOR-HEADER.
- JOIST HANGERS FOR AIS 207: SIMPSON MS 254/188 @ 7" ON RAIS; JOIST HANGERS FOR T1 AIS: SIMPSON MS 354/188 @ 10" RAIS.
- NEW PENETRATIONS IN T1 & AIS JOISTS: HOLE SIZES & LOCATIONS MUST BE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- DESIGN CODE: 2001 INTERNATIONAL BUILDING CODE.
- FLOOR DESIGN LOADS: LIVE LOAD: 80 PSF; DEAD LOAD: 10 PSF INCLUDING MECHANICAL AND ELECTRICAL SYSTEMS.
- CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS AND SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY CONDITIONS THAT PREVENT THE CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE DRAWINGS.
- THIS PROJECT INVOLVES RENOVATION OF AN EXISTING STRUCTURE. DIMENSIONS SHOWN ON THE DRAWING ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. MEASURE AND VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION.

WOOD FRAMING NOTES:

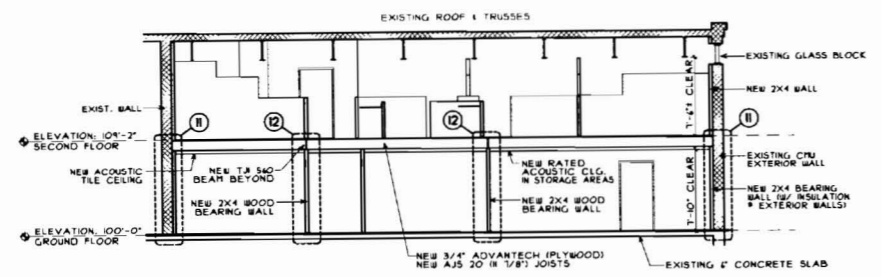
- STRUCTURAL LUMBER: NO. 2 SPRUCE-PINE-FIR OR BETTER, 10% MAX. MOISTURE CONTENT. PRESSURE TREATED LUMBER: LAMNATED VENEER LUMBER: VERSALAM 222 300 FOR BEAMS AND 10500 FOR COLUMN. DO NOT USE FOR COILING. DO NOT USE FOR COILING. LUMBER SIZES SHOWN ARE NOMINAL SIZES.
- DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE AMERICAN FOREST PRODUCTS ASSOCIATION.
- FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE 2001 INTERNATIONAL BUILDING CODE, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NAILING REQUIREMENTS FOR PLYWOOD FLOOR DECK: 8d ROBIN COATING RING SHANK NAILS AS FOLLOWS, UNLESS SHOWN OTHERWISE: 10" O.C. ALONG FLOOR PANEL EDGES; 12" O.C. ALONG INTERMEDIATE MEMBERS FOR FLOORS.
- SPICE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING (2) ROWS OF 16d NAILS @ 12" O.C. STAGGERED.
- PROVIDE GALVANIZED METAL JOIST HANGERS AT FLOOR FRAMED CONNECTIONS.
- PROVIDE DOUBLE TOP PLATE IN ALL BEARING WALLS. OFFSET SPLICES IN TOP PLATES BY 4" AND PROVIDE 16d NAILS EACH SIDE OF SPLICE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
- WHERE POST CAPS OR BASES ARE NOT SHOWN ON DRAWING, PROVIDE SIMPSON LPC SERIES POST CAPS AND BASES.
- FLOOR SHEATHING: APA RATED SHEATHING, EXPOSURE 1 OR STRUCTURAL I OR I RATED SHEATHING, EXPOSURE 1, 3/4" NOMINAL THICKNESS. INSTALL SHEETS WITH FACE GRAIN PERPENDICULAR TO SUPPORTING MEMBERS.
- PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND BEAMS WHERE JOISTS AND BEAMS FRAME OVER SUPPORTS.



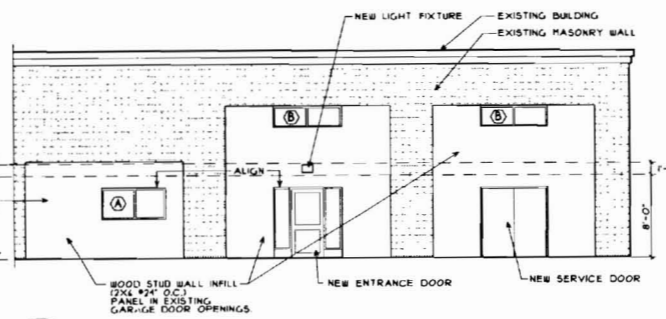
3 SECOND FLOOR FRAMING PLAN
A1 SCALE: 1/8" = 1'-0"



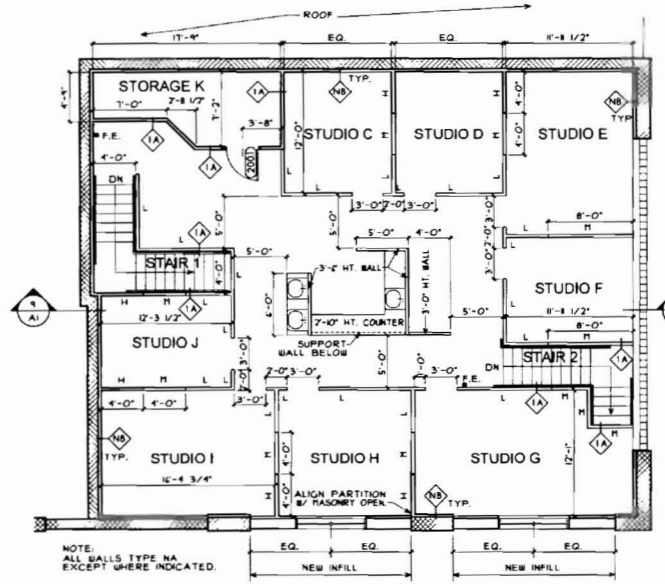
1 GROUND FLOOR PLAN
A1 SCALE: 1/8" = 1'-0"



9 BUILDING SECTION
A1 SCALE: 1/8" = 1'-0"



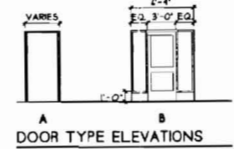
4 REAR ELEVATION
A1 SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
A1 SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE

TAG	MODEL #	TYPE	UNIT DIMENSIONS	INSULATED GLASS	REMARKS
A		W X H	6'-0" X 3'-0"	YES	
B		W X H	6'-0" X 3'-0"	YES	

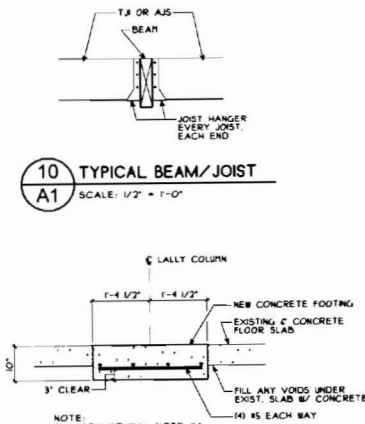


DOOR SCHEDULE

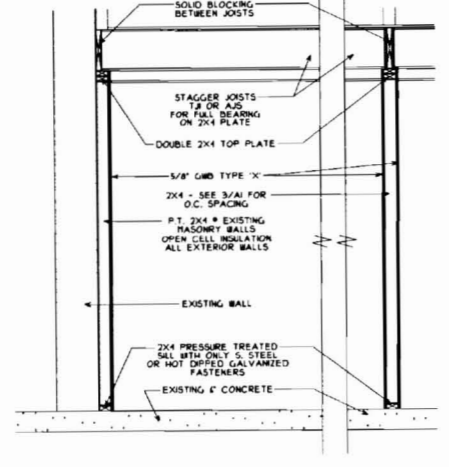
NUMBER	ROOM NAME	TYPE	DOOR MATTL.	WIDTH	HEIGHT	RATED	INSULATED	WEATHERSTRIP	GLASS	REMARKS
100.0	J.S.R. STORAGE	HR	HR	4'-0"	6'-8"		X X X	X X X	5/8" INSUL.	EXISTING DOOR
100.1	GALLERY	B	HR	3'-0"	6'-8"					
100.2	STAIR 2	B	HR	3'-0"	6'-8"					
100.3	STUDIO A	A	WD	3'-0"	6'-8"					
100.4	STUDIO B	A	WD	3'-0"	6'-8"					
100.5	T	A	WD	3'-0"	6'-8"					
100.6	J.S.R. STORAGE	A	HR							EXISTING DOOR
100.7	J.S.R. STORAGE	AA	HR							EXISTING DOOR
100.8	J.S.R. STORAGE	A	HR							EXISTING DOOR
200.1	STORAGE K	A	WD	3'-0"	6'-8"	45 MIN.				

GENERAL DOOR NOTES

- REFER TO FLOOR PLANS FOR HANDING.



10 TYPICAL BEAM/JOIST
A1 SCALE: 1/2" = 1'-0"



11 TYPICAL BEARING WALL
A1 SCALE: 1/2" = 1'-0"



12 TYPICAL BEARING WALL
A1 SCALE: 1/2" = 1'-0"



13 FOOTING DETAIL @ LALLY COL.
A1 SCALE: 1/2" = 1'-0"

Fletcher & Ritter LLC
Renovations
50 Cove St.
Portland, Maine

Stephen Blais
Architects
10 Dartmouth Street
Post Office Box
583.015
Portland, Maine
04112-0583
Voice:
207.761.5911
Fax:
207.761.2105
Email:
slb@architects.com



Consultants
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Building Section

A1