

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that STEVEN E COPE

Located At 56 HAMMOND ST

Job ID: 2012-06-4358-CH OF USE

CBL: 010- G-002-001

has permission to Demo existing structure, build new 3 story, 3 unit apt., 1 of 2 on Parcel A, single exit enclosure provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

*MB* 8/15/12  
\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4358-CH OF USE	Date Applied: 6/28/2012	CBL: 010- G-002-001	
Location of Construction: 56 HAMMOND ST - PARCEL "A" (LOT SPLIT)	Owner Name: STEVEN & ROBERTA COPE	Owner Address: 172 CONCORD STREET PORTLAND, ME 04103	Phone: 415-5833
Business Name:	Contractor Name: BRIAN MILLIKEN	Contractor Address: 175 ANDERSON ST, PORTLAND, ME 04101	Phone: 879-1877
Lessee/Buyer's Name:	Phone:	Permit Type: NEW BLDG	Zone: R-6
Past Use: Single family dwelling - to be demolished on permit #2012-07-4487	Proposed Use: Existing large lot to be divided and one building with three dwelling units on each lot - This is lot "A" and will have a three family building constructed on this lot	Cost of Work: \$275,000.00	CEO District:
		Fire Dept: 8/13/12 Signature: <i>B. Jewell</i> (SB)	Inspection: Use Group: R-2 Type: SB IBC-2009 Signature: <i>J. M. B.</i> 8/15/12
Proposed Project Description: single family to 3 units		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland <i>NA</i></p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone <i>Panel 13 Zone C</i></p> <p><input checked="" type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan by <i>PB on 3/29/12</i></p> <p><i>#2011-402</i></p> <p><input checked="" type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>AK with conditions</i> <i>7/24/12</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Foundation/Rebar

Foundation Backfill

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Jeff Levine

Job ID: 2012-06-4358-CH OF USE

Located At: 56 HAMMOND ST

CBL: 010- G-002-001

## Conditions of Approval:

### Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
3. This property (parcel "A") shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.
4. All site plan requirements shall be met.

### Building

1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
3. Draftstopping and Fireblocking in combustible concealed spaces and locations shall be in accordance with IBC Sec. 717.
4. All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating per Sec. 712 of IBC.
5. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

### Fire

1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. **The basement stairway must be completely separated from the stairway serving the first, second and third floors by 1-hour fire rated assemblies and fire doors in order to comply with 101:30.2.4.4(3). This includes under the stair stringers and landings from the first floor to the second floor, and the walls between the two stairs between the first and second floors.**

4. Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.
5. A sprinkler system shall be installed in accordance with NFPA 13 or 13R.
6. A separate Suppression System Permit is required. This review does not include approval of sprinkler system design or installation.
7. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
8. Fire department connection type and location shall be approved in writing by fire prevention bureau. The Fire Department will require Knox locking caps on all Fire Department Connections on the exterior of the building.
9. A sprinkler supervisory system shall be provided in accordance with NFPA 101, Life Safety Code, and NFPA 72, National Fire Alarm and Signaling Code. Sprinkler supervisory systems shall monitor for water flow and sprinkler supervisory signals via an approved fire alarm panel to central station. One smoke detector shall be located over the panel, a manual pull station located at the front door, and an audible water flow alarm provided.
10. All smoke detectors and smoke alarms shall be photoelectric.
11. Carbon Monoxide is detection required in accordance with NFPA 720, Standard for Installation of Carbon Monoxide (CO) Detection and Warning Equipment, 2009 edition.
12. All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP labeled "FIRE ALARM RECORDS". Records cabinet, FACP, annunciator(s), and pull stations shall be keyed alike.
13. A separate Fire Alarm Permit is required. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department. This review does not include approval of fire alarm system design or installation.
14. System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
15. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
16. A Knox Box is required for each building. Each building shall be master keyed.
17. A firefighter Building Marking Sign is required.
18. Fire extinguishers are required per NFPA 1.
19. Any cutting and welding done will require a Hot Work Permit from Fire Department.
20. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
21. A single source supplier should be used for all through penetrations.



Entered 208

2012 06 4358

60

# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>56 Hammond Street Parcel A</b>		
Total Square Footage of Proposed Structure/Area <b>3,571</b>	Square Footage of Lot <b>4,791</b>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>10            G            2</b>	Applicant * <b>must be owner, Lessee or Buyer*</b> Name <b>Steven &amp; Roberta Cope</b> Address <b>172 Concord St.</b> City, State & Zip <b>Portland, ME 04103</b>	Telephone: <b>415-5833</b>
Lessee/DBA (If Applicable) <b>RECEIVED</b> <b>na</b> <b>JUN 28 2012</b> <b>Dept. of Building Inspections</b> <b>City of Portland Maine</b>	Owner (if different from Applicant) Name <b>na</b> Address City, State & Zip	Cost Of Work: \$ <b>275,000.00</b> C of O Fee: \$ <b>75.00</b> Total Fee: \$ <b>2,845.00</b>
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>multi-family</u> <b>3 units</b> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Hamond Street Apartments</u> Project description: <b>New three unit apartment building. Part of Planning Board Project ID 2011-402.</b>		
Contractor's name: <u>Brian Milliken</u> Address: <u>175 Anderson Street</u> City, State & Zip <u>Portland, ME 04101</u> Telephone: <u>879-1877</u> Who should we contact when the permit is ready: <u>Brian Milliken</u> Telephone: <u>879-1877</u> Mailing address: <u>175 Anderson Street Portland, ME 04101</u> <b>415-2993</b>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Roberta Cope Date: June 27, 2012

**This is not a permit; you may not commence ANY work until the permit is issue**

**Jeanie Bourke - RE: 56 Hammond St BP#2012-06-4358 & 4359 plan review comments**

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**From:** Kevin Moquin <kmoquin.architect@gmail.com>  
**To:** <JMB@portlandmaine.gov>  
**Date:** 8/2/2012 10:22 AM  
**Subject:** RE: 56 Hammond St BP#2012-06-4358 & 4359 plan review comments  
**CC:** Brian Milliken <bhm@bhmilliken.com>, Bobbi Cope <bcope@maine.rr.com>, Ad...  
**Attachments:** Geotechnical Report 56 Hammond.pdf; SK-02 Revised Wall and Ceiling Types.pdf; SK-03 Wall type 1-B at Stringer.pdf; compliance-report-20120801\_232036\_798.pdf

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· Provide the geotechnical report

*Attached*

· Provide justification for the .5 hour ceiling type (2 clg) on Plan A000 per IBC Sec. 712.3  
*Section 709.3 exception 2 allows a rating of 1/2 hour in buildings of type VB construction equipped with an automatic sprinkler system. This assembly rendered moot by your question regarding sound transmission below. See attached SK-2 drawing defining new assembly.*

· Clarify the W/C type reference on Plan A000 for IBC 26-1.1 and 14-1.14, as they relate to UL assemblies

*This reference is to the wall assembly "Item Number" described in IBC Table 720.1(2) "Rates Fire Resistance Periods for Various Walls and Partitions"*

· Provide W/C assembly compliance for sound transmission per IBC Sec. 1207

*See attached SK-2 drawing defining new assemblies to address this section.*

· Provide a wall section for 1-B continuity at the connection of the stair framing

*See attached SK-3.*

· Provide a 1 hour rated wall assembly for the mechanical chase 0-C or clarify if the penetrations are individual and sealed at each floor, thus not a true chase enclosure

*The penetrations are sealed at each floor. That is the intention of the note "FIRESTOP ALL PENETRATIONS AT SUBFLOOR" included on sheets A101 & A102.*

· Provide stamped structural plans

*Will be sent in separate email.*

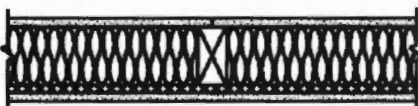
· Provide ResCheck or equivalent document certifying Energy Code (IECC) compliance for thermal envelope and MEP systems

*Attached*

RECEIVED  
 AUG 02 2012  
 Dept. of Building Inspections  
 City of Portland Maine

*PWF*

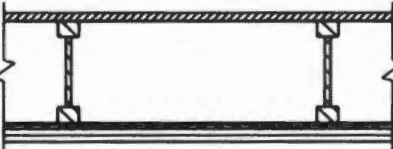
REPLACE WALL TYPE 1-B AT STAIRWELL AND HALL WITH ASSEMBLY BELOW. RESILIENT CHANNEL TO BE APPLIED TO APARTMENT UNIT SIDE OF ASSEMBLY. 1/2" OSB TO REMAIN ON STAIR SIDE OF WALL PER STRUCTURAL DRAWINGS.

<b>1 Hour</b> FIRE	Design #	GA File #	<b>STC - 50</b>	
	<b>UL U311</b>	<b>WP 3241</b>	Sound Test #	TL-93-196
 <p> <a href="#">Link to .PDF file</a>  <a href="#">Link to .DWG file</a>  <a href="#">Link to .DWG/Text file</a> </p>		<p>Resilient furring channels attached 24" o.c. horizontally to one side of 2x4 wood studs 16" or 24" o.c. with 1-1/4" type W screws. 1/2" x 3" gypsum board filler strips attached to floor and ceiling plates with 1-1/4" type W screws 3'-0" o.c. 5/8" (15.9 mm) Fire-Shield C Gypsum Board applied horizontally to channel with 1" type S screws 12" o.c. on all edges and intermediate channels and attached to top and bottom plates with 1-7/8" type S screws 12" o.c. Vertical butt joints between studs back-blocked with 20" long piece of resilient channel. 5/8" (15.9 mm) Fire-Shield C Gypsum Board applied horizontally on opposite side directly to wood studs with 1-1/4" type W screws spaced 12" o.c. Horizontal joints in line, vertical joints staggered each side. Mineral wool insulation 3" thick friction fit between studs.</p>		

2008 - National Gypsum Company

Wood Stud Partitions

REPLACE CEILING TYPE 2-CLG WITH ASSEMBLY BELOW.

<b>1 Hour</b>	Design #	GA File #	<b>STC - 53</b>	<b>IIC - 46</b>
	<b>N/A</b>	<b>FC 5241</b>	Sound Test # TLF-02-043g	Test # 02-027
 <p> <a href="#">Link to .PDF file</a>  <a href="#">Link to .DWG file</a>  <a href="#">Link to .DWG/Text file</a> </p>		<p>Base Layer 1/2" (12.7 mm) Fire-Shield C Gypsum Board applied at right angles to resilient furring channels with 1-1/4" Type S drywall screws 12" o.c. Resilient furring channels applied at right angles to joists and spaced 16" o.c. with 1-1/4" Type W drywall screws to wood I-joists 24" o.c. Face layer 1/2" Fire-Shield C Gypsum Board applied at right angles to channels with 1-5/8" Type S drywall Screws 12" o.c. Face layer end joints located midway between channels and attached to base layer with 1-1/2" Type G screws 12" o.c. Edge joints offset 24" from base layer edge joints. Wood I-joists supporting 5/8" oriented strand board applied at right angles to I-joists with 8d common nails 12" o.c. Sound test with 3-1/2" mineral wool or fiberglass insulation in joist cavity.</p>		

Hammond Street  
 Apartments  
 Portland, ME  
 ©Kevin Moquin, AIA, LEED AP  
 Maine Licensed Architect  
 kmoquin.architect@gmail.com

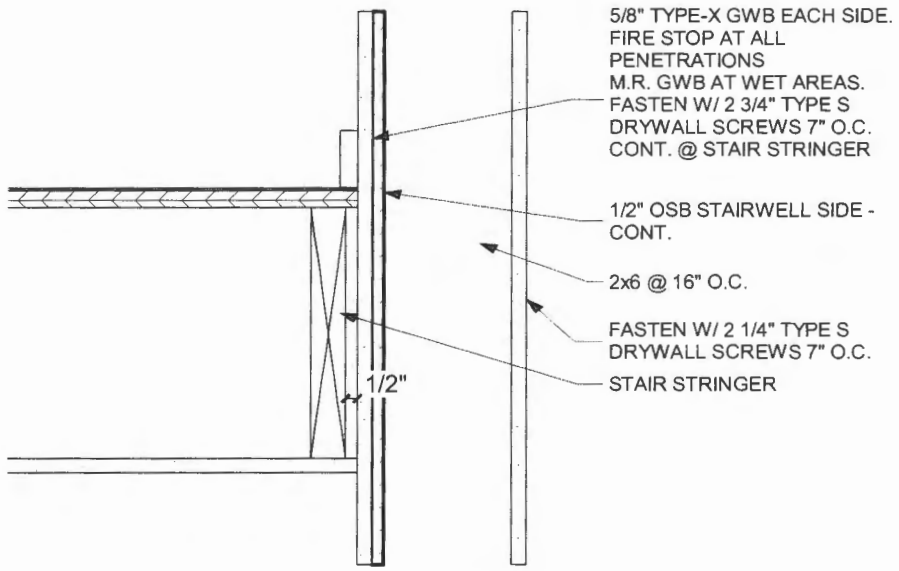
Wall & Ceiling Type Modifications

**SK-2**



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 AUG 02 2012  
 Dept. of Building Inspections  
 City of Portland Maine

PDFV



1 HOUR WALL  
 IBC 14-1.14  
 W/ STRUCTURAL WOOD PANEL

1-B @ STAIR STRINGER

Hammond Street  
 Apartments  
 Portland, ME  
 ©Kevin Moquin, AIA, LEED AP  
 Maine Licensed Architect  
 kmoquin.architect@gmail.com  
**SK-3**

Section of wall type 1-B @ stair stringer



REScheck Software Version 4.4.3  
**Compliance Certificate**

PDFV

RECEIVED  
 AUG 02 2012  
 Dept. of Building Inspections  
 City of Portland Maine

Project Title: Hammond Street Apartments

Energy Code: **2009 IECC**  
 Location: **Portland, Maine**  
 Construction Type: **Multifamily**  
 Glazing Area Percentage: **12%**  
 Heating Degree Days: **7378**  
 Climate Zone: **6**

Construction Site:  
 56 Hammond St  
 Portland, ME 04101

Owner/Agent:  
 Steven & Roberta Cope  
 52 Concord St  
 Portland, ME 04103

Designer/Contractor:  
 Kevin Moquin Architect  
 29 Bedell St  
 Portland, ME 04103  
 207-615-6421  
 kevin@km-a.me

Compliance: **Passes using UA trade-off**

Compliance: **2.4% Better Than Code**      Maximum UA: **455**      Your UA: **444**  
 The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.  
 It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	1168	60.0	0.0		28
Wall 1: Wood Frame, 16" o.c.	4070	21.0	0.0		204
Window 1: Vinyl Frame:Double Pane with Low-E	470			0.300	141
Door 1: Glass	20			0.270	5
Basement Wall 1: Solid Concrete or Masonry Wall height: 8.0' Depth below grade: 6.8' Insulation depth: 8.0'	830	0.0	8.0		59
Floor 1: All-Wood Joist/Truss:Over Unconditioned Space	216	30.0	0.0		7

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version 4.4.3 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

KEVIN MOQUIN ARCHITECT  
 Name - Title

Signature

8.1.12  
 Date

**Jeanie Bourke - 6 Unit Subdivision, 56 Hammond Street - Building Permit Issuance**

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**From:** Philip DiPierro  
**To:** Code Enforcement & Inspections  
**Date:** 7/24/2012 10:23 AM  
**Subject:** 6 Unit Subdivision, 56 Hammond Street - Building Permit Issuance

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Hi all, this project, site plan #2011-402, the 6 unit subdivision located at 56 Hammond Street, meets minimum DRC site plan requirements for the issuance of the building permit. All site plan conditions of approval prior to the issuance of the building permit, have been met.

Please contact me with any questions. Thanks.

Phil

**Jeanie Bourke - 56 Hammond St demo signoff**

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**From:** "Monti, Barbara" <monti@unitil.com>  
**To:** Donald McPherson <dmcpherson@portlandmaine.gov>, George Froehlich <gef@p...>  
**Date:** 7/25/2012 9:45 AM  
**Subject:** 56 Hammond St demo signoff  
**CC:** "bcope@maine.rr.com" <bcope@maine.rr.com>

---

Good morning all,

We have cut back the service at this location. We are all set for Ms Cope to proceed with the demo.

Any questions please let me know.

barb

Barbara Monti  
Unitil Service Corp  
1075 Forest Avenue  
PO Box 3586  
Portland ME 04104-3586  
Phone: 207-541-2533  
Email: monti@unitil.com

Comments by e-mail  
couldn't get in 1-501. 12/20/11

2/22/12 → NO zoning set up in 1-501.  
Comments by e-mail

3/20/12 comments - still no

1-501. Available  
City of Portland

12/14/11

Development Review Application  
Planning Division Transmittal form

**Application Number:** 2011-402      **Application Date:** 12/13/2011 12:00:00 AM

**CBL:** 10-G-2

**Project Name:** Hammond Street Apartments

**Address:** 56 Hammond Street

**Project Description:** Demolition of the existing home/garage and the construction of 2 new buildings with each building containing 3 residential units and one garage.

**Zoning:** R-6

**Other Reviews Required:** Subdivision & Site Plan (2 Lots and 6 Units)

**Review Type:** Level III with Subdivision

left 2?

3

**Distribution List:**

<input type="checkbox"/> Planner	Shukria Wiar	<input type="checkbox"/> Parking	John Peverada
<input checked="" type="checkbox"/> Zoning	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic Engineer	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Civil Engineer	David Sensus	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Chris Pirone	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> DRC Coordinator	Phil DiPierro
		<input type="checkbox"/> Outside Agency	

Comments needed by (7 days later): December 21, 2011

## Marge Schmuckal - 56 Hammond Street

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**From:** Marge Schmuckal  
**To:** Shukria Wiar  
**Date:** 3/20/2012 11:50 AM  
**Subject:** 56 Hammond Street

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Hi Shukria,

I still can not get any comments in One Solution - There is no zoning comments box for me. There are no changes for zoning purposes. All my existing comments from 2/22/12 are still in force.

Marge

## **Marge Schmuckal - 56 Hammond St**

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**From:** Marge Schmuckal  
**To:** Shukria Wiar  
**Date:** 2/22/2012 3:26 PM  
**Subject:** 56 Hammond St

---

Hi Shukria,

There is no zoning box for me to put in comments in under One Sol. So I am doing it by e-mail:

**56 Hammond Street - 10-G-2  
#2011-402 - R-6 Zone**

**2/22/2012** I reviewed the most recent download dated 2/15/2012. The applicant forwarded the information that I needed to determine the number of stories by definition and to confirm the actual building height of both buildings.

My calculations indicate that both buildings are considered to be three story buildings by definition and may use the setbacks as indicated on the site plan. I have also determined that both buildings are well under the maximum building height of 45' in the underlying R-6 zone.

The project is meeting all the R-6 zone requirements at this time. Again, separate building permits are required after the planning process is completed and prior to construction.

Marge Schmuckal  
Zoning Administrator.

## Marge Schmuckal - 56 Hammond St

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**From:** Marge Schmuckal  
**To:** Shukria Wiar  
**Date:** 12/20/2011 4:40 PM  
**Subject:** 56 Hammond St  
**CC:** Barbara Barhydt

---

Hi - I can't get my comments in One Solution yet so here they be.....

56 Hammond Street - 10-G-2  
#2011-402 - R-6 Zone

The current property is developed as a single family dwelling with a detached garage. There is a proposal to demolish the existing structures and to divide the lot into two separate lots with one three unit building on each new lot, for a total of six new dwelling units.

The property is located in an R-6 Residential Zone. This proposal is being reviewed under the regular R-6 zoning criteria. I understand that this is a subdivision and a site plan review.

I have reviewed the submittal information. Generally, all the R-6 zone requirements are being met. However, I will need scaleable building elevations to (a) determine building height compliance and (b) determine the number of stories of the building. To complete this review I will also need the post grade elevations around the building to average the grade in order to determine the average grade and the beginning point of measuring height. Then I will need the elevation to the top of the structural beam of the roof structure. To determine the official number of stories, I will need information showing the percentage of the lower level and how it relates to the average level of the adjoining ground. That level shall be counted as a story for the purpose of measurement where more than one-half of its height is above the average level of the adjoining ground (in the definitions 14-47).

Separate building permits are required after site plan and subdivision approvals.

Marge Schmuckal  
Zoning Administrator



6/1/25/11  
FL

Applicant: Stevena Roberta Cope -

Date: 12/13/11

Address: 56 Hammond St

C-B-L: 10-G-2

CHECK-LIST AGAINST ZONING ORDINANCE

Submitted Zoning Analysis

Date -

Zone Location - Regular R-6 Zone (not in full)

Interior or corner lot -

~28x46' 6 Du total

Proposed Use/Work - <sup>Demo</sup> Single Family - Divide lot - 2 → 3 unit Bldg - (one each lot)

Sewage Disposal - City

Lot Street Frontage - 40' min - Parcel "A" - 79.48' / Parcel "B" 81.45'

1/2 of lot lead to corner

Front Yard - 10' min Average - 10.5' & 11.7' shown + 60.92 (side st) = 12.37'

Rear Yard - 20' min - 20.4' shown on each lot

appears to be 2 stories between 3 streets

Side Yard - 10' min Parcel "A" - 22.6' & 10.13' / Parcel "B" 17.7' & 10.4'

Projections - NO Rear Decks

Width of Lot - 40' min Parcel A = 79.48' / Parcel B - ~~81.45'~~ (corner lots side)

1/2 of lot

Height - 45' min given Parcel "A" = ~~34'~~ 31.15' - Parcel "B" ~~36.5'~~ 31.57' (smaller SPT)

Lot Area - 4,500 sq ft min - Parcel A = 4791 sq ft Parcel B = 4619 sq ft

Lot Coverage - 50% MAX Impermeable Surface - 20% min open space

Parcel A coverage = 25.78% Parcel B coverage = 26.59%  
open = 55,847 sq ft

Area per Family - 1,000 sq ft / DU or 3,000 sq ft each - over 4,500 sq ft ea lot

Off-street Parking - 1 pkg space each DU or 3 each per lot - shows 3 each per lot  
Loading Bays - N/A R-6 allows

Site Plan - #2011-402 Subdivision & Site PLAN

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 13  
Zone C

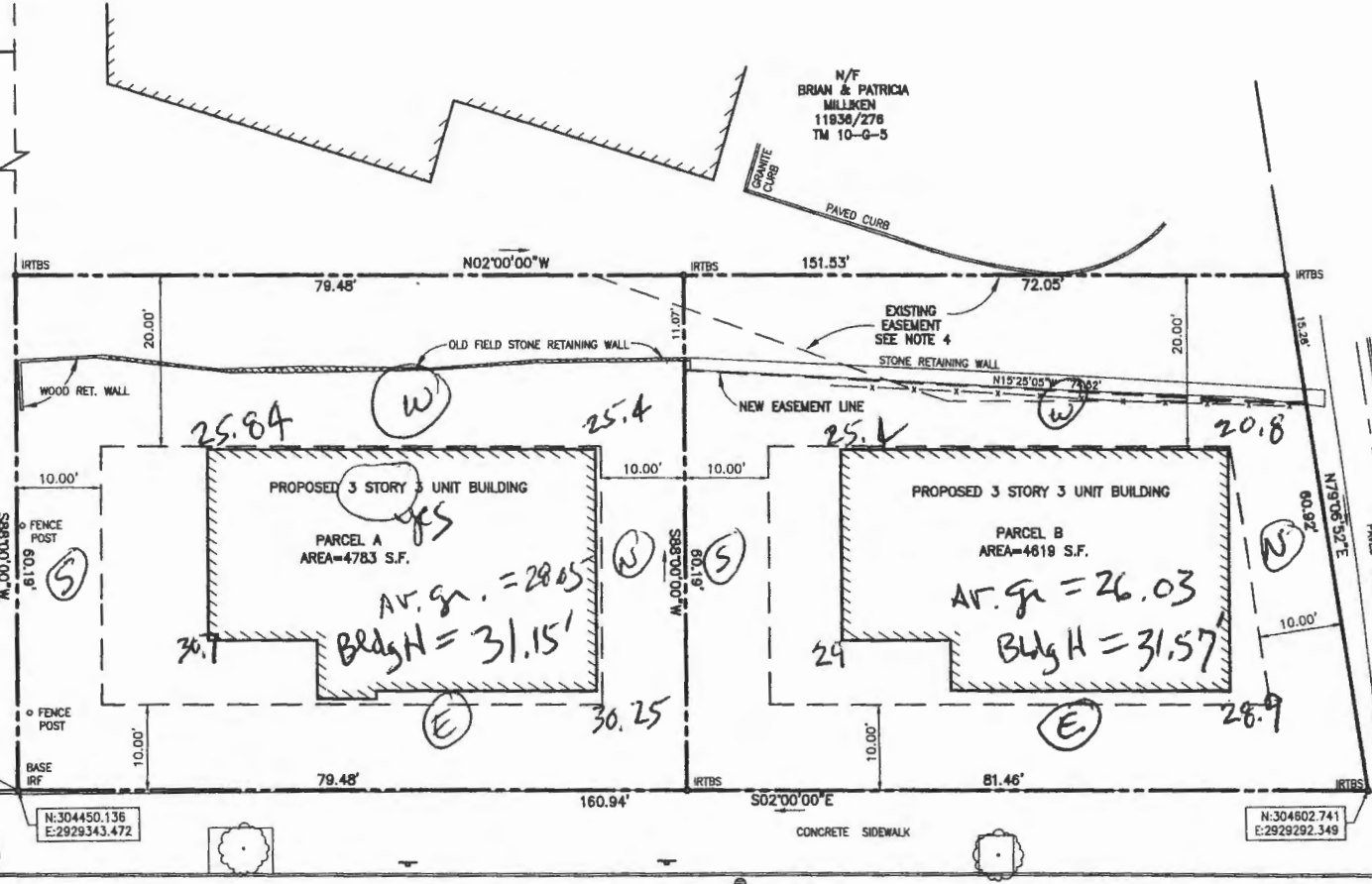
lot cov "A"  
1235 ÷ 4791  
= 25.78%

lot cov "B"  
1220 ÷ 4619 = 26.59%

11288/308  
TM 10-G-6

N/F  
BRIAN & PATRICIA  
MILLIKEN  
11836/276  
TM 10-G-5

N/F  
THOMAS C. & DONNA M.  
FERRANTE  
7018/119  
TM 10-G-4



GOULD STREET  
PAVED - PUBLIC 50' WIDE

N:304450.136  
E:2929343.472

N:304802.741  
E:2929292.349

N0134°21'E  
477.83'

inputted 2/15/12



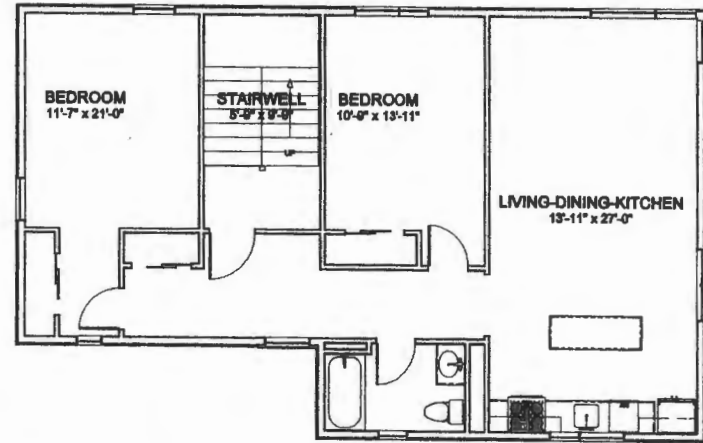
View from Hammond Street



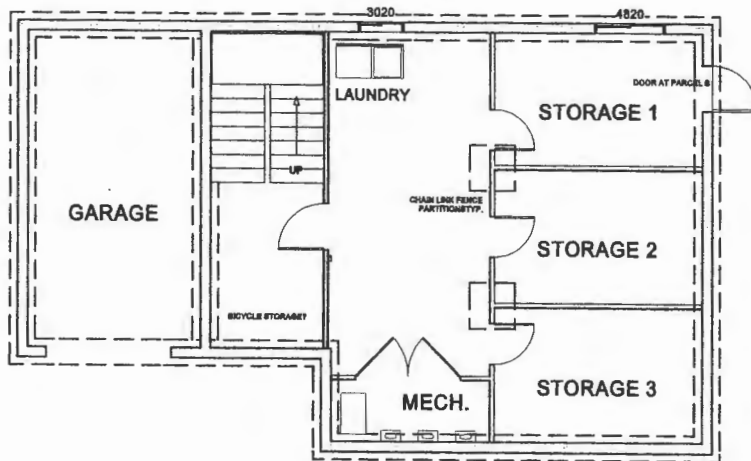
View from Goble Street



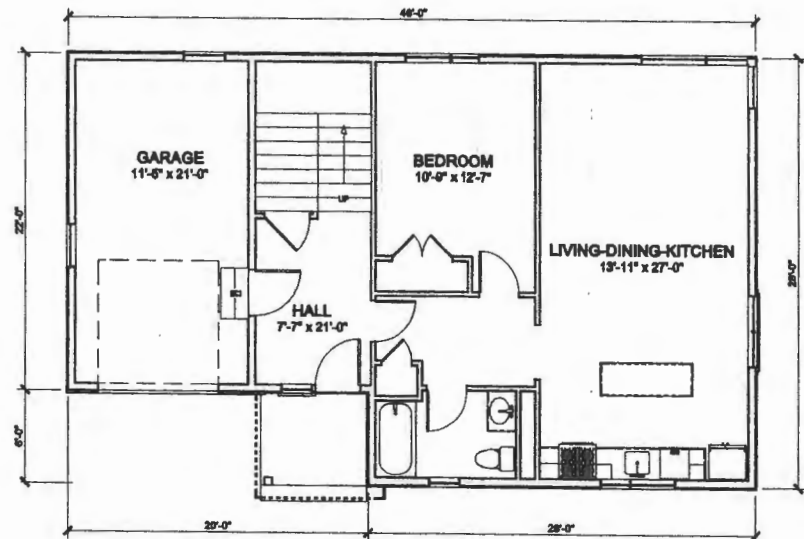
Down Hammond Street



2nd Floor & 3rd Floor - 1/8 in = 1 ft



Basement - 1/8 in = 1 ft



1st Floor - 1/8 in = 1 ft

*in putted 2/15/12*

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 Mike Licensed Architect  
 027703-6423  
 moquin@moquin.com

FLOOR PLANS & EXTERIOR VIEWS  
 1/8" = 1'-0"

Preliminary Application  
 Residence

Hammond Street  
 Apartments  
 55 Hammond St., Portland, ME

January  
 30  
 2012  
**A-1**  
 1 of 3

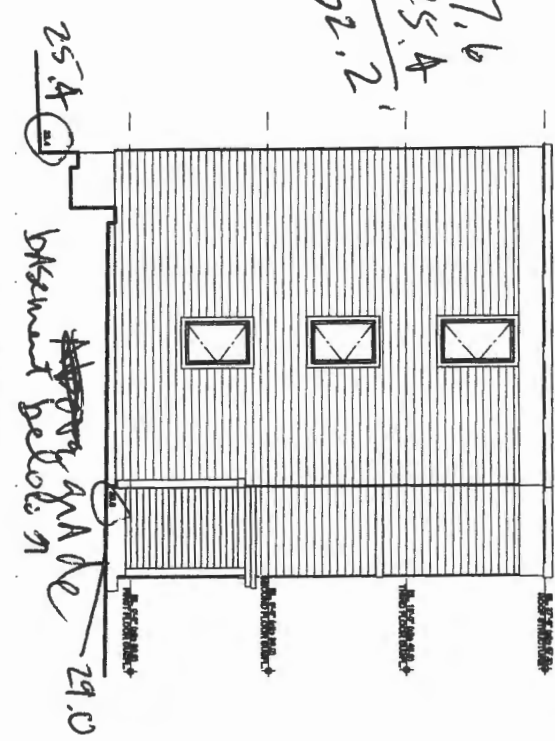
Parcel 'B'

3 Stair for Ten's Purposes

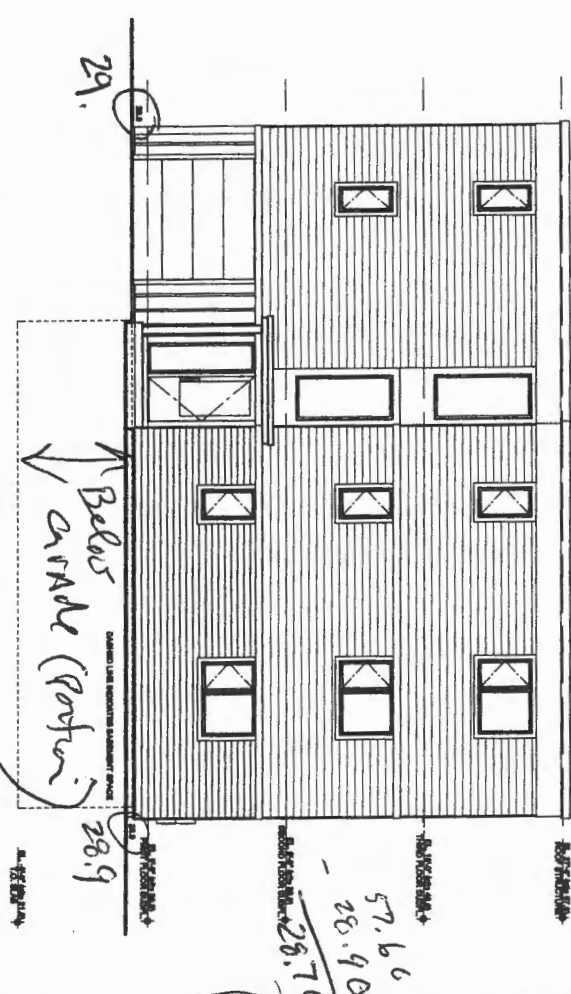
57.6  
-25.4  
-----  
32.2

57.6 site

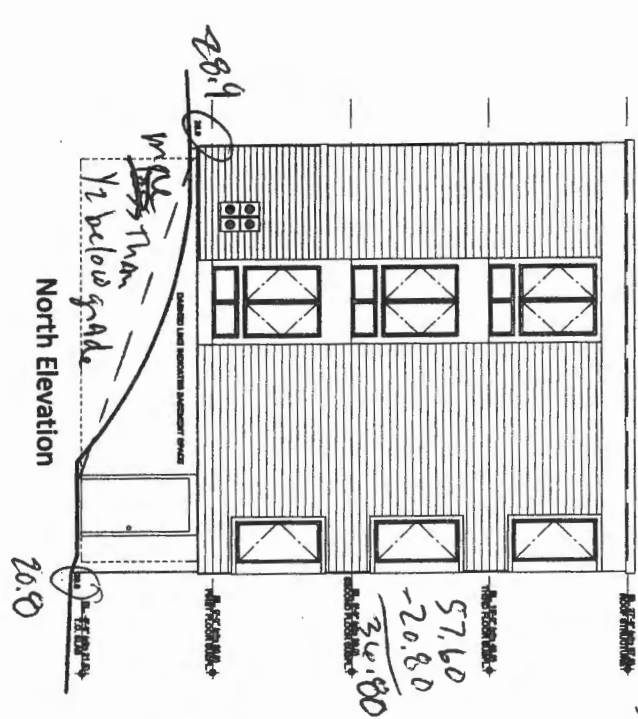
28.9  
20.8  
25.4  
29.0  
-----  
104.1 ÷ 4 = 26.03 AV. grade  
57.6 site



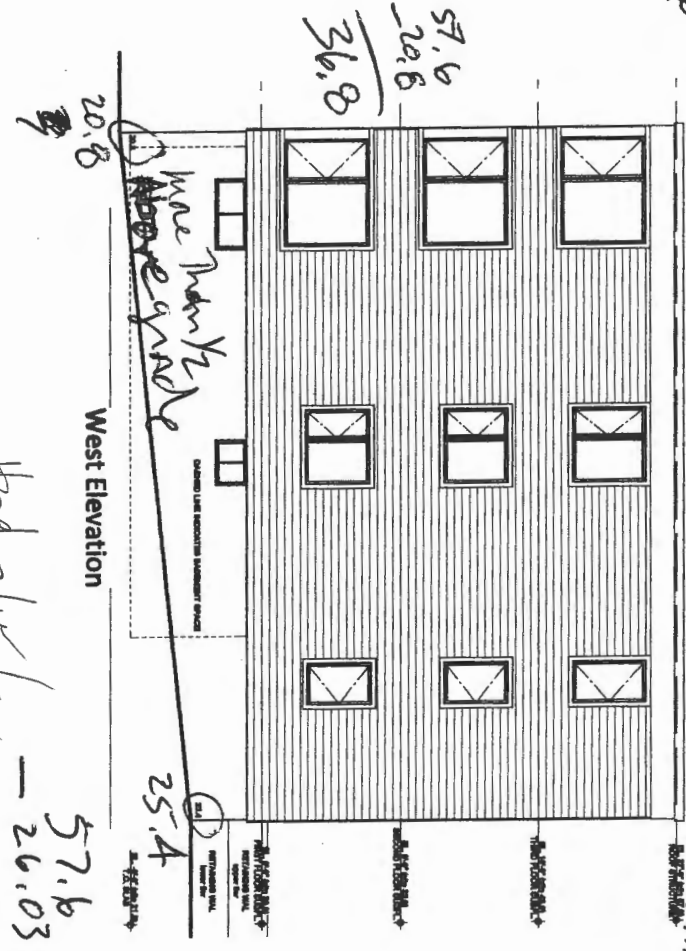
South Elevation



Hammond Street (East) Elevation



North Elevation



West Elevation

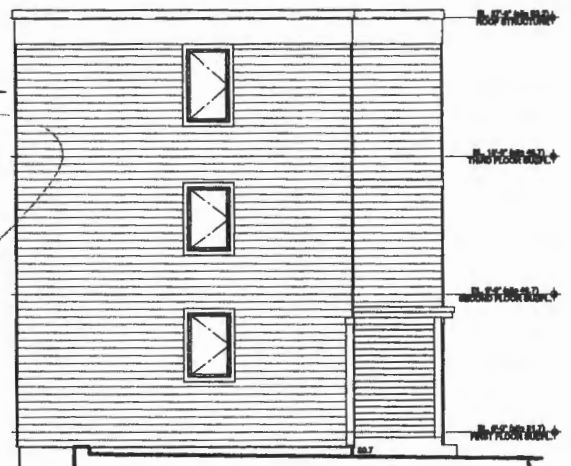
instead 215 ft  
57.6  
-26.03 AV. grade  
-----  
31.57 Bldg ht

Parcel "A"

3 Stories for Zoning Purposes

$$\begin{array}{r} 30.70 \\ 30.25 \\ 25.84 \\ 25.40 \\ \hline 112.19 \div 4 = 28.05 = \text{Avg. grade} \end{array}$$

$$\begin{array}{r} 59.2 \\ - 25.84 \\ \hline 33.36 \end{array}$$



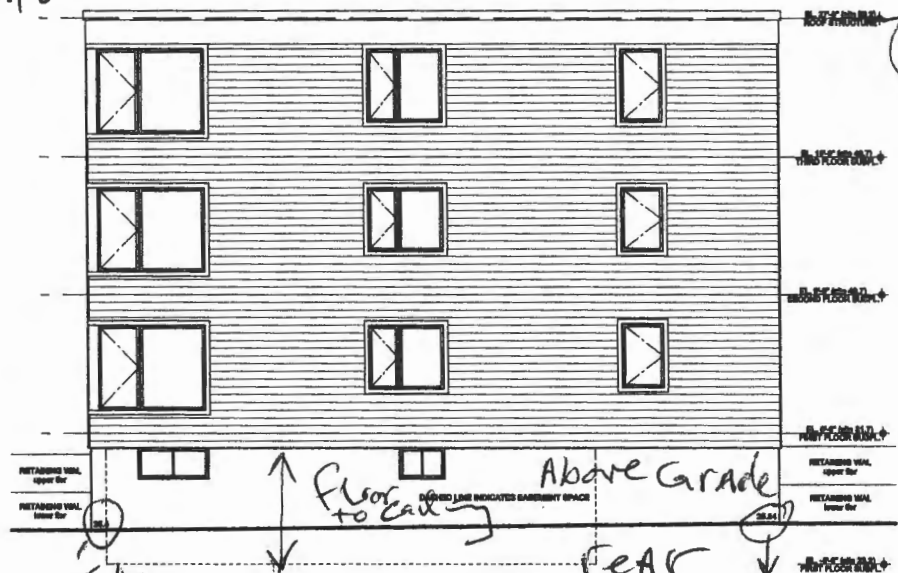
South Elevation - 1/8 in = 1 ft



Hammond Street (East) Elevation - 1/8 in = 1 ft



Gould Street (North) Elevation



West Elevation

$$\begin{array}{r} 59.2 \\ - 30.25 \\ \hline 28.95 \text{ height} \end{array}$$

$$\begin{array}{r} 59.2 \\ - 25.4 \\ \hline 33.8 \text{ height} \end{array}$$

inputted 2/15/12

$$\begin{array}{r} 59.20 \\ - 28.05 \\ \hline 31.15 \end{array}$$

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Miles Limited Architect  
03792-4423  
miles.architect@gmail.com

EXTERIOR ELEVATIONS - Parcel A  
1/8" = 1'-0"

Preliminary Application  
Resident

Hammond Street  
Apartments  
56 Hammond St, Portland, ME

January 30, 2012

A-2  
2 of 3



## PROJECT DATA

(The following information is required where applicable, in order complete the application)

<b>Total Site Area</b>	9,404 sq. ft.
<b>Proposed Total Disturbed Area of the Site</b>	approx. 7,800 sq. ft.
<small>(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)</small>	
<b>IMPERVIOUS SURFACE AREA</b>	
• Proposed Total Paved Area	1,764 sq. ft.
• Existing Total Impervious Area	1,728 sq. ft.
• Proposed Total Impervious Area	4,232 sq. ft.
• Proposed Total Impervious Area	same as above sq. ft.
• Proposed Impervious Net Change	2,504 sq. ft.
<b>BUILDING AREA</b>	
• Proposed Building Footprint	Parcel A 1,235 + Parcel B 1,228 = 2,463 sq. ft.
• Proposed Building Footprint Net change	(2,463 - 1,188 =) 1,315 sq. ft.
• Existing Total Building Floor Area	1,939 (incl. garage) sq. ft.
• Proposed Total Building Floor Area	Parcel A 3,571 + Parcel B 3,654 = 7,135 sq. ft.
• Proposed Building Floor Area Net Change	(7,135 - 1,939 =) 5,196 sq. ft.
• New Building	yes (yes or no)
<b>ZONING</b>	
• Existing	R-6
• Proposed, if applicable	same
<b>LAND USE</b>	
• Existing	Single Family Residential
• Proposed	Multi Family Residential
<b>RESIDENTIAL, IF APPLICABLE</b>	
• Proposed Number of Affordable Housing Units	0
• Proposed Number of Residential Units to be Demolished	1
• Existing Number of Residential Units	1
• Proposed Number of Residential Units	Parcel A 3+ Parcel B 3 = 6 total
• Subdivision, Proposed Number of Lots	2
<b>PARKING SPACES</b>	
• Existing Number of Parking Spaces	3
• Proposed Number of Parking Spaces	6 (3+3)
• Number of Handicapped Parking Spaces	0
• Proposed Total Parking Spaces	6
<b>BICYCLE PARKING SPACES</b>	
• Existing Number of Bicycle Parking Spaces	0
• Existing Number of Bicycle Parking Spaces	0
• Proposed Number of Bicycle Parking Spaces	6 (internal)
• Total Bicycle Parking Spaces	6 (internal)
<b>ESTIMATED COST OF PROJECT</b>	
	tbd

standard setback requirements for the property. Additionally, all zoning requirements established in the R-6 Zone District shall be met by this project. A breakdown of Zone requirements and standard is also indicated on the Site Plan Sheet L-2.0.

Zone: R6 Residential Zone.  
 Legal Description: 10-G-2; Hammond St. 52-64; Gould St. 18-22  
 Lot size: 0.216 acres (9,404 square feet)  
 CBL: 010 G002001  
 Land Use Existing: Single Family (1 residential unit)  
 Land Use Proposed: Multi-Family (6 residential units)

<i>Zoning Regulations</i>	<i>Required-Allowed</i>	<i>Proposed</i>
Min. Lot Area:	4,500 sf	Parcel A= 4,791 sf, Parcel B= 4,619 sf
Min. Lot Area/Dwelling:	1,000 sf	1,657 sf (9,404 sf / 6 units)
Min. Lot Width:	40'	Parcel A= 79.48', Parcel B= 72.05'
Min. Street Frontage:	40'	Parcel A= 79.48', Parcel B= 142.37'
Front Yard Setback:	10' min.	Parcel A = 10.7', Parcel B= 10.4'
Side Yard Setback:	10' for 1-3 stories	Parcel A = 22.6', Parcel B= N/A
Rear Yard Setback:	20'	Parcel A = 20.4', Parcel B= 20.4'
Building Height:	45' max.	Parcel A = 34.0', Parcel B= 36.5"
Parking:	1 space per unit	Parcel A = 3, Parcel B= 3
Lot Coverage:	50% if < 20 units	Parcel A = 45.5%, Parcel B= 48.5%
Open Space Ratio:	20% if < 20 units	Parcel A = 54.5%, Parcel B= 51.5%

Existing and proposed easements or other burdens

There is an existing easement of 929 square feet on the north-west corner of the property which is described in the attached deed and delineated on the landscape drawings.

The applicant is intending to divide the lot into two parcels. The proposed location of the new property line is shown on the attached site plan and the parcels are identified as Parcel A and Parcel B. Parcel A will include an easement for the benefit of Parcel B parking. It is our intent to maintain separate utility connections for each building. Depending on final utility access points, additional easements will be provided if necessary for underground services. The legal text of a preliminary easement will be provided to the City with the Final Submission.

Requests for waivers

None.



Barbara Barhydt  
Development Review Services Manager  
Planning Division  
389 Congress Street 4th Floor  
Portland, ME 04101

December 12, 2011

**Kevin Moquin, AIA, LEED AP BD+C**  
**Maine Licensed Architect**  
53 Hammond St  
Portland, ME 04101  
info@km-a.me  
T 207-265-6421

Dear Barbara,

Kevin Moquin Architect has prepared a submission package for a Level III Site Plan Review on behalf of Steven and Roberta Cope, the property owner and applicant. The proposed project is located at 56 Hammond Street (Assessors Chart 10, Block G, Lot 2) and currently contains a single family house, a driveway, and a garage with driveway. The project site is located in the R6 Residential Zone.

The Proposed project includes the demolition of the existing single family home and garage and the construction of two new buildings. Each new building contains (3) residential units and one garage. The applicant intends to divide the existing lot into two parcels. The new buildings, as proposed, meet all applicable zoning standards.

Please include our project on the Planning Board workshop agenda at your earliest convenience. We look forward to the valuable feedback provided by the planning staff.

Sincerely,



Kevin Moquin, AIA, LEED AP BD+C  
Maine Licensed Architect  
Portland, Maine  
(207)615-6421

**December 12, 2011**

**To: City of Portland Planning Authority**  
**Re: Hammond Street Apartments**  
**Level III Preliminary Application Submission**

## **Narrative**

---

### Description of Project

The Proposed project includes the demolition of the existing home and garage and the construction of two new buildings. Each new building contains one garage and three residential units consisting of (2) two bedroom apartments and (1) one bedroom apartment. Both buildings total 7,135 square feet. The new buildings, as proposed, meet all applicable zoning standards. The buildings will be served by existing underground and overhead utilities.

The design of the new buildings will feature a three story facade facing Hammond Street located as close to the existing sidewalk as the setback allows. To provide visual interest and to diminish the presence of the garage on the sidewalk, the portion of the front facade containing the garage doors is stepped back six feet. Finish materials will consist of fiber cement clapboards and trim, energy efficient casement windows, and a entrance canopy at the front doors. The buildings will be fully sprinklered. A preliminary review with Chief Pirone at the Portland Fire Department occurred on December 2, 2011.

Each proposed building will have a single garage accompanied by two parking spaces. All proposed parking spaces meet the City's Dimensional Standards. The proposed plan will accommodate for the storage of bicycles in the basement of each building.

Proposed landscaping is in character with the neighborhood context, and proposed street trees along Hammond Street have been reviewed by the City Arborist. The slope on the western portion of the properties will be seeded with Wildflower Seed Mix. Rain gardens will be constructed to address stormwater on each property (see Civil Stormwater Report), providing small lawn areas along Hammond and Gould Streets.

### Evidence of right, title, and interest

See attached warranty deed.

### Zoning Assessment

The project site is located at the corner of Hammond and Gould Streets, and lies within the R-6 Zone District. The existing single-family house will be razed, the lot will be sub-divided into 2 parcels, and two new apartment buildings (3 per building) will be constructed for a total of 6 units.

Both proposed lots are in conformance with the Ordinance, and proposed structures fall within the

**PROJECT NAME:** Hammond Street Apartments

**PROPOSED DEVELOPMENT ADDRESS:**

56 Hammond Street, Portland, Maine

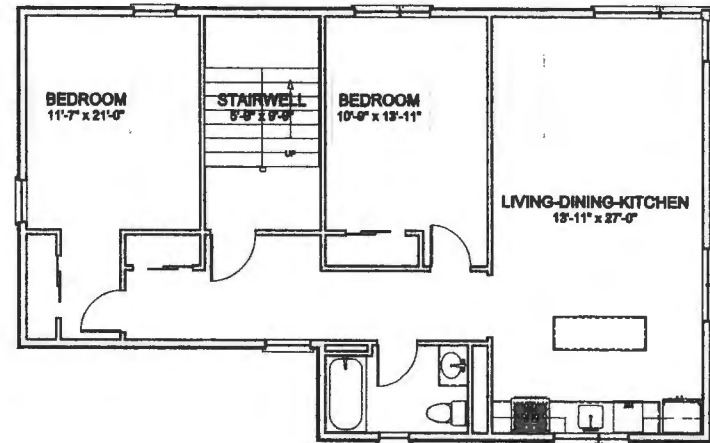
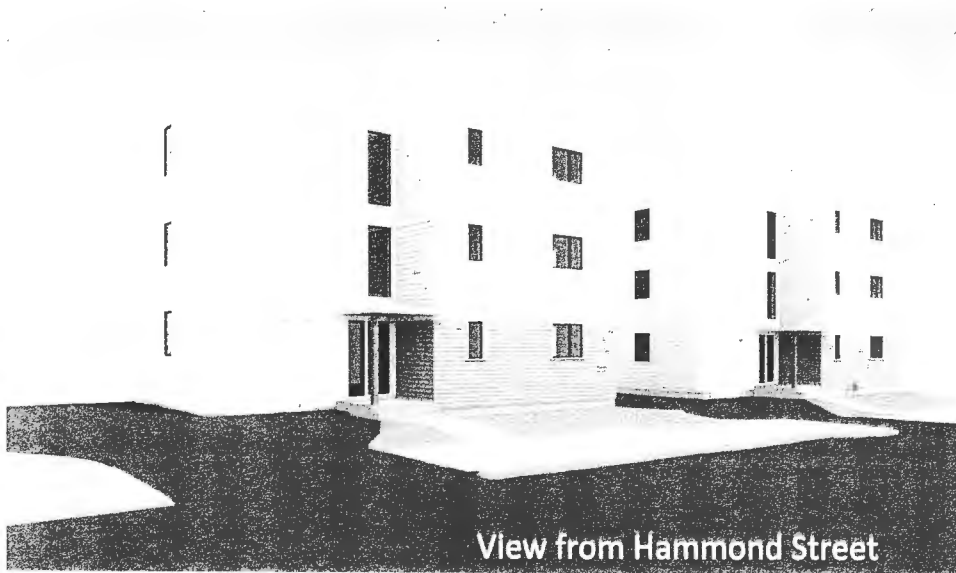
**PROJECT DESCRIPTION:**

The Proposed project includes the demolition of the existing home and garage and the construction of two new buildings. Each new building contains (3) residential units and one garage. Both buildings total 7,135 square feet.

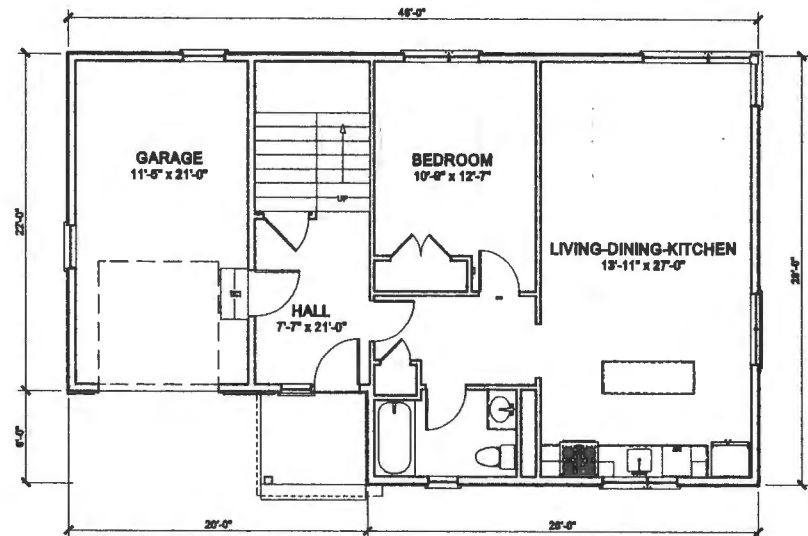
**CHART/BLOCK/LOT:** 10 - G - 2 **PRELIMINARY PLAN** 12-12-2012 (date)  
**FINAL PLAN** \_\_\_\_\_ (date)

**CONTACT INFORMATION:**

<b>Applicant – must be owner, Lessee or Buyer</b> Name: Steven and Roberta Cope Business Name, if applicable: n/a Address: 172 Concord St. City/State : Portland, ME      Zip Code: 04103	<b>Applicant Contact Information</b> Work # n/a Home# Cell # (207) 415-5833      Fax# n/a e-mail: bcope@maine.rr.com
<b>Owner – (if different from Applicant)</b> Name: Applicant Address: City/State :      Zip Code:	<b>Owner Contact Information</b> Work # Home# Cell #      Fax# e-mail:
<b>Agent/ Representative</b> Name: Applicant & Architect Address: City/State :      Zip Code:	<b>Agent/Representative Contact information</b> Work # Cell # e-mail:
<b>Billing Information</b> Name: Applicant Address: City/State :      Zip Code:	<b>Billing Information</b> Work # Cell #      Fax# e-mail:



2nd Floor & 3rd Floor



1st Floor

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Miles Limited Architects  
03/10/11-02/12  
10/10/11-01/12

FLOOR PLANS & EXTERIOR VIEWS  
1/8" = 1'-0"

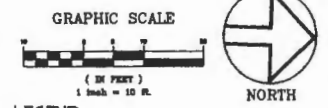
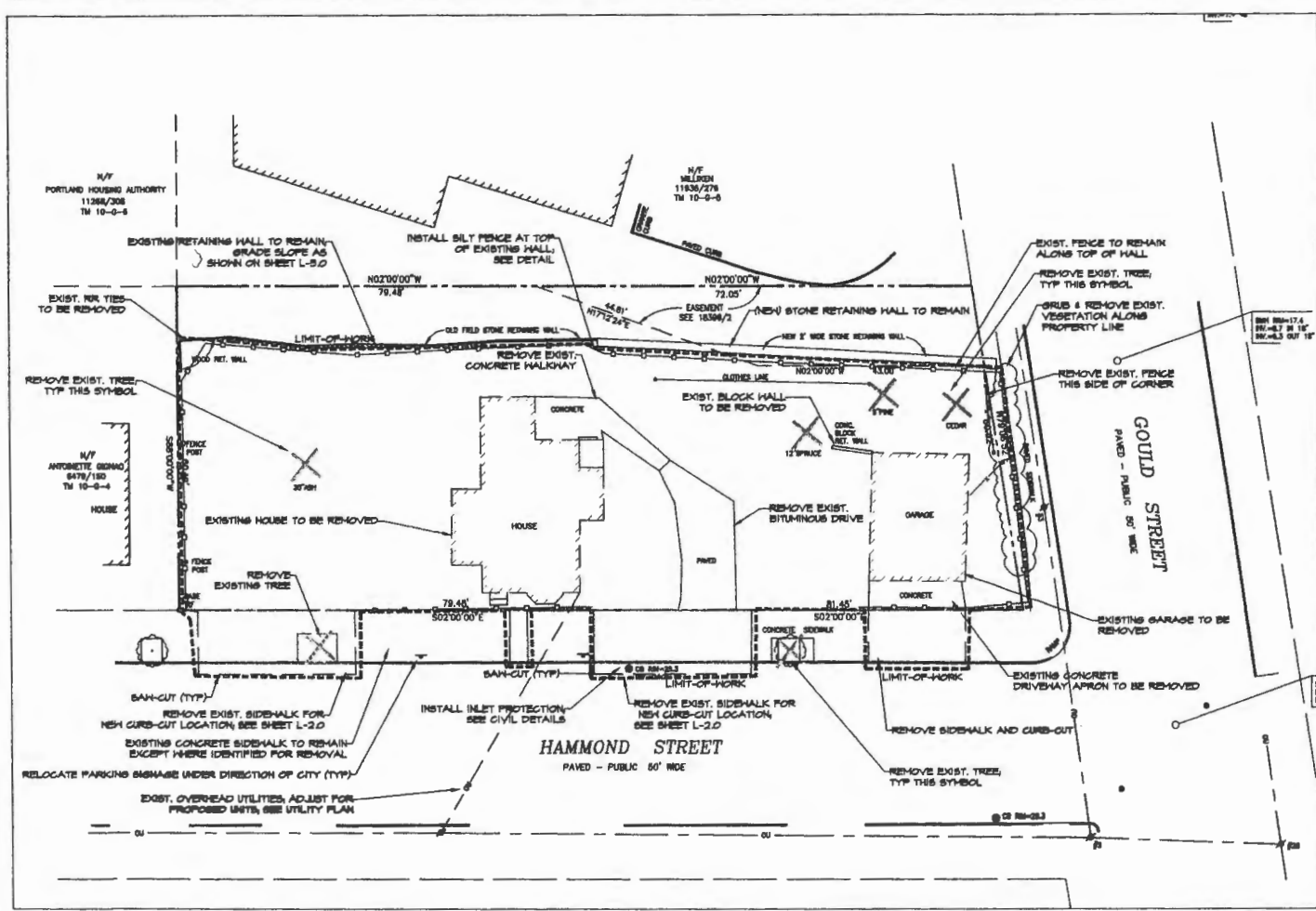
Preliminary Application  
Residence

Musson Street  
Apartments  
56 Hammond St., Portland, ME

December  
12  
2011

A-1  
1 of 2

Existing



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EA/SE/ST	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	CONTOUR	04
---	CULVERT	80
---	WATER	8
---	SEWER	8
---	STORM DRAIN	80
---	UNDERGROUND ELBIC # TEL	---
---	OVERHEAD ELBIC # TEL	---
---	GATE VALVE	---
---	UTILITY POLE	---
---	MANHOLE	---
---	POTABLE WELL	---
---	WETLAND	---
---	EDGE WETLAND	---
---	BURN	---
---	DEMOLISH MARK	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	REPAIR	---
---	#FOOTCAGE FENCE	---
---	ZONE LINE	---

**SITE PREPARATION NOTES**

1. INSTALL SILT PROTECTION FOR ALL GATCH BASINS WITHIN WORK ZONE CONSISTING OF SILT BAGS OR OTHER APPROVED METHODS.
2. THE SITE SHALL BE GRUBBED AS SHOWN ON THE PLAN. EXISTING PAVERS/ST SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
3. KEEP ALL STREETS FREE OF DIRT, MUD, AND OTHERS. SURFACES MUST BE SWEPT CLEAN AT END OF EACH WORK DAY AND OTHER TIMES AS REQUIRED TO MINIMIZE TRACKING OF MUD AND CREATION OF DIRT. INSTALL STABILIZED CONSTRUCTION ENTRANCE AT PRIMARY ACCESS ROUTE INTO UNPAVED STREET AND HANWAY AS REQUIRED THROUGHOUT CONSTRUCTION.
4. REMOVAL OF EXISTING BUILDING BY OTHERS UNDER SEPARATE CONTRACTS WITH THE OWNER PRIOR TO CONSTRUCTION. BUILDING REMOVAL WORK SHALL INCLUDE COMPLETE DEMOLITION OF ALL ABOVE-GRADE STRUCTURES TO SLAB, DISPOSAL OF DEMOLITION WASTE GENERATION AND DISCONNECT OF ELECTRICAL, WATER, SEWER, AND GAS SERVICE TO THE BUILDING.
5. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS.

Project Name:  
**HAMMOND STREET APARTMENTS**  
56 Hammond Street  
Portland, Maine

**CARROLL ASSOCIATES**  
Landscape Architects  
217 Commercial Street - Portland, ME 04101  
207.767.1155

Owner: **Brown & Roberts Corp.**  
173 Commercial Street  
Portland, Maine 04101

Consultant:  
**Architect**  
Tara Knapik, Architect  
Hammond Street  
Portland, Maine 04104  
207.415.4401  
**Civil Engineer**  
Blair C. Chapman  
947 Broadway  
South Portland, Maine 04106  
207.767.7380

Drawing Set:

No.	Date	Revision

Drawing Set:  
**PROGRESS SET**

Drawn:  
TC/PC

Checked:  
TC/PC

Approved:

Drawing Title:  
**SITE PREPARATION PLAN**

Job Number:  
File:  
Date: 12-12-11 Scale: 1" = 10'-0"

Drawing Number:  
**L-1.0**  
© 2011 CARROLL ASSOCIATES

PRELIMINARY  
FOR CITY REVIEW

## Marge Schmuckal - Pre-application meeting

---

**From:** Barbara Barhydt  
**To:** Errico, Thomas; Jaegerman, Alex; Margolis-Pineo, David; Schmuckal, Ma...  
**Date:** 8/23/2011 1:55 PM  
**Subject:** Pre-application meeting

---

Hi:

Bobbi Cope wants to have a meeting to discuss a potential project at 56 Hammond Street. They want to demolish a single family home and build to apartment buildings with a total of 6 units. Marge and I have met with her and Adam Cope regarding this proposal in the past. At one point they were considering an R-7 zone change.

Bobbi says they want to meet to understand what are the requirements and what they can do on site. They want to build the project with 6 units, but she says they cannot make the parking (one space per unit) and stormwater work. It is located in the R-6 zone and the site has 9404 square feet. Due to the fact that there is an existing house on it, I don't believe they can take advantage of the R-6 small lot infill provisions. My notes show it is a site constrained by the topography. It would need to be reviewed under subdivision and Level III site plan standards.

I suggested that I arrange a pre-application meeting either before or after the Wednesday development review meeting on August 31st. I am on vacation next week, but Alex they had called to have you at this meeting. Would an 11 a.m. work for all of you?

Thank you.

Barbara



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Penny St. Louis, Director of Planning and Development  
Marge Schmuckal, Zoning Administrator

### Meeting Information

DATE: 8/31/11 ZONE: R-6

LOCATION: 56 Hammond St Steven Cope

PEOPLE PRESENT: Adam Cope - Bobbi Cope - ~~Bob~~ Metcalf -

DAVID M-P-Alax - Tom Erico - Dave Senus - Marge - Kevin Lockwood

DISCUSSION: <sup>Rental Not Condo</sup> 2-3 unit Apt Bldg (Demo existing) -

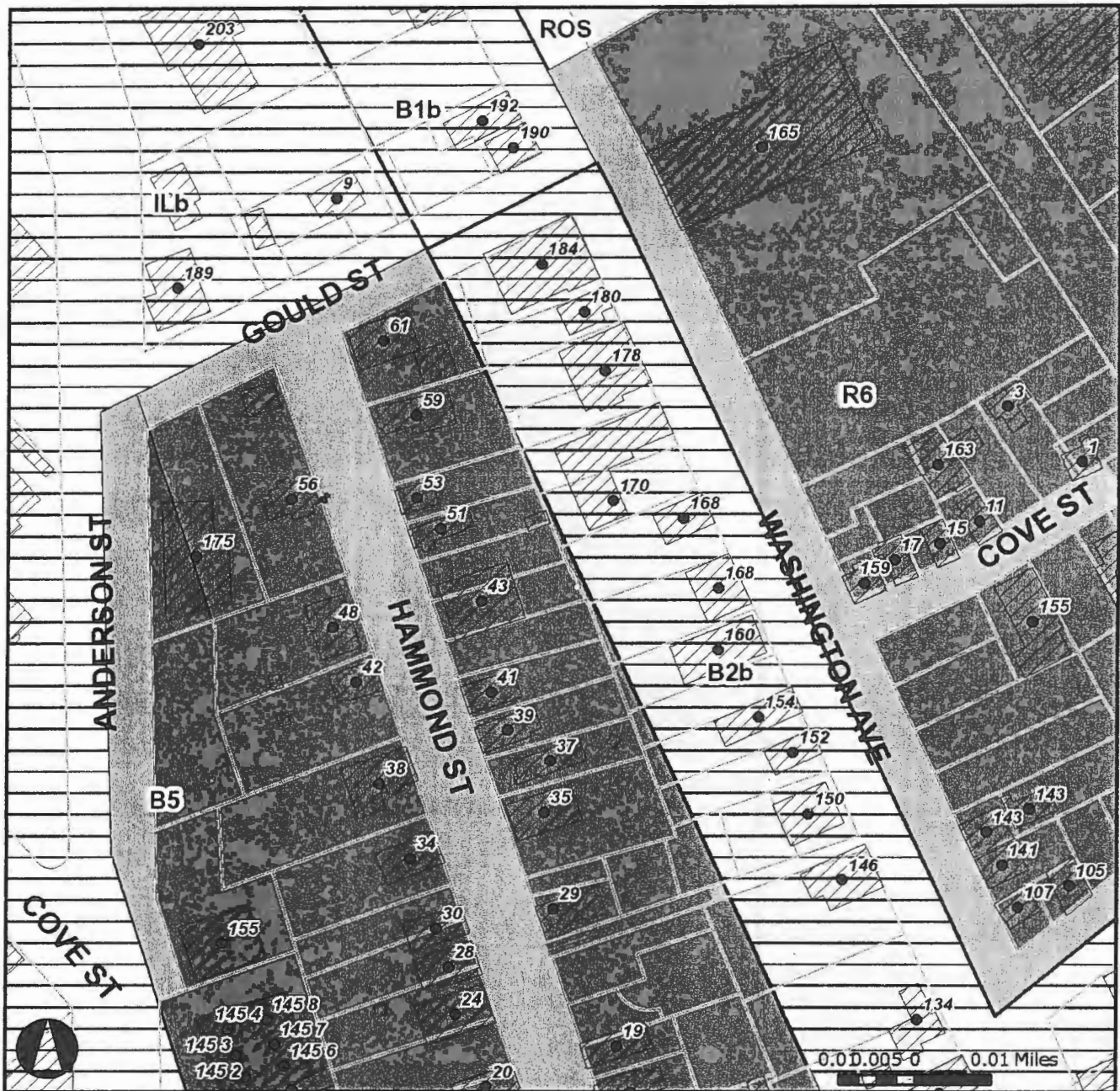
Storm Water Run-off is a question - impervious  
having problem with showing 6 pkg spaces - compact parky  
9404# lot - tandem pkg spaces

18' curb opening proposed - Tom E. ok  
discussed stacking - show us the plan  
Bob M. said he could meet the 20% open space in R-6  
discussed the practical difficulty criteria -  
shared ~~CARE~~ provision - permanent requirement  
side walk & curbing required. Rebuild sidewalks if in bad condition  
1 tree per unit required (street trees)  
street lighting discussed  
sidewalk culverts would be looked upon favorably

**Please note:** this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at [www.portlandmaine.gov](http://www.portlandmaine.gov).

time frame - wants to go forward - Spring

# Map



**Address Candidates**



**Interstate**



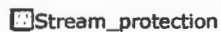
**Streets**



**Buildings**



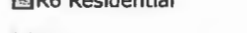
**Stream Overlay Zone**



**Island Zoning**



**Zoning (continued)**



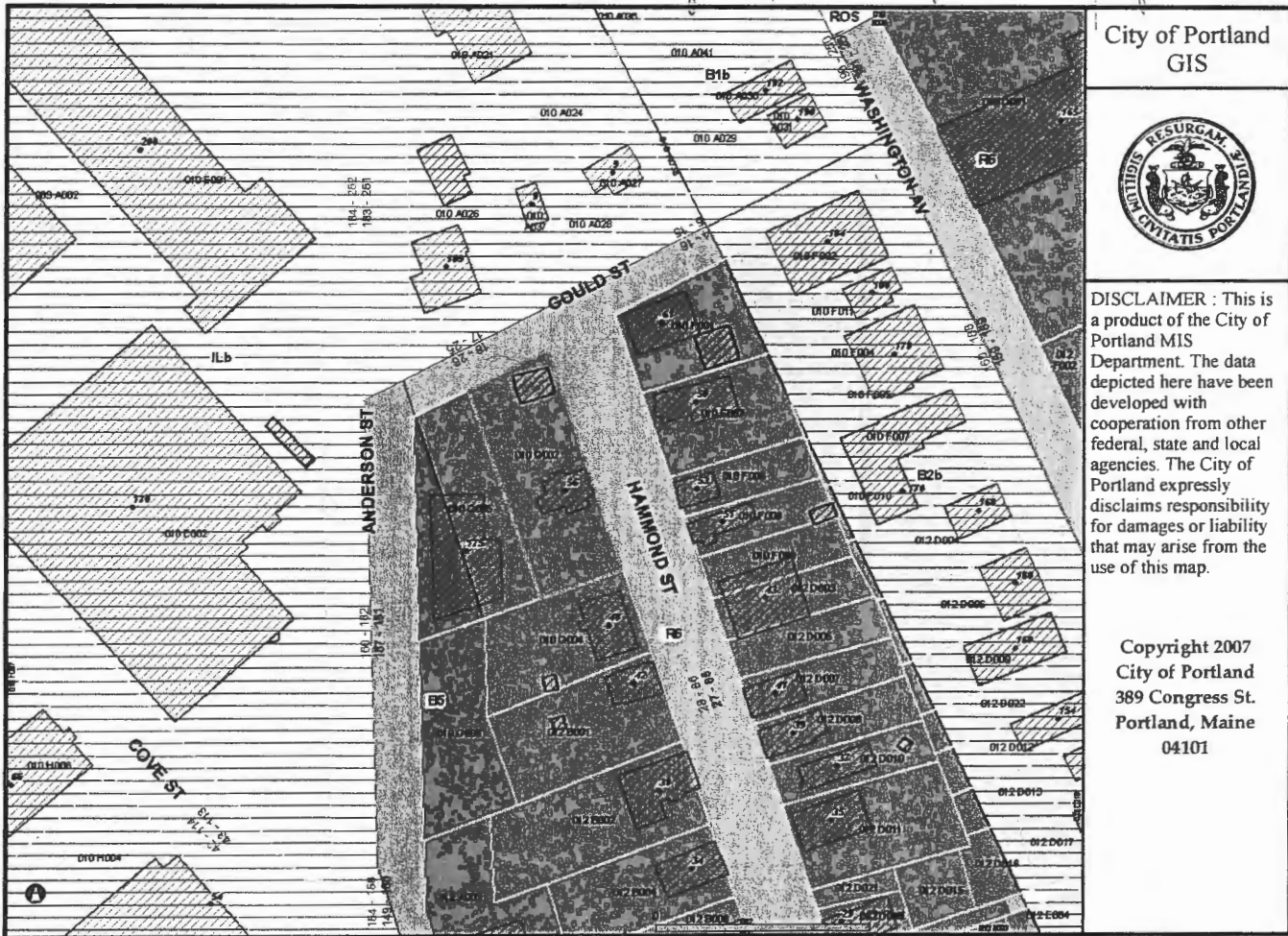
**Zoning (continued)**





Michael Chavez - BARBARA - Marge & The Copes

Hammond



City of Portland GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

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City of Portland  
389 Congress St.  
Portland, Maine  
04101

6- BDRM  $\approx 800^2$  9/10/08 The Copes  
 2- ZBDRM 7 overlay - zone change via  
 2- 4 unit Bldgs townhouse Bldg  
 lots of curb cuts on the m-1 (Platz 3)  
 want a demo existing by Sany's family & other  
 subdivision req.

3 = 3,000 5 x 1200 = 6000  
 6000  
 12-4 9,000  $\approx$  4594 4<sup>th</sup>

1/6/09 -> came in for P.D. VAIKES forms

10/22/08

mike check

2 Buildings - 1-4 unit Hammond St

1-3 unit Bldg

1 pkg space per unit - on the peninsula <sup>by Council</sup> passed on 10/20/08

already has a single fam.

9,404#

R-6 mfil vs R-7 ~~can't use~~

contract zone - (2)

(3) text change for R-6 to change front setback -

Donahue & Marshall would be supportive



**From:** Michael Charek <mcharek1@maine.rr.com>  
**To:** Marge Schmuckal <mes@portlandmaine.gov>, Barbara Barhydt <BAB@portlandmaine.gov>  
**Date:** 9/3/2008 12:10:17 PM  
**Subject:** Meeting

Marge and Barbara,

I am writing to schedule a meeting next week with both of you to discuss my clients' thoughts on developing their property at 52-64 Hammond Street, tax map designation 010-G-2. They are considering a request for R7 overlay status on the current R6 designation, and developing housing on that property. Potentially a subdivision of the lot is on the table as well.

We have some sketches to review and would like to meet with you both to get a better understanding of the process and issues we may face.

We are available to meet pretty much any day, any time next week.

Thank you.

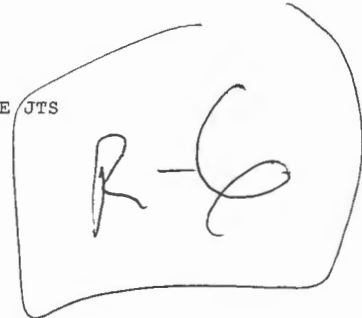
Michael R. Charek  
Michael Charek Architects  
25 Hartley Street  
Portland, ME 04103  
207-761-0556  
mcharek1@maine.rr.com

Next - Wed

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

**Card Number** 1 of 1  
**Parcel ID** 010 G002001  
**Location** 56 HAMMOND ST  
**Land Use** SINGLE FAMILY  
  
**Owner Address** COPE STEVEN E & ROBERTA S COPE/JTS  
 56 HAMMOND ST  
 PORTLAND ME 04101  
  
**Book/Page** 18396/201  
**Legal** 10-G-2  
 HAMMOND ST 52-64  
 GOULD ST 18-22  
 9404 SF



**Current Assessed Valuation**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$71,700	\$57,500	\$129,200

**Property Information**

<b>Year Built</b> 1889	<b>Style</b> Old Style	<b>Story Height</b> 1	<b>Sq. Ft.</b> 1028	<b>Total Acres</b> 0.216		
<b>Bedrooms</b> 3	<b>Full Baths</b> 1	<b>Half Baths</b>	<b>Total Rooms</b> 5	<b>Attic</b> Full Fin./wh	<b>Basement</b> Full	

**Outbuildings**

<b>Type</b> GARAGE-WD/CB	<b>Quantity</b> 1	<b>Year Built</b> 1950	<b>Size</b> 18X24	<b>Grade</b> D	<b>Condition</b> P
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**Sales Information**

<b>Date</b> 11/01/2002	<b>Type</b> LAND + BLDING	<b>Price</b> \$80,000	<b>Book/Page</b> 18396-201
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**Picture and Sketch**

[Picture](#)      [Sketch](#)      [Tax Map](#)

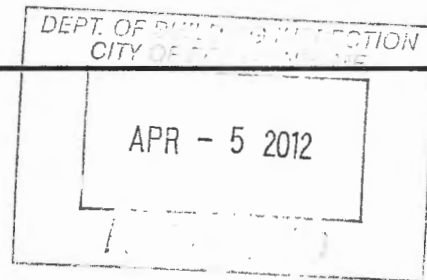
[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



**CITY OF PORTLAND, MAINE**  
**PLANNING BOARD**



Carol Morrissette, Chair  
Stuart O'Brien, Vice Chair  
Timothy Dean  
Bill Hall  
Joe Lewis  
David Silk

April 5, 2012

Steven and Roberta Cope  
172 Concord Street  
Portland, ME 04103

Kevin Moquin Architect  
53 Hammond Street  
Portland, ME 04101

RE: Staff Review Comments for Level III Preliminary Site Plan – Planning Board Review

Project Name: Six Unit Subdivision                      Project ID: 2011-402  
Address: 56 Hammond Street                              CBL: 10-G-2  
Applicant: Steven and Roberta Cope  
Planner: Shukria Wiar

Dear Mr. and Mrs. Cope:

On March 27, 2012, the Planning Board considered Hammond Street Apartments for two three-unit buildings to be constructed at 56 Hammond Street. The Planning Board reviewed the proposal for conformance with the standards of the Subdivision Ordinance and Site Plan Ordinance. The Planning Board voted 5-0 (Lewis absent) to approve the application with the conditions as presented below.

**A. SUBDIVISION:**

The Planning Board voted 5-0 (Lewis absent) that the plan is in conformance with the subdivision standards of the land use code, subject to the following conditions of approval:

1. Storm Water Management: The applicant and all assigns, must comply with the conditions of Chapter 32 Storm Water including Article III. Post-Construction Storm Water Management, which specifies the annual inspections and reporting requirements. The developer/contractor/subcontractor must comply with conditions of the construction storm water management plan and sediment & erosion control plan based on the City of Portland's standards and state guidelines; and
2. That the applicant shall submit a financial capacity letter prior to the issuance of a building permit; and
3. All property corners shall be set prior to the issuance of a building permit.

**B. SITE PLAN:**

That the Planning Board voted 5-0 (Lewis absent) that the plan is in conformance with the site plan standards of the land use code, subject to the following conditions:

1. That the final set of site plans shall be stamped by a professional engineer; and
2. That the applicant shall submit the recorded easements for the existing easement (vicinity of the retaining wall) and for the utility easement prior to the issuance of a building permit; and
3. That any mechanical equipment shall be submitted for review and approval prior to the issuance of a building permit and may also require separate permits.

The approval is based on the submitted plans and the findings related to site plan and subdivision review standards as contained in Planning Report for application # 2012-402 which is attached.

## STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. **Subdivision Recording Plat** A revised recording plat listing all conditions of subdivision approval must be submitted for review and signature prior to the issuance of a performance guarantee.
2. **Subdivision Waivers** Pursuant to 30-A MRSA section 4406(B)(1), any waiver must be specified on the subdivision plan or outlined in a notice and the plan or notice must be recorded in the Cumberland County Registry of Deeds within 90 days of the final subdivision approval).
3. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
4. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
5. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
6. **Subdivision Plan Expiration** The subdivision approval is valid for up to three years from the date of Planning Board approval.
7. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
8. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
9. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
10. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
11. **Department of Public Services Permits** If work will occur within the public right-of-way such as

utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

12. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.
13. **Mylar Copies** Mylar copies of the as-built drawings for the public streets and other public infrastructure in the subdivision must be submitted to the Public Services Dept. prior to the issuance of a certificate of occupancy.

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Shukria Wiar at 756-8083 or via [shukriaw@portlandmaine.gov](mailto:shukriaw@portlandmaine.gov)

Sincerely,



Carol Morrissette, Chair  
Portland Planning Board

**Attachments:**

1. Planning Board Report
2. Performance Guarantee Packet

**Electronic Distribution:**

cc: Greg Mitchell, Interim Director of Planning and Urban Development  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Shukria Wiar, Planner  
Philip DiPierro, Development Review Coordinator, Planning  
Marge Schmuckal, Zoning Administrator, Inspections Division  
Tammy Munson, Inspection Division Director  
Lannie Dobson, Administration, Inspections Division  
Gayle Guertin, Administration, Inspections Division  
Michael Bobinsky, Public Services Director  
Katherine Earley, Engineering Services Manager, Public Services  
Bill Clark, Project Engineer, Public Services  
David Margolis-Pineo, Deputy City Engineer, Public Services  
Doug Roncarati, Stormwater Coordinator, Public Services  
Greg Vining, Associate Engineer, Public Services  
Michelle Sweeney, Associate Engineer  
John Low, Associate Engineer, Public Services  
Matt Doughty, Field Inspection Coordinator, Public Services  
Mike Farmer, Project Engineer, Public Services  
Jane Ward, Administration, Public Services  
Jeff Tarling, City Arborist, Public Services  
Captain Chris Pirone, Fire Department  
Thomas Erriso, P.E., TY Lin Associates  
David Senus, P.E., Woodard and Curran  
Rick Blackburn, Assessor's Department  
Approval Letter File





# Certificate of Design Application

From Designer: KEVIN MOQUIN, AIA, LEED AP BD+C

Date: 6.12.2002

Job Name: Hammond Street Apartments

Address of Construction: 56 Hammond St. Portland ME 04101

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) R-2

Type of Construction V-A see A 001 for SB Job B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) na

Supervisory alarm System? NO Geotechnical/Soils report required? (See Section 1802.2) completed submit geotechnical \$11272

### Structural Design Calculations

Completed Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Floor Area Use	Loads Shown
<u>residential</u>	<u>40 psf</u>
<u>stair</u>	<u>100 psf</u>
<u>corridor</u>	<u>100 psf</u>

### Wind loads (1603.1.4, 1609)

1609.6 Design option utilized (1609.1.1, 1609.6)  
100 Basic wind speed (1809.3)  
II 1.0 Building category and wind importance Factor,  $I_w$  (table 1604.5, 1609.5)  
C Wind exposure category (1609.4)  
4-0.18 Internal pressure coefficient (ASCE 7)  
varies 19 to 69 Component and cladding pressures (1609.1.1, 1609.6.2.2)  
low to 19 Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

1617.5 Design option utilized (1614.1)  
I Seismic use group ("Category")  
0.789 0.169 Spectral response coefficients,  $S_D$  &  $S_1$  (1615.1)  
D Site class (1615.1.5)

not applied Live load reduction  
20 psf constr. Roof live loads (1603.1.2, 1607.11)  
50 Roof snow loads (1603.7.3, 1608)  
38 Ground snow load,  $P_g$  (1608.2)  
1.0 If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
1.0 If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
1.1 Roof thermal factor,  $C_t$  (1608.4)  
38 Sloped roof snowload,  $P_s$  (1608.4)  
C Seismic design category (1616.3)  
bearing wall system Basic seismic force resisting system (1617.6.2)  
6 1/2 4 Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (1617.6.2)  
1616.6.1 Analysis procedure 1616.6, 1617.5)  
7400 lb Design base shear 1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

\_\_\_\_\_ Flood Hazard area (1612.3)  
 \_\_\_\_\_ Elevation of structure

### Other loads

none Concentrated loads (1607.4)  
10 psf Partition loads 1607.5)  
none Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



## Certificate of Design

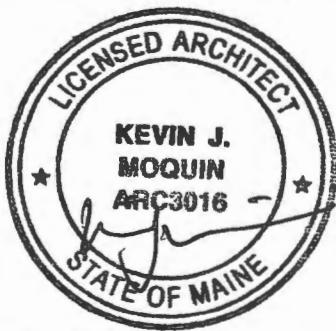
Date: 6.12.2012

From: Kevin Moquin Architect

These plans and / or specifications covering construction work on:

96 Hammond Street - Parcel A  
Parcel B

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: [Handwritten Signature]

Title: Architect

Firm: Kevin Moquin Architect

Address: 53 Hammond St  
Portland ME 04109

Phone: 615.6421



# Certificate of Design

Date: 5-21-12

From: Albert Putnam PE

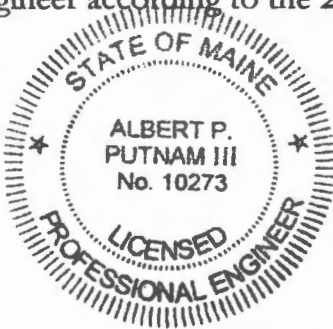
These plans and / or specifications covering construction work on:

56 Hammond St - Apartment Bldg A

- Apartment Bldg B

5-21-12 Issued For Permit - both buildings

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



(SEAL)

Signature: Albert Putnam

Title: principal

Firm: Albert Putnam PE

Address: 123 Park Row

Brunswick ME 04011

Phone: 207 729 6230

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov*

## Receipts Details:

**Tender Information:** Check , BusinessName: Concord Properties, Inc, Check Number: 1143  
**Tender Amount:** 2845.00

## Receipt Header:

**Cashier Id:** gguertin  
**Receipt Date:** 6/28/2012  
**Receipt Number:** 45464

## Receipt Details:

Referance ID:	7082	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-06-4358-CH OF USE - single family to 3 units			
Additional Comments: 56 Hammond St.Parcel A Concord Properties, Inc			

Referance ID:	7083	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	2770.00	Charge Amount:	2770.00
Job ID: Job ID: 2012-06-4358-CH OF USE - single family to 3 units			



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

## Planning & Urban Development Department

Jeffery Levine, Director

## Planning Division

Alexander Jaegerman, Director

July 25, 2012

Steven E. Cope  
172 Concord Street  
Portland, Maine 04103



Project Name: 6 Unit Subdivision  
Address: 56 Hammond Street  
Applicant: Steven E. Cope  
Planner: Shukria Wiar

Project ID: 2011-402  
CBL: 010 G 002001

Dear Mr. Cope;

On March 27, 2012, the Portland Planning Board approved with conditions, the proposal for the 6 Unit Subdivision at 56 Hammond Street. As provided in Section 14-532, this letter serves as the written permission from the Planning Authority to commence site work prior to the issuance of the Building Permit. The commencement of site work is limited to the extent of work outlined in a letter from Steven Cope, that was received on July 23, 2012 (attached) and listed below:

1. Site clearing and grubbing,
2. Tree removal,
3. Demolition of existing single family house and detached garage,
4. Excavation of site,
5. All other pre-construction preparations up to pouring concrete.

All of the above work shall be done in accordance with the plans submitted by Carroll Associates, Landscape Architects, with the most recent revisions dated 5-24-2012. Please be advised that you must obtain a demolition permit from the City's Inspection Division prior to commencing any demolition, and obtain any permits that may be required from Public Services for street openings, disconnecting and capping any sewer and stormwater lines, temporary closing of any sidewalks and any temporary loss of on-street parking.

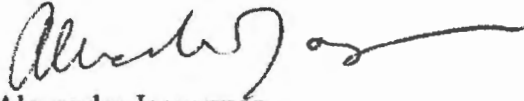
Erosion control measures meeting Department of Environmental Protection best management practices must be installed in compliance with, and as shown on, the approved site plan prior to the start of any site or demolition work.

City Hall, 389 Congress Street . Portland, ME 04101-3509 . Ph (207) 874-8719 . Fx 756-8258 . TTY 874-8936

The approval to proceed with the demolition and/or site work is based on the submitted request of Steven E. Cope, dated 7-23-12, and the approved site plan set from Carroll Associates, Landscape Architects, dated 5-24-12. If you need to make any modifications to the site plan, you must submit a revised site plan for staff review and approval.

If there are any further questions, please contact the Planning Office at 874-8721.

Sincerely,



Alexander Jaegerman  
Planning Division Director

**Electronic Distribution**

Jeffery Levine, Director of Planning and Urban Development Department

Barbara Barhydt, Development Review Services Manager, Planning

Shukria Wiar, Planner

Philip DiPierro, Development Review Coordinator, Planning

Marge Schmuckal, Zoning Administrator, Inspections Division

Rhonda Zazzara, Public Services

Tammy Munson, Plan Reviewer, Inspections Division

Lannie Dobson, Administration, Inspections Division

Approval Letter File

**Attachments:**

1. Steven E. Cope, July 23, 2012

COPE  
172 Concord Street  
Portland, ME 04103

July 23, 2012

Alex Jaegerman  
Planning Division Director  
City of Portland  
389 Congress Street  
Portland, ME 04101

**RE: 56 Hammond Street - Request for Pre-construction Site Preparation**

Dear Alex:

At today's pre-construction planning meeting with Phil DiPierro and other representatives of the City with respect to the our project at 56 Hammond Street, it was suggested that I seek authorization by letter site prep and demolition while the Planning Department is processing our building permit applications. We have submitted building permit applications, a demolition permit application, all plans and construction details, performance guaranty and paid all fees. Mr. DiPierro has indicated that everything is a 'go' from his perspective. The building permit applications are being considered but may take some time as the City's staff is very busy.

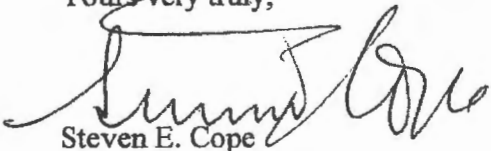
We would like to undertake the following work all in accordance with the approved site plan and applicable ordinances and codes:

- site clearing and grubbing
- tree removal
- demolition of existing single family house and detached garage
- excavation of site; and
- all other pre-construction preparations up to pouring concrete

Approving this request will permit us to maintain our time line with the anticipated completion and occupancy as of the beginning of 2013.

Thanks for you consideration and let me know if you need any further information.

Yours very truly,



Steven E. Cope

cc: Brian Milliken  
Roberta S. Cope



PDFU

RECEIVED

AUG 02 2012

Dept. of Building Inspections  
City of Portland Maine

**Geotechnical Investigation**  
**Proposed Apartment Buildings**  
**56 Hammond Street**  
**Portland, Maine**

Prepared by:

Summit Geoengineering Services

Prepared for:

Steven & Roberta Cope

Summit #11272  
December 2011





December 8, 2011  
SGS #11272

Steven & Roberta Cope  
172 Concord Street  
Portland, Maine 04103

Reference: Geotechnical Engineering Recommendations  
Proposed Apartments, 56 Hammond Street, Portland, Maine

Dear Mr. and Mrs. Cope;

Summit Geoengineering Services (SGS) has completed the geotechnical investigation at the 56 Hammond Street site for the new apartment buildings. Our scope of services included coordinating and observing the excavation of 4 test pits at the site and preparing this letter summarizing our findings and geotechnical recommendations.

### **1.0 Project and Site**

The project consists of the construction of 2 three story apartment buildings. The buildings will each have a full basement with finished first floors at approximately elevation 20 feet and 21.7 feet. The existing ground surface within the building footprints grades from elevation 28 feet adjacent to Hammond Street down to elevation 23 feet toward the west. The proposed finished grades are at or within 2 feet of the existing grades. Up to 8 feet of cut will be necessary to construct the basement areas.

### **2.0 Subsurface Exploration**

The subsurface conditions were explored by excavating 4 test pits at the site on December 2, 2011. The test pits were excavated to a depth of 7 to 10 feet below the existing ground surface. The test pits were excavated by B.H. Milliken under the direction of SGS. The location of the test pits, located by SGS by taping from existing site features, is shown on the Test Pits Location Plan in Appendix A. Logs of the test pits are included in Appendix B.

### **3.0 Subsurface Conditions**

The soil at the site consisted of fill, generally described as brown to dark brown silty sand or sandy silt with a trace to little silt and gravel. At TP-1 and TP-3 occasional bricks and pieces of glass were encountered. The upper 5 feet of fill at TP-4 consisted of dark brown silty sand mixed with seashells and a trace to little organics. The fill was moist and loose and is generally classified as SM in accordance with the Unified Soil Classification System (USCS).

Neither groundwater nor bedrock was encountered in the test pits.

#### **4.0 Evaluation and Recommendations**

##### ***A. Evaluation***

Based on the existing grades and proposed building elevations, footings will be constructed on the existing fill soil. The composition of the fill is relatively consistent and will proper preparation is suitable to support the proposed buildings on conventional spread footing foundations.

##### ***B. Allowable Bearing Pressures***

We recommend that spread footings at this site be constructed on a 6" layer of ¾ inch crushed stone placed directly on the existing fill soil. Footings can be proportioned using an allowable bearing pressure of 3,000 psf. This bearing pressure is based on preparing the footing and slab subgrade soil as follows.

- Excavate the fill down to the footing and slab subgrade elevations. Remove any debris encountered at the footing subgrade level and replace with ¾ inch crushed stone.
- Proof roll the footing subgrade by making a minimum of 5 passes using a large walk behind vibratory roller.
- Remove any soft, wet, loose, and otherwise unsuitable areas and replace with ¾ inch crushed stone and recompact.
- Place a minimum of 6 inches of ¾ inch crushed stone directly on the proofrolled subgrade soil. Compact stone with the vibratory roller or tamp with the excavator bucket to lock the stone together.

The intent of the crushed stone is to provide a uniform base over the variable composition fill soils and uniform bearing support. The settlement associated with the above bearing pressure, assuming a typical 2 foot wide continuous footing, is less than ½ inch. Differential settlement will be negligible.

##### ***C. Frost Protection***

The minimum recommended footing depth for frost protection of exterior foundation elements is 4 feet for footings constructed at this site. This is based on a design air freezing index of 1,300 degree days for the Portland, Maine area.

In order to protect foundations from the potentially damaging effects of frost heave, we recommend that the foundation walls be backfilled with Foundation Backfill. Foundation

backfill shall have less than 7% of material by weight passing a #200 sieve. The maximum particle size should be 4 inches for Foundation Backfill placed directly adjacent to foundation walls. Foundation Backfill should be compacted to a minimum of 90 percent of its maximum dry density determined in accordance with ASTM D1557, Modified Proctor Density, unless the backfill is placed in a paved area. For backfill against walls beneath paved areas, the compaction requirement should be increased to 95 percent.

***D. Seismic Design***

Based on the condition of the soils encountered in the test pits, it is our opinion that the fill soil at this site should be considered Site Class D, Stiff Soil Profile. No liquefaction susceptible soils or subsurface conditions likely to cause liquefaction during an earthquake event were encountered.

***E. Slabs-on-Grade***

We recommend that the existing fill soil be removed down to 8 inches below the base of the basement slab and be replaced with ¾ inch crushed stone or Structural Fill (SF). We recommend that the portion of Structural Fill passing the 3” sieve meet the following gradation requirements.

<b>STRUCTURAL FILL (SF)</b>	
<b>Sieve Size</b>	<b>Percent finer</b>
3 inch	100
¾”	25 to 70
No. 40	0 to 30
No. 200	0 to 7

Ref: MDOT 703.06 Type D Subbase Aggregate

The maximum particle size should be limited to 6 inches. Structural Fill should be compacted to 95% of its maximum dry density in accordance with ASTM D1557.

The exposed soil beneath the crushed stone or SF should be proofrolled by making a minimum of three passes in each of two perpendicular directions using a vibratory roller with a minimum operating weight of 5 tons. The SF should be placed in a single lift and should be compacted to 95% of its maximum dry density determined in accordance with ASTM D1557. Crushed stone, if used, should be compacted with a minimum of two passes using the vibratory roller cited above. For these conditions, slabs can be designed using a subgrade modulus value of 175 pci.

***F. Groundwater Considerations***

Groundwater was not observed in the test pits. Given that the building envelope will be entirely in the fill soil, groundwater is not a significant concern and perimeter foundation underdrains are not strictly necessary.

It is generally good practice to install perimeter underdrains at the base of basement foundation walls and to account for unanticipated changes in local and regional hydrogeology and control surface water which may infiltrate into the Foundation Backfill.

Perimeter underdrains should consist of 4 inch rigid perforated PVC placed adjacent to the exterior footings and surrounded by a minimum of 6 inches of crushed stone wrapped in filter fabric to prevent clogging from the migration of the fine soil particles in the foundation backfill soils. The underdrain pipe should be outlet to a location where it will be free flowing. Where exposed at the ground surface, the ends of pipes should be screened or otherwise protected from entry and nesting of wildlife, which could cause clogging.

We recommend that basement walls be damp-proofed below grade to help maintain a dry interior condition.

### **5.0 Construction Considerations**

Earthwork construction at this site should be straight forward and easily accomplished. We did not observe any hazardous materials in the test pits. We recommend that the seashells, encountered at TP-4, be removed from within the building footprint and beneath driveway areas.

We recommend that open cuts deeper than 4 feet be excavated to slopes not exceeding 1.5H:1V. This slope requirement is based on the current OSHA excavation guidelines.

Care should be taken to avoid undermining the existing sidewalk and road when excavating basement walls adjacent to Hammond Street. We understand that the sidewalk may be required to be replaced, in which case undermining it may not be an issue. A much bigger issue is undermining of the existing road. Temporary shoring or sheeting may be necessary.

It is possible that portions of the existing fill may meet the requirements for Foundation Backfill and Structural Fill. Representative samples should be tested prior to its reuse to confirm that it meets the grain size specifications.

### **6.0 Closure**

Our recommendations are based on professional judgment and generally accepted principles of geotechnical engineering and general project information provided by others. Some changes in subsurface conditions from those presented in this report may occur.

Thank you for this opportunity to provide these preliminary recommendations. If there are any questions, please do not hesitate to call.

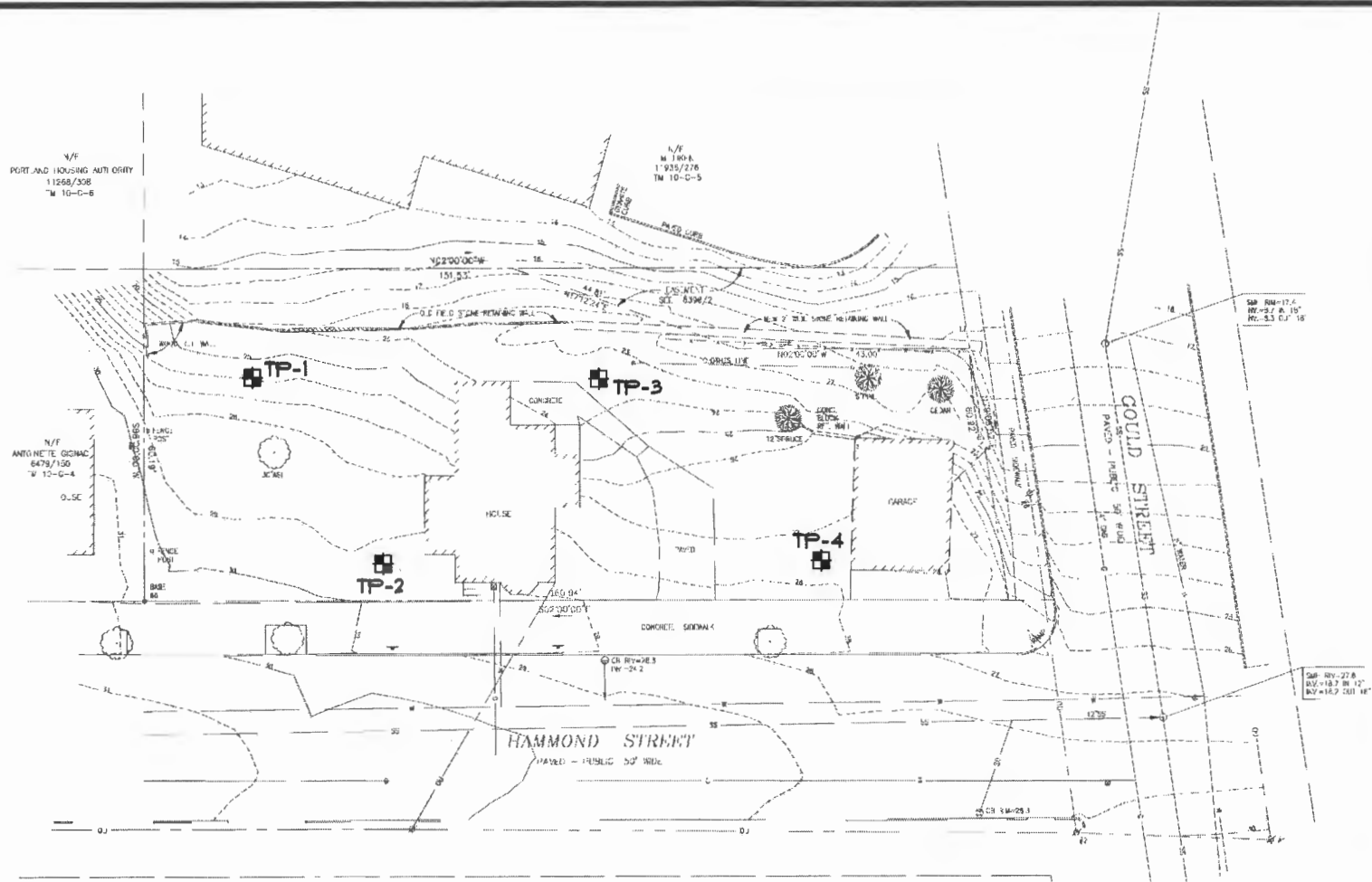
Sincerely yours,  
**Summit Geoengineering Services, Inc.**



William M. Peterlein  
President & Principal Engineer



**APPENDIX A**  
**TEST PIT LOCATION PLAN**

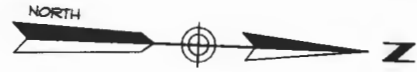


**PLAN REFERENCE**

"BOUNDARY & TOPOGRAPHIC SURVEY", DATED APRIL 10, 2006, PREPARED BY OWEN HASKELL, INC.

**GEOTECH LEGEND**

☒ SUMMIT TEST PIT (12-2-11)



SCALE: 1" = 20'



PROJECT: **HAMMOND STREET APARTMENTS**  
PORTLAND, MAINE

CLIENT: **STEVEN & ROBERTA COPE**

TITLE: **TEST PITS LOCATION PLAN**

SCALE: 1" = 20'  
DATE: DECEMBER 2008  
DRAWN BY: KCF  
APPR. BY: BAP

4400 Park Square  
Portland, Maine 04106  
Tel: (207) 838-3333  
www.summiteng.com



PROJECT#: 11272

FIGURE:

1

**APPENDIX B**  
**EXPLORATION LOGS**



## EXPLORATION REPORT COVER SHEET

The exploration report has been prepared by the geotechnical engineer from both field and laboratory data. Differences between field logs and exploration reports may exist.

It is common practice in the soil and foundation engineering profession that field logs and laboratory data sheets not be included in engineering reports, because they do not represent the engineer's final opinion as to appropriate descriptions for conditions encountered in the exploration and testing work. The field logs will be retained in our office for review. Results of laboratory tests are generally shown on the borings logs or are described in the text of the report as appropriate.

### Drilling and Sampling Symbols:

SS = Split Spoon	Hyd = Hydraulic advance of probes
ST = Shelby Tube – 2” OD, disturbed	WOH = Weight of Hammer
UT = Shelby Tube – 3” OD, undisturbed	WOR = Weight of Rod
HSA = Hollow Stem Auger	GS = Grain Size Data
CS = Casing – size as noted	PI = Plasticity Index
Sv = Vane Shear	LL = Liquid Limit
PP = Pocket Penetrometer	w = Natural Water Content
RX = Rock Core – size as noted	USCS = unified Soil Classification System

### Water Level Measurements:

Water levels indicated on the boring logs are the levels measured in the boring at the times indicated. In pervious soils, the indicated elevations are considered reliable groundwater levels. In impervious soils, the accurate determination of groundwater elevations may not be possible, even after several days of observations; additional evidence of groundwater elevations via observation or monitoring wells must be sought.

### Gradation Description and Terminology:

Boulders:	Over 8 inches	Trace:	Less than 5%
Cobbles:	8 inches to 3 inches	Little:	5% to 15%
Gravel:	3 inches to No.4 sieve	Some:	15% to 25%
Sand:	No.4 to No. 200 sieve	Silty, Sandy, etc.:	Greater than 25%
Silt:	No. 200 sieve to 0.005 mm		
Clay:	less than 0.005 mm		

### Density of Granular Soils and Consistency of Cohesive Soils:

CONSISTENCY OF COHESIVE SOILS		DENSITY OF GRANULAR SOILS	
SPT N-value blows/ft	Consistency	SPT N-value blows/ft	Relative Density
0 to 2	Very Soft	0 to 3	Very Loose
3 to 4	Soft	4 to 9	Loose
5 to 8	Firm	10 to 29	Compact
9 to 16	Stiff	30 to 49	Dense
17 to 32	Very Stiff	50 to 80	Very Dense
>32	Hard		



**TEST PIT LOG**

Test Pit # **TP-1**

Project: New Apartment Buildings  
56 Hammond Street  
Portland, Maine

Project #: 11272

Groundwater:  
None Observed

Contractor: B.H. Milliken

Ground Surface Elevation: 26 ft +/-

Equipment: Kubota KX1213 Excavator

Reference: Survey Plan by Owen Haskell

Summit Staff: B. Peterlein, P.E.

Date: 12/2/2011

Weather: Sunny

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	Dark brown Silty SAND, trace to little Gravel, trace organics, loose, moist, SM	FILL
2		
3		
4	2" layer of asphalt at 3.5 ft	
5	Brown Sandy SILT, little Gravel, few bricks, loose, moist, ML	
6		
7		
8	End of Test Pit at 7 ft - No Bedrock	
9		
10		
11		
12		
13		
14		
15		
16		
17		



**TEST PIT LOG**

Test Pit # **TP-2**

Project: New Apartment Buildings  
56 Hammond Street  
Portland, Maine

Project #: 11272

Groundwater:  
None Observed

Contractor: B.H. Milliken

Ground Surface Elevation: 29.5 ft +/-

Equipment: Kubota KX1213 Excavator

Reference: Survey Plan by Owen Haskell

Summit Staff: B. Peterlein, P.E.

Date: 12/2/2011

Weather: Sunny

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	Dark brown Sandy SILT, trace to little Gravel, loose, moist, ML	FILL
2		
3		
4	Brown SAND, little Gravel, trace Silt, loose, moist, SP	
5		
6		
7		
8	End of Test Pit at 7 ft - No Bedrock	
9		
10		
11		
12		
13		
14		
15		
16		
17		



**TEST PIT LOG**

Test Pit # **TP-3**

Project: New Apartment Buildings  
56 Hammond Street  
Portland, Maine

Project #: 11272

Groundwater:  
None Observed

Contractor: B.H. Milliken

Ground Surface Elevation: 23.5 ft +/-

Equipment: Kubota KX1213 Excavator

Reference: Survey Plan by Owen Haskell

Summit Staff: B. Peterlein, P.E.

Date: 12/2/2011

Weather: Sunny

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	Dark brown Silty SAND, trace rootlets and organics, trace brick pieces, loose, moist, SM	FILL
2		
3		
4	Brown Silty SAND, trace to little Gravel, trace bricks, glass, loose to compact, moist, SM	
5		
6		
7		
8	End of Test Pit at 7 ft - No Bedrock	
9		
10		
11		
12		
13		
14		
15		
16		
17		



**TEST PIT LOG**

Test Pit # **TP-4**

Project: New Apartment Buildings  
56 Hammond Street  
Portland, Maine

Project #: 11272

Groundwater:  
None Observed

Contractor: B.H. Milliken

Ground Surface Elevation: 27.5 ft +/-

Equipment: Kubota KX1213 Excavator

Reference: Survey Plan by Owen Haskell

Summit Staff: B. Peterlein, P.E.

Date: 12/2/2011

Weather: Sunny

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	Dark brown Silty SAND mixed with seashells, trace to little organics, loose, moist, SM	FILL
2		
3		
4		
5		
6	Brown SAND, little Silt and Gravel, moist, loose, SM	
7		
8		
9		
10		
11	End of Test Pit at 10 ft - No Bedrock	
12		
13		
14		
15		
16		
17		

N/F  
PORTLAND  
AUTHORITY  
1268/308  
10-G-6

N/F  
MILLIKEN  
11936/276  
TM 10-G-5

CAST-IN-PLACE CONCRETE  
RETAINING WALL;  
SEE STRUCTURAL DWGS

GRANITE  
CURB

PAVED CURB

N02°00'00"W  
79.48'

PROPERTY LINE

N02°00'00"W  
72.05'

PROPOSED SUBDIVISION LINE

EASEMENT  
SEE 18396/2

OLD FIELD STONE RETAINING WALL

NEW 2' WIDE STONE RETAINING WALL

PARKING SPACES (2)  
9' x 18' (TYP)  
ALIGN

20' REAR SETBACK LINE

20' REAR SETBACK LINE

CONCRETE  
WALL;  
DWGS

CONCRETE  
WALL;  
DWGS

M.00.00.00"W

60.19'

N79°06'52"E  
60.92'

GARAGE

BEDROOM

PARCEL A  
#56

LIVING-DINING-KITCHEN

GARAGE

BEDROOM

PARCEL B  
#60-64

LIVING-DINING-KITCHEN

10' SIDE S.B. LINE

SIDE SETBACK LINE

10' SIDE S.B. LINE

10' FRONT SETBACK LINE

10' FRONT S.B. LINE

10' FRONT S.B. LINE

DOWNSPOUT  
(SEE DETAIL)

BITUMINOUS  
ASPHALT  
DRIVEWAY

RAIN GARDEN;  
SEE CIVIL DWGS

(2)  
TYP

BASE  
IRF

GB RIM=28.3  
INV.=24.7

20.5

4.0' TYP

2.0

