

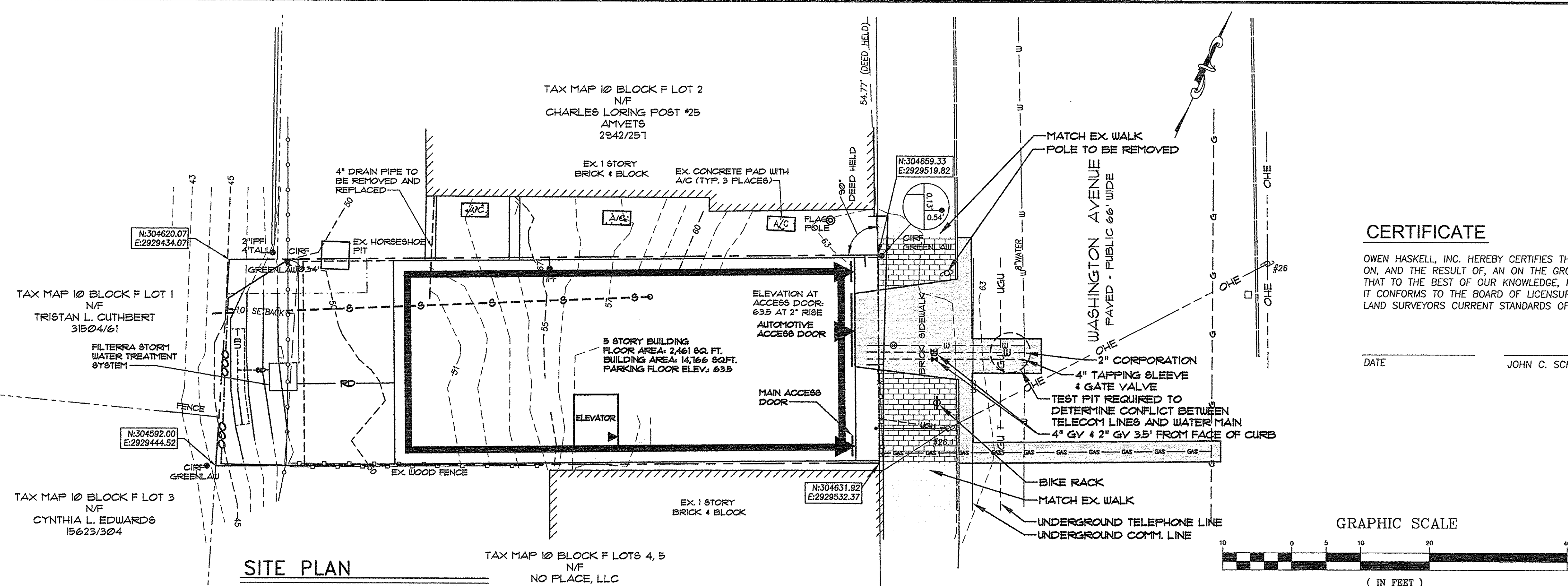
LOCATION PLAN
N.T.S.

GENERAL NOTES

- OWNER OF RECORD: DAVID L. HARMON, 8 CHASES LANE, SACO, ME; CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 32486, PAGE 29.
- ENGINEER: PINKHAM & GREER CIVIL ENGINEERS, 28 VANNAH AVENUE, PORTLAND, MAINE, 04103.
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM "BOUNDARY & TOPOGRAPHIC SURVEY AT 180 WASHINGTON AVENUE, PORTLAND, MAINE" BY OWEN HASKELL, INC. DATED JULY 22, 2016.
- TAX MAP REFERENCE: MAP 10 / BLOCK F / LOT II.
- TOTAL PARCEL = 2,863 SQUARE FEET
- WAIVERS REQUESTED: SEC. 14-526(b)(2)(iii) STREET TREES; (b) WAIVER
- CALL DIG-SAFE PRIOR TO COMMENCING WORK, 811 OR 1-888-DIG-SAFE.
- POWER, TELEPHONE AND CABLE ARE TO BE UNDERGROUND.
- DRAWINGS INCLUDED IN THIS SUBMITTAL:
 DRWG. NO. 1 BOUNDARY & TOPOGRAPHIC SURVEY
 C1.0 SITE PLAN
 C2.1 DETAILS
 C2.2 DETAILS
- ALL GRANITE CURBS TO BE REMOVED WILL BE SALVAGED AND GIVEN TO THE CITY OF PORTLAND PUBLIC WORKS.

**CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES**

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL AGENTS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.
- SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDING OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."



SITE PLAN
SCALE: 1" = 10'

ZONE INFORMATION

ZONE: B-2b COMMUNITY BUSINESS ZONE
PERMITTED USE: MULTI-FAMILY DWELLING

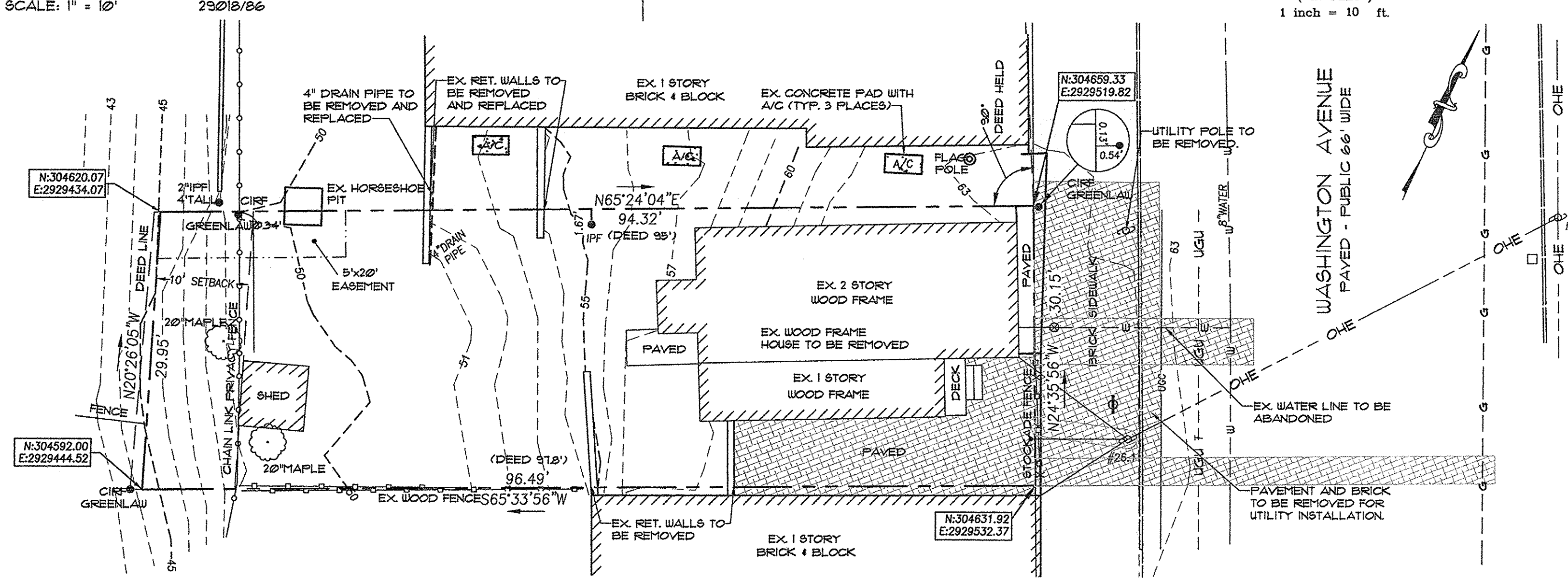
SPACE STANDARDS	REQUIRED	PROPOSED
PARKING	1 SPACE	4 SPACES
BIKE	2	2
MINIMUM FRONT YARD	0 FEET	0 FEET
MINIMUM SIDE	0 FEET	0 FEET
MINIMUM REAR	10 FEET	10 FEET
ABOVE 35' REAR	15 FEET	24 FEET
MAXIMUM BUILDING HEIGHT	55 FEET	54 FEET
MINIMUM STREET FRONTAGE	20 FEET	29.9 FEET

SURVEY PLAN REFERENCES

- "BOUNDARY & TOPOGRAPHIC SURVEY AT 134 WASHINGTON AVENUE, PORTLAND, MAINE MADE FOR AVESTA HOUSING DEVELOPMENT CORP. FEB. 13, 2014 OWEN HASKELL, INC. JOB NO. 2014-008P"
- "AS-BUILT SURVEY ON 56 & 58 HAMMOND STREET, PORTLAND, MAINE MADE FOR OWNER OF RECORD STEVEN & ROBERTA COPE JUNE 30, 2013 OWEN HASKELL, INC. JOB NO. 2012-014P"
- "BOUNDARY SURVEY AT 207 ANDERSON STREET, PORTLAND, MAINE MADE FOR OWNER OF RECORD ROCKINGHAM LLC MARCH 29, 2013 OWEN HASKELL, INC. JOB NO. 2013-029P"
- LITTLE, WEEKS AND MOODY PLAN OF MARCH 1802 RECORDED IN DEED BOOK 36, PAGE 247.
- "STREET LINE RETRACEMENT AND EXISTING MONUMENTATION PLAN ANDERSON ST. / FOX ST. / GOULD ST. / PLOWMAN ST. CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION FEB. 27, 2015"
- CITY OF PORTLAND ENGINEERING DIVISION STREET LINE DRAWINGS
- "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR CHARLES J. LORING POST 25 AMVETS 12-20-65 H.I. & E.C. JORDAN - SURVEYORS"
- "EXISTING CONDITIONS / SITE PLAN AT 180 WASHINGTON AVE PORTLAND, MAINE FOR: SUNNY TIME SOLAR LLC & FEDERAL STREET PHOENIX LLC 04/30/2014 PREPARED BY: ROBERT T. GREENLAW PLS SURVEYING"
- "BOUNDARY SURVEY 178 WASHINGTON AVENUE PORTLAND, MAINE LAND OWNED BY: NO PLACE LLC NOVEMBER 3, 2011 R.W. EASTON ASSOCIATES"

SURVEY GENERAL NOTES

- OWNER OF RECORD: DAVID L. HARMON, 8 CHASES LANE, SACO, ME; CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 32486, PAGE 29.
- LOCUS IS SHOWN AS LOT 11 IN BLOCK F ON PORTLAND PROPERTY MAP 10.
- BEARINGS ARE BASED ON THE MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD 83 PER CITY POINTS T102-77-02 N:303502.357, E:2929187.900 & L749-76-3000 N:305080.309, E:2929308.241.
- ELEVATIONS ARE BASED ON NGVD 1929 PER PK IN POLE # 11, CORNER OF ANDERSON STREET AND EVERETT STREET, ELEVATION 12.42 PER CITY LEVEL BOOK 737, PAGE 77.
- STREET LINE ESTABLISHED FROM MARKERS AND TIES ON CITY RECORDS AND AS SHOWN ON PLAN REFERENCES 1, 2, 3, AND 5.
- SIDE LINES OF LOT BASED ON DEED DIMENSIONS. SUBJECT DEED CALLS FOR 29.92 FROM THE LAND NOW OF NO PLACE LLC TO AMVETS. HOWEVER THE DIMENSIONS IN THOSE DEEDS LEAVES 30.15 FEET. LINE ALONG AMVETS IS PERPENDICULAR TO WASHINGTON AVENUE, PER THEIR DEED, WHICH IS SENIOR. LINE ALONG NO PLACE LLC IS CREATED FROM DIMENSIONS IN SUBJECT DEED, WHICH PROPERTY IS SENIOR TO NO PLACE LLC.
- THE REAR LINE OF THIS PROPERTY IS SHOWN BASED ON THE DIMENSIONS IN THE EDWARDS DEED, THE NORTHERLY SIDELINE OF WHICH IS BASED ON THE FENCE BETWEEN EDWARDS AND CUTHBERT. THIS LINE CAN BE TRACED BACK TO PLAN REFERENCE 4, WHICH HAS NO DIMENSIONS OR ANGLES AND IS IMPOSSIBLE TO ACCURATELY RECREATE. A BOUNDARY AGREEMENT IS RECOMMENDED WITH EDWARDS AND CUTHBERT.



EXISTING CONDITIONS & DEMOLITION PLAN
SCALE: 1" = 10'

LEGEND

EXISTING	PROPOSED
PROPERTY LINE	BITUMINOUS PAVEMENT
BUILDING SETBACK	BRICK SIDEWALK
ABUTTERS PROPERTY EASEMENT	EDGE OF PAVEMENT
EDGE OF PAVEMENT	VERTICAL GRANITE CURB
CONTOURS	CONTOURS
BUILDING	BUILDING
CURB	BUILDING ENTRY/EGRESS
GAS LINE	GAS LINE
STORM DRAIN	SANITARY SEWER
OVERHEAD ELECTRIC	UNDERGROUND UTILITY
UNDERGROUND TELEPHONE	WATER LINE
WATER LINE	STOCKADE FENCE
CATCH BASIN	CHAINLINK FENCE
UTILITY POLE	SPOT GRADE
UTILITY POLE W/ GUY WIRE	TOP OF CURB/BOTTOM OF CURB SPOT GRADE
STOCKADE FENCE	WATER SHUT OFF
CHAINLINK FENCE	BIKE RACK
HYDRANT	RET. WALL
GATE VALVE	
BRICK SIDEWALK	
RET. WALL	

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

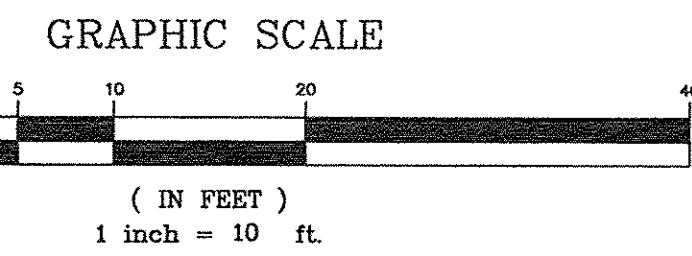
PROJECT SITE DRAWINGS

- DRWG #1 BOUNDARY & TOPOGRAPHIC SURVEY, DATED JULY 22, 2016
 C1.0 SITE PLAN, SUBDIVISION, EXISTING CONDITIONS & DEMO PLAN
 C2.1 DETAILS
 C2.2 DETAILS

CERTIFICATE

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE _____ JOHN C. SCHWANDA, PLS NO. 1252



PINKHAM & GREER CIVIL ENGINEERS
 28 VANNAH AVE. PORTLAND, ME 04103
 TEL: 207.781.5242 FAX: 207.781.4245

STATE OF MAINE
 THOMAS S. GREER
 No. 4206
 LICENSED PROFESSIONAL LAND SURVEYOR

NO.	DATE	DESCRIPTION
1	8/10/16	MOVED FILTERRA SYSTEM TOWARD REAR PROPERTY LINE.

DAVID HARMON
 8 CHASES LANE
 SACO, MAINE 04072

SCALE: AS SHOWN
 DATE: AUGUST 5, 2016
 PROJECT: 18143

DRN BY: JWG
 DESG BY: TSG
 CHK BY: TSG

SUBDIVISION & SITE PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

5 UNIT BUILDING
 180 WASHINGTON AVENUE
 PORTLAND, MAINE

SITE PLAN, SUBDIVISION,
 EXISTING CONDITIONS &
 DEMO PLAN

C1.0