

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that VOAELDERLY PORTLAND

Located At 158 NORTH

Job ID: 2011-05-964-ALTCOMM

CBL: 010 - - C - 001 - 001 - - - -

has permission to removing & replacing roof & windows

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Final inspection upon completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUOPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-05-964-ALTCOMM

Located At: 158 NORTH

CBL: 010 - - C - 001 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that there is not expansion of the existing building as a result of this work/repair.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
3. This property shall remain 60 residential dwelling units for the elderly. Any change of use shall require a separate permit application for review and approval.

Fire

All construction shall comply with City Code Chapter 10.

The windows being replaced do not give access to a bedroom or living space within a dwelling per a phone conversation with Brian Bowman on 5/11/11 at 3 pm. They do not need to be egress windows.

Building

Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

This permit does not authorize any structural work.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-05-964-ALTCOMM	Date Applied: 5/13/2011	CBL: 010 - - C - 001 - 001 - - - - -	
Location of Construction: 158 NORTH ST	Owner Name: PORTLAND VOLUNTEERS OF AMERICA	Owner Address: 158 NORTH ST - PORTLAND, ME 04101 - JULIA WILCOCK	Phone: 373-1140 x211
Business Name:	Contractor Name: Brian Bowman, @ Bowman Constructors	Contractor Address: P.O Box 156 NEWPORT, MAINE 04953	Phone: (207) 416-7742 368-2405
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: 60 dwelling unit for Housing for the Elderly	Proposed Use: Same: 60 DU Housing for the Elderly - removal and replacement of roofing materials (on flat area of bldg) and to replace selective windows	Cost of Work: \$380,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-2 Type: 574 IBG 09
		Signature: <i>Bjorn [Signature]</i> (58)	Signature: <i>[Signature]</i>
Proposed Project Description: 158 North St. - alterations		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Gayle	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>Approved with conditions</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
	CERTIFICATION 5/5/11		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

Job Summary Report
Job ID: 2011-05-964-ALTCOMM

Report generated on May 5, 2011 2:56:44 PM

Job Type:	Alter/Adds to Commercial	Job Description:	158 North St.	Job Year:	2011
Building Job Status Code:	In Review	Pin Value:	1324	Tenant Name:	
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:	380,000	Square Footage:			
Related Parties:		VOA PORTLAND		<i>Property Owner</i>	
		Bowman Constructors - Brian Bowman		<i>GENERAL CONTRACTOR</i>	

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 830

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
943051	010 C 001 001		M				-70.253321	43.669933

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				158 NORTH STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
BENEVOLENT & CHARITABLE		RESIDENTIAL R-6					DISTRICT 1	EAST END

Structure Details

Structure: Bayview Apartments

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Muti-Family 5+ Building	0			158 NORTH STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value

Structure: Senior Housing Portland VOA

Occupancy Type Code:

66

not in the tax

PDF
entered



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 158 NORTH STREET, BAYVIEW APARTMENTS		
Total Square Footage of Proposed Structure/Area EXISTING BUILDING		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 010 C 001	Applicant * <u>must be owner, Lessee or Buyer</u> * Name Portland Volunteers of America Address 158 North Street City, State & Zip Portland, ME 04112	Telephone: (207) 373-1140 EXT 211 ATTN: JULIA WILCOCK
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Portland Volunteers of America Address 158 North Street City, State & Zip Portland, ME 04112	Cost Of Work: \$ 380,000.00 C of O Fee: \$ _____ Total Fees: \$ _____
Current legal use (i.e. single family) <u>ELDERLY HOUSING</u>		
If vacant, what was the previous use? <u>N/A</u>		
Proposed Specific use: <u>N/A</u>		
Is property part of a subdivision? <u>N/A</u> If yes, please name _____		
Project description: We are removing and replacing the roof on the flat area of the building, which is only part of the building. We are replacing only a few windows on the project.		
Contractor's name: <u>BOWMAN CONSTRUCTORS</u>		
Address: <u>158 North Street</u>		
City, State & Zip <u>NEWPORT, MAINE 04953</u>		Telephone: <u>207-416-7742</u>
Who should we contact when the permit is ready: <u>BRIAN BOWMAN</u>		Telephone: <u>207-368-2405</u>
Mailing address: <u>SAME - brian.bowman@bowmanconstructors.com</u>		

RECEIVED

MAY - 3 2011

Dept. of Building Inspections
City of Portland Maine

Please submit all of the information outlined on the applicable Checklist. Failure to submit all information will result in automatic denial of your permit.



Brian Jay Bowman

CELL 207.416.7742
brian.bowman@bowmanconstructors.com

ph 207.368.2405
fx 207.368.5682

552 Moosehead Trail | PO Box 156
Newport, Maine 04953

full scope of the project, the Planning and Development Department will issue a permit. For further information or to download copies of the Code Official's Division on-line at www.portlandmaine.gov, or stop by the Inspections Division.

I, the undersigned, certify that I am the owner of the property, or that the owner of record authorizes the proposed work and application as his/her authorized agent. I agree to conform to all applicable regulations and conditions of the permit. If a permit application as described in this application is issued, I certify that the Code Official's Division will enforce the Code in all areas covered by this permit at any reasonable hour to enforce the Code.

Signature: Julia Wilcock Date: 5-3-2011

This is not a permit; you may not commence ANY work until the permit is issued.



Certificate of Design

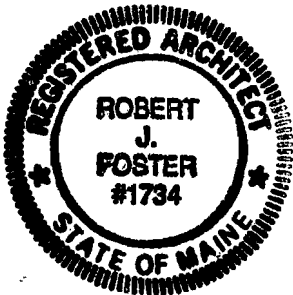
Date: 4/26/11

From: ROBERT J. FOSTER

These plans and / or specifications covering construction work on:

SELECTIVE ROOF & WINDOW REMOVAL &
REPLACEMENT AT 158 NORTH STREET

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: [Handwritten Signature]

Title: ARCHITECT

Firm: ROBERT J. FOSTER - ARCHITECT

Address: 36 GRAYESIDE RD.

PORTLAND, ME 04102

Phone: 761-3822

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



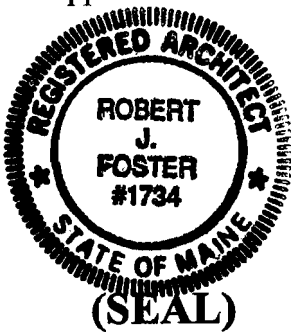
Accessibility Building Code Certificate

Designer: ROBERT J. FOSTER - ARCHITECT

Address of Project: 158 NORTH STREET

Nature of Project: SELECTIVE ROOF & WINDOW
REMOVAL & REPLACEMENT

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: [Handwritten Signature]

Title: ARCHITECT

Firm: ROBERT J. FOSTER - ARCHITECT

Address: 36 GROVESIDE RD
PORTLAND, ME 04102

Phone: 761-3822

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Certificate of Design Application

From Designer: _____
 Date: _____
 Job Name: _____
 Address of Construction: _____

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 Use Group Classification (s) R-2 APARTMENT HOUSE
 Type of Construction 5A
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) N.A.

Structural Design Calculations *

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)
 _____ Basic wind speed (1809.3)
 _____ Building category and wind importance Factor, I_w
 table 1604.5, 1609.5)
 _____ Wind exposure category (1609.4)
 _____ Internal pressure coefficient (ASCE 7)
 _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
 _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
 _____ Seismic use group ("Category")
 _____ Spectral response coefficients, S_D & S_{D1} (1615.1)
 _____ Site class (1615.1.5)

_____ Live load reduction
 _____ Roof live loads (1603.1.2, 1607.11)
 _____ Roof snow loads (1603.7.3, 1608)
 _____ Ground snow load, P_g (1608.2)
 _____ If $P_g > 10$ psf, flat-roof snow load P_f
 _____ If $P_g > 10$ psf, snow exposure factor, C_e
 _____ If $P_g > 10$ psf, snow load importance factor, I_s
 _____ Roof thermal factor, C_t (1608.4)
 _____ Sloped roof snowload, P_s (1608.4)
 _____ Seismic design category (1616.3)
 _____ Basic seismic force resisting system (1617.6.2)
 _____ Response modification coefficient, R , and
 deflection amplification factor, C_d (1617.6.2)
 _____ Analysis procedure (1616.6, 1617.5)
 _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)
 _____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
 _____ Partition loads (1607.5)
 _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
 1607.12, 1607.13, 1610, 1611, 2404)

*** SEE ATTACHED. CERTIFICATE OF DESIGN**

**FOR STRUCTURAL BY-ALFONSO ENGINEERING.
 DATED-1-26-11**



Certificate of Design


Date: 1.26.11

From: AULEY ENG. INC - BILL FAUCHER

These plans and / or specifications covering construction work on:

BAYVIEW APARTMENTS - ROOF STRUCTURE UPGRADES FOR GRAVITY AND SNOW LOAD SUPPORT - ONLY.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

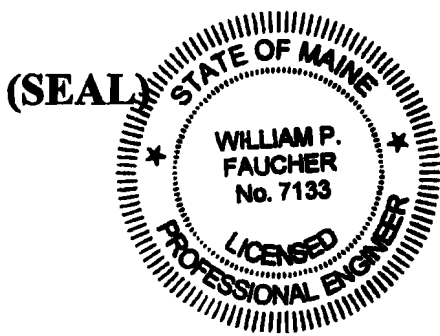
Signature: 

Title: Principal

Firm: AULEY ENGINEERING

Address: 160 Veranda St
Portland ME 04103

Phone: 207.221.2260



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FROM DESIGNER: WILLIAM P. FAUCHER P.E.
 DATE: 1-26-11
 Job Name: BAYVIEW APARTMENTS - ROOF STRUCTURE SUPPORT MOVS.
 Address of Construction: _____

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2009 Use Group Classification(s) INSTITUTIONAL

Type of Construction _____

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC EXISTS

Is the Structure mixed use? _____ if yes, separated or non separated (see Section 302.3) _____

Supervisory alarm system? _____ Geotechnical/Soils report required?(See Section 1802.2) _____

STRUCTURAL DESIGN CALCULATIONS
N/A Submitted for all structural members
 (102.1, 102.1.1)

N/A Live load reduction
 (1603.1.1, 1607.9, 1607.10)
N/A < 32 Roof live loads (1603.1.2, 1607.11)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS
 (1603)
 Uniformly distributed floor live loads (7603.11, 1607)

20 psf Roof snow loads (7603.7.3, 1608)
45 psf Ground snow load, P_g (1608.2)
0.9 If $P_g > 10$ psf, flat-roof snow load, P_f
 (1608.3)
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
 (Table 1608.3.1)
1.1 If $P_g > 10$ psf, snow load importance
 factor, I_s (Table 1604.5)
N/A Roof thermal factor, C_t (Table 1608.3.2)
N/A Sloped roof snowload, P_s (1608.4)

Floor Area Use	Loads Shown
<u>N/A</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____

N/A

Wind loads (1603.1.4, 1609)
 _____ Design option utilized (1609.1.1, 1609.5)
 _____ Basic wind speed (1609.3)
 _____ Building category and wind importance
 factor, I_w (Table 1604.5, 1609.5)
 _____ Wind exposure category (1609.4)
 _____ Internal pressure coefficient (ASCE 7)
 _____ Component and cladding pressures
 (1609.1.1, 1609.6.2.2)
 _____ Main force wind pressures (7603.1.1,
 1609.6.2.1)

N/A Seismic design category (1616.9)
N/A Basic seismic-force-resisting system
 (Table 1617.6.2)
N/A Response modification coefficient, R ,
 and deflection amplification factor, C_d
 (Table 1617.6.2)
N/A Analysis procedure (1616.6, 1617.5)
N/A Design base shear (1617A, 1617.5.1)

Flood loads (1603.1.6, 1612)
N/A Floodhazard area (1612.3)
N/A Elevation of structure

Earthquake design data (1603.1.5, 1614-1623)
N/A Design option utilized (1614.1)
N/A Seismic use group ("Category")
 (Table 1604.5, 1616.2)
N/A Spectral response coefficients, S_{DS} &
 S_{D1} (1615.1)
N/A Site class (1615.1.5)

Other loads
N/A Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Impact loads (1607.8)
N/A Misc. loads (Table 1607.6, 1607.6.1,
 1607.7, 1607.12, 1607.13, 1610,
 1611, 2404)

OUTLINE SPECIFICATION

Project: Bayview Window & Roof Replacement

Location: Portland, Maine

Date: 4/26/11

Section 01010 – Summary of Work

- a. Scope of work includes: Removal and replacement of roofing materials and windows as shown on the drawings.
- b. The General Contractor shall be responsible for obtaining any & all required permits to construct the project and paying any & all impact fees that may be associated with the project.

Section 01300 – Submittals

- a. Shop drawings – Detailed shop drawings (including; drawings, product data, and samples) shall be provided for review as required. A minimum of four (4) copies shall be submitted for review.

Section 01500 – Temporary Facilities

- a. Sanitary Facilities – Existing toileting facilities are present in the building and may be used by the Contractor and their forces.
- b. Heat – The Contractor shall provide and maintain any temporary heating equipment as may be required. The interior of building shall have a temporary of approx. 60 deg. F for spackling of GWB, installation of wood finishes, installation of carpet and interior decoration. Existing heat and air shall be maintained to existing building tenant throughout course of project.
- c. Temporary stairs, ladders, ramps, hoists, scaffolding – Provide and maintain all necessary means of access as above listed or as required for proper execution of the work. Such work shall comply with the requirements of applicable Federal, State and Local laws and requirements.
- d. Demolition/Debris removal – It is the responsibility of the Contractor to make all required arrangements for the legal disposal of all debris generated from this project. The Contractor shall keep the building and site clean at all times and maintain safe access to and from the site for current building tenants.

Section 01700 – Project Closeout

- a. Clean up – The Contractor shall provide a thoroughly cleaned facility at the conclusion of the project. Use only cleaning materials and methods recommended by the manufacturer of the surface material to be cleaned.
- b. Transmission of extra material – The Contractor shall transfer extra material, i.e. flooring tiles, ceiling tiles, paint, etc... as define in the specifications.
- c. Maintenance data and instructional manuals – The Contractor shall transfer all required maintenance and instruction manuals.
- d. Guarantees and Warrantees – The Contractor shall transfer all required guarantees and warrantees to Owner at the conclusion of the project.
- e. Final Inspection – A final inspection shall be performed at the conclusion of the project by the Owner and the Architect. The issuance of the Certificate of Substantial completion and final payments shall be subject to the completion of the items generated during the final inspection.

Section 06100 – Rough Carpentry

- a. Lumber Standards – Furnish lumber manufactured to comply with PS 20 “American Softwood Lumber Standard” and with applicable grading rules of inspection agencies certified by American Lumber Standards Committee’s (ALSC) Board of Review.
- b. Light Framing – 2 inch to 4 inch thickness – Provide SPF No. 2 grade or better
- c. Light Framing/Pressure Treated 2 inch to 4 inch thickness, all widths – Provide the following Grade and Species for Pressure Treated lumber: No. 2 for framing, No. 3 for blocking, Southern Pine, per SPIB rules

Section 06200 – Finish Carpentry

- a. Quality Standard – AWI quality standard – “Architectural Woodwork Quality Standards” of the Architectural Woodwork Institute for grades of interior architectural woodwork, construction, finishes, and other requirements.
- b. Softwood Trim – Species: Eastern white pine (NELMA). Grade: Select. Texture: Surfaced (smooth). Solid lumber stock.
- c. Hardwood Trim – Species for transparent finish: Maple, plain sawn selected for compatible grain and color. Species for painted finish: Poplar, plain sawn. Texture: Surfaced (smooth). Solid lumber stock.
- d. Wood Molding Patterns – Provide stock moldings made to patterns indicated. Transparent finish – N Grade. Moldings for painted finish – P Grade.

Section 07200 – Insulation

- a. Building and Sound Attenuation Insulation – Unfaced mineral fiber blanket/batt insulation per ASTM C 665. Insulation to be provided by Certainteed, Owens Corning, Johns Manville or equal.
- b. Rigid Insulation – Rigid, cellular thermal insulation with glass fiber reinforced polyisocyanurate closed cell foam core and trillaminate aluminum foil face laminated to both sides. Celotex Tuff, Johns Manville Barrier Board or equal.
- c. Foam In Place Insulation – On site foam in place insulation Froth-Pac 1.75-25 FS Class 1 foam manufactured by Insta-Foam Products, Inc. or equal.
- d. Vapor Barrier – ASTM D 4397, 6.0 mil thick polyethylene, with a maximum permeance rating of 0.13 perms. Use pressure sensitive tape of type recommended by vapor retarder manufacturer for sealing all joints and penetrations.
- e. Insulation Support Anchors – Insul-Fast 25 gauge galvanized continuous metal support strip with prepunched tables at 8 inches on center.
- f. Commercial Wind Infiltration Barrier – Tyvex.

Section 07421 – Aluminum Panel Systems

- a. Insulated Metal Panels: 1” exterior insulated panels by High Standard Inc. or equal. To be installed with aluminum storefront.
 - 1. Face material – Standard architectural clear anodized .032 smooth aluminum.
 - 2. Face Substrate – 4 mm corrugated plastic
 - 3. Insulating core – 2.05 density polyisocyanurate.
 - 4. Back substrate – 4 mm corrugated plastic.
 - 5. Back material - .010 mill finish aluminum.
- b. Prefinished Architectural Panels: ProCore prefinished architectural panels by Citadel Architectural Products.
 - 1. 5/16” thick panels with smooth aluminum face, polypropylene core and smooth aluminum backer
 - 2. Provide with standard two piece moldings – battens.
 - 3. Install according to manufacturer’s recommended instructions for mechanical fastening.
 - 4. Finishes: Smooth - Standard Anodized Clear Satin exterior finish.

Section 07531 – Thermoplastic Membrane Roofing and Roof Insulation

- a. Provide fully adhered or mechanically attached Fabric Reinforced Thermoplastic Polyolefin (TPO) membrane roof system; UltraPly TPO Roofing System by Firestone Building Products Co.
- b. TPO Roofing Membrane: ASTM D C 6878, internally fabric or scrim reinforced, uniform, flexible TPO sheet. Thickness: 60 mils, nominal. Exposed Face Color: White.
- c. Sheet Flashing: Manufacturer's standard unreinforced thermoplastic polyolefin sheet flashing, 55 mils thick, minimum, of same color as sheet membrane.
- d. Bonding Adhesive: Manufacturer's standard bonding adhesives.
- e. Metal Termination Bars: Manufacturer's standard predrilled stainless steel or aluminum bars, approximately 1 by 1/8 inch thick, with anchors.
- f. Crickets and Flashing Accessories: Types recommended by membrane manufacturer, including adhesive tapes, flashing cements and sealants. Crickets – Johns Mansville tapered factory pre-cut crickets, extending to roof drain sumps.
- g. Fasteners: Factory coated steel fasteners and metal or plastic plates meeting corrosion resistance provisions in FMG 4470, designed for fastening membrane to substrate, and acceptable to membrane roofing system manufacturer. Fasteners into preservative treated lumber shall be stainless steel..
- h. Adhesives and Cleaners: Provide bonding adhesive, edge sealant, water cut of mastic, splicing cement , sealer, and membrane cleaner specifically formulated by roofing manufacturer for the intended purpose and as required for a complete roof system. Provide adhesives that comply with project requirements to withstand 60 psf uplift force.
- i. Pipe Flashing: Provide membrane manufacturer's standard pre-molded flashing boot for flashing around pipe and conduit roof penetrations. Provide cone shaped flashing boot, heat welded to membrane with stainless steel clamping ring. Field formed pipe flashing not allowed..
- j. Flexible Walkways: Factory formed, nonporous, heavy duty, solid rubber, slip resisting, surface textured walkway pads or rolls, approximately 3/16 inch thick, by membrane roofing system manufacturer.
- k. Miscellaneous Accessories: Provide preformed cone and vent sheet flashings, preformed inside and outside corner sheet flashings, T joint covers, termination reglets, cover strips and other accessories.
- l. Roof Drains: Shall have flexible bellow to accommodate movement between drain and plumbing; sized to accommodate plumbing. Product: Johns Manville Flex-I-Drain. Rigid Components: GE Noryl resin with high UV resistance, tensile strength modulus, and heat deflection temperature resistance, meeting UL94V-1 requirements. Bellows: Molded neoprene flexible boot attached to integral deck flange with no hub pipe connection. Bellows shall allow differential movement up to one inch in any direction between roof deck and piping. Provide rubber adapter bushings as required for pipe size. Strainer: 4 inch high basket strainer – Black.
- m. Polyisocyanurate Board Insulation: ASTM C 1289, Type II, felt or glass fiber mat facer on both major surfaces, CAN/ULC S770 Grade 2, 20 psi minimum. LTTR R-values: note less than R-6 per inch. ISO 95+ by Firestone Building Products, Polyiso HP-H by Carlisle SynTec Incorporated or equal. Provide roofing manufacturer's required insulation for total system warranty.
- n. Tapered Insulation: Provide factory tapered insulation boards fabricated to slope of ¼ inch per 12 inches, unless otherwise indicated. Tapered insulation shall meet requirements specified for board roof insulation. Tapered insulation shall be manufactured by same manufacturer of board roof insulation.
- o. Warranty: Roofing Contractor shall furnish to the Owner the manufacturer's standard form, without monetary limitation, in which manufacturer agrees to repair or replace components of membrane roofing system that fail in materials or workmanship within specified warranty period. Failure includes roof leaks. The maximum wind speed coverage shall be peak gusts of 72 mph measured at 10 meters above ground level. Special warranty include roofing

membrane, base flashings, roofing membrane accessories, roof insulation, fasteners, walkway products, and other components of the membrane roofing system. Warranty Period: 15 years from date of Project Substantial Completion.

Section 07600 – Flashing and Sheet Metal

- a. Fascias, Drip edges, etc... - Aluminum shop formed, .040 inches thick in shapes and sizes at detailed on Drawings. Finish shall be premium fluorocarbon coating with KYNAR 500 resin. Finish shall conform to AAMA 605.2-80, and applied by licensed applicator. Color shall be as selected by Architect.

Section 07900 – Joint Sealants

- a. General Purpose Exterior Sealant (non masonry) – Polyurethane ASTM C920, Type S, Grade NS, Class 25, single component. Sonolastic NP-1 by Sonneborne or equal.
- b. General Purpose Exterior Sealant (masonry) – Polyurethane ASTM C920, Type M, Grade NS, Class 25, two component. Sonolastic NP-2 by Sonneborne or equal.
- c. General Purpose Interior Sealant – Acrylic emulsion latex ASTM C834, single component, paintable. Tremco Acrylic Latex or equal.
- d. General Purpose Interior Sealant (toilet fixtures, counters) – Acrylic emulsion latex ASTM C920, uses M and A, single component, mildew resistant. Sanitary 1700 by GE Silicones or equal.

Section 08400 – Aluminum Storefront and Entrances

- a. Storefront Framing – Provide Series 3000 Thermal MultiPane Framing system by VistaWall/Oldcastle at all exterior locations. Aluminum finishes – Class II, Clear Anodic Finish.
- b. Projecting Windows – Manufacturer’s standard thermal concealed window. Provide with locking hardware and screens with standard wicket. Provide series ZS 2750 by VistaWall/Oldcastle.
- c. Refer to section 08800 for all glazing.
- d. Project Location Wind loads – 22 psf.

Section 08800 – Glazing

- a. Low – E insulated glass units: Insulating glass units complying with ASTM E 773 and E 774; double pane with glass elastomer edge seal; inner and outer panes of 1/4 inch glass; total unit thickness of 1 inch minimum.
 1. Interspace Content: Argon.
 2. Outdoor Lite: Optigray 23 performance tinted float glass.
 - a. Kind FT fully tempered.
 3. Indoor Lite: Class 1 (clear) float glass (Solarban 60).
 - a. Kind FT fully tempered.
 4. Low-E Coating: Sputtered coated on third surface.
 5. Winter U-Value: 0.25.
 6. Solar Heat Gain Coefficient: 0.18.

Section 09250 – Gypsum Board Assemblies

- a. Gypsum Board and Related Products – Shall be provided by Domtar, U.S. Gypsum Co., Georgia Pacific Corp., National Gypsum Co. or equal.
- b. Gypsum Wallboard – ASTM C 36 type “X” for 5/8 inch thickness with tapered edges.
- c. Corner Bead – 1 1/4 inch x 1 1/4 inch galvanized steel external corner with 1/8 inch nose bead.

- d. Casing Bead – 30 gauge galvanized steel channel-type casing with 1/16 inch nose bead ground and knurled flange for joint compound finishing.
- e. Tear Away L-Bead – L shaped with tear off masking strip; exposed long leg receives joint compound; for use at windows.
- f. Control Joint – One piece control joint formed with V-shaped slot and removable strip covering slot opening.
- g. Joint Treatment Materials – Provide joint treatment material complying with ASTM C 475 and the recommendations of both the manufacturers of the sheet products and of joint treatment materials for each application indicated. Use paper reinforcing tape (fiberglass tape not permitted).

Section 09900 – Painting

- a. Gypsum Board – Semigloss, Acrylic Enamel Finish: 2 finish coats over a primer. Primer – Sherwin Williams PrepRite 200 latex primer B28W200 Series. Finish coats – Sherwin Williams ProMar 200 semigloss.
- b. Natural Finish Wood – Alkyd Based, Satin Varnish Finish: 2 finish coats of an alkyd based, clear satin varnish. Finish coats – Sherwin Williams Wood Classic Polyurethane A67 Series.
- c. Painted Finish Wood – Semigloss, Acrylic Enamel Finish: 2 finish coats over a wood undercoater. Undercoat – Sherwin Williams PrepRite Classic Primer B28W101 Series. Finish coats – Sherwin Williams ProMar 200 Semigloss.
- d. Ferrous Metal – Full Gloss, Alkyd Enamel Finish: 2 coats over and enamel primer. Primer – Sherwin Williams Kem Kromik Universal Primer B50WZ1 Series. Finish coats – Sherwin Williams Industrial Enamel VOC B54Z Series.

END



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

May 3 2011

Received from Bowman Brothers

Location of Work 158 North St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 3,730.00

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 010 - 6001

Check #: 045 629 Total Collected \$ 3,730.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

BOWMAN BROTHERS, INC.
P.O. BOX 156 • 552 MOOSEHEAD TRAIL
NEWPORT, ME 04953

KEY BANK OF MAINE

52-60
112

045629

Three Thousand Seven Hundred Thirty
Two

DATE

CHECK NO.

AMOUNT

\$ 3,730.00

PAY TO THE ORDER

City of Portland

Why 300 2011

