

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that ELDERLY PORTLAND VOA

Located At 158 NORTH ST

Job ID: 2011-03-675-ALTCOMM

CBL: 010 - - C - 001 - 001 - - - -

has permission to Re-enforce existing roof with new beams and columns to new footings provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

*[Signature]*  
\_\_\_\_\_

Fire Prevention Officer

*[Signature]* 4/26/11  
\_\_\_\_\_

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.  
PENALTY FOR REMOVING THIS CAR**



# PORTLAND MAINE

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Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-03-675-ALTCOMM

Located At: 158 NORTH

CBL: 010 - - C - 001 - 001 - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This permit is being issued with the condition that all the work is taking place within the existing footprint.

### **Fire**

1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. No means of egress shall be affected by this renovation.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2009 Section 713.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
4. This building is type 5A construction, per Brian B., all of the new structural beams and columns will be wrapped in fire code sheetrock.
5. Inspections of the installation of concrete, steel beams and columns and welding shall be conducted by a licensed engineer and a letter with his/her certification shall be submitted to this office stating compliance with the approved design by the final inspection or CO.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-03-675-ALTCOMM	Date Applied: 3/25/2011	CBL: 010 - - C - 001 - 001 - - - -	
Location of Construction: 158 NORTH ST	Owner Name: PORTLAND VOA ELDERLY	Owner Address: 3939 CAUSEWAY BLVD METAIRIE, LA 70002	Phone: 373-1140
Business Name:	Contractor Name: Bowman, Brian	Contractor Address: P.O Box 156 NEWPORT ME 04953	Phone: (207) 416-7742
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Elderly Housing	Proposed Use: Elderly Housing – reinforce existing roof structure	Cost of Work: 92000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ Conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-2 Type: SA IBC 2009 Signature: OMB
Proposed Project Description: 158 North ST., Bayview Apartments – reinforce existing roof		Pedestrian Activities District (P.A.D.) 4/26/11	

Permit Taken By:	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: OK w/ conditions 3/31/11 ABU	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABU
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Rebar prior to concrete pour
  2. Close in Framing
  3. Final - Commercial

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# General Building Permit Application

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If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 158 NORTH STREET, BAYVIEW APARTMENTS		
Total Square Footage of Proposed Structure/Area EXISTING BUILDING		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# 10          C          1	Applicant * <b>must be owner, Lessee or Buyer*</b> Name    Portland Volunteers of America Address 158 North Street City, State & Zip    Portland, ME 04112	Telephone: (207) 373-1140 EXT 211 ATTN: JULIA WILCOCK
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name    Portland Volunteers of America Address 158 North Street City, State & Zip    Portland, ME 04112	Cost Of Work: \$ 91,200.00  C of O Fee: \$ _____  Total Fee: \$ _____
Current legal use (i.e. single family)    ELDERLY HOUSING If vacant, what was the previous use?    N/A Proposed Specific use:    N/A Is property part of a subdivision?    N/A      If yes, please name _____ Project description: <b>WE ARE REINFORCING THE EXISITING ROOF STRUCTURE TO ACCOMIDATE FUTURE NEW ROOFING</b>		
Contractor's name: <b>BOWMAN CONSTRUCTORS</b> Address: <b>158 North Street P.O. Box 156,</b> <b>552 MOOSEHEAD TRAIL -</b> City, State & Zip <b>NEWPORT, MAINE 04953</b> Telephone: <b>207-416-7742</b> Who should we contact when the permit is ready: <b>BRIAN BOWMAN</b> Telephone: <b>207-368-2405</b> Mailing address: <b>SAME - brian.bowman@bowmanconstructors.com</b>		

# 822685

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Julia Wilcock      Date: MARCH 23, 2011

This is not a permit; you may not commence ANY work until the permit is issue

RECEIVED  
Planning and Inspections  
City of Portland, Maine

3 25 11

**Job Summary Report**  
**Job ID: 2011-03-675-ALTCOMM**

Report generated on Mar 28, 2011 1:19:12 PM

<b>Job Type:</b>	Adds/Alter Commercial	<b>Job Description:</b>	158 North Bayview Apartments	<b>Job Year:</b>	2011
<b>Building Job Status Code:</b>	In Review	<b>Pin Value:</b>	978	<b>Tenant Name:</b>	
<b>Job Application Date:</b>		<b>Public Building Flag:</b>	N	<b>Tenant Number:</b>	
<b>Estimated Value:</b>	92,000	<b>Square Footage:</b>			
<b>Related Parties:</b>		VOA PORTLAND		<i>Property Owner</i>	
		Bowman Constructors - Brian Bowman		<i>GENERAL CONTRACTOR</i>	

**Job Charges**

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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**Location ID: 830**

**Location Details**

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
943051	010 C 001 001		M				-70.253321	43.669933

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				158 NORTH STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
BENEVOLENT & CHARITABLE		NOT APPLICABLE					DISTRICT 1	EAST END

**Structure Details**

**Structure: Senior Housing Portland VOA**

**Occupancy Type Code:**

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Mutli-Family 5+ Building	0			158 NORTH STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference
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User Defined Property Value

**Permit #: 20112225**

**Permit Data**

**Job Summary Report**  
**Job ID: 2011-03-675-ALTCOMM**

Report generated on Mar 28, 2011 1:19:12 PM

Page 2

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
830	Senior Housing Portland VOA Bayview Apartments	Initialized	Re-inforce roof			

Inspection Details						
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Fees	\$940.00							

FROM DESIGNER: WILLIAM P. FAUCHER P.E.

DATE: 1-26-11

Job Name: BAYVIEW APARTMENTS - ROOF STRUCTURE SUPPORT MODS.

Address of Construction: \_\_\_\_\_

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2009 Use Group Classification(s) INSTITUTIONAL

Type of Construction \_\_\_\_\_

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC EXIST.

Is the Structure mixed use? \_\_\_\_\_ if yes, separated or non separated (see Section 302.3) \_\_\_\_\_

Supervisory alarm system? \_\_\_\_\_ Geotechnical/Soils report required? (See Section 1802.2) \_\_\_\_\_

STRUCTURAL DESIGN CALCULATIONS

N/A Submitted for all structural members (108.1, 108.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1609)

Uniformly distributed floor live loads (7603.11, 1607)

Floor Area Use	Loads Shown
<u>N/A</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____

N/A Live load reduction (1608.1.1, 1607.8, 1607.10)

N/A < 5L Roof live loads (1608.1.2, 1607.11)

Roof snow loads (7603.7.3, 1608)

70 psf Ground snow load,  $P_g$  (1608.2)

45 psf If  $P_g > 10$  psf, flat-roof snow load,  $P_f$  (1608.3)

0.9 If  $P_g > 10$  psf, snow exposure factor,  $C_e$  (Table 1608.3.1)

1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$  (Table 1604.5)

1.1 Roof thermal factor,  $C_t$  (Table 1608.3.2)

N/A Sloped roof snowload,  $P_s$  (1608.4)

N/A Seismic design category (1616.8)

N/A Basic seismic-force-resisting system (Table 1617.8.2)

N/A Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (Table 1617.8.2)

N/A Analysis procedure (1616.8, 1617.5)

N/A Design base shear (1617A, 1617.5.1)

Flood loads (1608.1.8, 1612)

N/A Flood hazard area (1612.3)

N/A Elevation of structure

Other loads

N/A Concentrated loads (1607.4)

N/A Partition loads (1607.5)

N/A Impact loads (1607.6)

N/A Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

N/A

Wind loads (1603.1.4, 1609)

\_\_\_\_\_ Design option utilized (1608.1.1, 1608.6)

\_\_\_\_\_ Basic wind speed (1609.3)

\_\_\_\_\_ Building category and wind importance factor,  $I_w$  (Table 1604.5, 1608.5)

\_\_\_\_\_ Wind exposure category (1609.4)

\_\_\_\_\_ Internal pressure coefficient (ASCE 7)

\_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)

\_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earthquake design data (1603.1.5, 1614-1623)

N/A Design option utilized (1614.1)

N/A Seismic use group ("Category") (Table 1604.5, 1616.2)

N/A Spectral response coefficients,  $S_{ps}$  &  $S_{pi}$  (1615.1)

N/A Site class (1615.1.5)





# Certificate of Design

Date: 1.26.11

From: ALLIED ENG. INC - BILL FAUCHER

These plans and / or specifications covering construction work on:

BAYVIEW APARTMENTS - ROOF STRUCTURE UPGRADES FOR  
GRAVITY AND SNOW LOAD SUPPORT - ONLY.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

Signature: [Handwritten Signature]

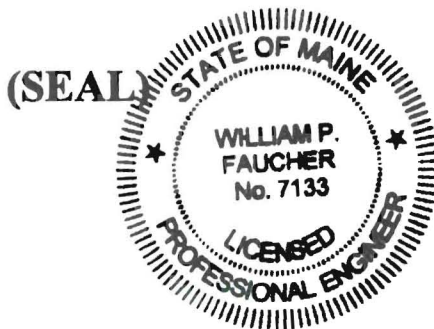
Title: Principal

Firm: ALLIED ENGINEERING

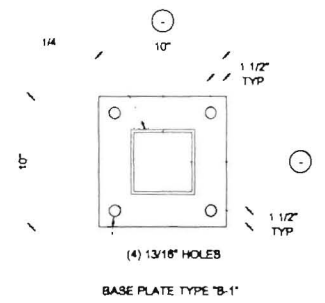
Address: 160 Velanda St

Portland ME 04103

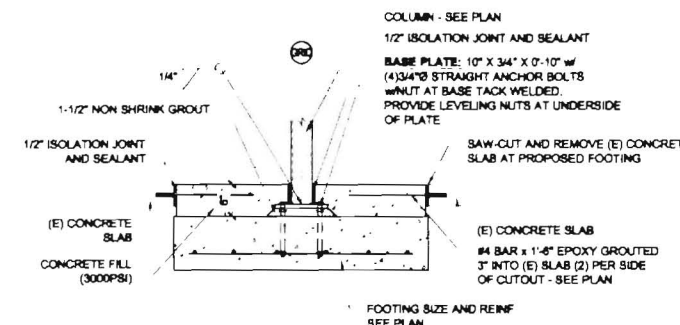
Phone: 207.221.2260 x107



For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



F1 BASE PLATE DETAIL



E1 DETAIL

- SCOPE OF WORK IS TO INSTALL BEAM AND COLUMN SUPPORT SYSTEM FROM EXISTING ROOF PLANKING DOWN TO BASEMENT FLOOR SYSTEM WHERE FOOTINGS WILL BE PLACED TO SUPPORT THE PROPOSED COLUMNS. THE PURPOSE IS TO REDUCE THE SPAN OF THE CENTER BAY OF ROOF PLANKS ALLOWING INCREASED CAPACITY IN THE ROOF SYSTEM TO SUPPORT CURRENT SNOW LOADING REQUIREMENTS.
- PROPOSED BEAM PLACEMENT AGAINST THE ROOF PLANKS AND COLUMN PLACEMENT THROUGH THE FLOOR SYSTEM WILL BE OBSTRUCTED BY MANY EXISTING UTILITIES INCLUDING ELECTRICAL CONDUIT, UNIT VENT DUCTS, WATER PIPING, ETC. THE CONTRACTOR SHALL PLAN ON SHIFTING, ADJUSTING, REPLACING OR REINSTALLING THESE ITEMS AS NEEDED TO INSTALL THE PROPOSED BEAMS AND COLUMNS.
- BASEMENT FLOOR TO FIRST FLOOR HEIGHT = 9'-10" +/-, FIRST FLOOR TO BOTTOM OF ROOF PLANK HEIGHT = 9'-5" +/-, FIELD VERIFY THESE DIMENSIONS PRIOR TO STEEL FABRICATION.
- WORK SHALL BE DONE IN COMPLIANCE WITH THE LATEST EDITION OF IBC-2006.
- THE CONTRACTOR SHALL VISIT THE SITE AT A DESIGNATED TIME APPROVED BY THE OWNER, TO VERIFY EXISTING CONDITIONS, DIMENSIONS, LOCATION OF EXISTING UTILITIES, ETC. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITHOUT EXCEPTION.
- WORK SHALL BE DONE IN AN ORDERLY AND PROFESSIONAL MANNER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK TO BE DONE BY SUBCONTRACTORS, LOCAL AUTHORITIES, STATE AGENCIES AND/OR UTILITY COMPANIES WHICH MAY HAVE JURISDICTION OVER THIS PROJECT.
- UTILITY EXTENSIONS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES OR AS INDICATED BY THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY EXISTING ITEMS DAMAGED BY NEW CONSTRUCTION, AND FOR ANY INCIDENTAL REPAIRS OF EXISTING FINISHED SURFACES DISTURBED BY NEW CONSTRUCTION. SUCH REPAIRS SHALL MATCH EXISTING TO THE OWNER'S SATISFACTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING, HANDLING, AND STORAGE OF ITEMS/MATERIALS TO REMAIN THE PROPERTY OF THE OWNER WITH THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS AND TEMPORARY SHORING, PRECAUTIONS DURING BUILDING OPERATIONS, PROTECTION OF PUBLIC AND WORKERS, REMOVAL OF WASTE MATERIAL, PROTECTION OF ADJACENT PROPERTY, PROTECTION OF HAZARDOUS OPENINGS, SAFETY PRECAUTIONS, AND SANITARY PROVISIONS OF EMPLOYEES AND SUBCONTRACTORS AS REQUIRED FOR THE DURATION OF THE CONTRACT.

F3 GENERAL NOTES

COLUMN SCHEDULE	
TYPE	SIZE
C-1	HSS 4x4x3/8

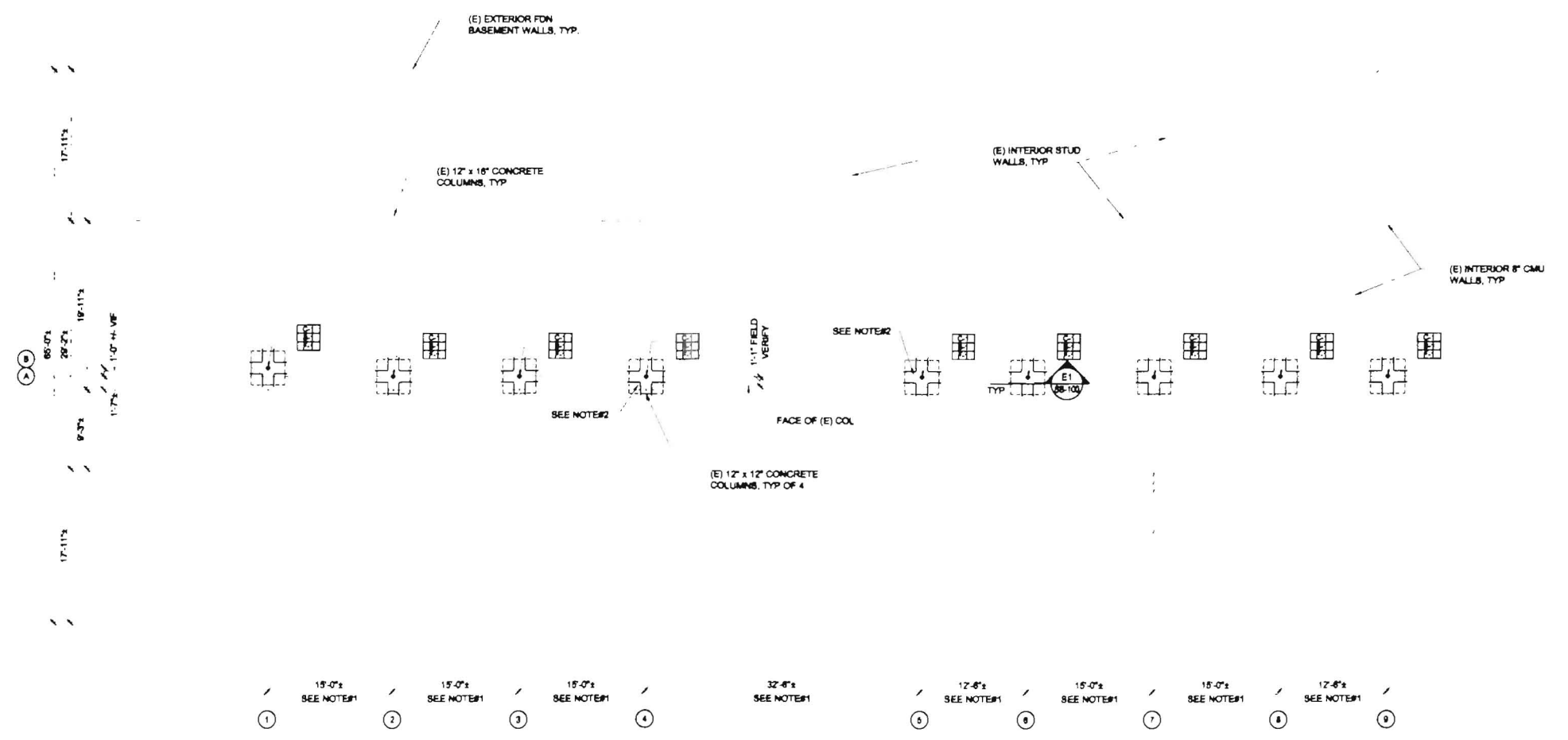
FOOTING SCHEDULE			
TYPE	SIZE	THICKNESS	REINFORCING
F-1	4'-0" X 4'-0"	10"	6-#4 E W BOTTOM

E3 SCHEDULES

- MINIMUM LOADING REQUIREMENTS
  - A. ROOF LOADS (EXCEPT AT DRIFTING SNOW LOCATIONS)
    - GROUND SNOW LOAD: 70.0 PSF
    - DESIGN SNOW LOAD: 45.0 PSF
    - ROOF DEAD LOAD: 68.0 PSF
- STRUCTURAL STEEL SHALL BE DESIGNED USING THE 13TH ADDITION OF THE AISC STEEL CONSTRUCTION MANUAL. STEEL BEAMS SHALL CONFORM TO ASTM A992, Fy = 50ksi; MISCELLANEOUS PLATES, SHAPES, CHANNELS, ANGLES ETC. SHALL CONFORM TO ASTM A36, Fy = 36ksi.
- BASE PLATE ANCHOR BOLTS SHALL BE:
  - A. ANCHOR RODS: 3/4" Ø ASTM F1554, UNF
  - B. NUTS: ASTM A563, GRADE A
  - C. WASHERS: ASTM F844
- CONCRETE SHALL BE 3000 PSI AT (28) DAYS. SLUMP SHALL NOT EXCEED 4-INCHES. CONCRETE SHALL BE NEATLY FINISH-RUBBED AND SEALED TO MATCH SURROUNDING FLOOR SURFACE.
- FOOTINGS SHALL BEAR ON VIRGIN SOIL OR STRUCTURAL BACKFILL COMPACTED TO A UNIFORM 95-PERCENT STANDARD DENSITY.
- STRUCTURAL STEEL BELOW FIRST FLOOR SHALL RECEIVE (2) COATS OF BITUMINOUS MASTIC.
- REFER TO ACI 318 (LATEST EDITION) FOR MINIMUM CONCRETE COVER FOR REINFORCING STEEL.
- DRILLED-IN ANCHOR BOLTS OR REBAR DOWELS SHALL BE INSTALLED AS FOLLOWS:
  - LOCATE ANCHOR BOLTS OR DOWELS TO AVOID CUTTING EXISTING REBAR OR STRANDS IN ROOF PLANKING.
  - DEPTH IS BASED ON A CLEAN HOLE WITH ROUGH SIDES. ROTARY PERCUSSION EQUIPMENT AND COURSE ROCK CUTTING CHISELS ARE RECOMMENDED. HOLE SIZE TO BE PER MANUFACTURER'S RECOMMENDATIONS.
  - CLEAN HOLES WITH COMPRESSED AIR OR VACUUM, REMOVE ANY FREE-STANDING WATER AND ALLOW HOLE TO DRY.
  - GROUT ANCHOR BOLTS OR DOWELS WITH HILTI HIT HY-150 ADHESIVE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. (HILTI HVA ADHESIVE CAPSULE MAY BE SUBSTITUTED FOR THE HILTI HIT HY-150 ADHESIVE.)

E7 STRUCTURAL NOTES

- FOUNDATION PLAN NOTES:**
- LOCATE PROPOSED COLUMNS TO ALIGN WITH MIDPOINT BETWEEN WEBS OF (E) FIRST FLOOR DOUBLE TEES AND BESIDE UPPER LEVEL CORRIDOR WALLS. FIELD VERIFY AND ADJUST AS REQUIRED.
  - BEAR BASE PLATE ON EXISTING (E) FOOTING AND ANCHOR w/ (4) 3/4" Ø x 10" EXPANSION BOLTS (Ø EMBEDMENT) WHEN POSSIBLE.



A1 STRUCTURAL PLAN - FOUNDATION

1/8" = 1'-0"

168 Veranda Street  
Portland, Maine 04103  
Tel: 207.221.2200  
Fax: 207.221.2266  
Web: www.allied-eng.com

**Allied Engineering**  
Structural Mechanical Electrical Commissioning



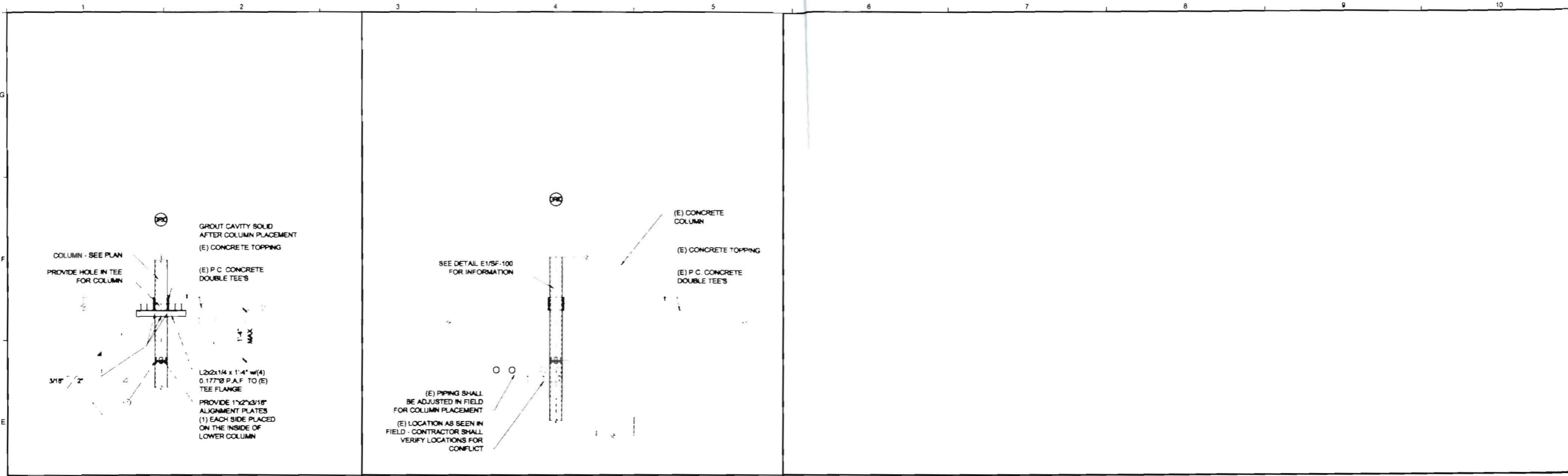
**REVISIONS**

NUMBER	DATE	BY	DESCRIPTION

DATE: 10-28-2010  
Drawn By: PRED  
Checked By: LAW  
Project Mgr: WAF  
Project No: 10088  
Cadd File: 10088\_S.dwg  
Original Scale: 0  
1"

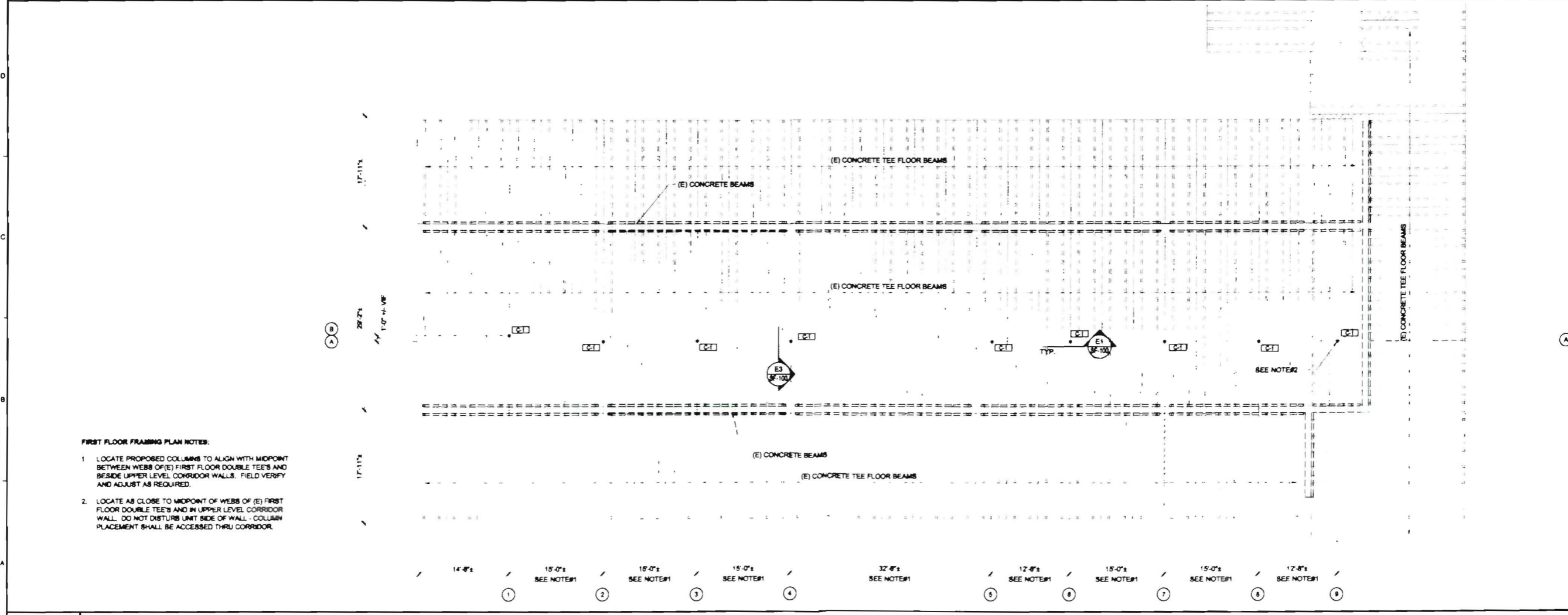
**STRUCTURAL - FOUNDATION PLAN**  
BAYVIEW APARTMENTS  
STRUCTURAL UPGRADE  
PORTLAND, MAINE

**SB-100**



E1 TYPICAL COLUMN THRU FLOOR DETAIL 3/4" = 1'-0"

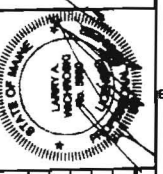
E3 TYPICAL COLUMN THRU FLOOR DETAIL 3/4" = 1'-0"



A1 STRUCTURAL PLAN - FIRST FLOOR FRAMING 1/8" = 1'-0"

160 Veranda Street  
 Portland, Maine 04103  
 T: 207.221.2260  
 F: 207.221.2266  
 Web: www.allied-eng.com

**Allied Engineering**  
 Structural Mechanical Electrical Consulting



REVISIONS			
NUMBER	DATE	BY	DESCRIPTION

Date: 10-28-2010  
 Drawn By: PED  
 Checked By: JAW  
 Project Mgr: WPT  
 Project No: 10008  
 Cad File: 10008\_B.dwg  
 Graphic: 0  
 Scale: 1"

**STRUCTURAL - FIRST FLOOR FRAMING PLAN**  
**BAYVIEW APARTMENTS STRUCTURAL UPGRADE**  
 PORTLAND, MAINE

**SF-100**

