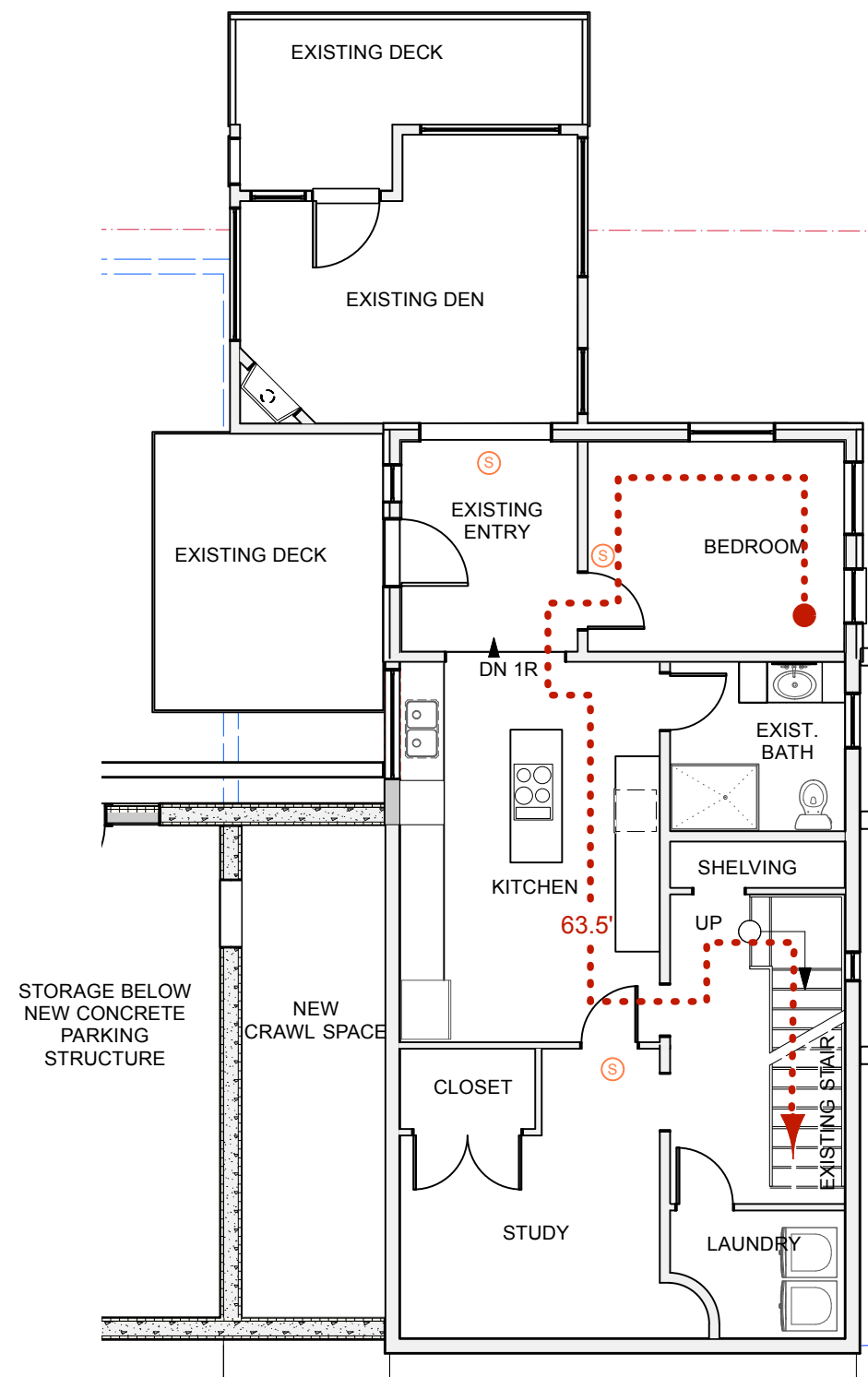


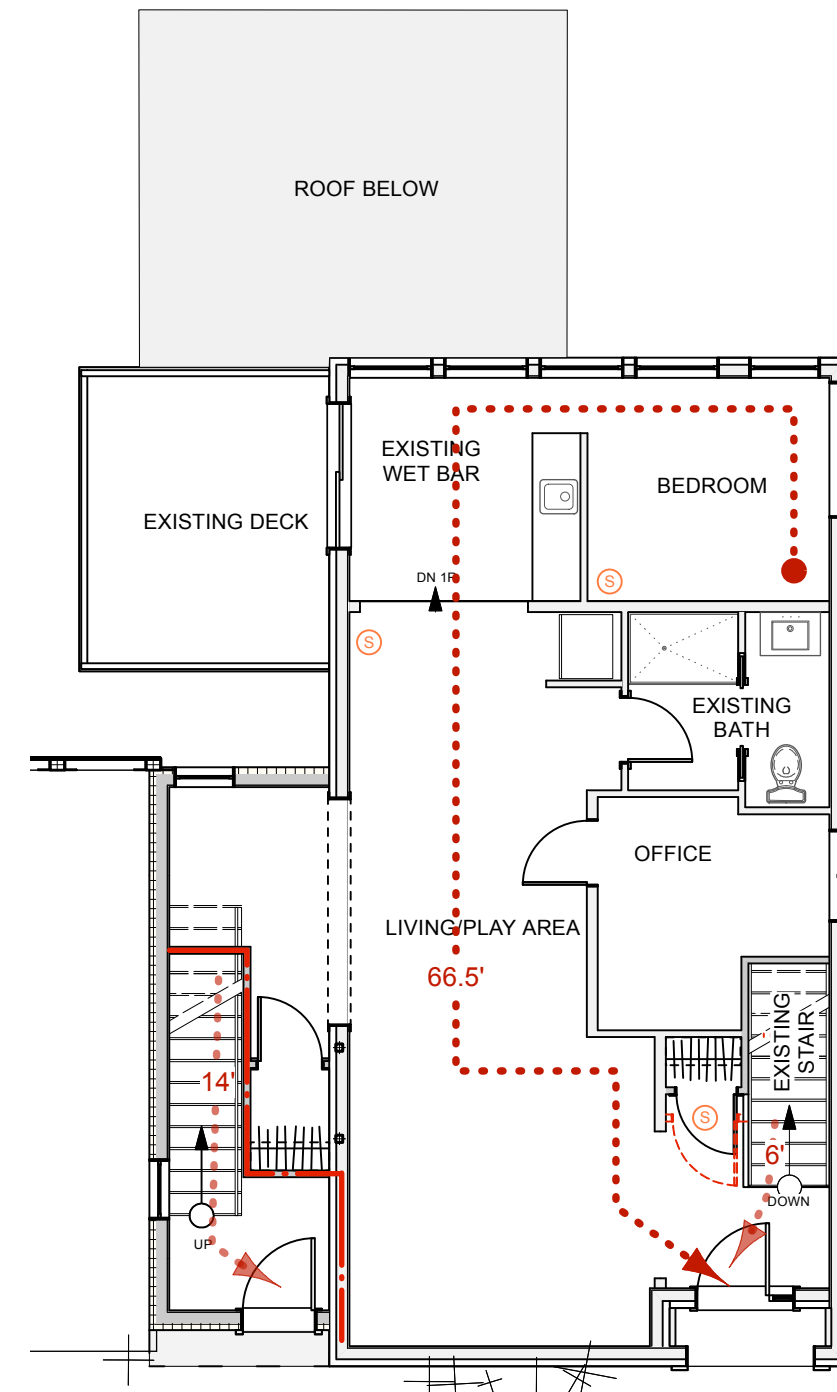
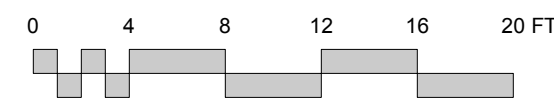
# 218 Washington Ave.

## Portland, Maine

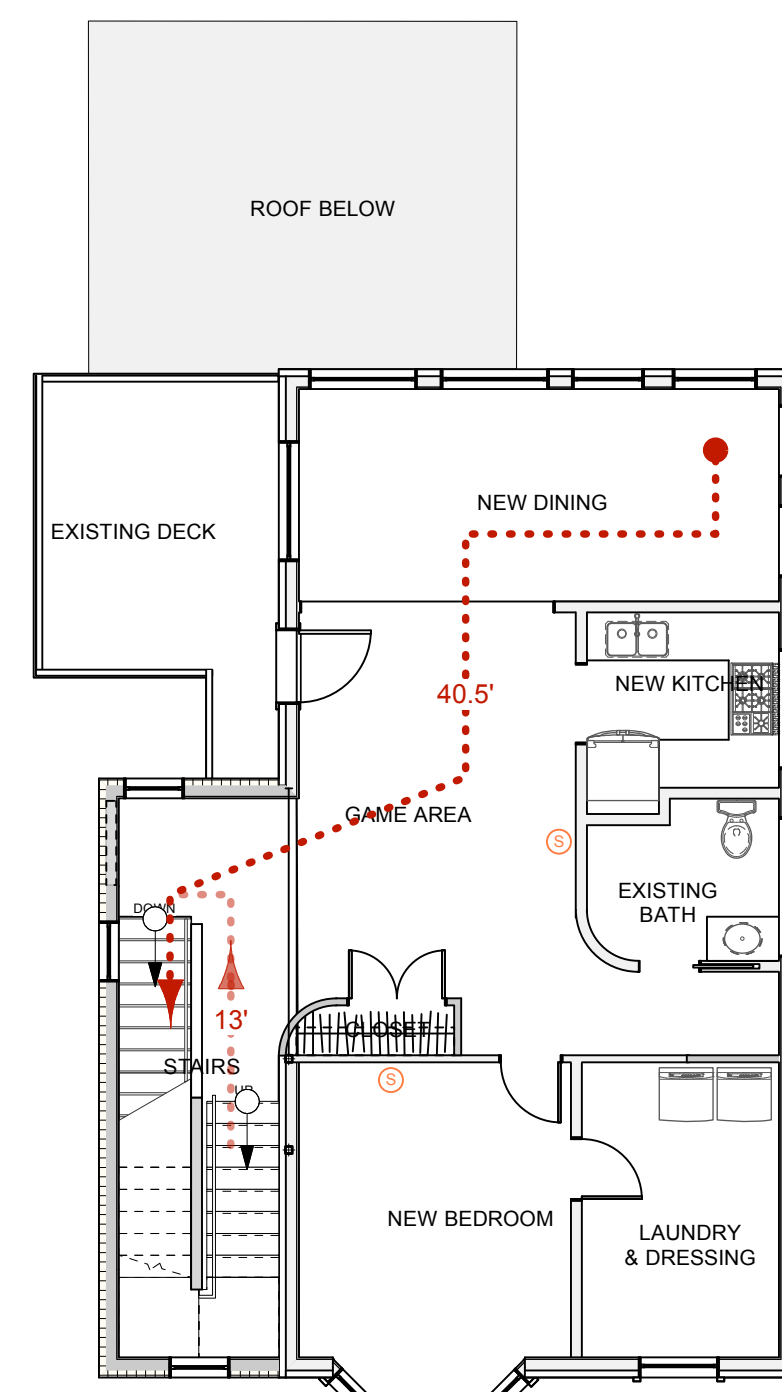
Morse Property  
CBL 10-A-15



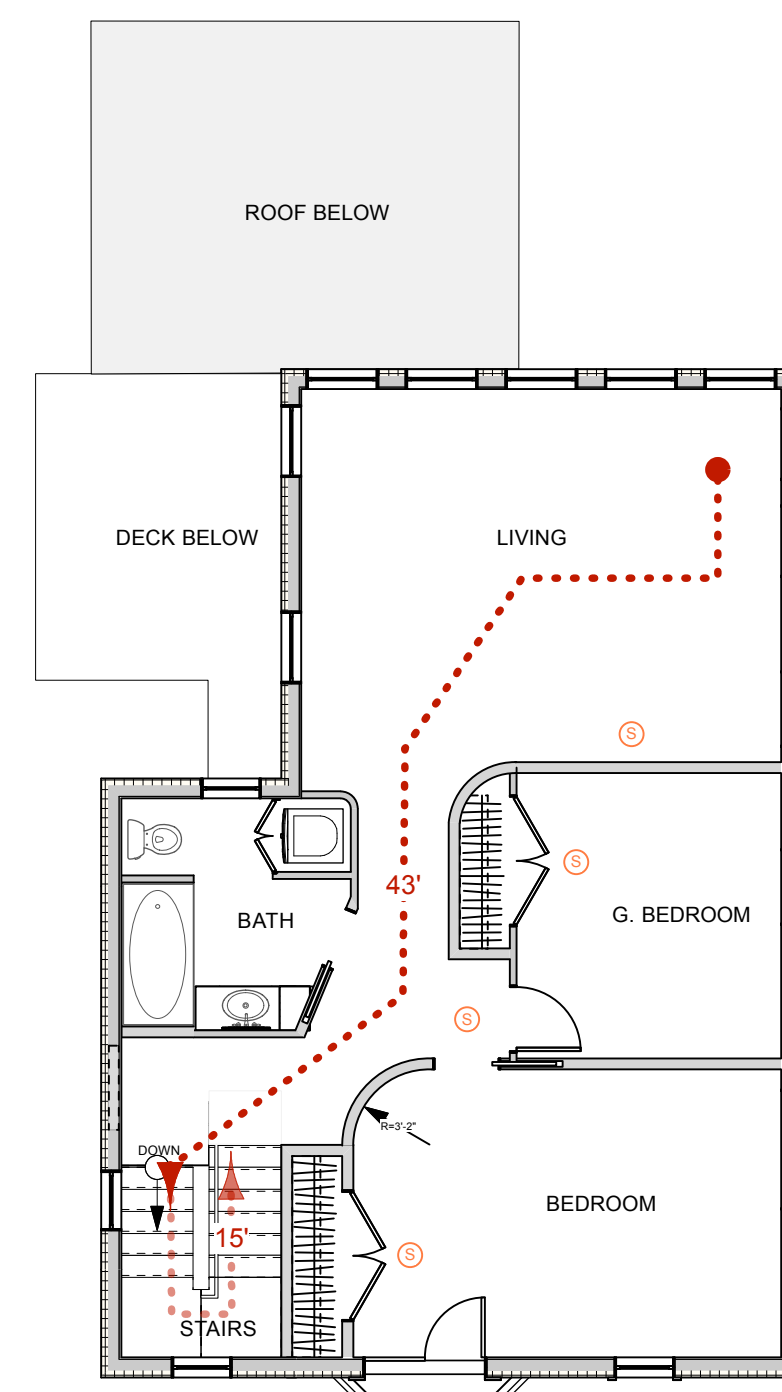
1 Life Safety Diagram - Basement  
Scale: 1/8" = 1'-0"



2 Life Safety Diagram - First Floor  
Scale: 1/8" = 1'-0"



3 Life Safety Diagram - Second Floor  
Scale: 1/8" = 1'-0"



4 Life Safety Diagram - Third Floor  
Scale: 1/8" = 1'-0"

SHEET	TITLE
CVR	Cover Sheet
A1.1	Floor Plans
A1.2	Floor Plans
A2.1	Exterior Elevations & Schedules
A3.1	Building Sections
S-1	Foundation Diagram (Building)
S-2	3rd Floor & Roof Framing Plans (Building)
S-3	Notes (Building)
XA1.1	Existing Floor Plans
XA2.1	Existing Exterior Elevations

- ZONING NOTES**
- Project is located at 218 Washington Avenue, Portland, Maine. CBL #10-A-15
  - Zoning: B-1b
  - Lot Size:
  - Minimum Lot Size: None for Residential Use in B-1b
  - Max. Front Setback: 10' (unchanged)  
Side Setback: 0 or 10' Abutting Residential Zone  
Rear Setback: N/A for Additions  
Min. Street Frontage: 50'
  - Maximum Allowable Building Height: 45'  
Existing Average Grade: 93.4'  
Proposed Building Height above Average Grade: 37'-9 1/2"

- CODE NOTES - IBC 2009 & IEBC 2009**
- Construction Type: VB
  - Occupancy: R-3, Residential
  - Table 503 - 3 Stories allowed above grade plane & 40' height, Group-R with sprinklers: 4 stories allowed above grade plane & 60' height
  - Dwelling Units must be separated by 1-hour fire rating, minimum, per Section 709 and 712, with 1/2-hour ratings between individual sleeping units of dwelling units, with automatic sprinkler system per NFPA 13.
  - One means of egress, is permitted, with egress windows, within and from individual dwelling units with a maximum occupant load of 20 when equipped throughout with an automatic sprinkler system (NFPA 13R per 24.3.5.2), per MUBEC and NFPA 101 Section 7.6.6. The maximum travel distance shall be 125', per NFPA 101 Section 31.2.6.1; 69.5' travel distance is provided from most remote location of Unit #1; 85' travel distance is provided from most remote location of Unit #2.
  - Stairways serving a single residential dwelling unit in R-3 are not required to be enclosed, per 1022.1.3.
  - See window schedule for tempered glazing requirements in stair tower.
  - Building shall be fully sprinklered per Section 903 and NFPA Chapter 13R

- LIFE SAFETY NOTES - NFPA 101**
- Classification of Occupancy: Two-Family Residential Occupancy
  - NFPA 101 Chapter 24 (& Chapter 30 for future expansion)- 1- & 2- Family Dwellings has no special construction or occupant load requirements.
  - Although egress windows are provided in each sleeping room and living area, a secondary means of escape shall not be required where the dwelling unit is protected throughout by an approved automatic sprinkler system, per 24.2.2.1.2.2. See note #5 in Code Notes above.
  - One means of egress is allowed per 24.2.2.4, when the building is protected throughout by an approved, supervised automatic sprinkler system in accordance with 24.3.5 and, subsequently, NFPA 13R. See note #5 in Code Notes above.
  - Dwelling units shall be protected with a hard-wired smoke and carbon monoxide detection system, and an approved means of occupant notification per Section 24.3.4

**LEGEND**

	EXISTING EXTERIOR WALL - PATCH & REPAIR
	EXISTING INTERIOR WALL - PATCH & REPAIR
	NEW EXTERIOR WALL - SEE BLDG. SECTIONS
	NEW 2X6 STUD WALL
	NEW 2X4 STUD WALL
	NEW 8" FROST/RETAINING WALL & FOOTING (IBC 2009 TABLE 720.1 ITEM 4-1.1 = 2-HR RATING)
	NEW ICF FOUNDATION/RETAINING WALL
	NEW 1-HOUR RATED 2X6 STUD WALL (UL U305; IBC 2009 TABLE 720.1 ITEM 15-1.14)
	NEW 1-HOUR RATED 2X4 STUD WALL (UL U305 & UL U314; IBC 2009 TABLE 720.1 ITEM 14-1.4)
	EXISTING 1-HOUR RATED WALL
	EXISTING CONCRETE FOUNDATION WALL (IBC 2009 TABLE 720.1 ITEM 4-1.1 = 2-HR RATING)
	SMOKE/CO DETECTOR
	PATH OF TRAVEL

**PROJECT TEAM**

<b>BUILDING DESIGN</b> RESIDENTIAL DESIGN STUDIO, LLC CAROL MORRISSETTE RESDESSTUDIO@GMAIL.COM
<b>SITE DESIGN</b> BH2M ANDY MORRELL AMORRELL@BH2M.COM
<b>STRUCTURAL ENGINEER</b> PARKING STRUCTURE STRUCTURAL INTEGRITY AARON JONES AARON@STRUCTURALINTEG.COM
<b>BUILDING STRUCTURE</b> MACLEOD STRUCTURAL ENGINEERS BRUCE MACLEOD BRUCE@MACLEODENGINEERS.COM

- PROJECT NOTES**
- All work described by these documents shall be performed in full accordance with all applicable codes, including but not limited to the following codes: International Building Code 2009, IEBC 2009, IECC 2009, NFPA standards, Maine State Plumbing & Electrical Codes, all as adopted by the City of Portland, Maine.
  - Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the Designer or Engineer.
  - All dimensions are to face of framing unless noted otherwise.
  - Existing windows in exterior walls to remain, unless damaged. Any required replacement windows will utilize existing rough opening. Windows shown in plan and elevation without window tags are existing windows to remain.
  - Existing doors in exterior walls to remain, typical. Interior and exterior doors shown in plan without door tags are existing doors to remain.
  - Provide blocking in walls for cabinets, shelves, mirrors, etc.
  - Existing new and relocated sprinkler locations where shown are approximate and shall be reviewed by City of Portland certified sprinkler installer for final sprinkler configuration. All sprinkler work shall be done by a City of Portland certified sprinkler installer, who shall also prepare any certified plans or documentation required by the City of Portland.
  - Provide blocking in all bathrooms for bath accessories and future grab bars.
  - Verify electrical requirements if any for any equipment or appliances shown on plans prior to commencement of work. Provide isolated ground wires as required by equipment manufacturers.
  - Electrical contractor shall provide as part of this contract legible labeling of all breakers on panel board with typewritten or plastic embossed label.
  - Install all systems to allow removal of ceiling tiles in order to gain easy and full access to above ceiling systems.
  - HVAC system shall be a design/build system that, as a minimum, shall conform to codes/standards of the City of Portland.
  - Flex duct runs shall not exceed 8 feet. Provide round sheet metal ductwork (with 2" duct wrap equal to Certainteed type 75) from trunk ducts to flex duct as required to accomplish this directive. Flex duct shall not be run through fire and/or smoke rated partitions or other partitions extending to structure above. Existing flex duct may be reused provided in good condition, of sufficient length, and diameter equals neck size.
  - Properly seal any penetrations through fire and/or smoke rated partitions with U.L. approved methods and materials.

Design Firm <b>RESIDENTIAL DESIGN STUDIO, LLC</b> Carol A. Morrissette 174 Danforth Street Portland, Maine 04102 T 207.699.4184 C 207.671.7965	Project Title <b>218 Washington Avenue</b> Portland, Maine B-1b Zone CBL 10-A-15	Sheet Status Progress Set - Not for Construction
Revisions 1 8/13/14 - LIFE SAFETY PLANS & CVR 2 10/1/14 - BLDG REVIEW REDLINES 3	Sheet Title <b>Cover Sheet</b>	Project Number 13.70 Date 18 JUNE 2014 Drawn By CAM Sheet No. AS NOTED CAD File Number MorsePlanAv2014
		<b>CVR</b>