

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0134	Issue Date:	CBL: 010 A015001
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Location of Construction: 218 WASHINGTON AVE	Owner Name: MORSE GLENN A	Owner Address: PO BOX 1466	Phone:
Business Name:	Contractor Name: Morse Construction/ Glenn Morse	Contractor Address: P.O. Bos 1466 Scarborough	Phone 2075903877
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: B-1b

Past Use: Commercial - Mixed Use	Proposed Use: Commercial - Mixed Use - Rooftop addition new addition residential 2 unit 1 commercial	Permit Fee: \$575.00	Cost of Work: \$48,000.00	CEO District: 1
Proposed Project Description: Rooftop addition new addition residential 2 unit 1 commercial		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: <input type="checkbox"/> Approved <input type="checkbox"/> Denied U. Group: Type:		
		EXPIRED		

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: ldobson	Date Applied For: 02/15/2008	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland  <input type="checkbox"/> Wetland  <input type="checkbox"/> Flood Zone  <input type="checkbox"/> Subdivision  <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>  Date:	<b>Zoning Appeal</b> <input type="checkbox"/> Variance  <input type="checkbox"/> Miscellaneous  <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Interpretation  <input type="checkbox"/> Approved  <input type="checkbox"/> Denied  Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark  <input type="checkbox"/> Does Not Require Review  <input type="checkbox"/> Requires Review  <input type="checkbox"/> Approved  <input type="checkbox"/> Approved w/Conditions  <input type="checkbox"/> Denied ARU  Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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Permit No: 08-0134	Date Applied For: 02/15/2008	CBL: 010 A015001
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Location of Construction: 218 WASHINGTON AVE	Owner Name: MORSE GLENN A	Owner Address: PO BOX 1466	Phone:
Business Name:	Contractor Name: Morse Construction/ Glenn Morse	Contractor Address: P.O. Bos 1466 Scarborough	Phone (207) 590-3877
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial - Mixed Use - Rooftop addition new addition residential 2 unit 1 commercial	Proposed Project Description: Rooftop addition new addition residential 2 unit 1 commercial
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Dept: Zoning	Status:	Reviewer: Ann Machado	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Building	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				

**EXPIRED****Comments:**

2/20/2008-amachado: Application is incomplete and unclear. Spoke to Glen Morse. He is coming in tomorrow to go over it.

2/21/2008-amachado: Met with Glen Morse. Told him what I needed. He will get me the information. He also has to apply for minor siteplan review.

4/7/2008-amachado: Spoke to Steve Blais at Land Consulting Engineers. He will send more information about how he got the average grade.

4/7/2008-amachado: Met with Glen Morse. Gave him a list of what I need in order to review the permit.

5/13/2008-amachado: Has not submitted complete siteplan application. See Shukria's letter dated 5/13/08.

4/23/2008-amachado: Met with Glen Morse, Steve Blais and Shukria. We told Glen what we needed. Shukria wrote a followup letter on 5/13/2008.

12/5/2008-amachado: Section 105.3.2 of the 2003 IBC code says : "An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued." I have not heard from Glen Morse since 4/2/08 and it has been more than 180 days since the permit was applied for. Application is still incomplete. Application has expired.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>218 Washington Ave</u>		
Total Square Footage of Proposed Structure/Area <u>784 sq ft</u>	Square Footage of Lot <u>11,700</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>10</u> Block# <u>A</u> Lot# <u>15</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Glenn Morse</u> Address <u>Po Box 1466</u> City, State & Zip <u>Scarborough ME 04876</u>	Telephone: <u>(207) 590-3877</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>48,000</u> C of O Fee: \$ Total Fee:
<p>Current legal use (i.e. single family) <u>Mix USC</u></p> <p>If vacant, what was the previous use?</p> <p>Proposed Specific use: <u>Residential Appr</u></p> <p>Is property part of a subdivision? If yes, please name</p> <p>Project description: <u>Roof top Addition New additional Residential unit - 2 Res + 1 commercial</u></p>		
<p>Contractor's name: <u>Morse Construction</u></p> <p>Address: <u>Po Box 1466</u></p> <p>City, State &amp; Zip <u>Scarborough ME</u> Telephone: <u>590-3877</u></p> <p>Who should we contact when the permit is ready: <u>Glenn Morse</u> Telephone:</p> <p>Mailing address: <u>Same</u></p>		

# EXPIRED

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 2/14/08

**This is not a permit; you may not commence ANY work until the permit is issue**

DEPI  
C

Applicant: Glen Morse

Date: 2/20/08

Address: 218 Washington Ave.

C-B-L: 10-A-15  
permit # 08-0134

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - B-1b (R-6 closest residential zone)

# EXPIRE

Interior or corner lot -

Proposed Use/Work - add third story - to add one dwelling unit

Sevage Disposal - city

Lot Street Frontage -

Front Yard - B-1b - max setback 10' (existing to property line)  
R-6 - 10' or average

Rear Yard - B-1b - ~~at least residential zone~~ - ~~20' min~~ none  
R-6 - 20' min.

Side Yard - B-1b - none unless abuts residential zone or 1st floor use - right side ~~at least~~ none  
R-6 - 3 stories 10' - left side 10' or none.  
4 stories 12' - is more than half of basement above grade?

Projections -

Width of Lot -

Height - B-1b - 35' max  
R-6 - 45' max

Lot Area - B-1b - none if non-residential - 1,000<sup>+</sup> for du above 1st floor  
R-6 - 4500<sup>+</sup> - 10,300<sup>+</sup>

Lot Coverage Impervious Surface - B-1b

Area per Family - ~~at least~~ lot coverage  
1,000<sup>+</sup> per family du for first three - 2 families 2,000<sup>+</sup>

Off-street Parking - need 5 spaces for existing use - need.

Loading Bays - N/A

Site Plan -

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 13 - zone C

May 13, 2008

Land Consulting Engineers, PA  
C/o Steve Blais  
967 Broadway  
South Portland, ME 04106

East Bayside Builders, LLC  
Glenn Morse  
PO Box 1466  
Scarborough, ME 04070

**RE: Site Plan Review; 218 Washington Avenue  
Four Residential Condominiums  
Application # 2008-0032; CBL 010 A015001**

Dear Mr. Blais

This is to follow-up on our meeting that was held on April 23, 2008. As we discussed at that time, you must submit additional information for your site plan application (#2008-0032). The application is for the addition of a third floor for to the existing two story building for a residential unit, as submitted on 03.26.2008. As part of this proposal, the parking lot will be modified to accommodate the zoning required two additional parking spaces. Attachment 1 is the list of submittal materials required for a site plan review. The entire ordinance is found on the City's web site at [www.portlandmaine.gov/planning/default.asp](http://www.portlandmaine.gov/planning/default.asp). Please use those references as you prepare the additional information.

**Initial Comments from Planning Division:**

There are a number of issues that need to be addressed before the various departments can conduct a review of the proposal; once these items are submitted, any comments will be forwarded to you.

I have reviewed your initial submittal and offer the following comments:

**Right Title and Interest**

1. As we discussed, your surveyor has identified a boundary discrepancy between your property and the abutting land owned by Ron Gan of 202-208 Washington Avenue. Please be advised that evidence that you have clear title for your property must be submitted, including corresponding deeds and an updated Boundary Survey signed by a licensed Surveyor. In order to proceed with a review of this application, you must submit the deeds and survey for review and approval by the City's Corporation Counsel.
2. Your original application submitted on August 1, 2007 shows that the property line goes through the existing building on the north side of the property but the most recent site plan

does not show this; please clarify the change in the plans. If a new property acquired, show evidence of the newly purchased property.

### **Use and Layout of the Site**

3. Please specify the current uses, layout and plans for the site, including the detailed plans for the parking area.
4. As we discussed at the meeting, the Planning Authority cannot approve the proposed foundation on site plan without plans to complete the structure. We did discuss the need for retaining walls to support the proposed parking lot. Please submit the engineered plans for the retaining wall and the geotechnical information to support the proposed walls.
5. Please provide additional information on the proposed tandem parking as to who will be using this parking?
6. Please provide details on whether the existing properties are currently occupied and, if so, whether they are being used as rental or owner-occupied dwellings.
7. The Department of Public Services will evaluate the condition of the sidewalk along the frontage and repairs or replacement may be required depending upon the existing conditions of the sidewalk.
8. Please include typical details for of stormwater infrastructure, parking and tip down curbing; and soil and erosion control details. The details shall be in with the City of Portland technical design standards.
9. The plan shows a steep slope behind the structure, which was created with fill. Please provide a geotechnical report for the slope and long-term stability and maintenance of the slope.

### **Landscaping and Exterior Lighting:**

10. Additionally landscaping should be proposed, particularly along the existing building, back of the property and on the south side of the proposed building;. There needs to be a landscaped five-foot buffer strip between the parking and sidewalk to maintain a separation between the parking area for safety and screening.
11. Details of buffering and landscaping of the slope will need to be shown the plan.
12. The City's Technical Standards regarding the provision of street trees requires two street trees per unit. Please show this on the site plan.
13. Any proposed exterior lighting should be shown along with catalog cuts and a photometric plan.

### **Stormwater Management:**

14. It is indicated that the stormwater will sheet flow off this parcel. As discussed at our meeting, a stormwater management report must be included as part of the application for review by the City's third-party review engineer.

15. The applicant has also requested a waiver from the peak stormwater. The Planning Authority will forward this request to the Department of Public Services for their consideration once this information is submitted.
16. The stormwater for this site may need to be connected to the Anderson Street stormwater system.
17. The applicant may be proposing a 'greener' form of pavement for the parking area. The specifications will need to be submitted for the Department of Public Services to review.

Please submit the information at your earliest convenience. If you have any questions please do not hesitate to call me on (207) 756-8083 or at [shukriaw@portlandmaine.gov](mailto:shukriaw@portlandmaine.gov).

Sincerely,

Shukria Wiar  
Planner

cc Alexander Jaegerman, Director, Planning Division  
Barbara Barhydt, Development Review Manager  
Ann Machado, Zoning Specialist  
Marge Schmuckal, Zoning Administrator

**From:** Barbara Barhydt  
**To:** Machado, Ann  
**Date:** 2/20/2008 2:33:35 PM  
**Subject:** Re: 218 Washington Avenue

Hi Ann:

He submitted a site plan exemption, which I have not had the opportunity to look at. We should talk.

Thanks.

barbara

>>> Ann Machado Wednesday, February 20, 2008 2:10 PM >>>  
Barbara -

Glen Morse has submitted a building permit to add a third floor to his existing building at 218 Washington Ave. He needs to add to the parking so he is proposing a parking area 28' x 81' and a 28' x 28' gravel pad on a foundation. The existing parking is 32' x 13'.

Has he submitted a siteplan application?

Thanks, Ann



**From:** Barbara Barhydt  
**To:** Machado, Ann  
**Date:** 9/15/2008 11:56:48 AM  
**Subject:** Re: 218 Washington Ave. - siteplan #2008-0032

I don't believe anything else was submitted. I will double check.

Barbara

>>> Ann Machado Monday, September 15, 2008 11:53 AM >>>  
Barbara -

I know that Shukria was working on this with Glen Morse. Did he ever submit a complete site plan application? I know that we met with him April 23, 2008 and Shukria wrote a letter on May 13, 2008.

Thanks, Ann

- ① need to know which is 1st floor - do or grade?  
- need to see floor to ceiling height in relation to grade
- ② need elevations to show grade
- ③ ~~need site plan that shows whole property~~ SF. of site plan not match  
assessing - ? came up w/  
meeting w/ Shukria

EXPIRE

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	010 A015001
<b>Location</b>	218 WASHINGTON AVE
<b>Land Use</b>	MULTI-USE COMMERCIAL
<b>Owner Address</b>	MORSE GLENN A PO BOX 1466 SCARBOROUGH ME 04070
<b>Book/Page</b>	24651/157
<b>Legal</b>	10-A-15 WASHINGTON AVE 210-218  10300 SF

### Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$127,600	\$73,600	\$201,200

### Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	1850	1	2870	1

<b>Total Acres</b>	<b>Total Buildings</b>	<b>Sq. Ft.</b>	<b>Structure Type</b>	<b>Building Name</b>
C.236	2870		MIXED RES/COMM	THE JADE TRADE'S

### Exterior/Interior Information

Section	Levels	Size	Use
1	B1/B1	1106	APARTMENT
1	01/01	882	MULTI-USE OFFICE
1	02/02	882	MULTI-USE OFFICE

Height	Walls	Heating	A/C
8		HW/STEAM	NONE
8	FRAME	HW/STEAM	NONE
8	FRAME	HW/STEAM	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE

### Building Other Features

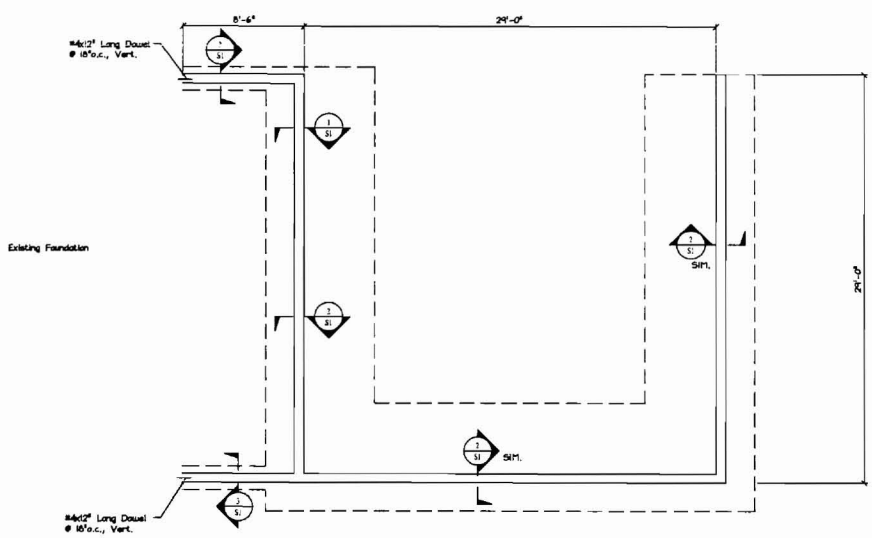
Line	Structure Type	Identical Units
2	WOOD DECK	2
1	WOOD DECK	1

### Yard Improvements

Year Built	Structure Type	Length or Sq. Ft.	# Units
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# EXPIRED



FOUNDATION PLAN  
Scale: 1/4" = 1'-0"

CURRENT REVISION	
NO.	DESCRIPTION

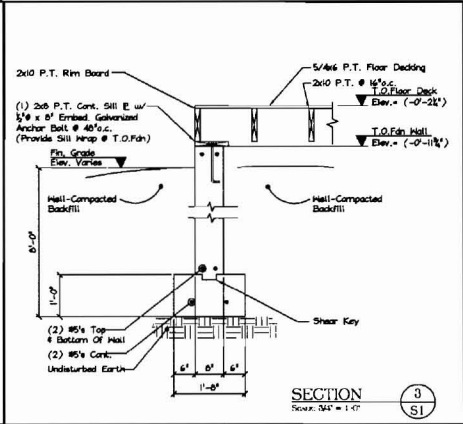
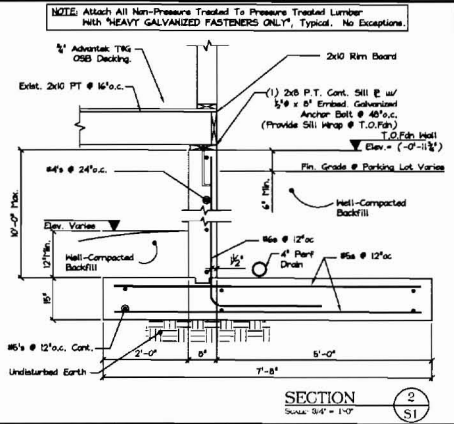
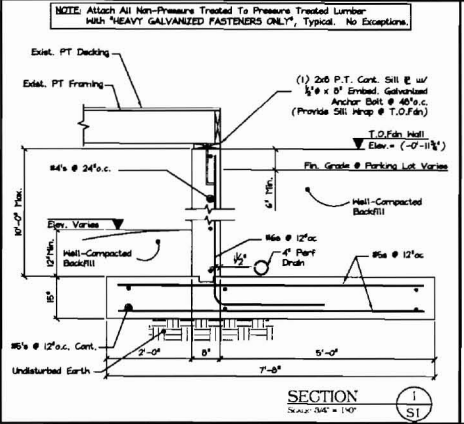
214 Washington Ave  
GLENN MORSE  
BUILDING RENOVATION

MacLeod Structural Engineers, PA  
604 Main Street  
Corkin, Maine 04038  
Phone: (207) 834-8800  
Fax: (207) 834-8801  
www.msemaine.com

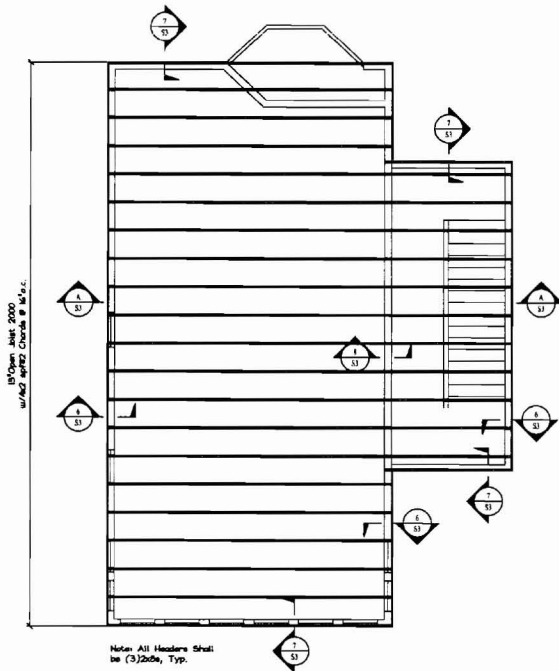
DATE	BY	CHKD BY	APP'D BY

THIS DRAWING IS ISSUED  
AS A PRELIMINARY DESIGN ONLY.  
This Drawing Shall Be Considered a  
"Preliminary Design" ONLY. It is  
Not To Be Used for Construction or  
Contract Documents.  
DATE: 1/20/08  
SCALE: AS NOTED  
PROJECT NO: 2007-000

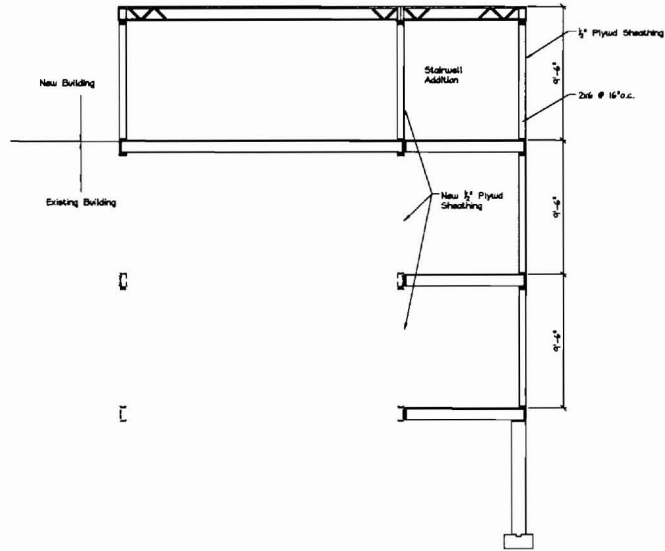
SHEET TITLE:  
FOUNDATION PLAN  
& DETAILS



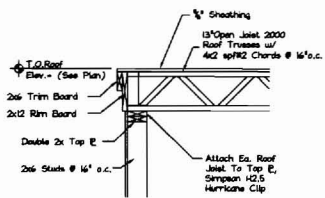




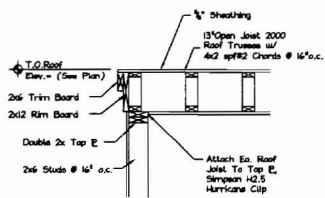
**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



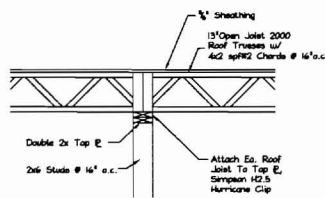
**CROSS SECTION**  
SCALE: 1/4" = 1'-0"



**SECTION 6**  
SCALE: 3/4" = 1'-0"



**SECTION 7**  
SCALE: 3/4" = 1'-0"



**SECTION 8**  
SCALE: 3/4" = 1'-0"

**EXPIRED**

CURRENT REVISION	
NO.	DESCRIPTION
1	ISSUED

GLENN MORSE  
BUILDING RENOVATION  
PORTLAND, MAINE

MacLeod Structural Engineers, PA  
404 Main Street  
Corkton, Maine 04038  
Phone: (207) 824-9800  
Fax: (207) 824-9801  
www.mse-engineers.com  
Professional Seal: [Seal]

THIS DRAWING IS ISSUED	
NO.	DESCRIPTION
1	ISSUED

The Drawing shall be considered a "Contract Document" only when it is signed by the Engineer's Seal & Signature. Changes to this Contract Document shall be made by a "Change Order" - Not for Construction!

**SHEET TITLE:**  
ROOF FRAMING  
PLANS & DETAILS  
S3 OF 4

**GENERAL NOTES:**

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGISTS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY BRACING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- IT IS THE OWNER'S SOLE RESPONSIBILITY TO EMPLOY ONE OR MORE SPECIAL INSPECTORS (IF REQUIRED) TO PROVIDE INSPECTIONS IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF IBC 2003.

**STRUCTURAL DESIGN CRITERIA:**

- BUILDING CODE: IBC 2003 INTERNATIONAL BUILDING CODE
- DESIGN WIND LOADS - MAIN WIND FORCE RESISTING SYSTEM:  
DESIGN WIND SPEED = 100 MPH  
BUILDING USE IMPORTANCE FACTOR (IHD) = 1.0  
BUILDING EXPOSURE CATEGORY = B
- SNOW:  
GROUND SNOW LOAD = 60 PSF  
IMPORTANCE FACTOR, I = 1.0  
EXPOSURE FACTOR, C<sub>e</sub> = 0.7  
FLAT ROOF SNOW LOAD = 42 PSF
- ROOF DEAD LOAD:  
TOP CHORD = 10.0 PSF  
BOTTOM CHORD = 10.0 PSF
- DESIGN SEISMIC CRITERIA:  
EQUIVALENT LATERAL FORCE PROCEDURE  
USE GROUP (CATEGORY) = I  
SOI = 0.328  
SOI = 0.124  
SEISMIC DESIGN CATEGORY = C  
SITE CLASS = C  
R = 7.0  
C<sub>d</sub> = 4.5  
SEISMIC RESISTING SYSTEM = LIGHT FRAMED WALLS WITH SHEAR PANELS  
SEISMIC BASE SHEAR, V = 0.047 x H

**FOUNDATION NOTES:**

- FOUNDATION DESIGNED BASED ON AN ASSUMED MAXIMUM ALLOWABLE BEARING PRESSURE OF 1800 PSF. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY THE SOIL BEARING CAPACITY. NOTIFY THE ENGINEER AND STOP WORK IF CLAY, WET SOILS, FILL, OR OTHER DELETERIOUS MATERIALS ARE ENCOUNTERED.
- DESIGN OF EXTERIOR FOUNDATIONS IS BASED ON A FROST DEPTH OF 4'-6" BELOW FINISHED GRADE.
- NO HORIZONTAL JOINT SHALL BE PERMITTED IN THE WALLS UNLESS NOTED OTHERWISE.
- FOUNDATION CONTRACTOR SHALL SET COLUMN ANCHOR RODS AND LEVELING PLATES, INCLUDING GROUTING, AS PER THE STRUCTURAL STEEL CONTRACTOR'S DRAWINGS.
- EXCAVATING AND BACK FILLING AT NEW FOUNDATION WALLS SHALL BE DONE SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES. WHERE DESIGN CONDITIONS REQUIRE DIFFERENT BACK FILL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET, TO PROVIDE FULL SUPPORT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, INSTALLATION, AND FINAL CLEARANCE OF ANY NEEDLING, SHORING, OR BRACING OF EXISTING STRUCTURES.
- VAPOR BARRIER BENEATH SLAB SHALL BE "STEGO WRAP" OR APPROVED EQUAL.

**CONCRETE NOTES:**

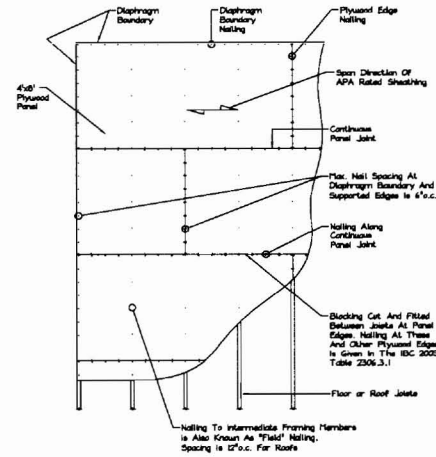
- ALL CONCRETE WORK SHALL CONFORM TO ACI-318.
- ALL CONCRETE EXCEPT INTERIOR AND EXTERIOR SLABS ON GROUND SHALL BE 3000 PSI AT 28 DAYS AND A MAXIMUM SLUMP OF 4". ALL INTERIOR AND EXTERIOR SLABS ON GROUND SHALL BE 4000 PSI AT 28 DAYS AND A MAXIMUM SLUMP OF 4". MAXIMUM SIZE AGGREGATE SHALL BE 1/2" (WALLS/FOOTINGS) AND 1 1/2" (SLABS ON GROUND).
- CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINMENT. NO AIR ENTRAINMENT IN INTERIOR CONCRETE SLABS.
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- REINFORCING BARS SHALL CONFORM TO ASTM A63 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-318 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
- SPICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318.
- ANCHOR RODS SHALL CONFORM TO ASTM F1554-36.
- HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
- CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:  
CONCRETE CAST AGAINST EARTH = 3"  
CONCRETE EXPOSED TO EARTH OR WEATHER = 1 1/2"  
CONCRETE NOT EXPOSED TO EARTH OR WEATHER = 1"

**WOOD FRAMING NOTES:**

- STRUCTURAL LUMBER: SPRUCE PINE FIR NO.1/2 OR BETTER  
F<sub>b</sub> = 575 PSI F<sub>v</sub> = 70 PSI  
E = 1400000 PSI
- DESIGN CODE: IBC 2003 / NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- NAILING REQUIREMENTS FOR PL-WOOD SHEATHING:  
PROVIDE 8d NAILS AS FOLLOWS UNLESS SHOWN OTHERWISE:  
8d NAILS @ 6" O.C. ALONG PANEL EDGES  
8d NAILS @ 12" O.C. ALONG INTERMEDIATE MEMBERS  
PROVIDE BLOCKING AT ALL PANEL EDGES
- SPICE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
- PROVIDE GALVANIZED METAL TIES EQUAL TO SIMPSON H2.5 HURRICANE TIES BETWEEN ROOF RAFTERS OR TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE. PROVIDE GALVANIZED METAL CONNECTORS EQUAL TO SIMPSON TCB2 TRUSS CONNECTOR BETWEEN ALL ROOF SCISSOR TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
- ROOF SHEATHING: 5/8" APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, SPAN RATING 32/16 (TRUSSES), 24/12 (JOISTS). INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
- PROVIDE 1/2" THRU BOLTS STAGGERED @ 24" O.C. FOR ATTACHMENT OF 2x WALLER AT TOP OR BOTTOM OF WF BEAM (COORDINATE W/ PLANS)
- HALL CONSTRUCTION - FIRST FLOOR:  
STUD HEIGHT UP TO 10'-0"  
2x SILL PLATE  
2x TOP PLATE  
1/2" CDX SHEATHING  
FRAMING AS SHOWN ON PLANS
- ROOF CONSTRUCTION:  
FRAMING AS SHOWN ON PLANS  
1/2" APA RATED SHEATHING (REFER TO NOTE #7)  
PROVIDE 8d NAILS @ 12" O.C. ALONG FRAMING MEMBERS.
- ALL NAILS, SPIKES, BOLTS ETC. FASTENING MEMBERS TO PRESSURE TREATED LUMBER SHALL BE EITHER STAINLESS STEEL OR HEAVY GALVANIZED.

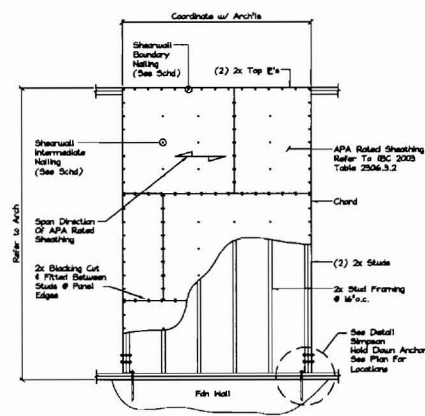
**WOOD TRUSS NOTES:**

- DESIGN CRITERIA FOR ROOF SYSTEM:  
A. LIVE LOAD (SNOW) PER STRUCTURAL DESIGN CRITERIA  
B. DEAD LOAD PER STRUCTURAL DESIGN CRITERIA  
C. WIND LOAD PER STRUCTURAL DESIGN CRITERIA  
D. LOAD COMBINATIONS PER IBC 2003 INTERNATIONAL BUILDING CODE  
E. ALLOWABLE DEFLECTION = L/240  
F. PROVIDE BOTTOM CHORD CAMBER EQUAL TO THE TRUSS DEAD LOAD DEFLECTION.
- MATERIALS:  
A. STRESS GRADED LUMBER, METAL PLATE CONNECTORS
- APPLICABLE SPECIFICATIONS:  
A. NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENING (NDS)  
B. MOST RECENT AISC STANDARDS  
C. DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES, TPI LATEST EDITION.
- BRACING:  
A. TRUSS MANUFACTURER SHALL SPECIFY ALL BRACING FOR BOTH TEMPORARY CONSTRUCTION LOADING AND FOR PERMANENT LATERAL SUPPORT OF GABLE END TRUSS AND COMPRESSION MEMBERS, AS WELL AS ERECTION PROCEDURES.  
B. MINIMAL BRACING REQUIREMENTS AND INSTRUCTIONS FURNISHED BY TRUSS MANUFACTURER SHALL INCLUDE AND CONFORM TO IBC-1000.  
C. ALL TEMPORARY AND PERMANENT BRACING SHALL BE MINIMUM 2x4 SPP No. 2 MATERIAL CONNECTED WITH MINIMUM 2-1/2" DIA NAILS AT ALL CONNECTIONS, UNLESS OTHERWISE SPECIFIED BY TRUSS MANUFACTURER OR HIS-91.  
D. THE CONTRACTOR SHALL COMPLY WITH THE "CONVENTIONAL" AND RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, HIS-91. IT IS THE RESPONSIBILITY OF THE INSTALLER/CONTRACTOR TO PROPERLY RECEIVE, UNLOAD, STORE, HANDLE, INSTALL, AND BRACE TRUSSES TO PROTECT LIFE AND PROPERTY.
- ALL FABRICATED TRUSSES SHALL RECEIVE THE TPI MARK OF APPROVAL IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE PROCEDURES.
- SUBMIT TRUSS SHOP DRAWINGS FOR REVIEW PRIOR TO TRUSS MANUFACTURE.
- ANY VARIATIONS BY THE TRUSS MANUFACTURER FROM THESE DRAWINGS INCLUDING BUT NOT LIMITED TO THE NEED FOR BIRD NOTCHES SHALL BE CLEARLY NOTED ON THE TRUSS DRAWINGS. APPROPRIATE DETAILS SHALL BE PROVIDED, WHICH SHOW SUCH VARIATIONS. ALL VARIATIONS SHALL BE APPROVED BY THE ENGINEER.



**NAILING SCHEDULE:**  
Diaphragm Boundary (Blocked & Un-Blocked)  
8d Nails @ 6" o.c.  
Blocked Panel Edge  
8d Nails @ 6" o.c.  
Intermediate Support (Field)  
8d Nails @ 12" o.c.

DETAIL - SHEATHING NAILING PLAN (ROOF OR FLOOR)  
SCALE: 1/2" = 1'-0"



**NAILING SCHEDULE:**  
Shearwall Boundary  
8d Nails @ 6" o.c.  
Blocked Panel Edge  
8d Nails @ 6" o.c.  
Intermediate Support (Field)  
8d Nails @ 12" o.c.

DETAIL - SHEAR WALL  
SCALE: 1/2" = 1'-0"

DATE	DESCRIPTION

NAME

GLENN MORSE  
BUILDING RENOVATION

PORTLAND

MacLead Structural Engineers, PA  
401 Main Street  
Canton, Maine 04013  
Phone: (207) 838-0800  
Fax: (207) 838-0801  
www.maclead.com

DATE	DESCRIPTION

THIS DRAWING IS ISSUED AS SHOWN ON THIS PLAN. THIS DRAWING SHALL BE CONSIDERED A "CONTRACT DOCUMENT" ONLY WHEN IT IS USED IN CONJUNCTION WITH THE PROJECT'S SPECIFICATIONS AND CONTRACT DOCUMENTS. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION SHOWN HEREON.

DESIGN BY: (sds)  
CHECKED BY: (sds)  
DATE: 1/20/08  
SCALE: AS NOTED  
PROJECT NO.: 2007-000

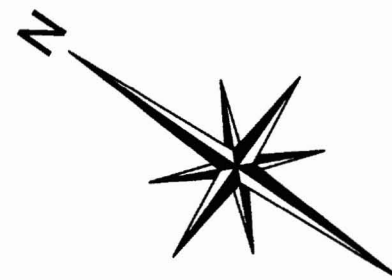
SHEET TITLE:

NOTES

EXPIRED

# EXPIRED

## WASHINGTON AVENUE



Ⓣ

EXISTING CURB CUT

LIMIT OF EXISTING PARKING

front set back average = 6.5'

3.5'  
8.5'  
7.4'

28X 28 ±  
~~CONCRETE~~  
Gravel &  
Grass

FOUNDATION WALL  
GUARD RAIL

EXISTING BUILDING

APPROXIMATE LIMITS OF RIP RAP SLOPE

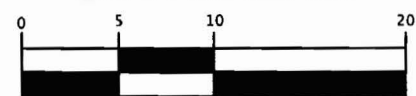
EL. 99.0 ±

EL. 99.0 ±

RIP RAP SLOPE 1:1

EXISTING GARAGE

GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.

FOR PRELIMINARY REVIEW ONLY - NOT FOR CONSTRUCTION

LAND CONSULTING ENGINEERS, PA  
967 BROADWAY  
SOUTH PORTLAND, MAINE 04106  
(207) 767-7300



SITE SKETCH PLAN

GLENN MORSE  
218 WASHINGTON AVE.  
PORTLAND  
MAINE

DATE: 01/28/08

C.I.: 10'

SCALE: 1"=10'

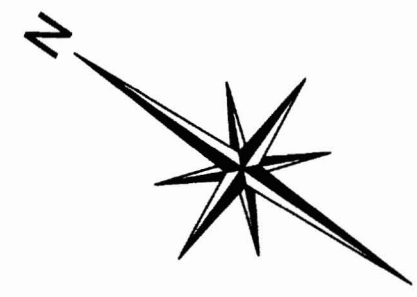
DRAWING

### C1

LCE07101



# EXPIRED

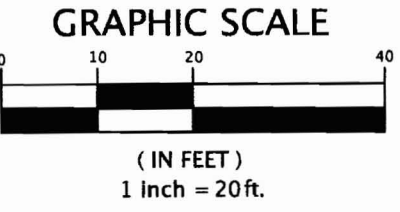
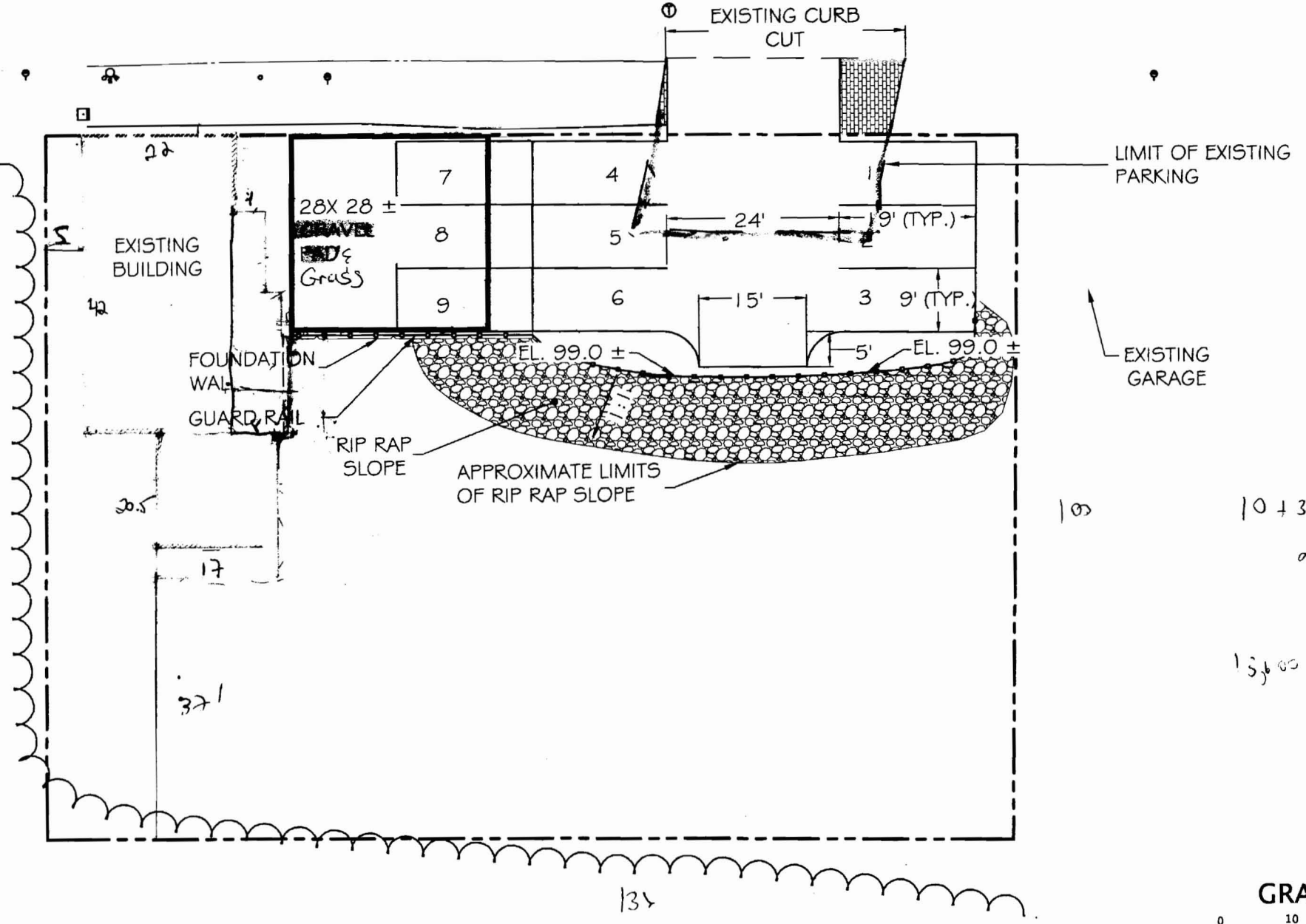


## WASHINGTON AVENUE

$20 \times 6 = 120$   
 $4 \times 11 = 44$   
 $20.5 \times 17 = 348.5$   
 $22 \times 42 = 924$   


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 $1436.5$   
 $90\% = 1149.2$



$10 + 3 = 13'$   
*average = 6.5*  
 $13 \times 0.5$

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LAND CONSULTING ENGINEERS, PA  
 967 BROADWAY  
 SOUTH PORTLAND, MAINE 04106  
 (207) 767-7300



SITE SKETCH PLAN  
**GLENN MORSE**  
**218 WASHINGTON AVE.**  
 PORTLAND  
 MAINE

SCALE: 1"=20'  
 DATE: 02/01/08  
 C.I.: 10'

DRAWING  
**C1**

LCE07101