

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 070034
APR - 4 2007
CITY OF PORTLAND

This is to certify that MORGAN GAVIN LLC / property owner
has permission to Remove existing sunroom & create large sunroom on existing deck
AT 218 WASHINGTON AVE 010 A015001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services closed-in. 4 HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Jay Kelly P.F.D. 1/18/07
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 4/4/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0034	Issue Date:	CBL: 010 A015001
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Location of Construction: 218 WASHINGTON AVE	Owner Name: MORGAN GAVIN LLC	Owner Address: PO BOX 1466	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B1b

Past Use: Mixed Use	Proposed Use: Mixed Use remove existing sunroom & create larger sunroom on existing deck	Permit Fee: \$50.00	Cost of Work: \$2,500.00	CEO District: 1
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Proposed Project Description:
Remove existing sunroom & create larger sunroom on existing deck

FIRE DEPT: Approved Denied

INSPECTION: Use Group: R/B Type: SB

Signature: *JLK PFD 11/18/07*

Signature: *IBC 2003*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

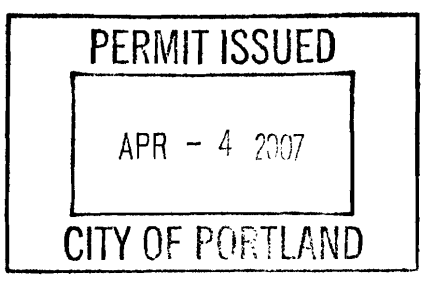
Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: 01/10/2007	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>01/10/07</i>	Date: _____	Date: <i>ABM</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0034	Date Applied For: 01/10/2007	CBL: 010 A015001
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Location of Construction: 218 WASHINGTON AVE	Owner Name: MORGAN GAVIN LLC	Owner Address: PO BOX 1466	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Mixed Use remove existing sunroom & create larger sunroom on existing deck	Proposed Project Description: Remove existing sunroom & create larger sunroom on existing deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 01/16/2007

Note: **Ok to Issue:**

- 1) This property shall remain as a residential dwelling unit on the bottom floor and medical offices on the first and second floors. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 04/04/2007

Note: rec'd additional info from Glen - went over construction **Ok to Issue:**

- 1) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 2) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved **Reviewer:** Jay Kelley **Approval Date:** 01/18/2007

Note: **Ok to Issue:**

- 1) Approved. (single family res) build to code

Comments:

1/12/2007-amachado: Left message for Glen Morse. Need to know size of existing sunroom. The sunroom is located on the bottom floor/basement of the building. The use has not been established yet for that space. (#07-0032), so this permit is also on hold. Application says that use is two unit. Needs to be more specific.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

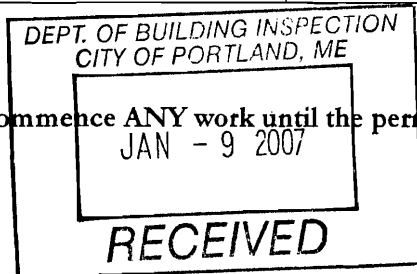
Location/Address of Construction: <u>218 Washington Ave</u>		
Total Square Footage of Proposed Structure <u>225</u> ^{sq}	Square Footage of Lot <u>11,700</u> ^{sq}	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: <u>Glenn Morse</u>	Telephone: <u>590-3877</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>2500</u> ⁰⁰ Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>2 unit - dwelling with basement (02-0032) medical offices</u>		
If vacant, what was the previous use? <u>Deck w/ sunroom</u> 1st-2nd floor		
Proposed Specific use: <u>connected dwelling unit</u>		
Project description: <u>Remove old sunroom, construct new larger sunroom</u> <u>sunroom located on bottom (basement floor)</u> <u>14'x16'</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Glenn Morse</u>		
Mailing address: _____ Phone: <u>590-3877</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

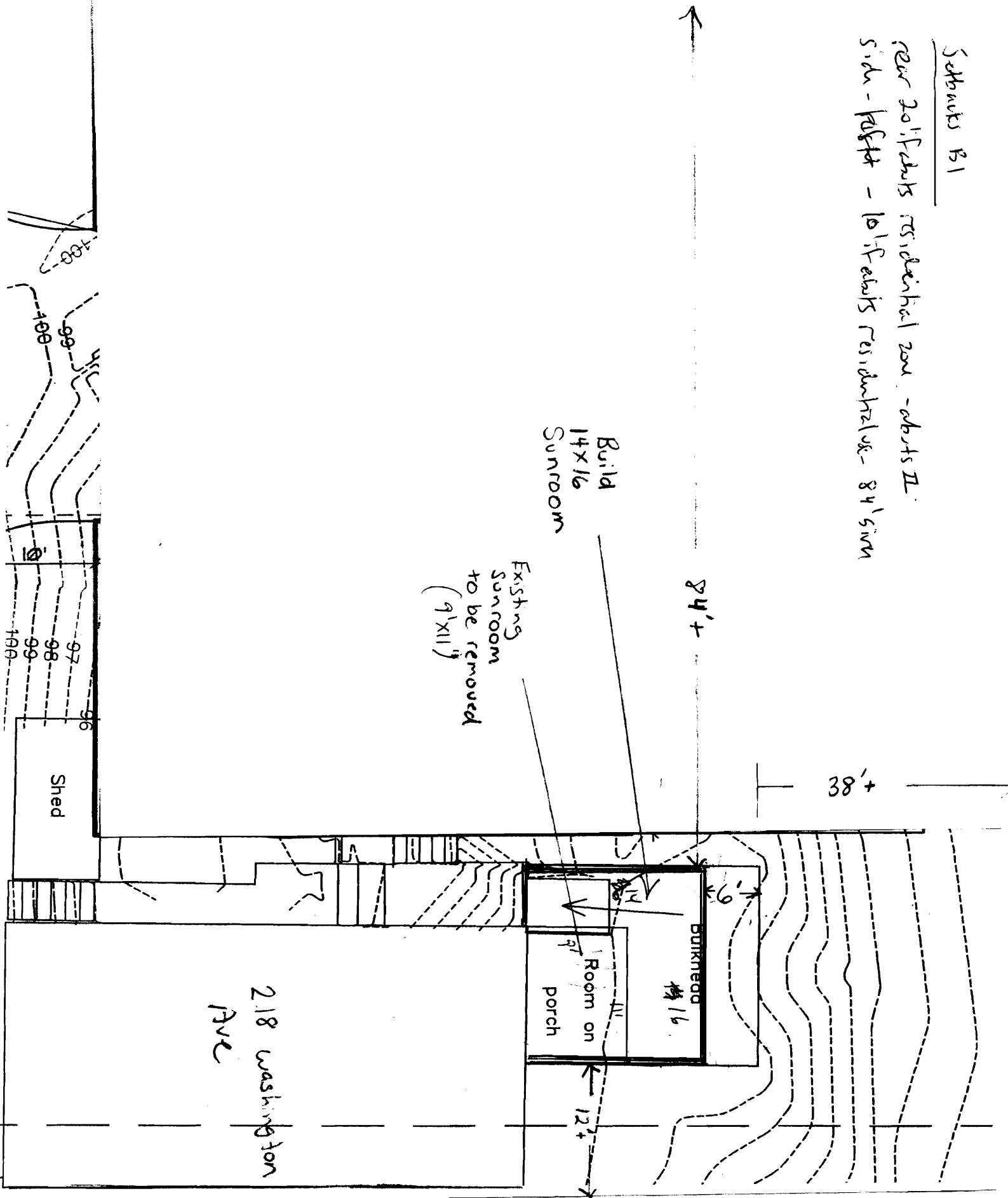
Signature of applicant: 	Date: <u>1-10-07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

Subplots B1

near 201' setbacks residential zone - abstracts II.
side - 101' setbacks residential use - 84' swim



Existing Building

Foundation

metal roof

2x10 Rafters - 13' span
@ 16" oc

5/8 Plywood

2x8 Headers

2x6 Studwall @ 16" oc

Stucco siding

Existing
Railing
Put back

2x6 beams

2x6

7'

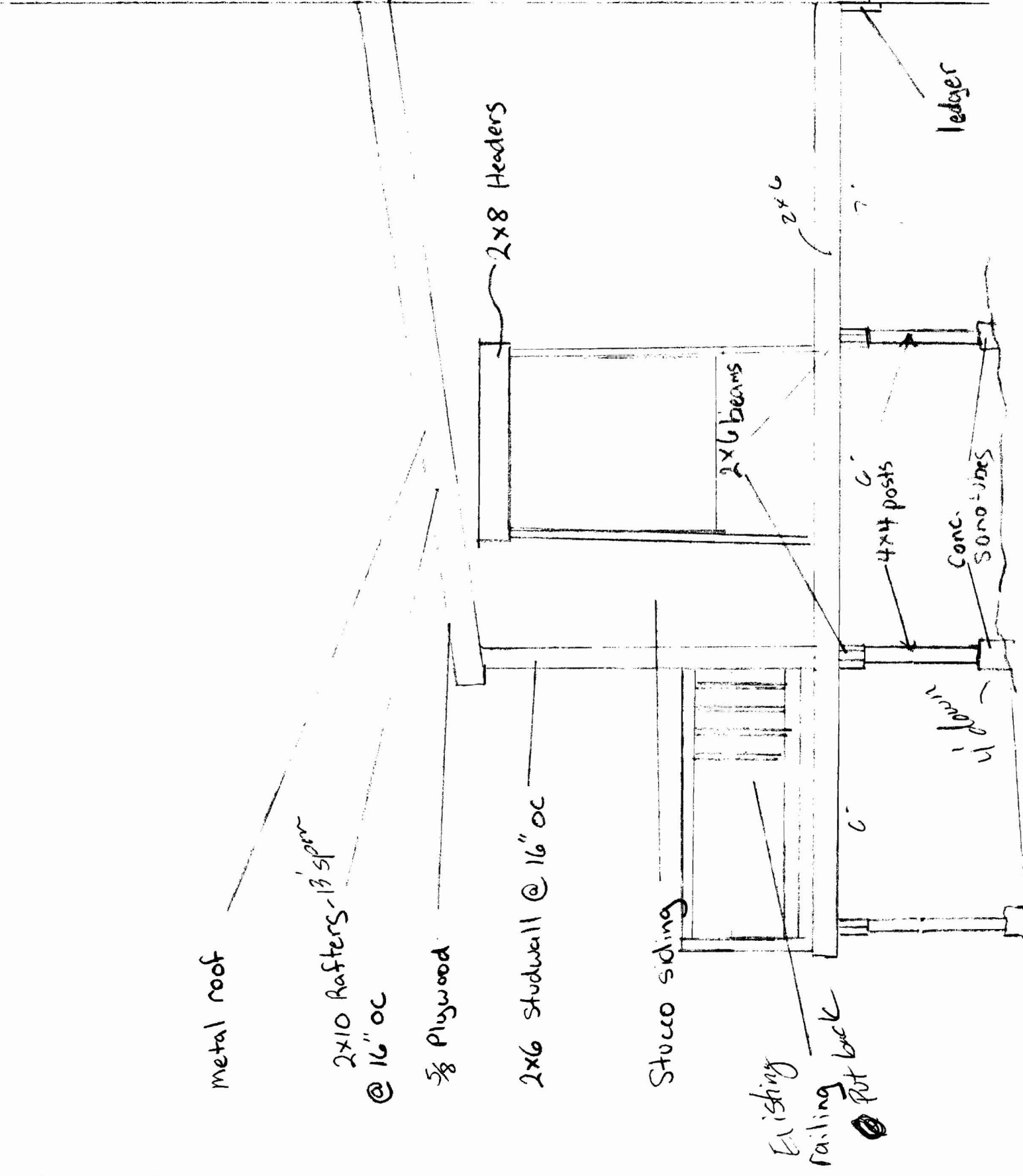
6'

4x4 posts

Conc. Sonotubes

ledger

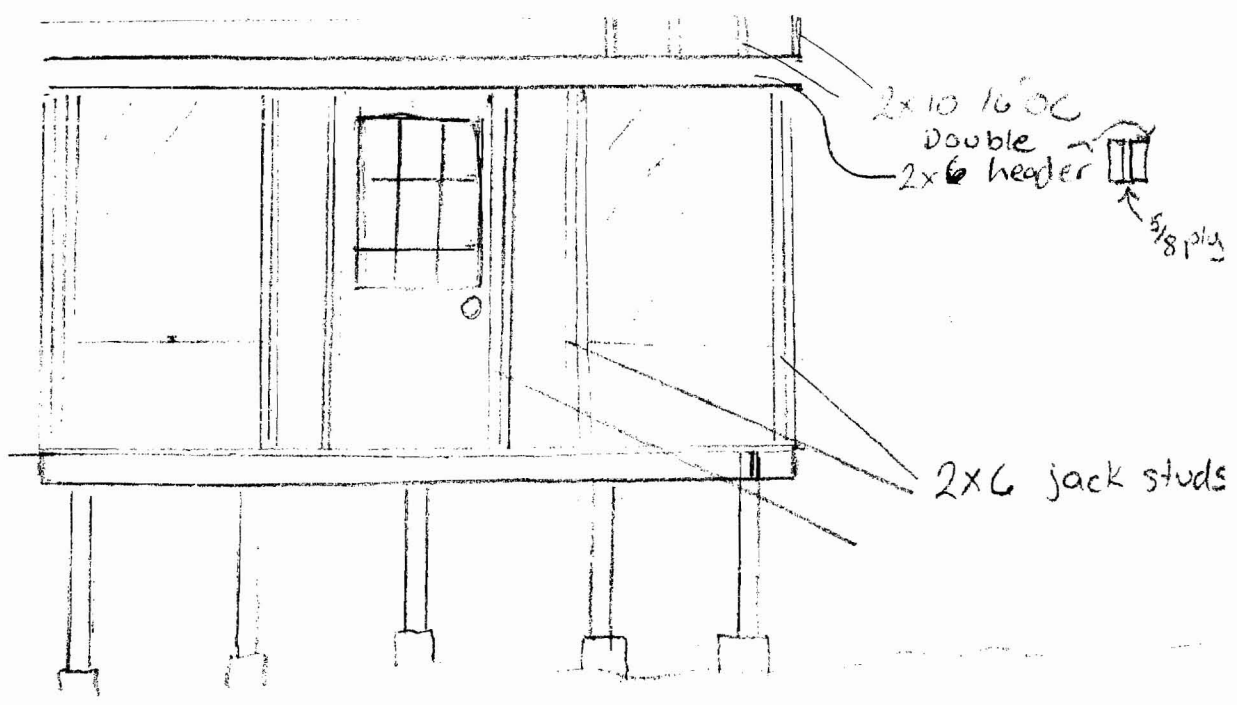
1/2" gap



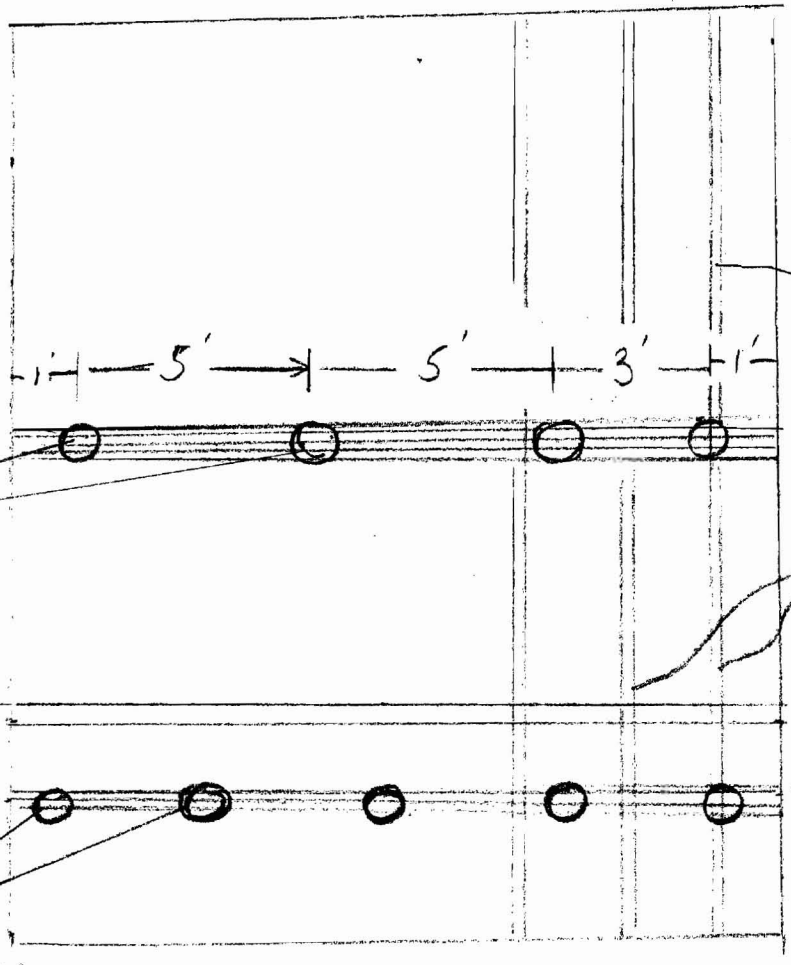
218 Washington

Metal roof

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 FEB 21 2007
 RECEIVED



Sono tube and post
 support framing for
 triple 2x6 beam
 5' oc max



Double 2x6 framing
 @ 16" OC

Sono tube and post
 support framing
 for triple
 2x6 beam 4' oc min.

line of 2x6 wall
 sunroom