

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

Permit Number: 0603576
APR 6 2006

RECEIVED

Please Read
Application And
Notes, If Any,
Attached

DEPARTMENT OF BUILDING INSPECTION
PERMIT

This is to certify that MORSE GLENN A /Glen Morse

has permission to build a new deck

AT 218 WASHINGTON AVE

010 A015001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is started or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

PERMIT ISSUED

APR - 6 2006

CITY OF PORTLAND

Thomas M. Markley 4/6/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0357	Issue Date: APR - 6 2006	CBI: 0 0 A015001
-----------------------	-----------------------------	---------------------

Location of Construction: 218 WASHINGTON AVE	Owner Name: MORSE GLENN A	Owner Address: 218 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Glen Morse	Contractor Address:	Phone: 2075903877
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Duplex	Zone: R3

Past Use: Duplex	Proposed Use: Duplex/ build a new deck	Permit Fee: \$39.00	Cost of Work: \$2,000.00	CEO District: 1
build a new deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group R-3 Type: 5B IRC 2003 Signature: Jm 4/6/06	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:				

Permit Taken By: Idobson	Date Applied For: 03/09/2006	Zoning Approval		
-----------------------------	---------------------------------	------------------------	--	--

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland OK <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 4/6/06 Jm	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 04,5,06 Jm
	<p>B1B Zone?</p>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0357	Date Applied For: 03/09/2006	CBL: 010 A015001
------------------------------	--	----------------------------

Location of Construction: 218 WASHINGTON AVE	Owner Name: MORSE GLENN A	Owner Address: 218 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Glen Morse	Contractor Address:	Phone: (207) 590-3877
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	

Proposed Use: Duplex/ build a new deck	Proposed Project Description: build a new deck
--	--

Dept: Zoning	Status: Approved	Reviewer: Tom Markley	Approval Date: 04/06/2006
Note:	Ok to Issue: <input checked="" type="checkbox"/>		

Dept: Building	Status: Approved	Reviewer: Tom Markley	Approval Date: 04/05/2006
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

Comments:
3/31/2006-tm: 3-30-06 spoke to owner am and informed him that there was much more info needed before we can issue permit. He said he would come in the office today and provide info. Gave permit and needed requirements to Lannie.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

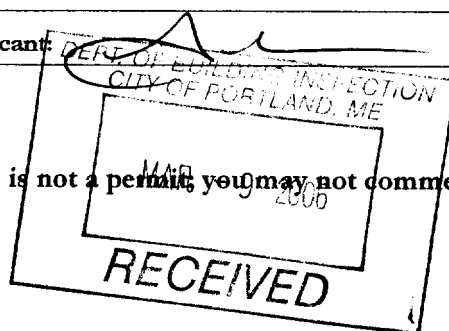
Total Square Footage of Proposed Structure 320			Square Footage of Lot 11,800		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 10 A 15			owner: Glenn Morse		Telephone: 590-3877
Lessee/Buyer's Name (If Applicable)			Applicant name, address & telephone: Glenn Morse 218 Washington Ave 590-3837		cost Of Work: \$2,000 Fee: \$ 39.00 C of O Fee: \$ N/A
If vacant, what was the previous use? ↘ _____					
Proposed Specific use: _____					
Project description: build new deck					
Contractor's name, address & telephone: Glenn Morse construction 590-3877					
Who should we contact when the permit is ready Same					
Mailing address: _____ Phone: _____					

Please submit all of the information outlined in the Commercial Application Checklist. Failure to **do** so will result in the automatic denial of **your** permit.

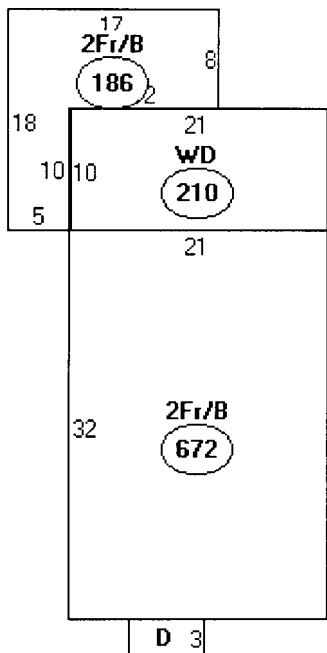
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representatives shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: _____	Date: 3/9/06
-------------------------------	--------------



#3016



Descriptor/Area

A: 2Fr/B
672 sqft

B: WD
210 sqft

C: 2Fr/B
186 sqft

D: FBAY
18 sqft

1066
~~78~~
~~1164~~
 10,300 Sq Ft Lot
 Ok 11%

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	010 A015001
Location	218 WASHINGTON AVE
Land Use	TWO FAMILY
Owner Address	MORSE GLENN A 218 WASHINGTON AVE PORTLAND ME 04101
Book/Page	22895/028
Legal	10-A-15 WASHINGTON AVE 210-218 10300 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$53,420	\$66,820	\$120,240

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$72,400	\$86,600	\$159,000

* Value subject to change based upon review of property status as of 4/1/06.
The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1850	Style Old Style	Story Height 2	Sq. Ft. 1734	Total Acres 0.236		
Bedrooms 4	Full Baths 2	Half Baths	Total Rooms 9	Attic None	Basement Full	

Outbuildings

Type SHED-FRAME	Quantity 1	Year Built 1900	Size 12X6	Grade D	Condition A <i>7858 FT</i>
---------------------------	----------------------	---------------------------	---------------------	-------------------	--------------------------------------

Sales information

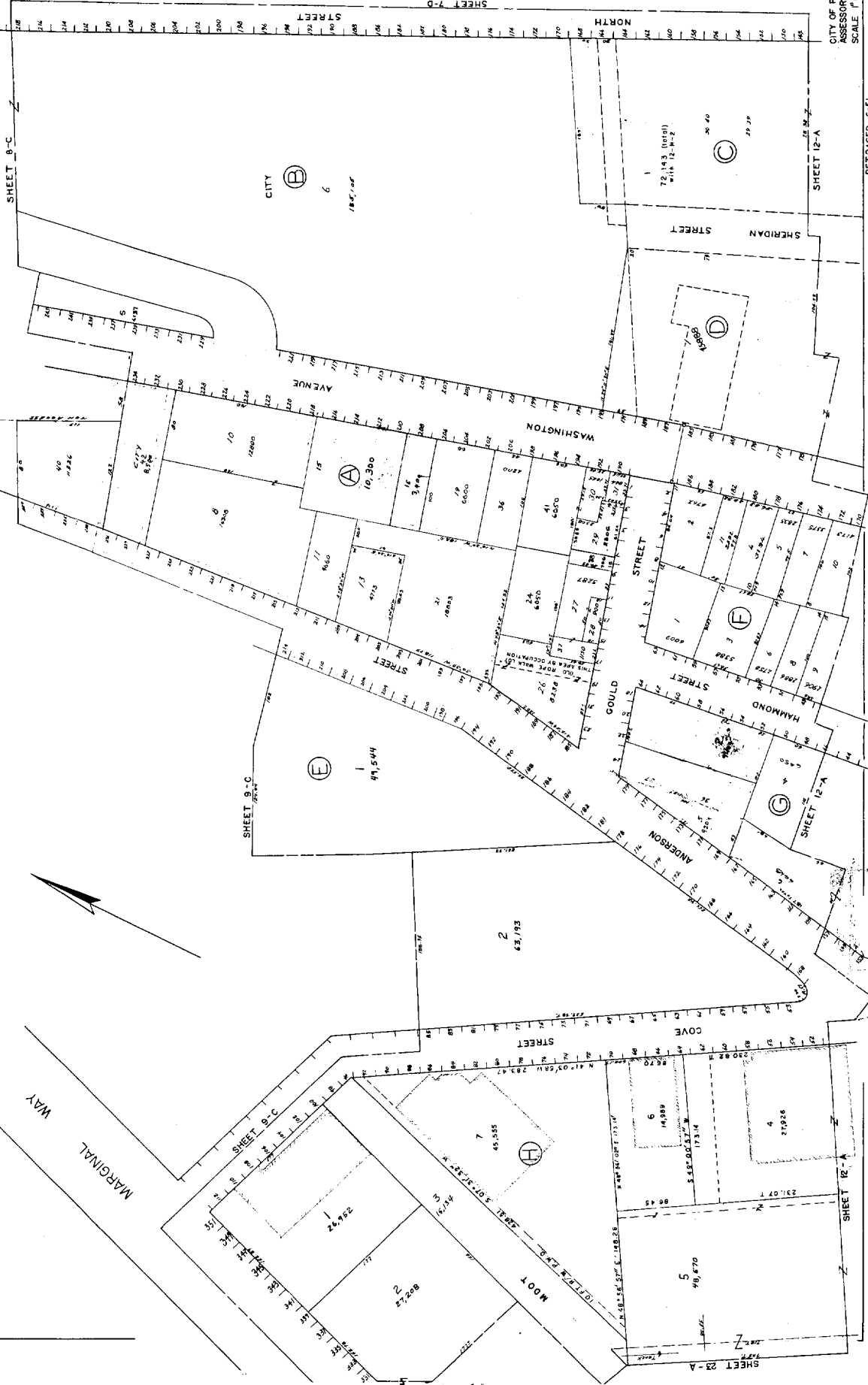
Date 07/15/2005	Type LAND + BLDING	Price \$224,900	Book/Page 22895-028
---------------------------	------------------------------	---------------------------	-------------------------------

Picture and Sketch

Picture Sketch Tax Map

[Click here to view Tax Roll Information.](#)

1010



CITY OF PORTLAND
ASSESSORS PLAN
SCALE 1" = 50'

RETRACED 6-51

Applicant:

Date:

Address:

C-B-L:

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R3

Interior or corner lot - No

Proposed Use/Work - Deck

Sewage Disposal -

Lot Street Frontage -

Front Yard - 25 required - 25 + shown

Rear Yard - 25 required - 83 shown

Side Yard - 14 ft required - 22 + 60 shown

Projections -

Width of Lot -

Height -

Lot Area -

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

100'

Property Line

Permit #
060357

83'

118'

WASHINGTON AVE

22'

Ramp

6'-0"

Existing Shed

Sidewalk

Proposed New Deck

10'

218
Washington Ave
Existing

60'

100'

Property Line

118'

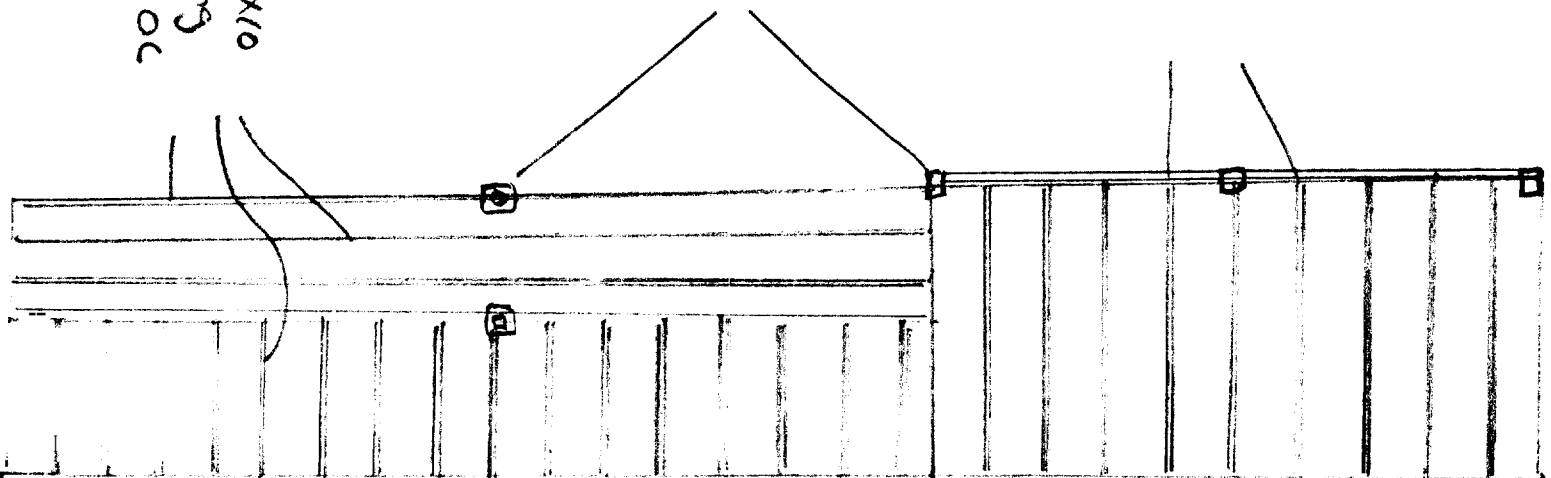
Property Line

4x6
Pressure
Treated
Posts

2x10
Framing
16" OC

2x10
Framing
16" OC

Existing House



Double 2x10 ledgers
bolted to 4x6 columns
w/ 3/8" diameter galv.
bolts

4'-3'-0" + 7

Existing Building

2x10 floor joists @ 16" oc

2x10 pt ledgers bolted w/ 3/8 dia + 09 15
@ 16" oc

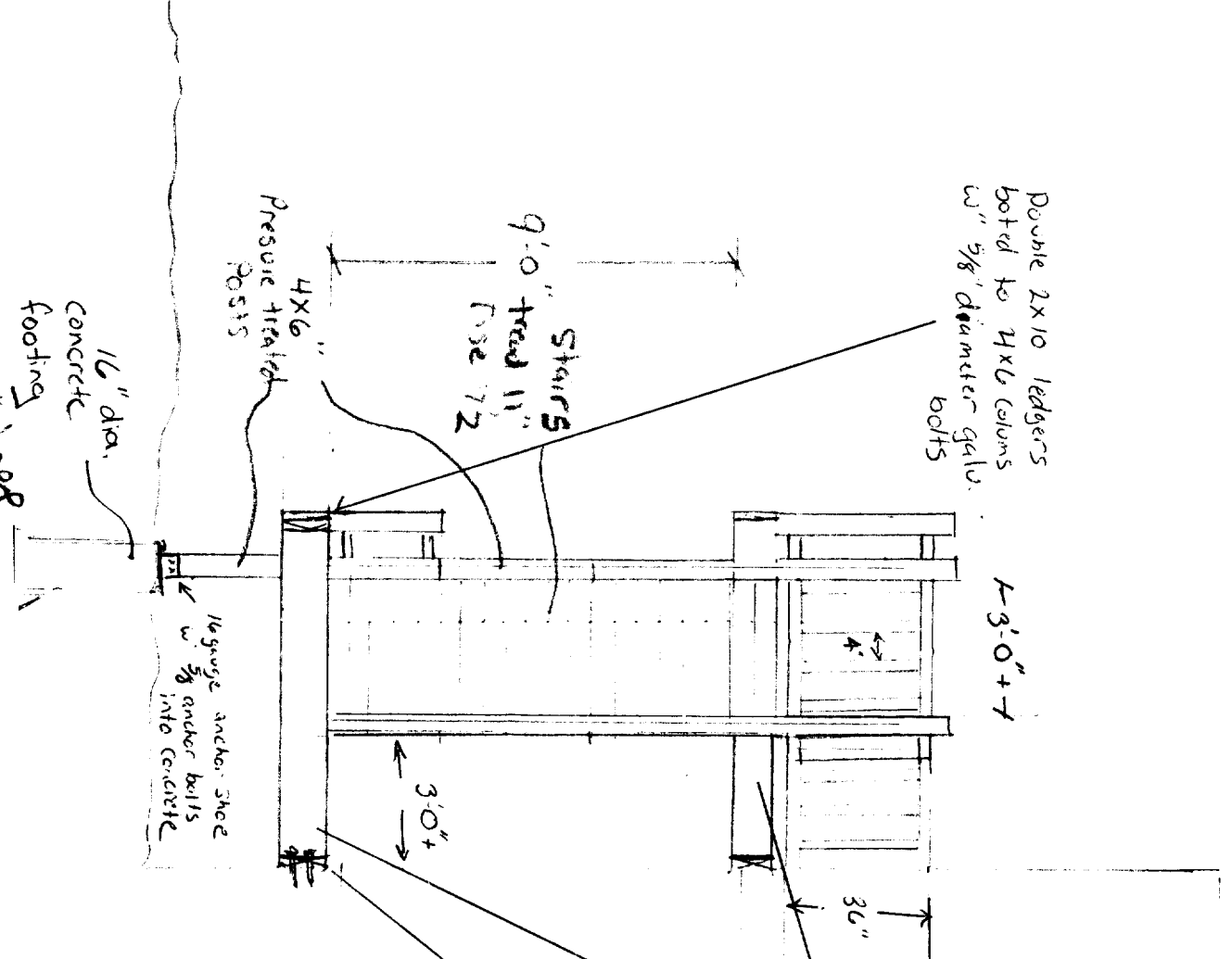
9'-0" tread 11"
rise 72
Stairs

4x6"
Pressure treated
posts

16" dia.
concrete
footing
7' 00" dia

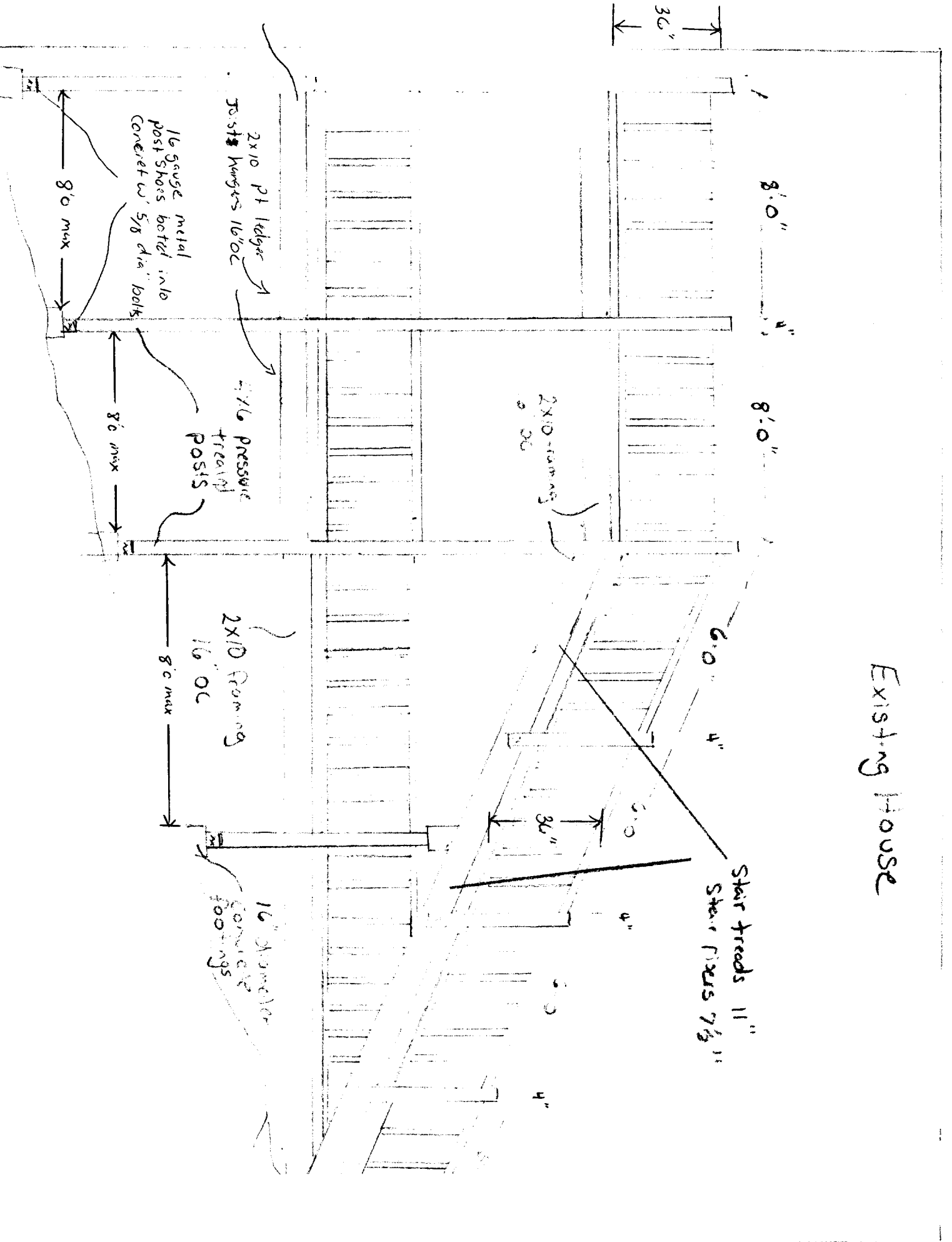
16 gauge anchor shoe
w/ 3/8 anchor bolts
into concrete

7' 00" dia



218 Washington Ave

Existing House



218 Washington Ave
Olen Morse - 590-3877

BUILDING A DECK???

INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled. 5' 2"

2. Type of foundation system

- Diameter of concrete filled tube or pre cast concrete pier size 16" ...
- depth below grade (minimum 4'-0" below grade) ...
- anchorage of column to footing 1/2" gauge anchor shoes w
- spacing and location of tubes/piers all tubes/piers max span of 8'0"

3. Framing Members

- Columns - wood size and location (members supporting framing of floor system) 4x4 @ 1'
- Ledger size attached to building 2x10 pt
- Fastener size and spacing attaching ledger 5/8" lag bolts at 16" OC
Girder Size and spans carrying floor system double 2x10' pt 8'0' max span
- Joist size, span, and spacing 2x12 joists 16" OC
- Joist hangers or ledger both joist hangers and ledgers of pt 2x4

4. Guardrails & Handrail Details

- Guardrail height 36" minimum
- Baluster spacing 4" minimum
- Handrail height 36" handrail height

5. stair Details

- Tread depth (measured nosing to nosing) 11"
- Riser height 7 1/2"
- Nosing on tread square nose on 2x12 Pressure treated tread
- Width of stairs

O = circled items missing info



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection:** Prior to pouring concrete
- ~~_____ **Re-Bar Schedule Inspection:** Prior to pouring concrete~~
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

_____ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

CBL: 010 A015

Building Permit #: 060357

ELECTRICAL PERMIT

City of Portland, Me.

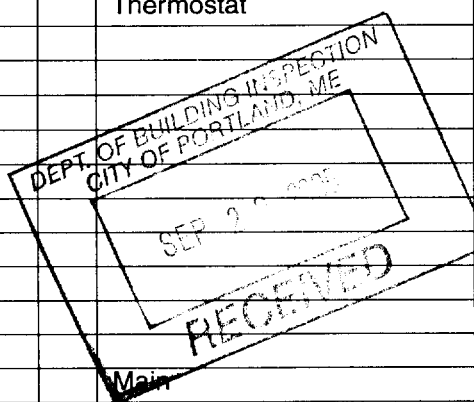


To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date _____
 Permit # 2005-4878
 CBL# 10 A 15

LOCATION: 318 Washington Ave METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER Glen Morse
 TENANT _____ PHONE # _____

						TOTAL	EACH	FEE
OUTLETS	<u>10</u>	Receptacles	<u>10</u>	Switches	<u>5</u>	Smoke Detector		.20
FIXTURES	<u>10</u>	Incandescent		Fluorescent		Strips		.20
SERVICES		Overhead		Underground		TTL AMPS <800		15.00
		Overhead		Underground		>800		25.00
Temporary Service		Overhead		Underground		TTL AMPS		25.00
								25.00
METERS		(number of)						1.00
MOTORS		(number of)						2.00
RESID/COM		Electric units						1.00
HEATING		oil/gas units		Interior		Exterior		5.00
								2.00
APPLIANCES		Ranges		Cook Tops		Wall Ovens		2.00
		Insta-Hot		Water heaters		Fans		2.00
		Dryers		Disposals		Dishwasher		2.00
		Compactors		Spa		Washing Machine		2.00
		Others (denote)						2.00
MISC. (number of)		Air Cond/win						3.00
		Air Cond/cent				Pools		10.00
		HVAC		EMS		Thermostat		5.00
		Signs						10.00
		Alarms/res						5.00
		Alarms/com						15.00
		Heavy Duty(CRKT)						2.00
		Circus/Carnv						25.00
		<input checked="" type="checkbox"/> Alterations						5.00
		Fire Repairs						15.00
	E Lights						1.00	
	E Generators						20.00	
PANELS		Service		Remote				4.00
TRANSFORMER		0-25 Kva						5.00
		25-200 Kva						8.00
		Over 200 Kva						10.00
						TOTAL AMOUNT DUE		
						MINIMUM FEE/COMMERCIAL 45.00		
						MINIMUM FEE		<u>35.00</u>



52/10

APPLICANT'S NAME Joe Falcone
BTDaggett St
318-5144

MASTER LIC. # MS10016408
 LIMITED LIC. # _____

CONTRACTOR Joe Falcone
 White Copy - Office • Yellow Copy - Applicant

836

PROPERTY ADDRESS

Town or Plantation: Portland

Street Subdivision Lot #: 115 ...

PROPERTY OWNERS NAME

Last: Morse First: ...

Applicant Name: _____

No. of Owner/Applicant (If Different): _____

PORTLAND PERMIT # 9585 TOWN COPY

Date Permit Issued: 10/7/05 \$ 241.00 Double Fee Charged

Thomas M. ... L.P.I. # 0244

Local Plumbing Inspector Signature

10 A 015

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit

Signature of Owner/Applicant: _____ Date: 10/7/05

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: _____

PERMIT INFORMATION

This Application is for	Type of Structure To Be Served:	Plumbing To Be Installed By:
1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input checked="" type="checkbox"/> RELOCATED PLUMBING	1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER-SPECIFY _____	1. <input type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input checked="" type="checkbox"/> PROPERTY OWNER

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<p>OR</p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p>		Hosebibb/ Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease/ Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
<p>OR</p> <p>TRANSFER FEE [\$6.00]</p>		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
				Fixtures (Subtotal) Column 2
				Total Fixtures
				Fixture Fee
				Transfer Fee
			Hook-Up & Relocation Fee	
			Permit Fee (Total)	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Page 1 of 1 HHE-211 Rev. 7/04

TOWN COPY 10/24 34