

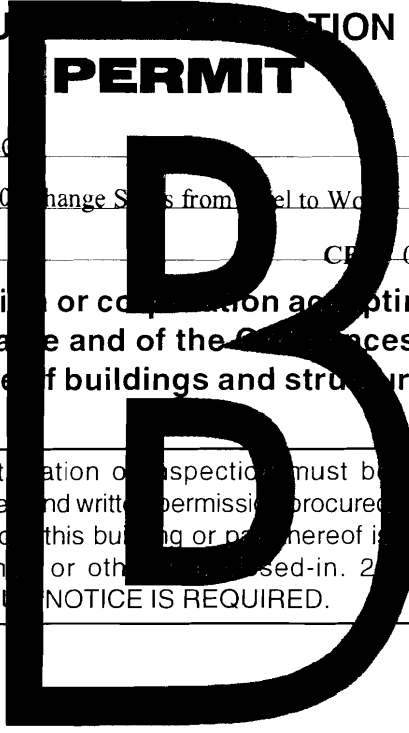
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 081426

Please Read
Application And
Notes, If Any,
Attached



This is to certify that CHADBALLS HOLDING LLC
has permission to Amentdment to permit 08-0950 change Sides from level to Wood
AT 219 ANDERSON ST CP 010 A008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Cheryl S. M.
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

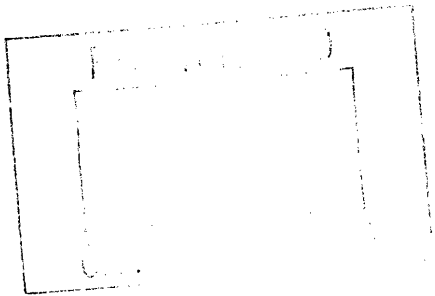
Permit No: 08-1426	Issue Date: 11/7/08	CBL: 010 A008001
-----------------------	------------------------	---------------------

Location of Construction: 219 ANDERSON ST	Owner Name: CHADBALLS HOLDING LLC	Owner Address: PO BOX 641	Phone: 207-450-0370
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	Zone:

Past Use: Industrial Multi Use	Proposed Use: Industrial Multi Use - Amentdment to permit 08-0950/ Change Stairs from Steel to Wood	Permit Fee: \$30.00	Cost of Work: \$0.00	CEO District: 1
Proposed Project Description: Amentdment to permit 08-0950/ Change Stairs from Steel to Wood		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: F-2 Type: 3B IBC-2007	
		Signature: <i>CU 11/7/08</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 11/06/2008	Zoning Approval		
-------------------------	---------------------------------	------------------------	--	--

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input checked="" type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: 11/7/08 <i>CU</i>	Date: _____	Date: 11/7/08

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1426	Date Applied For: 11/06/2008	CBL: 010 A008001
------------------------------	--	----------------------------

Location of Construction: 219 ANDERSON ST	Owner Name: CHADBALLS HOLDING LLC	Owner Address: PO BOX 641	Phone: 207-450-0370
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	

Proposed Use: Industrial Multi Use - Amentdment to permit 08-0950/ Change Stairs from Steel to Wood	Proposed Project Description: Amentdment to permit 08-0950/ Change Stairs from Steel to Wood
---	--

Dept: Zoning	Status: Approved	Reviewer: Chris Hanson	Approval Date: 11/07/2008	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date: 11/07/2008	Note:	Ok to Issue: <input checked="" type="checkbox"/>
1) Guards must be 42 inches in height with openings less than 4 inches. Graspable rails must be installed on both sides of the stair guard. Stair treads shall not be less than 11". Stair risers shall not be more than 7". 2) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.					



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>219 Anderson St.</u>		
Total Square Footage of Proposed Structure <u>13,000 sq ft</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>10</u> Block# <u>A008</u> Lot# <u>0001</u>	Owner: <u>Bill Simp</u>	Telephone: <u>874-0700</u> <u>503-0370</u>
Lessee/Buyer's Name (If Applicable) <u>CHADBALL'S HOLDINGS LLC</u>	Applicant name, address & telephone: <u>Bill Simp</u> <u>P.O. Box 641</u> <u>Freemont, ME 04032</u>	Cost Of Work: \$ <u>0</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>LIGHT INDUSTRIAL</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>change stairs from steel to wood. Permit 081-0950</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>Bill Simp</u> Mailing address: _____ Phone: <u>874-0700</u> <u>NOV 4 2008</u>		

Please submit all of the information outlined in the Commercial Application. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the request additional information prior to the issuance of a permit. For further information other applications visit the Inspections Division on-line at www.portlandmain.gov room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner has been authorized by the owner to make this application as his/her authorized agent. I agree that if a permit for work described in this application is issued, I certify that the City has the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the permit.

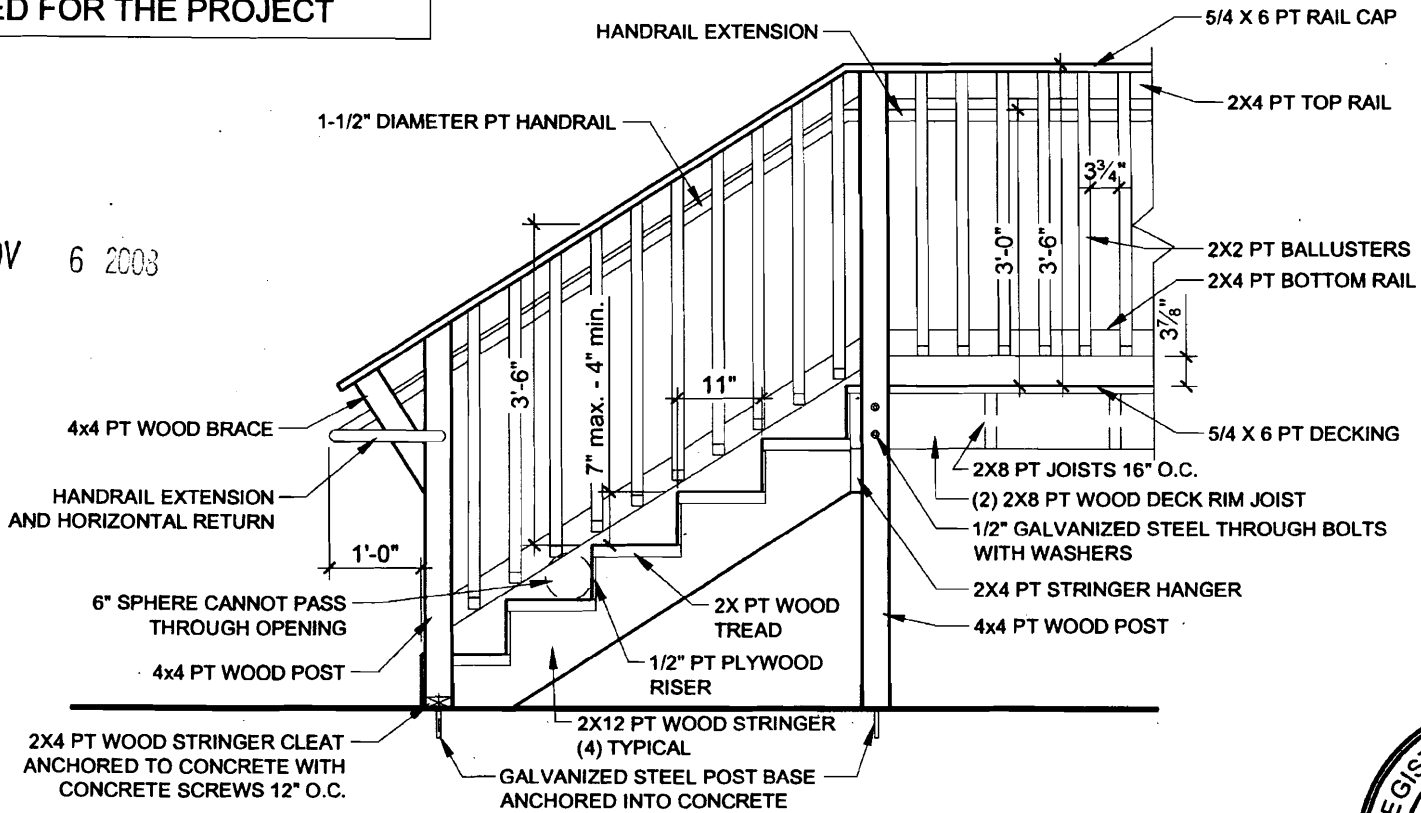
Signature of applicant: Bill Simp

This is not a permit; you may not commence ANY work until the permit is issued.

*Scott Teas. With
E-mail CHRISTIANSON
STAIRS ON STAIRS -
775-6141*

NOTE:
 THIS STAIR DETAIL REVISES STAIR
 DETAIL 1 / A3.1 AS PREVIOUSLY
 SUBMITTED FOR THE PROJECT

NOV 6 2008



STAIR DETAIL

1/2" = 1'-0"



ASK
1

SHEET TITLE:
 STAIR DETAIL
 REVISION

SCALE:
 AS NOTED

CHECKED BY:
 TST

DRAWN BY:
 RJS

PROJECT No.
 0707

DATE:
 10/20/08

CONSULTANTS:

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 776 6141
 ARCHITECTURE PLANNING

219 ANDERSON STREET
 FOR
 BILL SIMPSON

© 2008 TFH ARCHITECTS

October 20, 2008

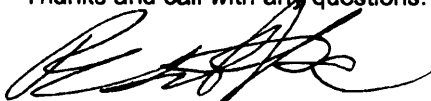
Chris Hanson
City of Portland, Inspections Department
389 Congress Street
Portland, Maine 04101

Chris,

See the attached ASK revising the stairs at 219 Anderson Street from the original galvanized steel design to the pressure treated wood design. The question about the original building construction type as noncombustible type 2B, not allowing wood egress stairs can be addressed as we will revise the buildings classification to construction type 3B, which would allow the wood stairs. Type 3B is non-combustible exterior bearing walls with any type of materials within; the current building meets this description. The current building also meets the area and height requirements for a non-sprinkled building under type 3B.

IBC 2003 indicates that the egress stair construction must be consistent with its construction type and NFPA 101 indicates that egress stairs are to be noncombustible if the building type is 1 or 2, so as we are revising it to type 3, wood exterior egress stairs are allowed.

Thanks and call with any questions.



Ryan Senatore, AIA LEED
TFH Architects

NOV 6 2008

Transmittal Letter

Project: 219 Anderson St

Project No.: 0707

Date: 10/20/08

To: **Chris Hanson**
City of Portland, Inspections
 389 Congress St
 Portland, ME 04101

Phone No.:
 Fax No.:

If enclosures are not as noted, please
 inform us immediately.

We transmit:

- Herewith Under separate cover via _____
 In accordance with your request _____

For your:

- Approval Distribution to Parties Information
 Record Review and Comment
 Use _____

The following:

- Drawings Shop Drawing Prints Samples
 Specifications Shop Drawing Reproducibles Product Literature
 Change Order Other:

Copies	Date	Rev. No.	Description	Action
1	10/20/08		Stair Revision Letter	
1	10/20/08		ASK-1 Revised Stair Detail	

Action Code:

- A. Action indicated on item transmitted D. For signature and forwarding as
 B. No action required noted below under Remarks
 C. For signature and return to this office E. See Remarks below

Remarks:

Chris,

Please see attached ASK-1 revising the stairs at 219 Anderson Street from steel to wood, and the accompanying building type revision letter.
If you have any questions please call.

Thanks

Copies to: Bill Simpson

X **TFH Architects, P. A.**
 O 100 Commercial Street
 O Portland Maine 04101
 X Telephone 207-775-6141
 O Fax No.: 207-773-0194
 O By: Ryan Senatore

File

October 20, 2008

Chris Hanson
City of Portland, Inspections Department
389 Congress Street
Portland, Maine 04101

Chris,

See the attached ASK revising the stairs at 219 Anderson Street from the original galvanized steel design to the pressure treated wood design. The question about the original building construction type as noncombustible type 2B, not allowing wood egress stairs can be addressed as we will revise the buildings classification to construction type 3B; which would allow the wood stairs. Type 3B is non-combustible exterior bearing walls with any type of materials within; the current building meets this description. The current building also meets the area and height requirements for a non-sprinkled building under type 3B.

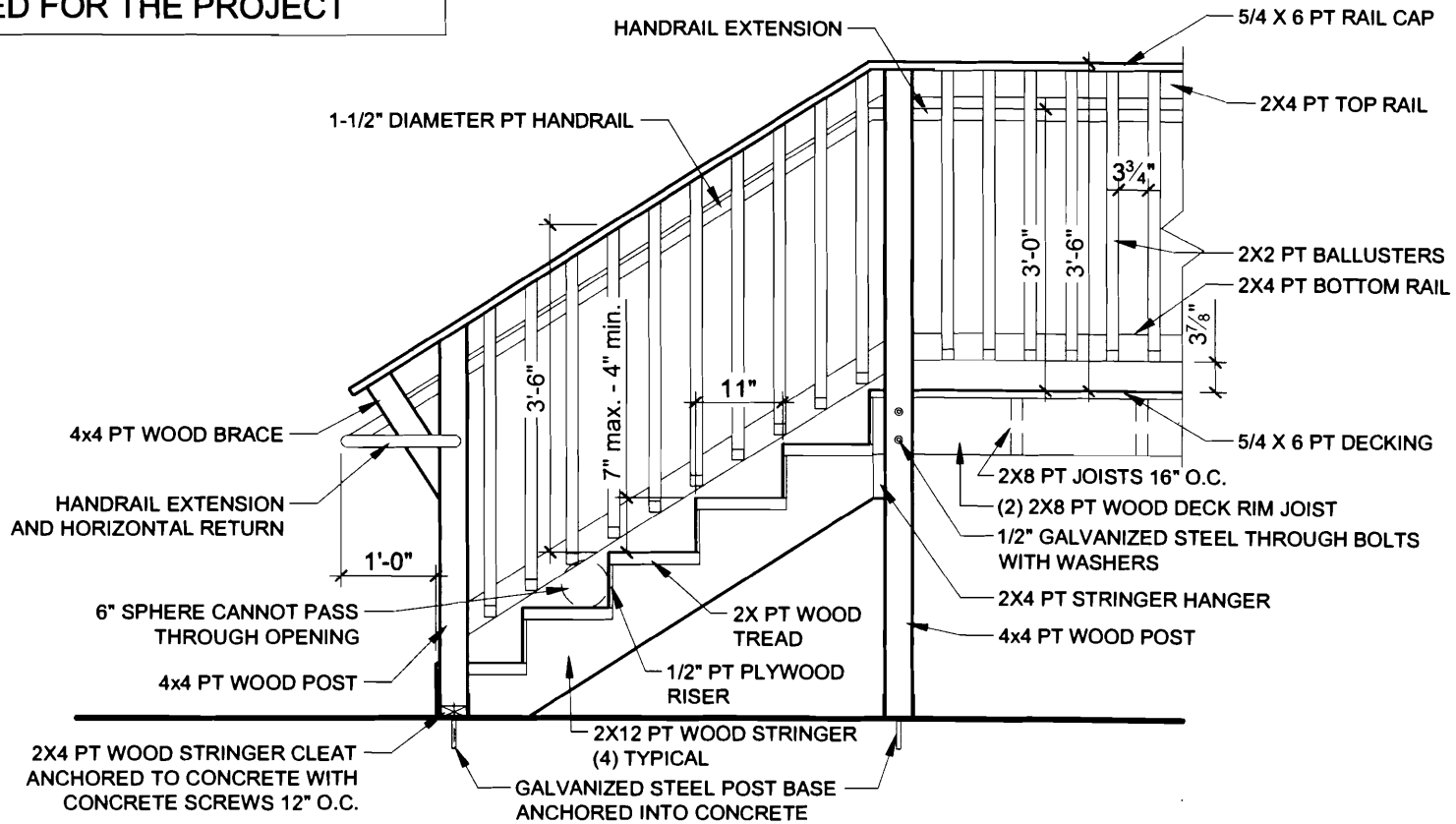
IBC 2003 indicates that the egress stair construction must be consistent with its construction type and NFPA 101 indicates that egress stairs are to be noncombustible if the building type is 1 or 2, so as we are revising it to type 3, wood exterior egress stairs are allowed.

Thanks and call with any questions.



Ryan Senatore, AIA LEED
TFH Architects

NOTE:
 THIS STAIR DETAIL REVISES STAIR
 DETAIL 1 / A3.1 AS PREVIOUSLY
 SUBMITTED FOR THE PROJECT



STAIR DETAIL

1/2" = 1'-0"

ASK
1

SHEET TITLE:
STAIR DETAIL
REVISION

SCALE: AS NOTED

CHECKED BY: TST

DRAWN BY: RJS

PROJECT No. 0707

DATE: 10/20/08

CONSULTANTS:

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 8141
 ARCHITECTURE PLANNING



219 ANDERSON STREET

FOR
 BILL SIMPSON

© 2008 TFH ARCHITECTS